



2015 INTERNATIONAL BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

(INCLUDES: NEW CONSTRUCTION, UPFITS, RENOVATIONS, AND ADDITIONS) (EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSE)

A. PROJECT INFORMATION - (REQUIRED INFORMATION FOR ALL PROJECTS)

Name of Project: BEAUFORT COUNTY A. HORNE BUILDING PARTIAL DEMOLITION
Address: 104 RIBAUT ROAD BEAUFORT, SOUTH CAROLINA
Proposed Use: COURT ROOMS AND COUNTY OFFICES
Owner or Authorized Agent: DANIEL C. SALTROCK, AIA

B. PROJECT SUMMARY/ ALTERNATIVE MEANS OF COMPLIANCE

Building description: ONE STORY BUILDING WITH STUCCO ON EXTERIOR CMU WALLS, STEEL JOIST ROOF FRAMING, GYPSUM ROOF DECK WITH BUILT-UP ROOF SYSTEM AND ALUMINUM STOREFRONT.
Scope of work details: THIS PROJECT CONSISTS OF DEMOLITION OF 7,923 SQUARE FEET OF THE EXISTING SINGLE STORY A. HORNE BUILDING LOCATED AT 104 RIBAUT ROAD IN BEAUFORT, SOUTH CAROLINA.

C. DESIGN PROFESSIONAL INFORMATION

Table with columns: LEAD DESIGN PROFESSIONAL, DESIGNER, ARCHITECT, SITE, ELECTRICAL, FIRE ALARM, PLUMBING, MECHANICAL, SPOKESPERSONS, STRUCTURAL, RETAINING WALLS, CONTRACTOR.

D. TYPE OF WORK BEING PERFORMED

- What type of work is being performed?
New Construction
Alteration/Renovation

E. CODE INFORMATION

Building Code: 2015 International Building Code (IBC)
New Building: No building, Shell building
Existing Building: Change of use/occupancy

F. REHAB CODE (NOT USED)

G. BASIC BUILDING DATA

Table with columns: FLOOR, EXISTING (SQFT), NEW (SQFT), RENOVATED (SQFT), COMMENTS. Rows for 1st Floor, 2nd Floor, Mezzanine, 4th Floor, 3rd Floor, 2nd Floor, Mezzanine.

H. ALLOWABLE AREA: OCCUPANCY CLASSIFICATION

Occupancy (Chapter 3)
Assembly (303)
Business (304)
Educational (305)
Factory (306)
Hazardous (307)
Institutional (308)
I-3 Condition
Mercantile (309)
Residential (310)
Storage (311)
Utility and Miscellaneous (312)

Accessory Occupancies (<10%): Assembly (303), Business (304), Educational (305), Factory (306), Hazardous (307), Institutional (308), I-3 Condition, Mercantile (309), Residential (310), Storage (311), Utility and Miscellaneous (312)

H. ALLOWABLE AREA: OCCUPANCY CLASSIFICATION (CONT.)

- Incidental Uses: If applicable, areas with additional requirements (Table 509)
Firearm room where any piece of equipment is over 400,000 BTU per hour input
Room with boilers where the largest piece of equipment is over 15 psi and 10 horsepower

Special Uses: If Applicable
402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416

Special Provisions: If Applicable
510.2, 510.3, 510.4, 510.5, 510.6, 510.7, 510.8, 510.9

Means of Egress (Chapter 10)
Incidental Use Separation (509)
Non-Separated Use (508.3)

Actual Area of Occupancy A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z

Table with columns: STORY, DESCRIPTION, AREA, PERMITTED OCCUPANCY, ALLOWABLE AREA, MAXIMUM ALLOWED AREA.

- 1 Frontage area increases from Section 506.3 as computed that:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = N/A (F)
b. Total Building Perimeter (P) = N/A (P)
c. Ratio (F/P) = N/A (F/P)
d. Minimum width of public way (W) = N/A (W)
e. Percent of frontage increase I<sub>2</sub> = 100 (F/P - 0.25) x W/30 = N/A (%)

2 The sprinkler increase per Section 506.3 is as follows:
a. Multi-story building I<sub>2</sub> = 200 percent
b. Single-story building I<sub>2</sub> = 300 percent

I. ALLOWABLE HEIGHT (CHAPTER 5)

Table with columns: Type of Construction, Type, Height, Stories.

J. FIRE PROTECTION REQUIREMENTS (CHAPTERS 6 AND 7)

Table with columns: BUILDING ELEMENT, FIRE RESISTANCE, RATING, DETAIL AND SHEET, DESIGN FOR RATED ASSEMBLY, DESIGN FOR RATED PENETRATION, DESIGN FOR FIRE WATER POINTS.

K. PERCENTAGE OF WALL OPENING CALCULATIONS

Table with columns: FIRE RESISTANCE RATING, DEGREE OF OPENING PROTECTION, ALLOWABLE AREA (%), ACTUAL SHOWN ON PLANS (%), COMMENTS.

I. WALL LEGENDS

- CHECK THE FOLLOWING ARE PRESENT AND INDICATED BY A WALL LEGEND ON ALL PLANS
Fire Walls 706, Fire Barriers 707, Fire Partitions 708, Smoke Barriers 709, Smoke Partitions 710, Floor and Roof Assemblies 711, Ventilated Openings 712, Shaft Enclosures 713, No rated walls are present

M. LIFE SAFETY SYSTEMS (EXISTING OR NEW SYSTEMS)

Emergency Lighting (1008)
Exit Signs (1003)
Fire Alarm (907, NFPA 72-07)
Smoke Detection Systems (907)
Panic Hardware (1010.1.10)
Life Safety systems generator: 2702.2

N. LIFE SAFETY PLAN CHECK LIST FOR COMPLIANCE

- Fire and/or smoke rated wall locations (Chapter 7)
Annotated and rated property line locations
Exterior wall opening area with respect to distance to assumed property lines (705.8)
Existing structures within 30' of the proposed building
Occupancy types for each area as it relates to occupant load calculation (Table 1004.1.2)
Occupant load for each area
Exit access travel distances (1016)
Common path of travel distances (1006.2.1, 1018.4 & 1029.8)
Dead end lengths (1020.4 & 1029.9)
Clear exit widths for each exit door
Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.1)
Actual occupant load for each exit door
A sign/schematic plan indicating where fire-rated floor/ceiling and/or roof structure is provided for purpose of occupancy separation
Location of doors with panic hardware (1008.1.10)
Location of doors with delayed egress locks and the amount of delay (1008.1.9.7)
Location of doors with electromagnetic egress locks (1008.1.9.8)
Location of doors equipped with hold-open devices
Location of emergency egress windows (1029)
The square footage of each fire area (902)
The square footage of each smoke compartment (407.4)
Note any code exceptions or table notes that may have been utilized regarding the items above

O. EXIT REQUIREMENTS

Table with columns: FLOOR, ROOM OR SPACE DESIGNATION, MINIMUM EXIT WIDTH, ALLOWABLE TRAVEL DISTANCE, ACTUAL TRAVEL DISTANCE, ARRANGEMENT HEAD OF ROOMS, ACTUAL WIDTH BETWEEN EXIT DOORS, ACTUAL DISTANCE SHOWN ON PLAN.

- 1 Corridor dead ends (Section 1020.4)
2 Buildings with Single Exits (Table 1006.3.2.2), Spaces with one means of egress (Table 1006.2.1)
3 Common Path of Travel (Section 1006.1.1)

OCCUPANT LOAD AND EXIT WIDTH (TABLE 1004.1.2)

Table with columns: USE GROUP OR DESCRIPTION, SEAT AREA OCCUPANT, CALCULATED OCCUPANT LOAD, FLOOR LEVEL, EXIT WIDTH (ASSEMBLY), EXIT WIDTH (STAIR), EXIT WIDTH (ELEVATOR), EXIT WIDTH (PLAC).

- 1 See Table 1004.1.2 to determine whether net or gross area is applicable. See definition "Area, Gross" and "Area, Net" (Section 1002)
2 Minimum stairway width (Section 1009.1), min. corridor width (Section 1018.2), min. door width (Section 1008.1.1)
3 Minimum width of exit passageway (Section 1023.2)
4 See Section 1004.5 for converging exits.
5 The loss of one means of egress shall not reduce the available capacity to less than 50 percent of the total required (Section 1005.1)
6 Assembly occupancies (Section 1024)
7 Spaces within occupancies or use groups shall be calculated independently. (Ex. Lobbies, lounges, break rooms, conference rooms)

P. ACCESSIBLE DWELLING UNITS AND SLEEPING UNITS

Table with columns: TOTAL UNITS, ACCESSIBLE UNITS (1107), TYPE A, TYPE B, TYPE C, TYPE D, TYPE E, TYPE F, TYPE G, TYPE H, TYPE I, TYPE J, TYPE K, TYPE L, TYPE M, TYPE N, TYPE O, TYPE P, TYPE Q, TYPE R, TYPE S, TYPE T, TYPE U, TYPE V, TYPE W, TYPE X, TYPE Y, TYPE Z.

Q. ACCESSIBLE PARKING

Table with columns: LOT OR PARKING AREA, TOTAL ACCESSIBLE SPACES, TYPE A, TYPE B, TYPE C, TYPE D, TYPE E, TYPE F, TYPE G, TYPE H, TYPE I, TYPE J, TYPE K, TYPE L, TYPE M, TYPE N, TYPE O, TYPE P, TYPE Q, TYPE R, TYPE S, TYPE T, TYPE U, TYPE V, TYPE W, TYPE X, TYPE Y, TYPE Z.

R. STRUCTURAL DESIGN

DESIGN LOADS: Importance Factors: (ASCE/SEI 7-05-11.5) Wind, Snow, Seismic. Live Loads: Roof, Floor, Live load reductions. Ground Snow Load, Wind Load, Exposure Category, Wind Base Shears. SEISMIC DESIGN CATEGORY, Provide the following Seismic Design Parameters: Occupancy Category, Spectral Response Acceleration, Site Classification, Data Source, Basic Structural System, Ground Snow Load, Wind Load, Seismic base shear, Analysis Procedure, Architectural, Mechanical, Components anchored? LATERAL DESIGN CONTROL: Earthquake, Wind. SOIL BEARING CAPACITIES: Field Test, Presumptive Bearing Capacity, File sizes, type, and capacity. SPECIAL INSPECTIONS REQUIRED: Yes, No.

S. SPECIAL INSPECTIONS:

- SCHEDULE OF SPECIAL INSPECTIONS
No special inspections required for this project
Special inspections required
The following sheets comprise the required schedule of Special Inspections for this project. The construction divisions which require special inspections for this project are as follows:
IT-1 Verifications of Soils
IT-2 Excavation and Fill
IT-3 Piling and Drilling Piers
IT-4 Modular Retaining Walls
IT-5 Reinforced Concrete
IT-6 Post Tension Slab
IT-7 Pre-cast Concrete Erection
IT-8 Pre-stressed Concrete
IT-9 Inspection of Pre-cast Fabricators
IT-10 Inspection of Structural Steel Fabricators
IT-11 Structural Masonry
IT-12 Masonry
IT-13 High Strength Bolts & Steel Framing Joints
IT-14 Insulated Concrete
IT-15 Exterior Insulation and Finish System
IT-16 Seismic Resistance
IT-17 Smoke Control
IT-18 Detention Basin
IT-19 Special Cases

T. PLUMBING FIXTURES REQUIREMENTS

Table 2902.1: OCCUPANCY, WATER FIXTURES, URINALS, LAVATORIES, SHOWERS, WATER FOUNTAINS, OTHER. Rows for ASSEMBLY (A3), TOTAL PROVIDED, TOTAL REQUIRED.

U. SPECIAL APPROVALS

Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPL, DHS, ICC, etc., describe below)
N/A

V. ENERGY SUMMARY

BUILDING ENVELOPE:
ENERGY REQUIREMENTS:
The following data shall be considered minimum and any special alternate required to meet the South Carolina Energy Conservation Code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs. annual energy cost for the proposed design.
Climate Zone: 1, 2, 3, 4, 5, 6
Method of Compliance: Prescriptive (IECC), Performance (IECC or Com Check) Report must be reproduced on drawings
Prescriptive (ASHRAE 90.1-2010 with addenda 2013 supplement), Performance (ASHRAE 90.1-2010)

THERMAL ENVELOPE: (IECC Chapter 4 and or 5)

Table with columns: Description of assembly, U-Value of total assembly, R-Value of insulation, U-Value of assembly, Solar heat gain coefficient, Projection Factor, Door R-value, Walls below grade (each assembly), Description of assembly, U-Value of total assembly, R-Value of insulation, U-Value of assembly, Solar heat gain coefficient, Projection Factor, Door R-value, Floors over unconditioned space (each assembly), Description of assembly, U-Value of total assembly, R-Value of insulation, U-Value of assembly, Solar heat gain coefficient, Projection Factor, Door R-value, Floors slab on grade, Description of assembly, U-Value of total assembly, R-Value of insulation, U-Value of assembly, Solar heat gain coefficient, Projection Factor, Door R-value, Slab head: U-Value of total assembly, R-Value of insulation, U-Value of assembly, Solar heat gain coefficient, Projection Factor, Door R-value.

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

MECHANICAL SUMMARY (IECC 503) This information may be located on the mechanical sheet. The mechanical sheet must be in the same format as noted in this section. If it is on the mechanical sheets, please indicate here.
Thermal Zone: SEE MECHANICAL DRAWINGS
Winter dry bulb: SEE MECHANICAL DRAWINGS
Summer dry bulb: SEE MECHANICAL DRAWINGS
Interior design conditions: SEE MECHANICAL DRAWINGS
Winter dry bulb: SEE MECHANICAL DRAWINGS
Summer dry bulb: SEE MECHANICAL DRAWINGS
Relative humidity: SEE MECHANICAL DRAWINGS
Building heating load: SEE MECHANICAL DRAWINGS
Building cooling load: SEE MECHANICAL DRAWINGS
Mechanical Spacing Conditioning System: Unitary
Description of unit: SEE MECHANICAL DRAWINGS
Heating efficiency: SEE MECHANICAL DRAWINGS
Cooling efficiency: SEE MECHANICAL DRAWINGS
Size category of unit: SEE MECHANICAL DRAWINGS
Boiler: Size category: If oversized, state reason: SEE MECHANICAL DRAWINGS
Chiller: Size category: If oversized, state reason: SEE MECHANICAL DRAWINGS
List equipment efficiencies: SEE MECHANICAL DRAWINGS

ELECTRICAL SYSTEM AND EQUIPMENT

ELECTRICAL SUMMARY (IECC 905) This information may be located on the electrical sheets. The electrical sheet must be in the same format as noted in this section. If it is on the electrical sheets, please indicate here.
METHOD OF COMPLIANCE: Prescriptive, Performance
Energy Code: ASHRAE 90.1, Performance
Lighting Schedule (each fixture type): SEE ELECTRICAL DRAWINGS
Lamp type required in fixture: SEE ELECTRICAL DRAWINGS
Number of lamps in fixture: SEE ELECTRICAL DRAWINGS
Ballast type used in the fixture: SEE ELECTRICAL DRAWINGS
Number of ballasts in fixture: SEE ELECTRICAL DRAWINGS
Total wattage per fixture: SEE ELECTRICAL DRAWINGS
Total interior wattage specified vs. allowed (whole building or space by space): SEE ELECTRICAL DRAWINGS
Total exterior wattage specified vs. allowed per ASCE chapter 13: SEE ELECTRICAL DRAWINGS
Additional Prescriptive Compliance: 506.2.1 More Efficient Mechanical Equipment, 506.2.2 Reduced Lighting Power Density, 506.2.3 Energy Recovery Ventilation Systems, 506.2.4 Higher Efficiency Service Water Heating, 506.2.5 On-Site Supply Renewable Energy, 506.2.6 Automatic Daylighting Control Systems



BEAUFORT COUNTY A. HORNE BUILDING PARTIAL DEMOLITION
104 RIBAUT ROAD BEAUFORT, SC 29902

FOR CONSTRUCTION

Table with columns: DATE, REVISIONS / SUBMISSIONS, COMMENTS.

Table with columns: DATE, SHEET INFORMATION, JOB NUMBER, DRAWN, CHECKED, APPROVED.

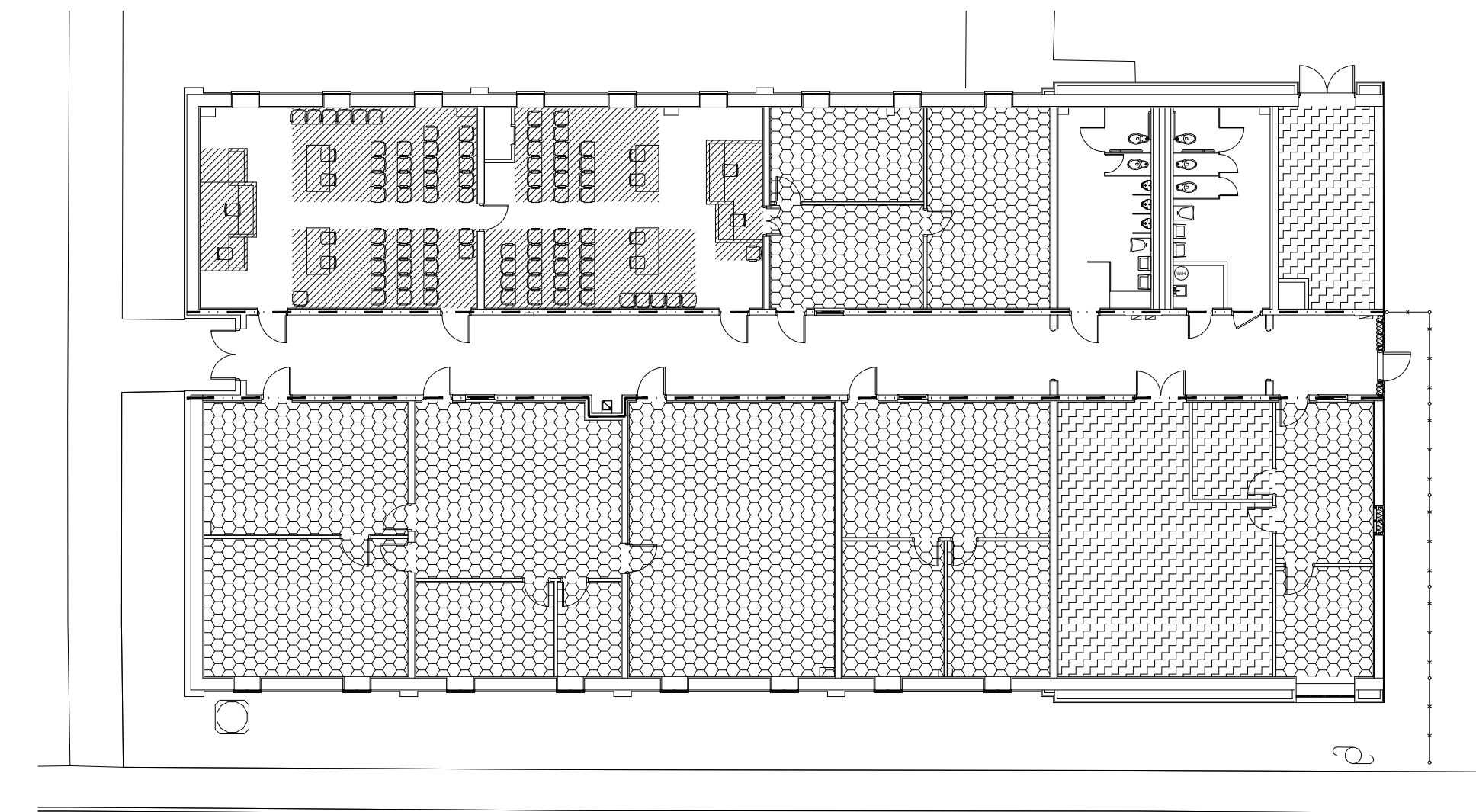
2015 INTERNATIONAL BUILDING CODE SUMMARY

G-102

**OCCUPANT LOAD SUMMARY**  
2015 IBC SECTION 1004, TABLE 1004.1.2

USE GROUP OR SPACE DESCRIPTION	AREA sq. ft.	AREA PER OCCUPANT (TABLE 1004.1.2)	CALCULATED OCCUPANT LOAD (a/b)
BUSINESS (B)	3,618 SF	100 GROSS	36
COURT OFFICIALS AND JURY	889 SF	NOTE 2	95
SERVICE / EQUIPMENT ROOM	918 SF	300 GROSS	3
CIRCULATION UNOCCUPIED	N/A	N/A	NOTE 1
		<b>TOTAL</b>	<b>134</b>

- NOTES:**
- CORRIDORS, RESTROOMS AND OTHER SIMILAR SPACES ARE CONSIDERED UNOCCUPIED. WHEN OCCUPIED, THE OCCUPANTS ARE TRANSIENT AND HAVE VACATED ANOTHER OCCUPIED SPACE THEREFORE, THE BUILDING OCCUPANT LOAD DOES NOT CHANGE.
  - PER IBC SECTION 1004.4 OCCUPANT LOADS FOR AREAS WITH FIXED SEATING ARE CALCULATED BY THE NUMBER OF PROVIDED FIXED SEATS.



**D2 OCCUPANCY DIAGRAM**  
1/16" = 1'-0"  
0 8 12 24

**GENERAL NOTES:**

- ALL EXISTING CONDITIONS AND DIMENSIONS ARE TO BE FIELD VERIFIED
- UNLESS NOTED OTHERWISE ALL DIMENSIONS ARE "CLEAR" - AT FACE OF FINISHED SURFACE

**2015 IBC EGRESS SUMMARY:**

OCCUPANCY:	(A3) ASSEMBLY (B) BUSINESS
BUILDING IS NOT FIRE SPRINKLERED	COURT ROOMS AND COUNTY OFFICES
USE OF PROJECT AREA:	8,629 SQUARE FEET
GROSS BUILDING AREA:	134 PEOPLE
OCCUPANT LOAD:	200'-0" (ACTUAL = 192'-0")
MAXIMUM TRAVEL DISTANCE:	142'-6" (1/2 OF DIAGONAL = 71'-3") ACTUAL DISTANCE BETWEEN EXIT DOORS = 125'-0"
BUILDING DIAGONAL:	28'
MAXIMUM DEAD END CORRIDOR:	2' (ACTUAL = 0'-0")
MINIMUM NUMBER OF EXITS:	2 (ACTUAL = 2)
MINIMUM CORRIDOR WIDTH:	44" (ACTUAL = 8'-9")

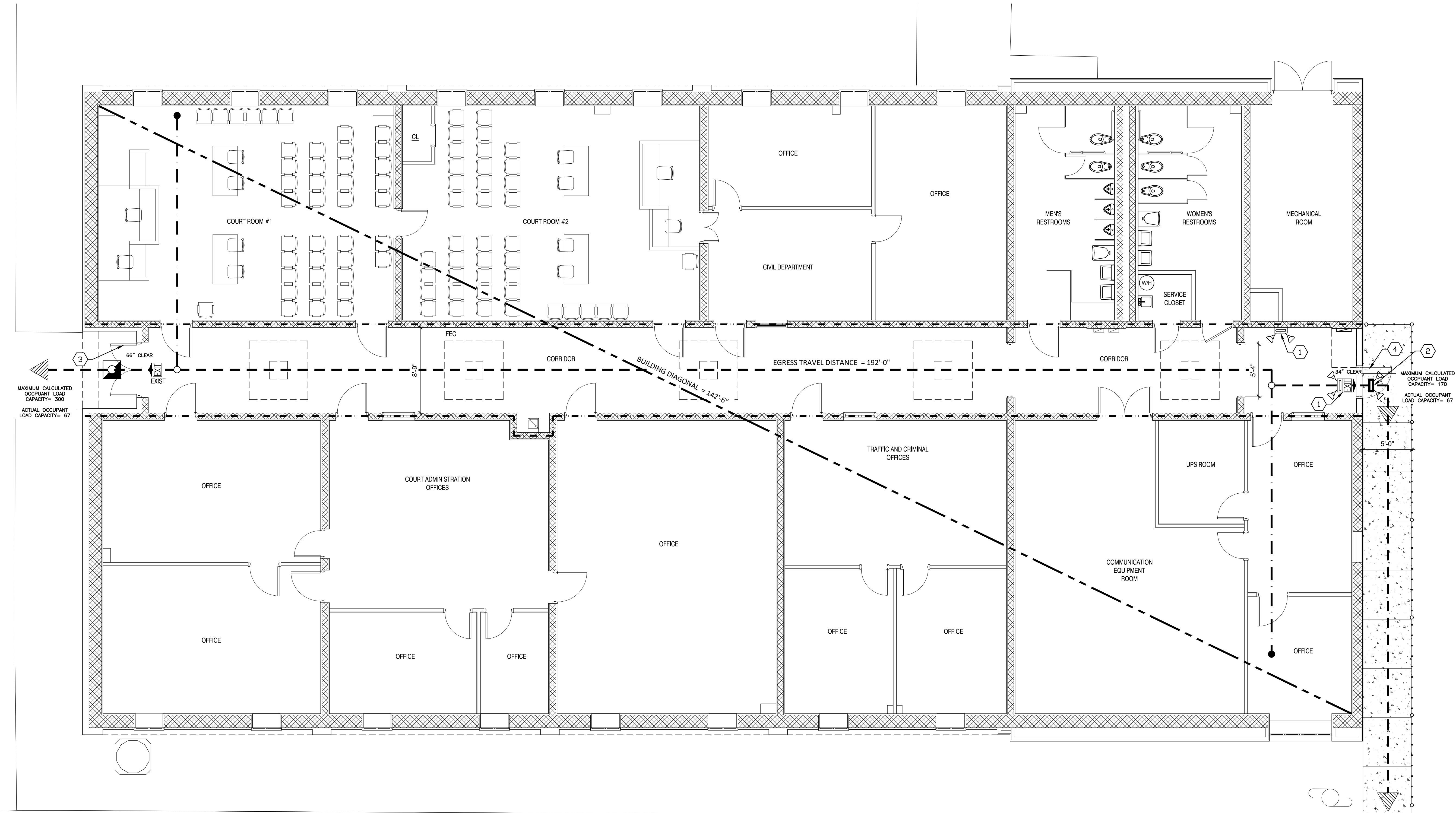
**SHEET KEY NOTES:**

- RELOCATE AND CONNECTED EMERGENCY LIGHT FIXTURE FROM DEMOLITION
- NEW EXTERIOR WALL MOUNTED LIGHTING FIXTURE WITH EMERGENCY BATTERY. SEE ELECTRICAL DRAWINGS
- EXISTING DOUBLE DOOR 66" CLEAR OPENING WITH PANIC HARDWARE
- 3'-0" x 7'-0" HOLLOW METAL DOOR FOR TEMPORARY EMERGENCY EGRESS ONLY (NO ENTRANCE). PROVIDE WITH 1 1/2 PAIR BUTT HINGES, OVERHEAD CLOSER, PANIC DEVICE, SILENCERS, WEATHER STRIPPING AND ALUMINUM THRESHOLD. DO NOT PROVIDE EXTERIOR PULL OR LEVER
- 20 MIN EXISTING DOORS IN HOLLOW METAL TO REMAIN (ALL DOORS AT CORRIDOR)

**THE PORTION OF THE EXISTING BUILDING NOT DEMOLISHED (SHOWN ON THIS SHEET) WILL REMAIN OCCUPIED UNTIL A NEW THREE-STORY BUILDING IS CONSTRUCTED AND OCCUPIED. IT WILL THEN BE DEMOLISHED. ANTICIPATED DATE FOR OCCUPANCY OF THE NEW BUILDING IS DECEMBER 2019**

**LEGEND:**

- EXIT ACCESS TRAVEL DISTANCE
- COMMON PATH OF EGRESS TRAVEL
- BUILDING DIAGONAL
- EXISTING 1-HOUR FIRE RATED CMU WALL AT CORRIDORS
- EXIT DISCHARGE FROM SPACE
  - SINGLE DOOR WITH A MINIMUM 34" CLEAR OPENING
  - CEILING OR WALL MOUNTED ILLUMINATED EXIT SIGN
  - PANIC HARDWARE ON ALL DOORS
- EXISTING RELOCATED INTERIOR EMERGENCY EGRESS LIGHT AND EXIT SIGN WITH 90 MIN. EMERGENCY BATTERY BACKUP.
- NEW EXTERIOR EMERGENCY FIXTURE WITH EMERGENCY BALLAST OR DRIVER. PROVIDE 1100 LUMEN INVERTER RATED FOR 90 MINUTE OPERATION SEE ELECTRICAL DRAWINGS
- EXISTING EXIT SIGN TO REMAIN
- EXISTING CEILING MOUNTED EMERGENCY FIXTURE



**A2 LIFE SAFETY FLOOR PLAN**  
3/16" = 1'-0"  
0 2 4 8

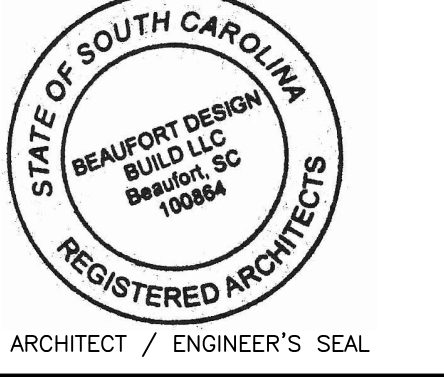
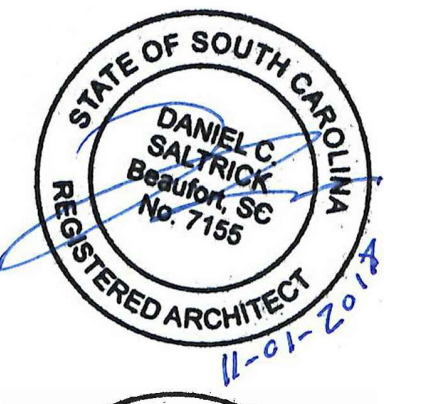
**EXISTING BUILDING IS NOT FIRE SPRINKLERED**

**BEAUFORT**  
2 Fire Station Lane  
Seabrook, SC 29940

**CHARLOTTE**  
7315 Swansea Lane  
Cornelius, NC 28031

(843) 466-3664  
info@beaufortdesignbuild.com  
www.beaufortdesignbuild.com

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**BEAUFORT COUNTY A. HORNE BUILDING PARTIAL DEMOLITION**

104 RIBAUT ROAD  
BEAUFORT, SC 29902

FOR CONSTRUCTION

DATE	REVISIONS / SUBMISSIONS
11-01-2018	S1 RELEASED FOR BID AND PERMIT REVIEW

**SHEET INFORMATION**

DATE	NOVEMBER 01, 2018
JOB NUMBER	17013.02
DRAWN	GRM
CHECKED	DCS
APPROVED	DCS

**LIFE SAFETY FLOOR PLAN**

**G-103**

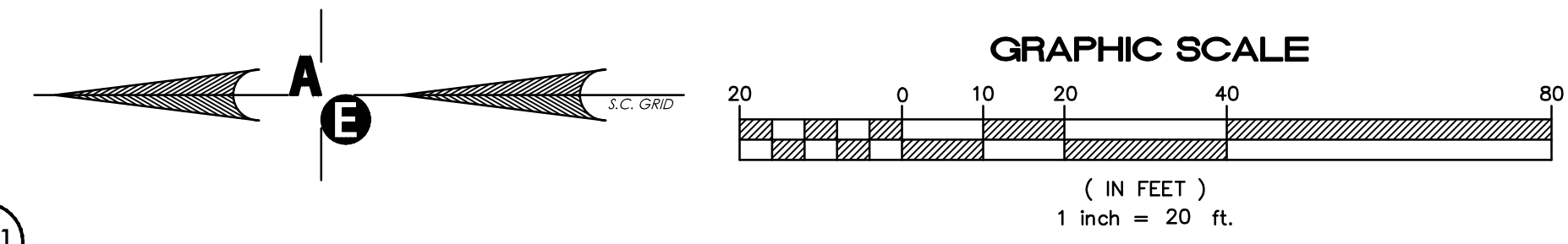


Temporary Seeding - Coastal

Species	Lbs/Ac	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Sandy, Droughty Sites													
Browntop Millet	40 lbs./ac.												
Rye, Grain	56 lbs./ac.												
Ryegrass	50 lbs./ac.												
Well drained, clayey/loamy Sites													
Browntop Millet or Japanese Millet	40 lbs./ac.												
Rye, Grain or Oats	56 lbs./ac.												
Ryegrass	50 lbs./ac.												

**SYMBOL & HATCH LEGEND**

DEMO CONCRETE	[Hatched Pattern]
EX. BRICK	[Hatched Pattern]
EX. ASPHALT	[Hatched Pattern]
EX. CONCRETE	[Hatched Pattern]
EX. FENCE	[Hatched Pattern]
SIGN	[Symbol]



**TS TEMPORARY SEEDING**      **PS PERMANENT SEEDING**

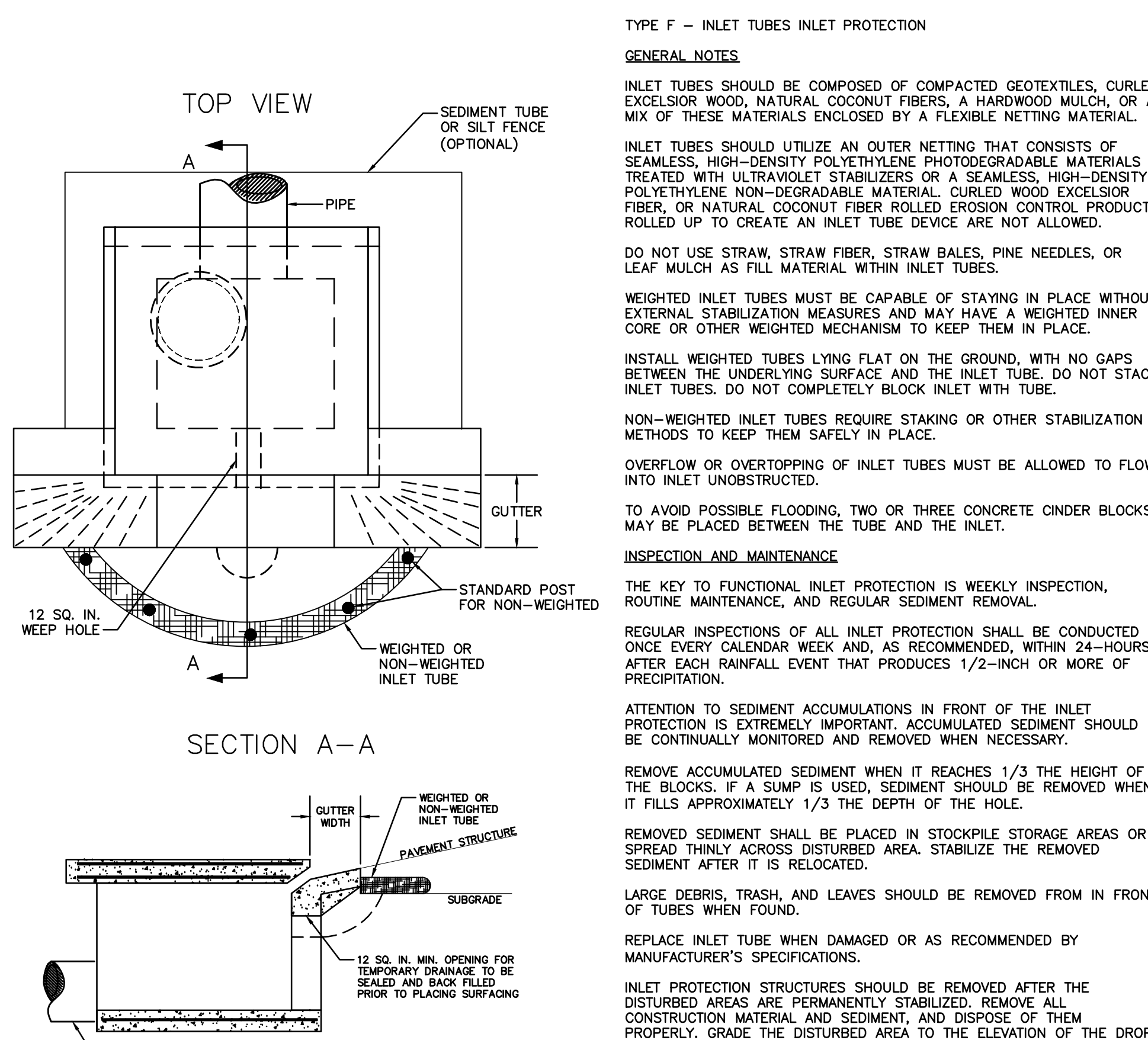
**ESTABLISHING TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS ON DISTURBED AREAS.**

**ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES, SOLO OR LEGUMES ON DISTURBED AREAS.**

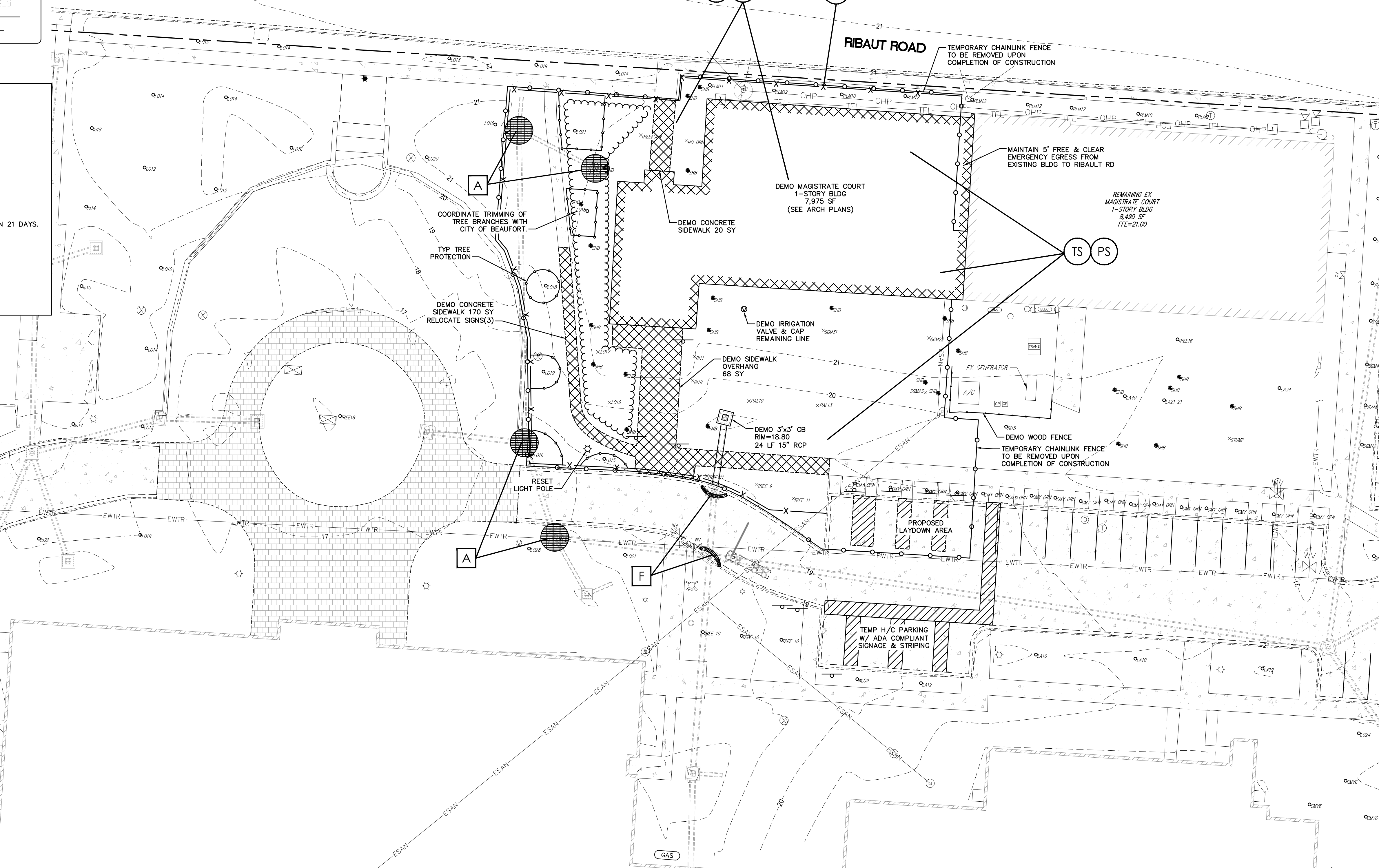
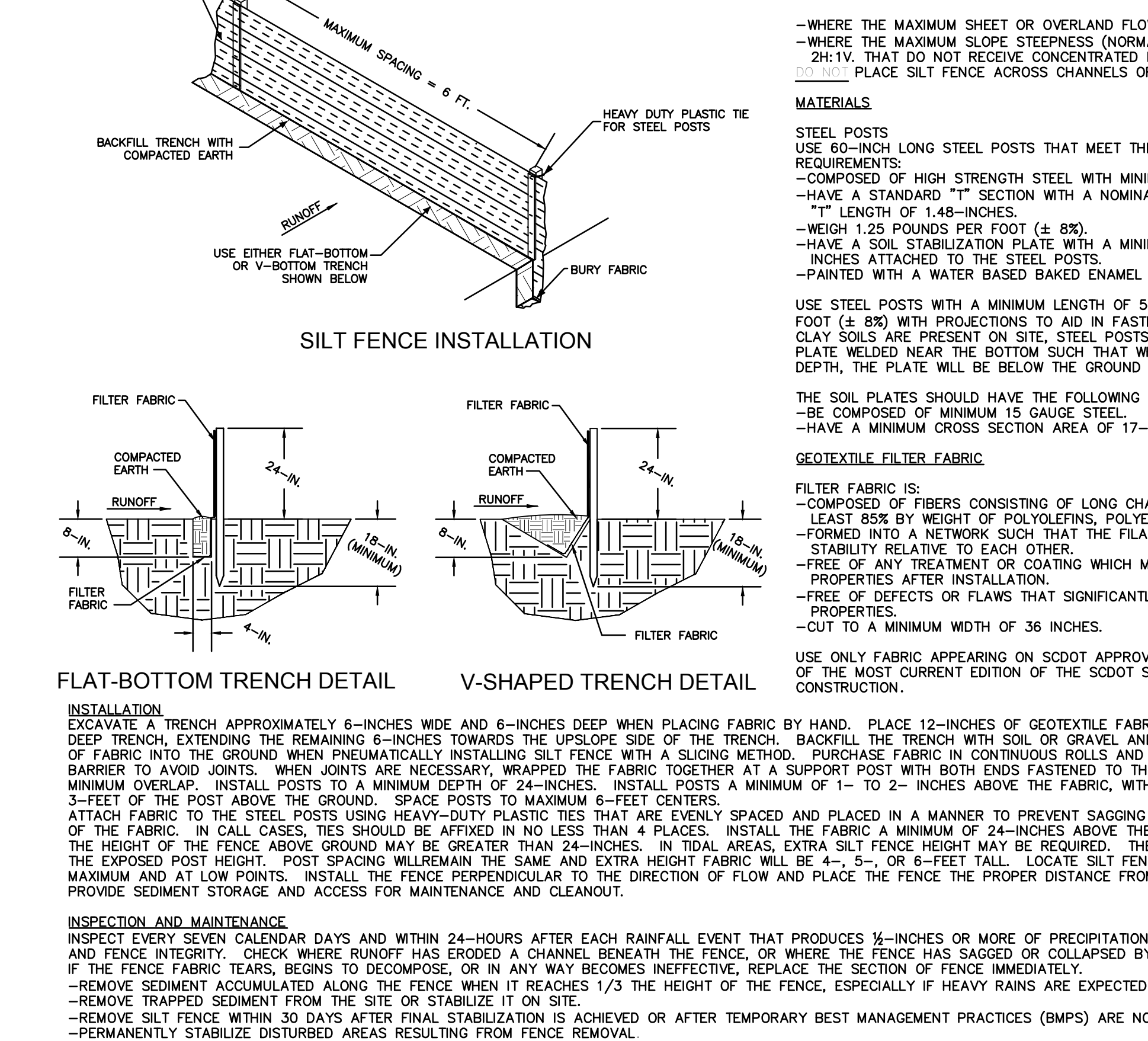
**VEGETATIVE SEEDING NOTES**

- TEMPORARY STABILIZATION IS REQUIRED WITHIN 14 DAYS AFTER CONSTRUCTION ACTIVITY IS COMPLETE UNLESS CONSTRUCTION ACTIVITY IS GOING TO RESUME WITHIN 21 DAYS.
- COVER SEEDING AREAS WITH AN APPROPRIATE MULCH TO PROVIDE PROTECTION FROM THE WEATHER.
- WHEN THE TEMPORARY VEGETATION DOES NOT GROW QUICKLY OR THICK ENOUGH TO PREVENT EROSION, RE-SEED AS SOON AS POSSIBLE.
- KEEP SEEDING AREAS ADEQUATELY MOIST. IRRIGATE THE SEEDING AREA IF NORMAL RAINFALL IS NOT ADEQUATE FOR THE GERMINATION AND GROWTH OF SEEDINGS.
- WATER SEEDING AREAS AT CONTROLLED RATES THAT ARE LESS THAN THE RATE AT WHICH THE SOIL CAN ABSORB WATER TO PREVENT RUNOFF.
- SEED SELECTION IS BASED ON GEOGRAPHICAL LOCATION, SOIL TYPE AND THE SEASON OF THE YEAR IN WHICH THE PLANTING IS TO BE DONE.

**F TYPE F - SEDIMENT TUBE INLET PROTECTION**



**SD1 SILT FENCE**



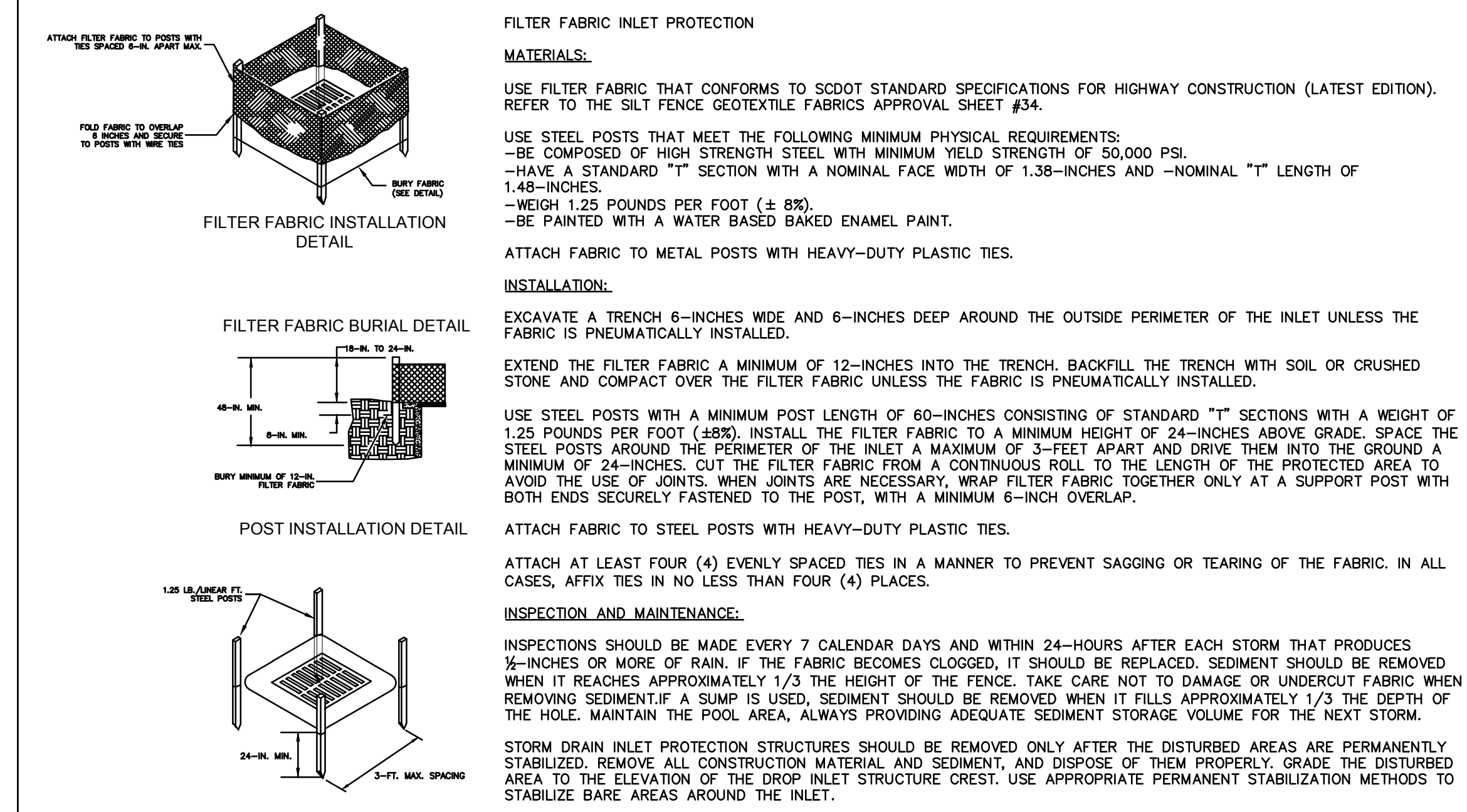
**SCHEDULE OF TREES TO BE REMOVED**

TREE TYPE	ORN 10"	11"	13"	15"	16"	18"	18"	22"	23"	31"	TOTALS (TYP)
AMERICAN HOLLY (HO)	1	1	1	1	1	1	1	1	1	1	1
BIRCH (BI)	1	1	1	1	1	1	1	1	1	1	1
LIVE OAK (LO)	1	1	1	1	1	1	1	1	1	1	1
PALMETTO PALM (PAL)	1	1	1	1	1	1	1	1	1	1	1
SWEET GUM (SGM)	1	1	1	1	1	1	1	1	1	1	1
UNKNOWN (TRKS)	1	1	1	1	1	1	1	1	1	1	1
<b>TOTALS (SIZE)</b>	<b>2</b>	<b>1</b>	<b>1</b>	<b>1</b>	<b>1</b>	<b>1</b>	<b>1</b>	<b>1</b>	<b>1</b>	<b>1</b>	<b>13</b>

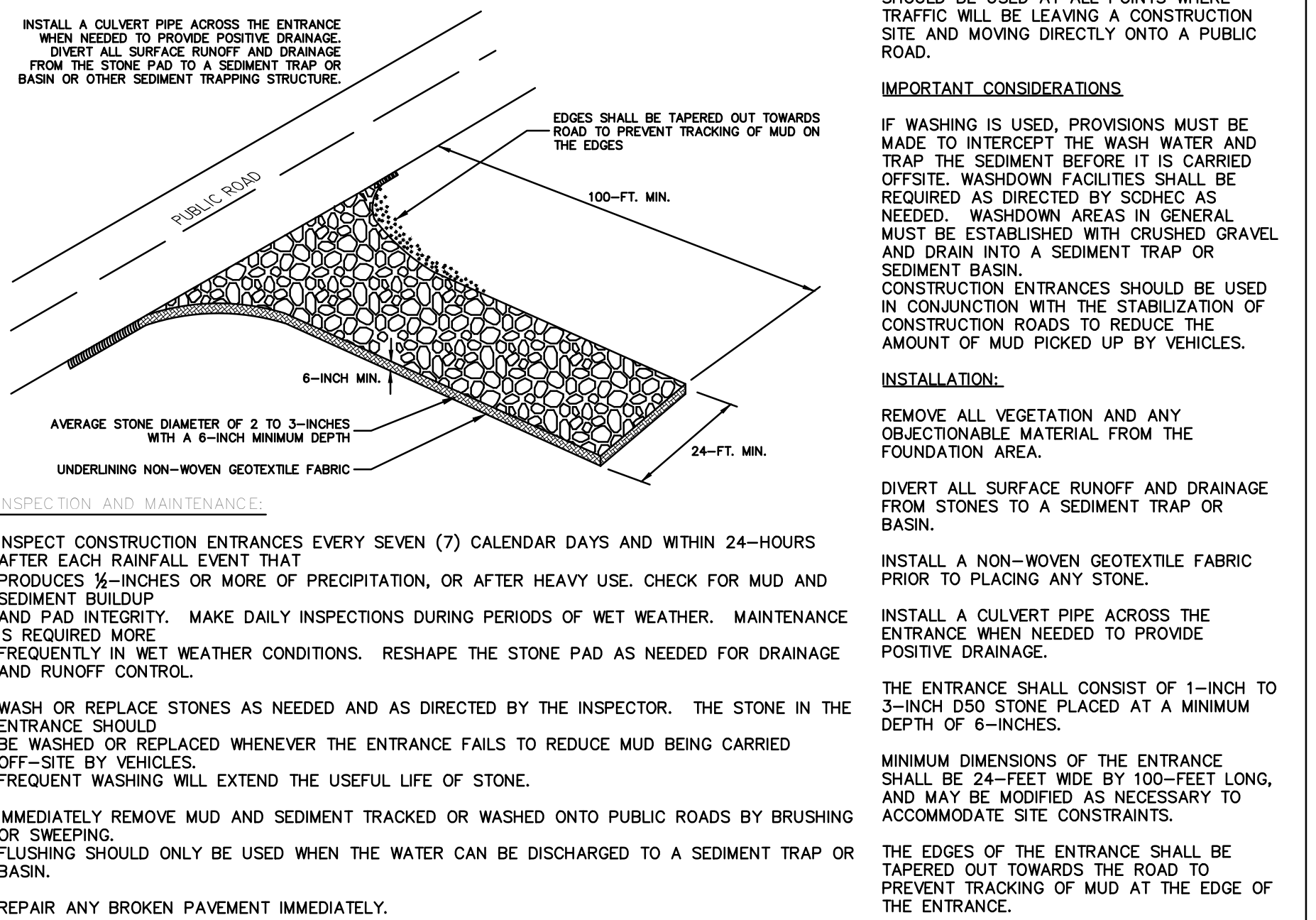
**TREE LEGEND**

REMAIN	REMOVE
○ PNT2	× PNT2

**A TYPE A - FILTER FABRIC INLET PROTECTION**



**CO STABILIZED CONSTRUCTION ENTRANCE**



**EXISTING BUILDING DEMOLITION NOTES:**

1. CONTRACTOR TO FIELD VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. LOCATE SANITARY SEWER SERVICE TO EXISTING REMAINING BUILDING.
2. ALL UTILITY COMPANIES TO BE NOTIFIED OF ALL REQUIRED RELOCATIONS PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO IMPLEMENT SEDIMENT AND EROSION CONTROL MEASURES AS SHOWN ON PLAN. CONSTRUCTION ENTRANCE LOCATION TO BE DETERMINED BY CONTRACTOR.
4. TEMPORARY SEEDING TO BE INSTALLED IMMEDIATELY FOLLOWING ANY DEMOLITION ACTIVITIES.

**BEAUFORT**  
2 Fire Station Lane  
Seabrook, SC 29940

**CHARLOTTE**  
7315 Swainsee Lane  
Cornelius, NC 28031

(843) 466-3664  
info@beaufortdesignbuild.com  
www.beaufortdesignbuild.com

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**BEAUFORT DESIGN BUILD**

**Andrews Engineering & Surveying**

2712 Bull Street Suite A  
Beaufort, NC 28520  
843.379.2222  
Fax 843.379.2223

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STATE OF NORTH CAROLINA  
PROFESSIONAL ENGINEER  
No. 28230  
ANDREW S. KLOSTERMAN

**BEAUFORT COUNTY SOUTH CAROLINA**  
1769

**BEAUFORT COUNTY A. HORNE BUILDING PARTIAL DEMOLITION**

104 RIBAUT ROAD  
BEAUFORT, SC 29902

**FOR CONSTRUCTION**

DATE: 11-01-2018

REVISIONS / SUBMISSIONS

NO.	DATE	DESCRIPTION
1	11-01-2018	RELEASED FOR BID AND PERMIT REVIEW

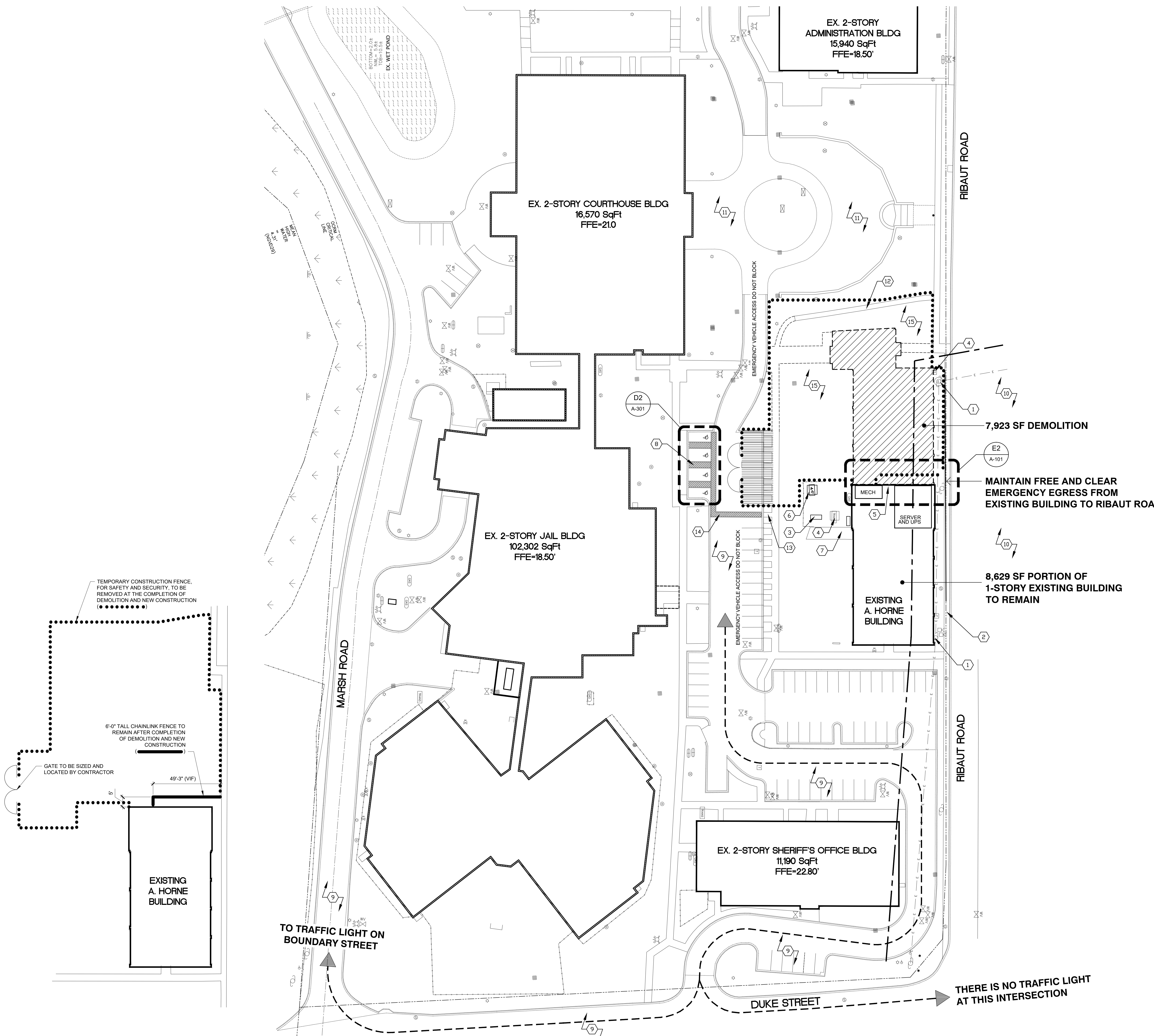
**SHEET INFORMATION**

DATE	NOVEMBER 1, 2018
JOB NUMBER	17013.02
DRAWN	L. WILEN
CHECKED	A. KLOSTERMAN
APPROVED	A. KLOSTERMAN

**SITE DEMOLITION & SEC PLAN**

6 5 4 3 2 1

E  
D  
C  
B  
A



**GENERAL NOTES:**

- A. ALL EXISTING CONDITIONS ARE TO BE FIELD VERIFIED
- B. CONTRACTOR IS RESPONSIBLE FOR DETERMINING AND ADHERING TO MAXIMUM VEHICLE WEIGHT FOR EXISTING DRIVEWAYS AND ROADWAYS

**SHEET KEY NOTES:** (X)

1. EXISTING ELECTRICAL POLE WITH 1,500 kv OVERHEAD POWER LINES
2. EXISTING SIDEWALK, CURB AND GUTTER
3. EXISTING GENERATOR TO REMAIN
4. EXISTING TRANSFORMER TO REMAIN
5. DEMOLITION OF EXISTING BUILDING AT EXISTING BUILDING EXPANSION JOINT AND CMU LATERAL BRACING WALL
6. EXISTING CHILLER TO REMAIN
7. EXISTING CONCRETE PAVING
8. TEMPORARY ACCESSIBLE PARKING SPACES. SEE DETAIL D2/A-301
9. CONTRACTOR IS RESPONSIBLE FOR EVALUATING EXISTING DRIVEWAYS, ROADWAYS AND INTERSECTIONS AND COORDINATING VEHICLE AND CONTAINER SIZES WITH THE SAME
10. NO DEMOLITION OR CONSTRUCTION ACCESS OR EGRESS FROM RIBAUT ROAD
11. NO DEMOLITION OR CONSTRUCTION TRAFFIC THROUGH EXISTING PLAZA
12. PORTION OF EXISTING CONCRETE SIDEWALK TO REMAIN
13. EXISTING ACCESSIBLE CONCRETE RAMP
14. ACCESSIBLE PATH STRIPPING ON EXISTING ASPHALT PAVING, 48" WIDE, MINIMUM
15. SEE CIVIL DRAWING FOR TREES AND TREE PROTECTION

**LEGEND:**

- AREA OF PARTIAL DEMOLITION
- 20'-0" SCE&G REQUIRED SETBACK FROM EXISTING 115KV POWER LINES. SETBACK IS FOR DEMOLITION CONSTRUCTION AND NEW STRUCTURES AND IS TO BE A RADIAL DISTANCE FROM THE LOWEST EXISTING POWER LINE
- CONSTRUCTION ACCESS AND EGRESS. NOTE: ACCESS THROUGH THE EXISTING COURTYARD AND DIRECTLY FROM RIBAUT ROAD IS PROHIBITED
- PROJECT LIMITS - CONTRACTOR TO PROVIDE CONSTRUCTION FENCE AT OR INSIDE OF THIS LINE
- PROPOSED AREA FOR CONSTRUCTION ENTRANCE AND GATE. SEE CIVIL DRAWINGS FOR CONSTRUCTION ENTRANCE DETAIL AND COORDINATE WITH EXISTING ASPHALT PAVING, CONCRETE SIDEWALKS AND CONCRETE CURB AND GUTTER. AT THE CONCLUSION OF THE PROJECT, THE ENTRANCE IS TO BE DRESSED AND STABILIZED AS NECESSARY AND LEFT IN PLACE

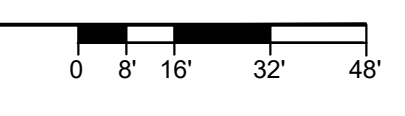


**Know what's below.  
Call before you dig.**

**SEE CIVIL DRAWING EC-101 FOR EXISTING STORM WATER STRUCTURES DEMOLITION AND PROTECTION, EROSION CONTROL AND SILT FENCE**

**A6 FENCING DIAGRAM**  
NTS

**A2 ARCHITECTURAL SITE PLAN**  
1/32" = 1'-0"

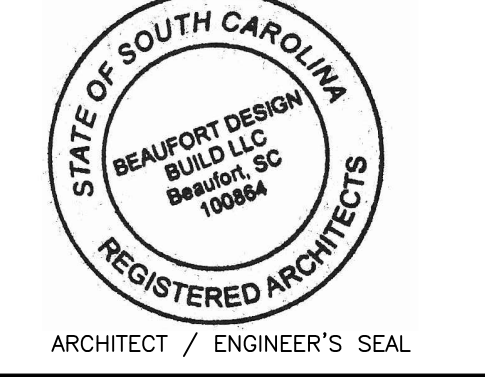
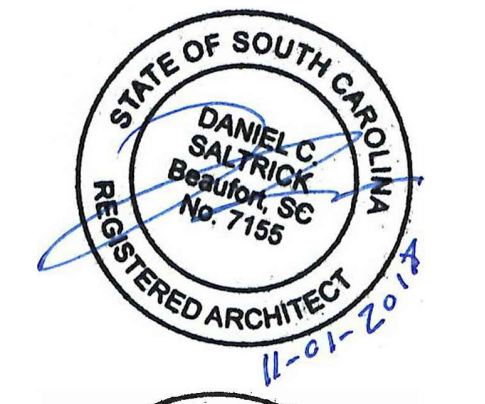


**BEAUFORT**  
2 Fire Station Lane  
Seabrook, SC 29940

**CHARLOTTE**  
7315 Swansea Lane  
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(843) 466-3664  
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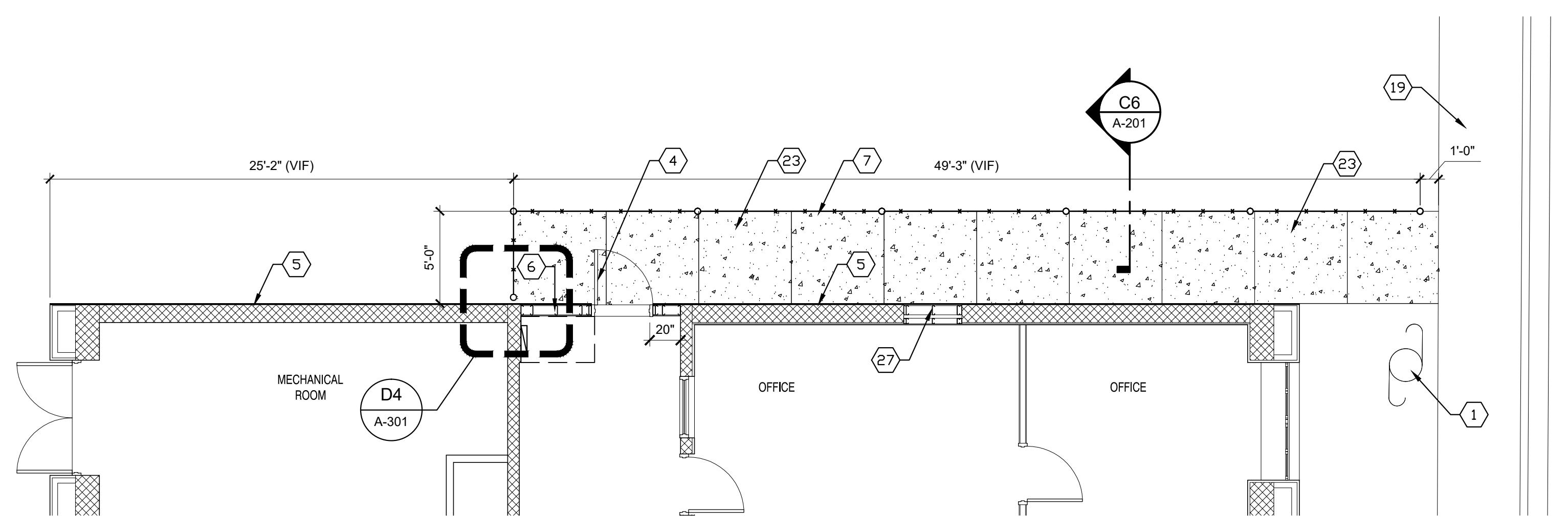
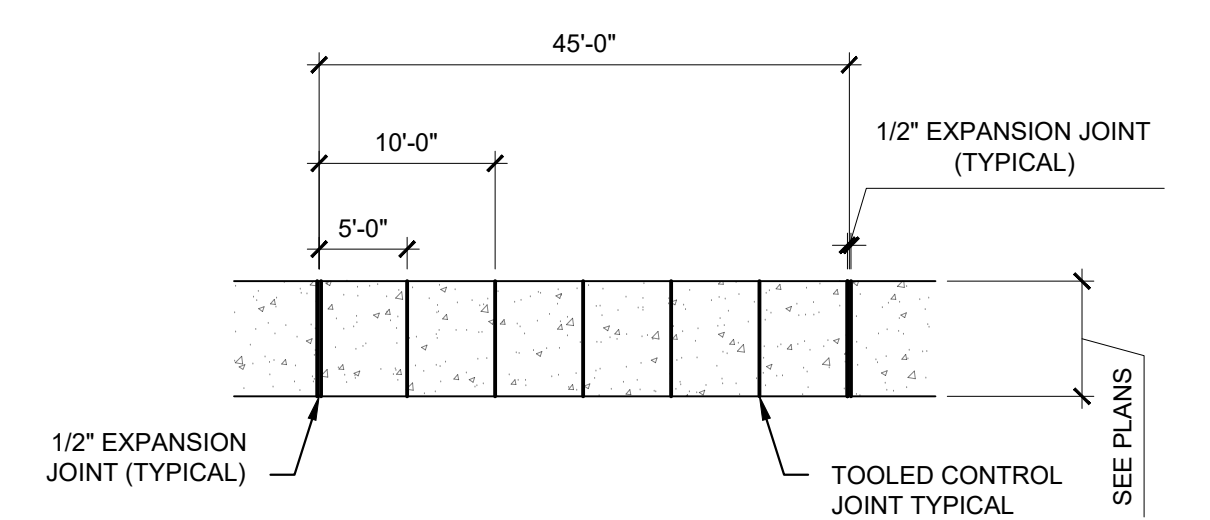
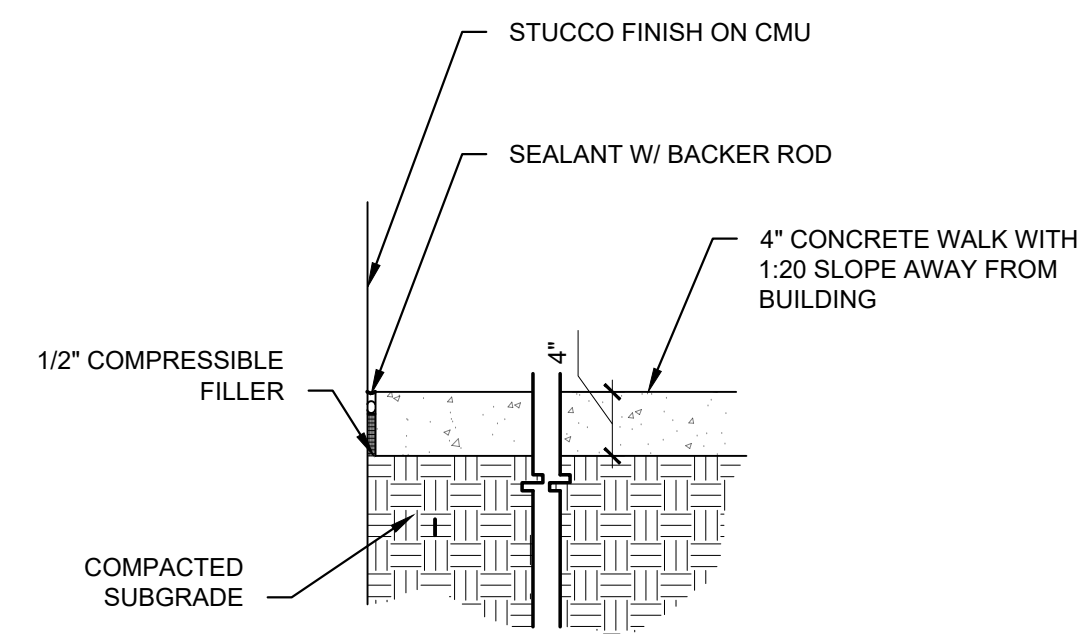
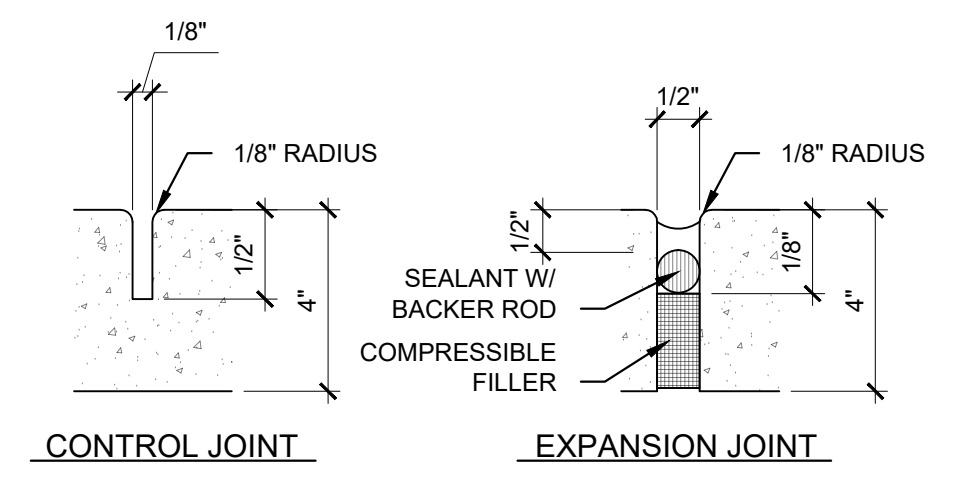
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ARCHITECTURAL  
SITE PLAN

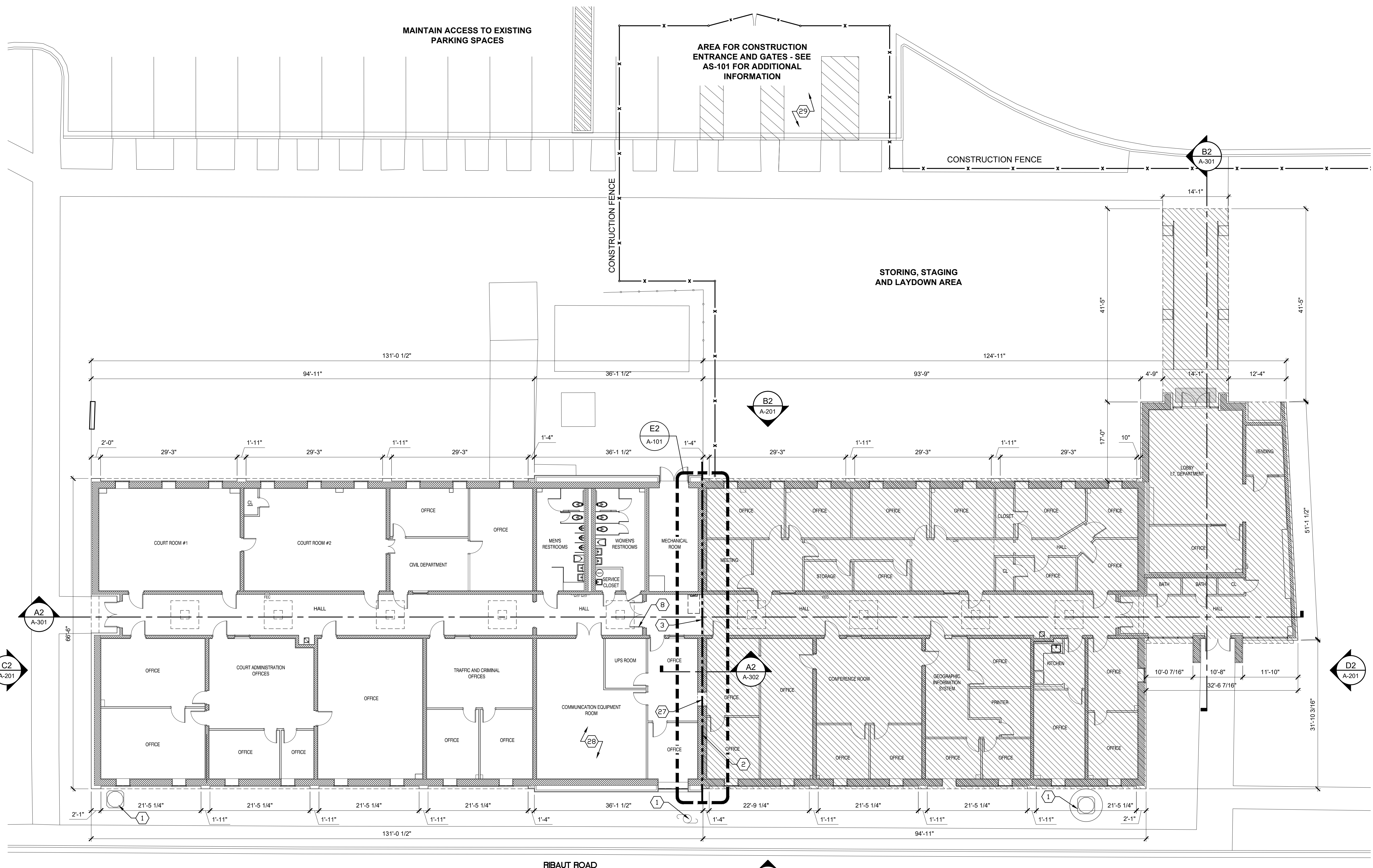
**AS-101**



**E6 SIDEWALK SECTION**  
NOT TO SCALE

**E5 SIDEWALK EXPANSION & CONTROL JOINTS**  
NOT TO SCALE

**E2 ENCLOSURE AT NORTH END**  
3/16" = 1'-0"



**A2 PARTIAL DEMOLITION FLOOR PLAN**  
1" = 10'

**GENERAL NOTES:**

- A. ALL BUILDING ELEMENTS AND SYSTEMS NORTH OF THE BUILDING EXPANSION JOINT ARE TO BE REMOVED IN THEIR ENTIRETY
- B. EXCEPT AS OTHERWISE NOTED, FOOTINGS AND FOUNDATIONS IN THE DEMOLITION AREA ARE TO BE REMOVED IN THEIR ENTIRETY
- C. GC TO VERIFY ALL EXISTING CONDITIONS ONCE DEMOLITION IS COMPLETED AND NOTIFY ARCHITECT OF ANY CHANGES OTHER THAN WHAT IS SHOWN IN THE CONSTRUCTION DOCUMENTS

**SHEET KEY NOTES:**

1. EXISTING ELECTRICAL POLE WITH OVERHEAD LINES
2. EXISTING BUILDING EXPANSION JOINT
3. EXISTING EXPANSION JOINT COVER IN FLOOR
4. 3'-0" x 7'-0" HOLLOW METAL DOOR FOR TEMPORARY EMERGENCY EGRESS ONLY (NO ENTRANCE). PROVIDE WITH 1 1/2 PAIR BUTT HINGES, OVERHEAD CLOSER, PANIC DEVICE, SILENCERS, WEATHER STRIPPING AND ALUMINUM THRESHOLD. DO NOT PROVIDE EXTERIOR PULL OR LEVER - DOOR IS INTENDED FOR EMERGENCY EGRESS ONLY
5. STUCCO FINISH ON EXISTING CMU
6. STUCCO FINISH ON NEW INFILL WALL. SEE WALL SECTION A6/A-302
7. 6'-0" HIGH CHAINLINK FENCE TO BE LEFT-IN-PLACE AFTER COMPLETION OF PROJECT. SEE C6/A-201 FOR DETAILS
8. REMOVE EXISTING DOORS AND PAINT FRAME TO MATCH EXISTING
9. EXISTING 8" REINFORCED CMU
10. EXISTING 2X4 SUSPENDED ACOUSTICAL TILE CEILING
11. EXISTING REINFORCED CONCRETE BEAM
12. SEALANT JOINT AT NEW INFILL PANEL
13. NEW ALUMINUM COPING
14. EXISTING LIGHT - WEIGHT CONCRETE WITH GYPSUM BOARD FORM ROOF DECK
15. EXISTING BULB TEE SPACED AT 32" OC
16. EXISTING BAR JOIST
17. NEW WALL MOUNTED EMERGENCY EGRESS LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
18. EXISTING FOOTING TO BE LEFT IN PLACE FOR DEMOLITION IN FUTURE PHASE
19. EXISTING CONCRETE SIDEWALK
20. EXISTING CONCRETE CURB AND GUTTER
21. EXISTING PLANTING BED
22. NEW ASPHALT SEAL COAT TO COVER EXISTING PARKING STRIPING / MARKINGS
23. NEW 4" CONCRETE SIDEWALK OVER COMPACTED GRAVEL BASE
24. NEW POST MOUNTED SIGN AT EACH PARKING SPACE. SEE DETAIL C2/A-301 FOR TYPES
25. 20'-0" RADIAL SETBACK FROM CLOSEST EXISTING 115 KV POWER LINES. NOTHING IS PERMITTED WITHIN THIS SETBACK. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THIS SETBACK WITH SCE&G PRIOR TO BEGINNING WORK
26. EXISTING CONCRETE FOOTING ALONG EXISTING BUILDING EXPANSION JOINT TO BE LEFT IN PLACE. ALL OTHER FOOTING ARE TO BE REMOVED IN THEIR ENTIRETY
27. INFILL AT EXISTING OPENING TO BE SIMILAR TO WALL SECTION A6/A-302
28. ALL LOW VOLTAGE AND TELECOM SYSTEMS TO BE RE-CONFIGURED BY OWNER BEFORE CONTRACTOR BEGINS WORK ON PROJECT
29. SEE AS-101 AND A-301 FOR NEW ACCESSIBLE PARKING SPACES AND ACCESSIBLE ROUTES

**LEGEND:**

- AREA OF EXISTING BUILDING TO BE REMOVED IN ITS ENTIRETY. SEE CIVIL DRAWING EC-101 FOR DEMOLITION OF SITE ELEMENTS
- EXISTING BUILDING EXPANSION JOINT
- EXISTING LOAD BEARING CMU WALL



**Know what's below.  
Call before you dig.**

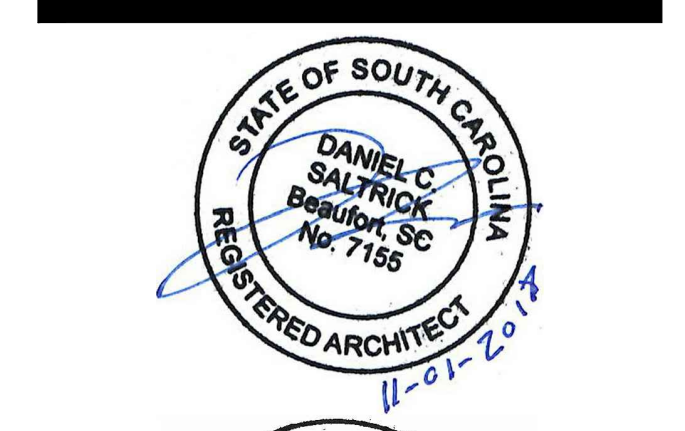
**SEE AS-101 FOR LOCATION OF EXISTING 115KV POWER LINES ALONG RIBAUT ROAD. ALL EQUIPMENT, MATERIALS, TOOLS, AND PERSONNEL ARE TO BE KEPT A MINIMUM OF 20'-0" AWAY (RADIALLY) FROM EACH EXISTING LINE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL SETBACKS WITH SCE&G PRIOR TO STARTING ANY WORK. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH ALL APPLICABLE OSHA REQUIREMENTS**

**BEAUFORT**  
2 Fire Station Lane  
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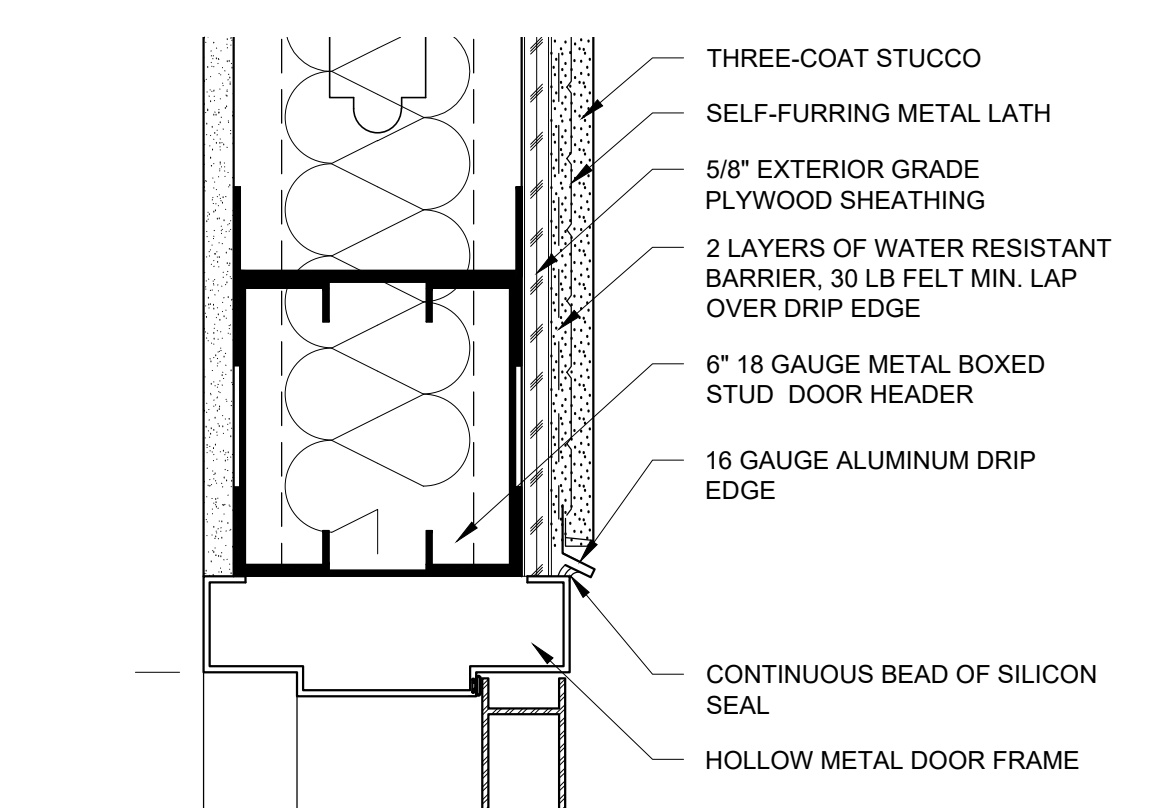
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PARTIAL  
DEMOLITION  
FLOOR PLAN

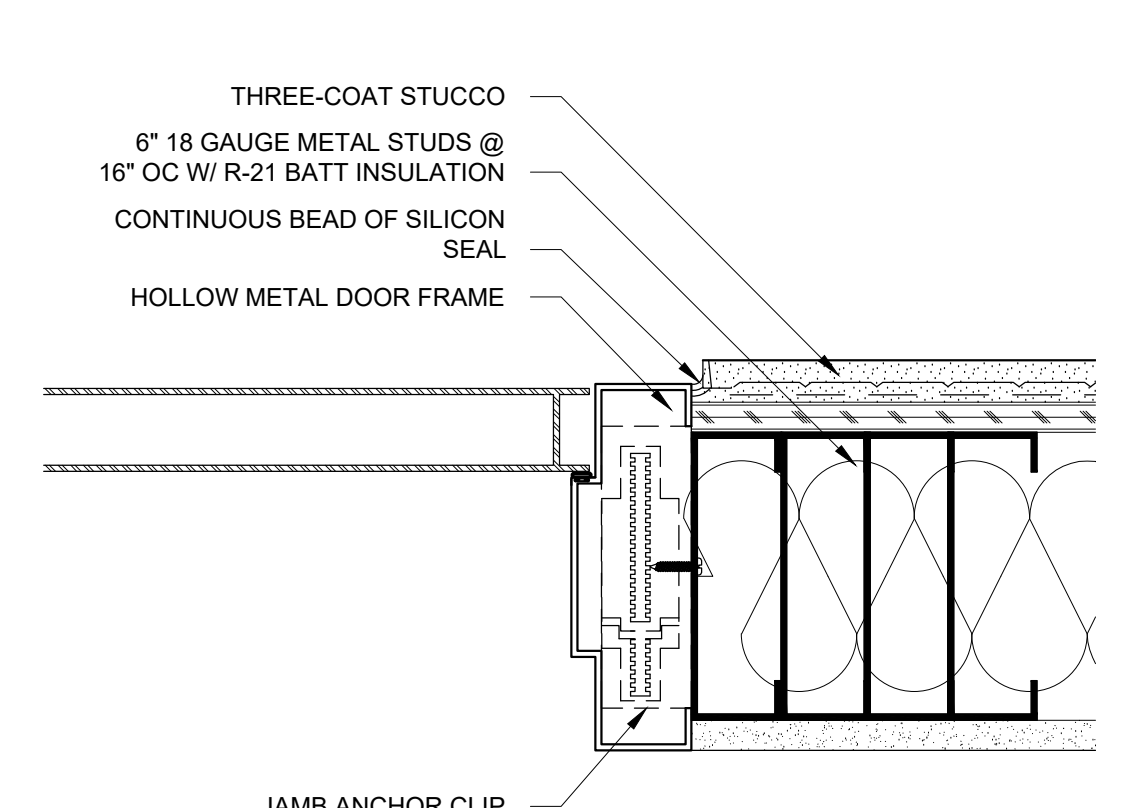
**A-101**



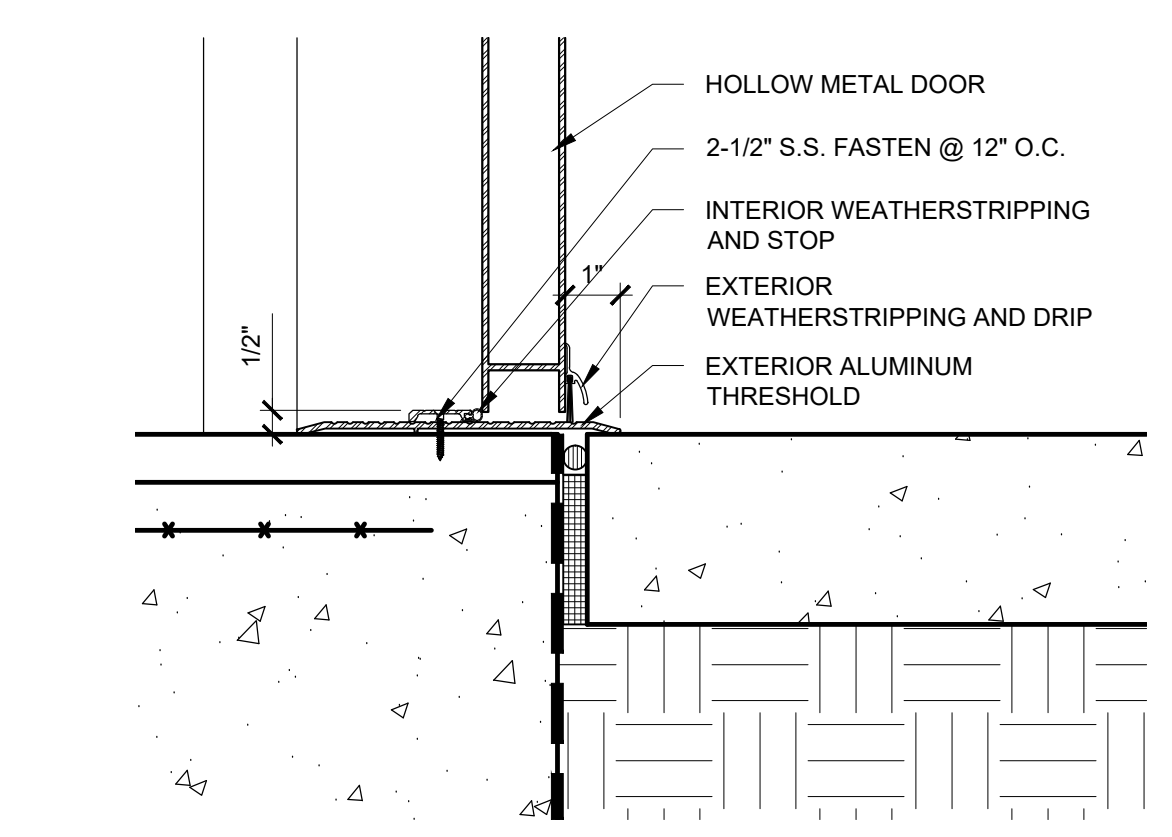




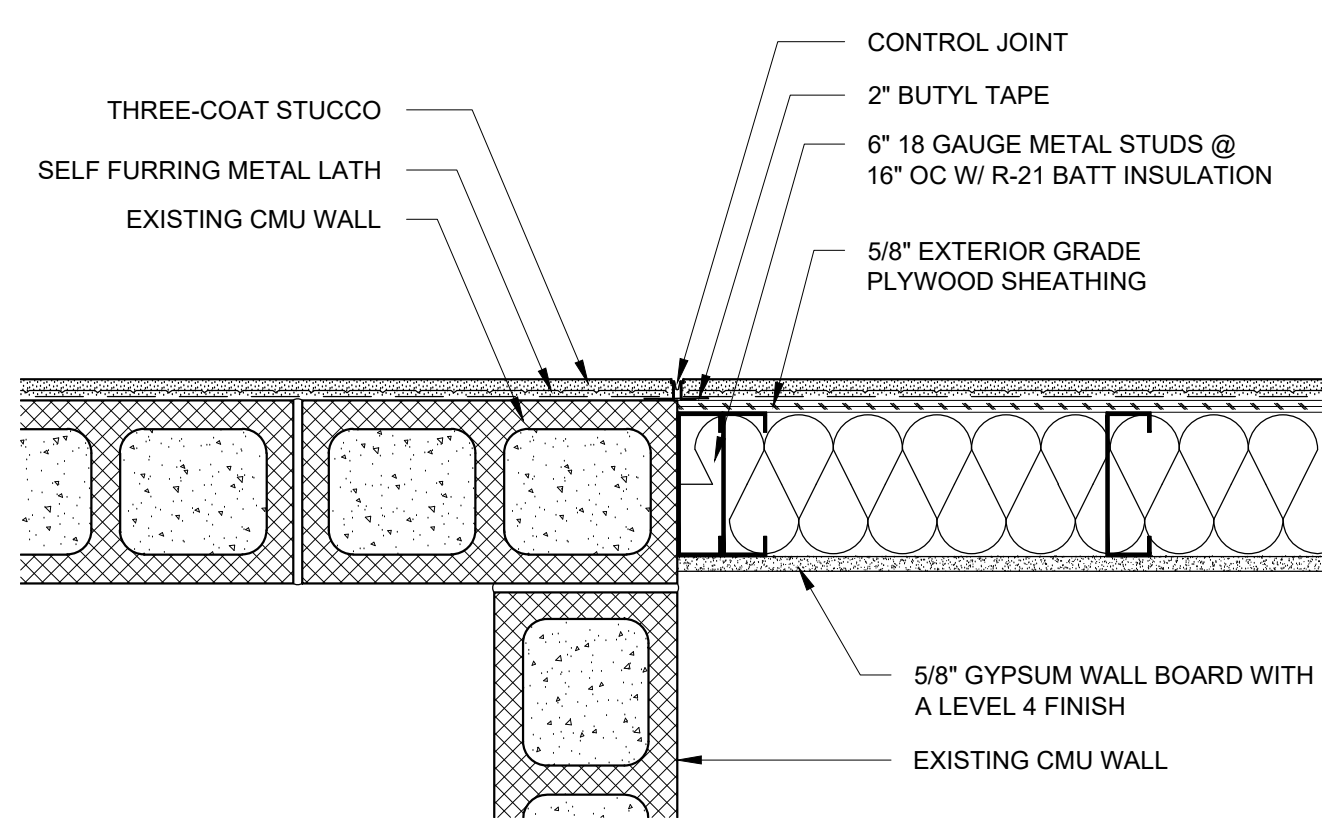
**E6 DOOR HEAD DETAIL**  
NOT TO SCALE



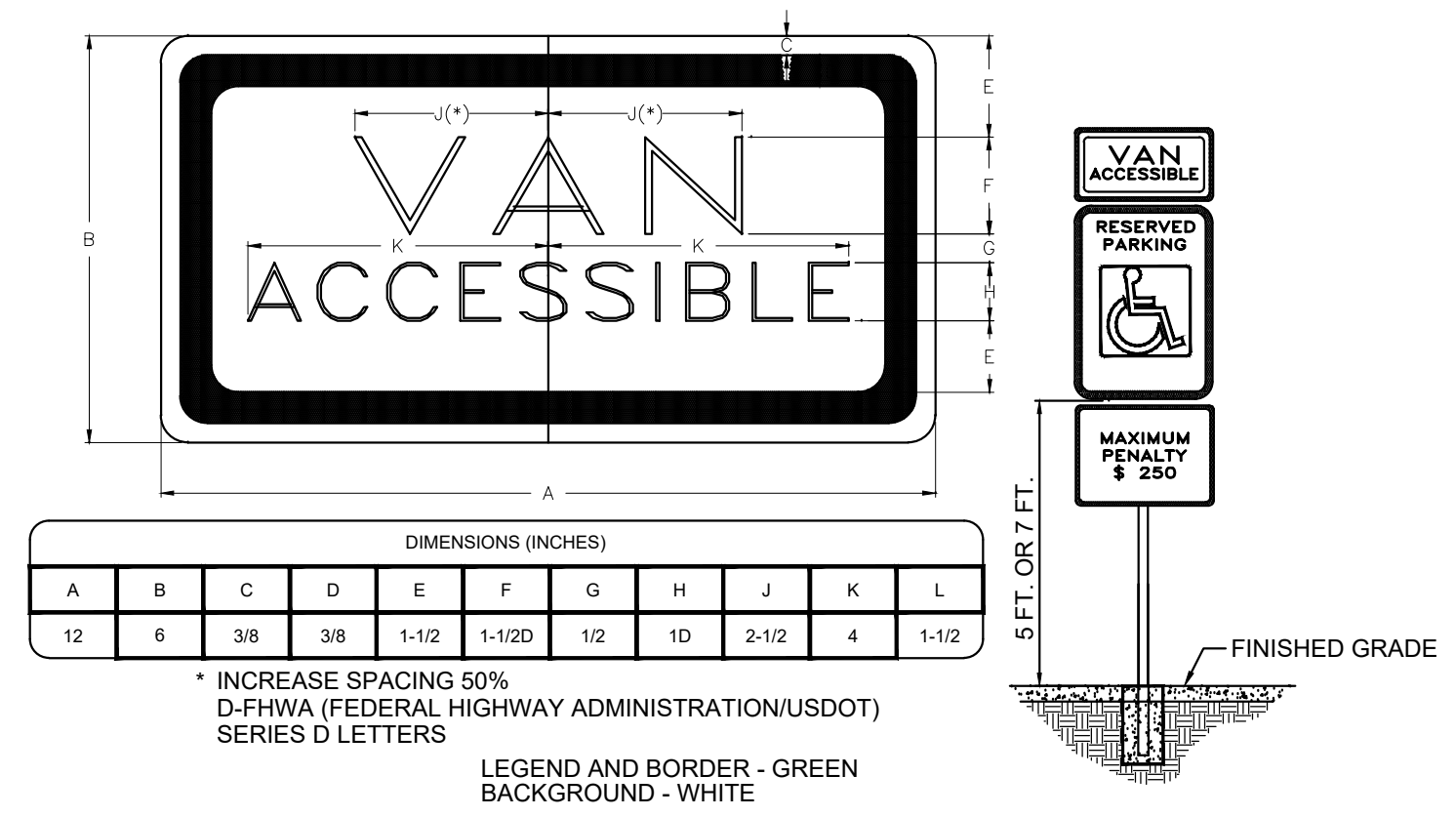
**E4 DOOR JAMB DETAIL**  
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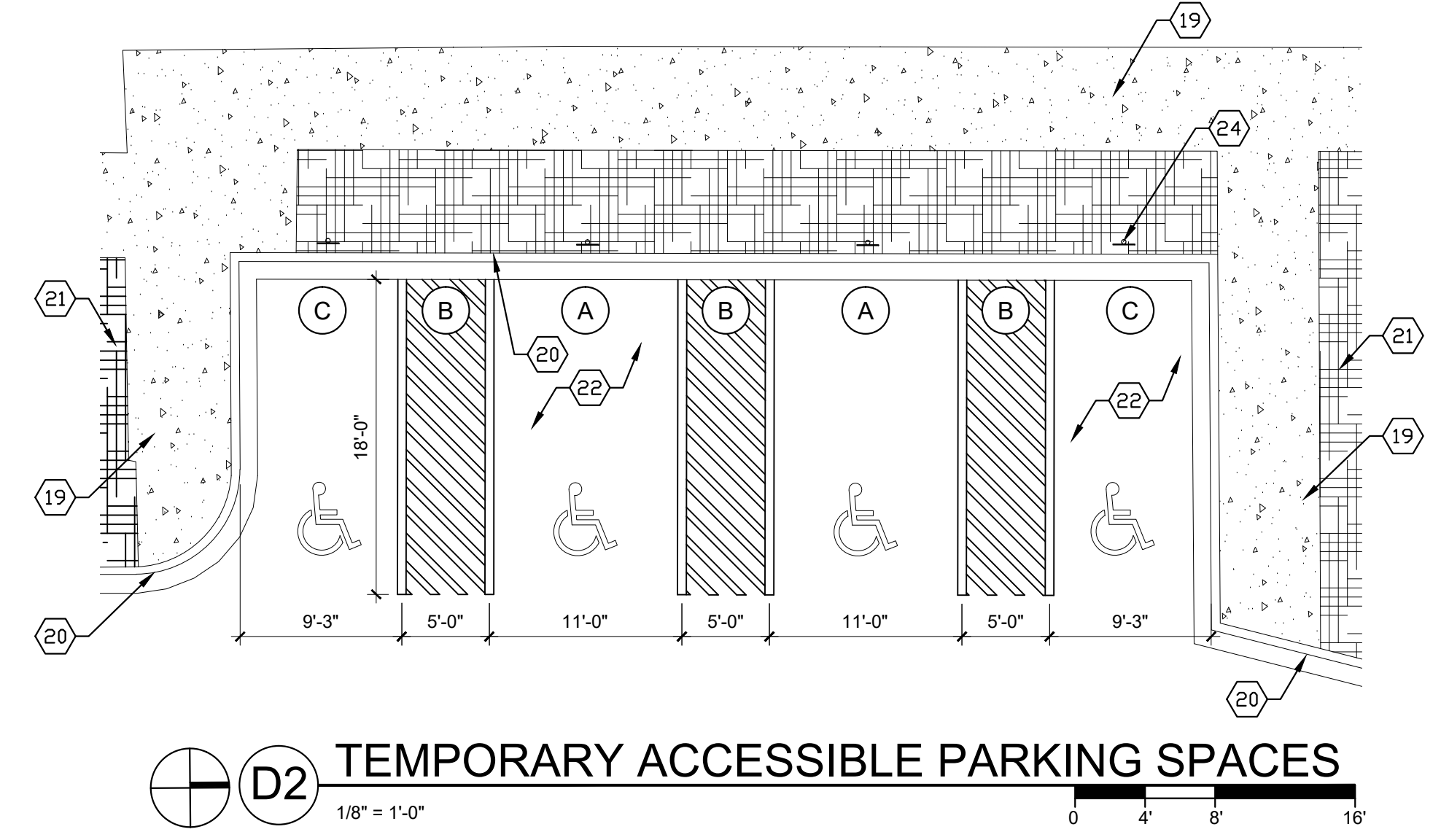
**D6 DETAIL @ EXTERIOR DOOR SILL**  
NOT TO SCALE



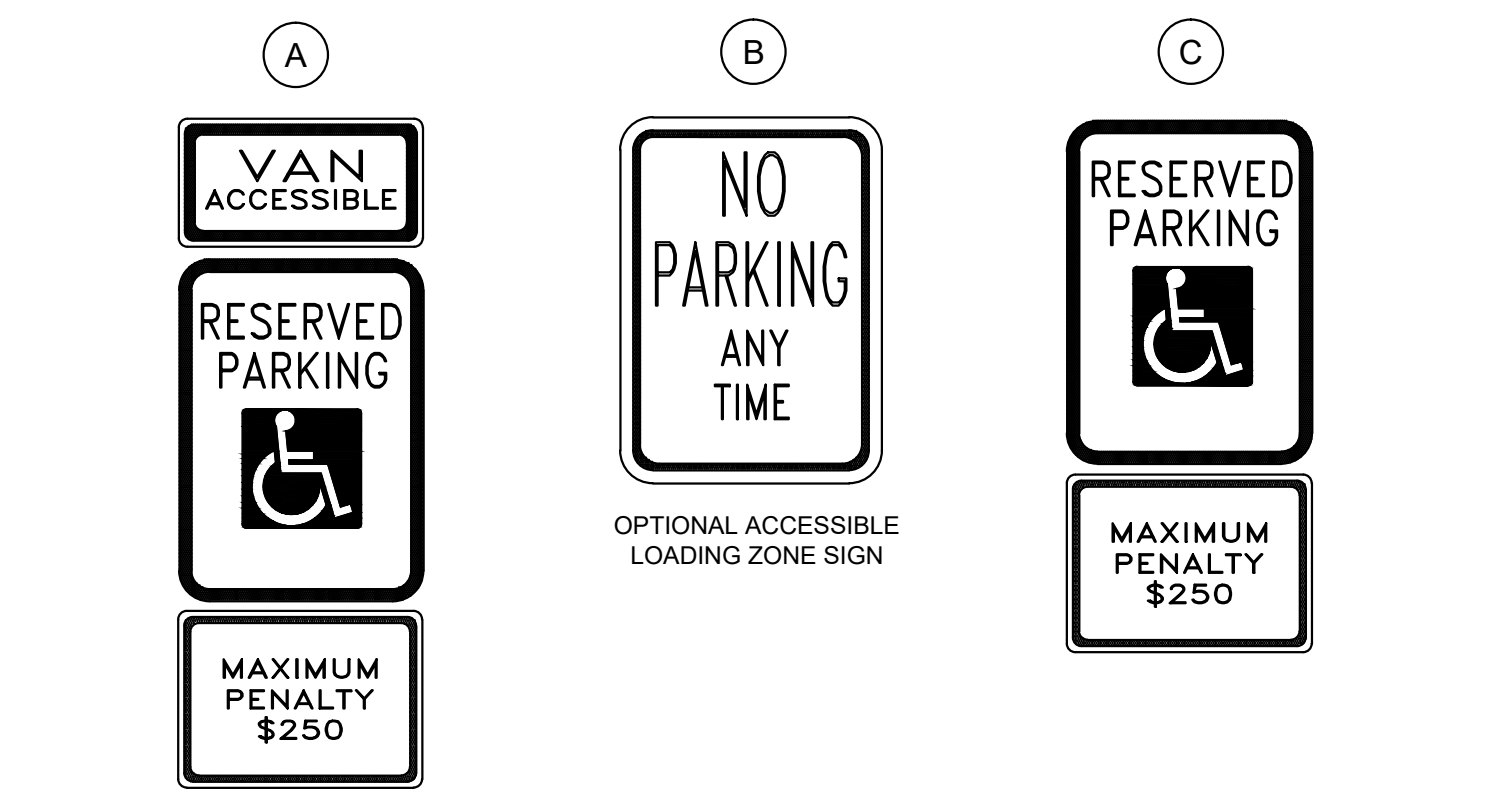
**D4 PLAN DETAIL @ NEW INFILL WALL**  
NOT TO SCALE



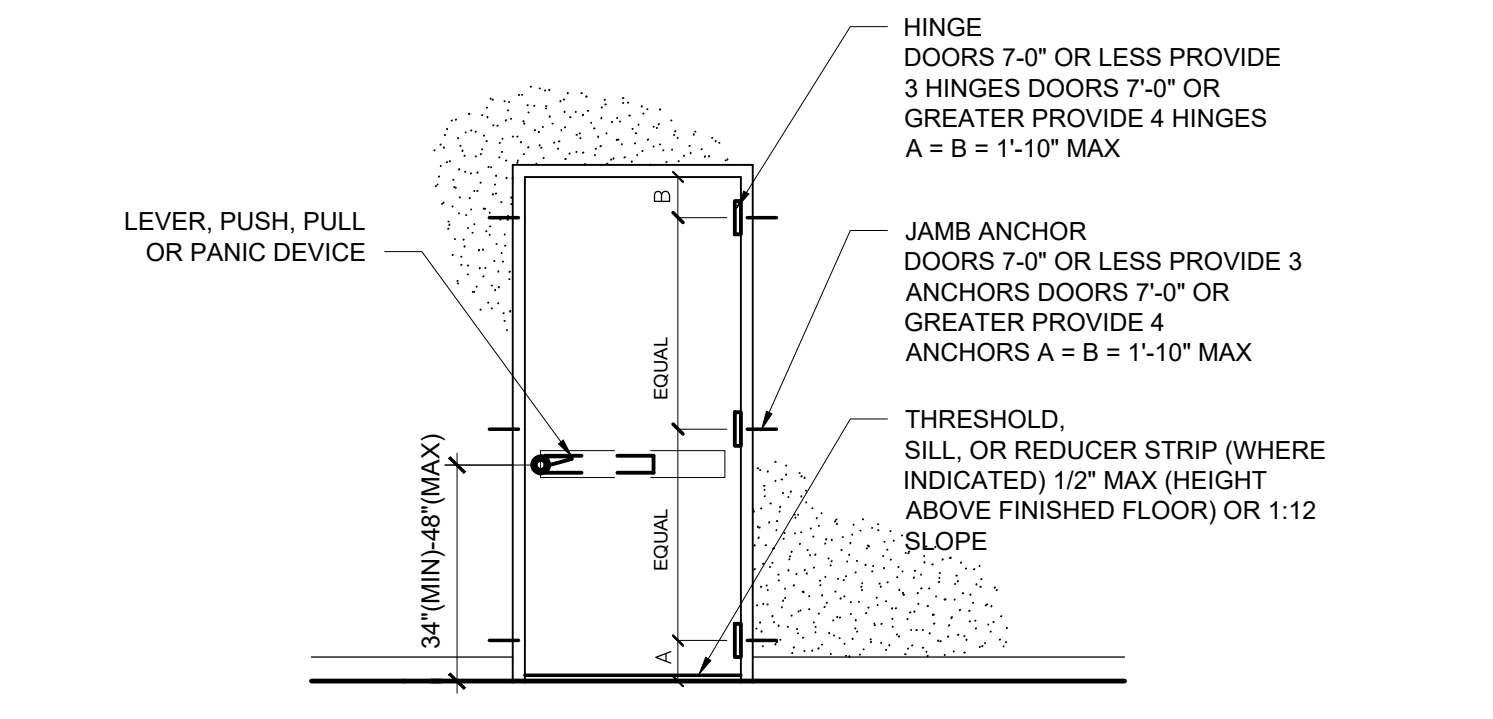
**E2 VAN ACCESSIBLE PARKING SIGNAGE**  
NTS



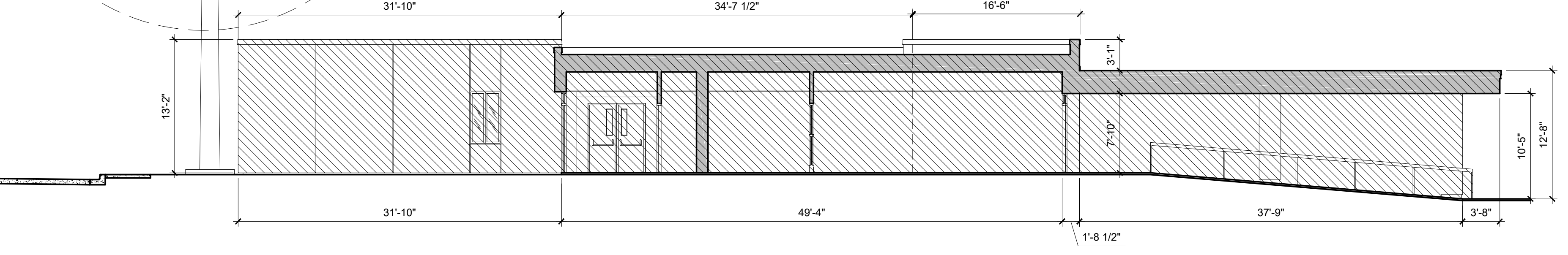
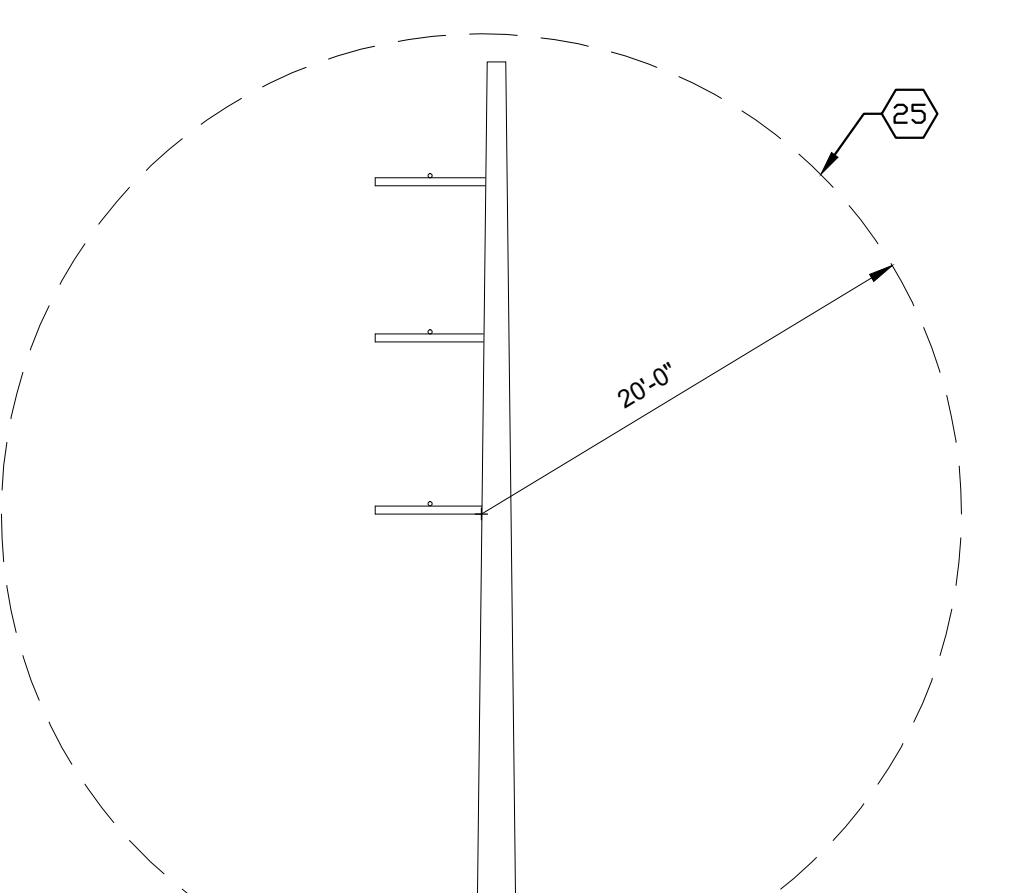
**D2 TEMPORARY ACCESSIBLE PARKING SPACES**  
1/8\"/>



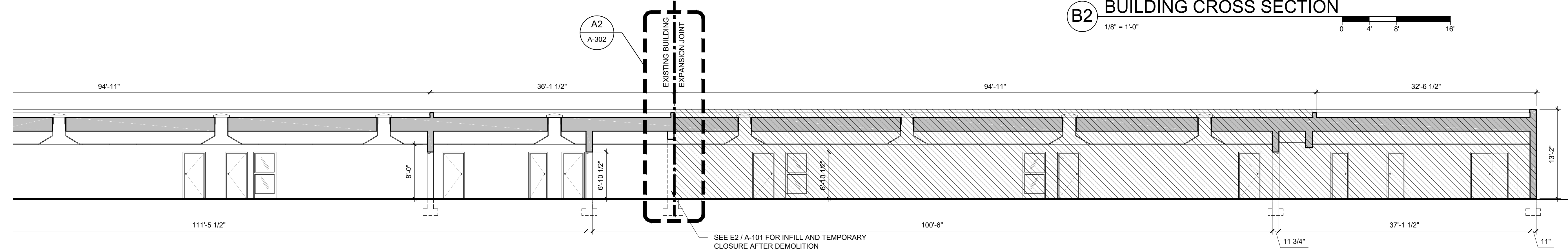
**C2 ACCESSIBLE PARKING SIGNS**  
NTS



**C6 HARDWARE MOUNTING HEIGHTS DETAIL (TYPICAL AT NEW DOOR)**  
NOT TO SCALE



**B2 BUILDING CROSS SECTION**  
1/8\"/>



**A2 PARTIAL BUILDING SECTION**  
1/8\"/>

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6. STUCCO FINISH ON NEW INFILL WALL. SEE WALL SECTION A6/A-302
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11. EXISTING REINFORCED CONCRETE BEAM
12. SEALANT JOINT AT NEW INFILL PANEL
13. NEW ALUMINUM COPING
14. EXISTING LIGHT - WEIGHT CONCRETE WITH GYPSUM BOARD FORM ROOF DECK
15. EXISTING BULB TEE SPACED AT 32" OC
16. EXISTING BAR JOIST
17. NEW WALL MOUNTED EMERGENCY EGRESS LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
18. EXISTING FOOTING TO BE LEFT IN PLACE FOR DEMOLITION IN FUTURE PHASE
19. EXISTING CONCRETE SIDEWALK
20. EXISTING CONCRETE CURB AND GUTTER
21. EXISTING PLANTING BED
22. NEW ASPHALT SEAL COAT TO COVER EXISTING PARKING STRIPING / MARKINGS
23. NEW 4" CONCRETE SIDEWALK OVER COMPACTED GRAVEL BASE
24. NEW POST MOUNTED SIGN AT EACH PARKING SPACE. SEE DETAIL C2/A-301 FOR TYPES
25. 20'-0" RADIAL SETBACK FROM CLOSEST EXISTING 115 KV POWER LINES. NOTHING IS PERMITTED WITHIN THIS SETBACK. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THIS SETBACK WITH SCE&G PRIOR TO BEGINNING WORK
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29. SEE AS-101 AND A-301 FOR NEW ACCESSIBLE PARKING SPACES AND ACCESSIBLE ROUTES
30. NEW PREFABRICATED/PREFINISHED ALUMINUM COPING TO MATCH EXISTING
31. 5/8" PLYWOOD SHEATHING
32. NEW PARAPET ROOFING MEMBRANE TO OVERLAP EXISTING ROOF MEMBRANE
33. WOOD FRAMED PARAPET TO MATCH EXISTING. VERIFY EXISTING CONDITIONS
34. 5/8" EXTERIOR GRADE PLYWOOD SHEATHING WITH 1/8" GAP BETWEEN SHEETS AT ALL HORIZONTAL AND VERTICAL JOINTS
35. SELF FURRING METAL LATH
36. THREE-COAT STUCCO
  - 1- 1/4" SCRATCH COAT W/ METAL LATH EMBEDDED
  - 2- 1/2" BASE COAT
  - 3- FINISH COAT TO MATCH EXISTING WALL COLOR
37. 16 GAUGE ALUMINUM DRIP EDGE
38. HOLLOW METAL DOOR FRAME
39. CONTROL JOINT WITH SILICON SEALANT
40. 5/8" GYPSUM WALL BOARD WITH A LEVEL 4 FINISH
41. 6" 18 GAUGE METAL STUDS @ 16" O.C. W/ R-21 BATT INSULATION
42. CONTINUOUS BEAD OF SILICON SEALANT
43. 2 LAYERS OF 30lb FELT MIN. LAP OVER DRIP EDGE
44. ALUMINUM DRIP EDGE SCREED
45. SEALANT W/ BACKER ROD
46. COMPRESSIBLE FILLER
47. LIQUID APPLIED WATERPROOFING MEMBRANE TO EXTEND UP WALL A MIN. OF 6" ABOVE GRADE

**LEGEND:**

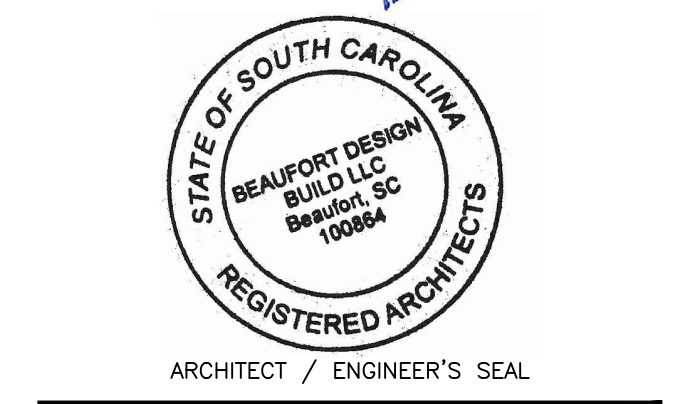
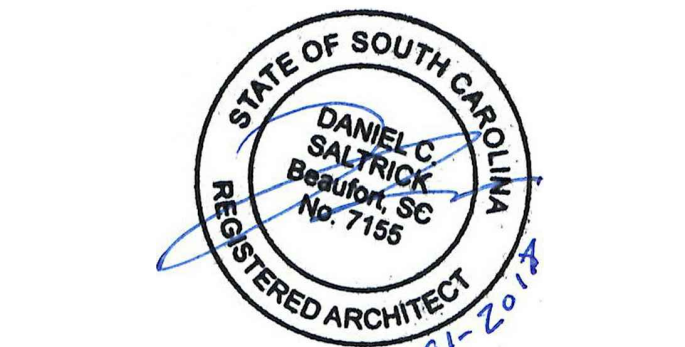
- AREA OF EXISTING BUILDING TO BE REMOVED IN ITS ENTIRETY
- EXISTING BUILDING EXPANSION JOINT
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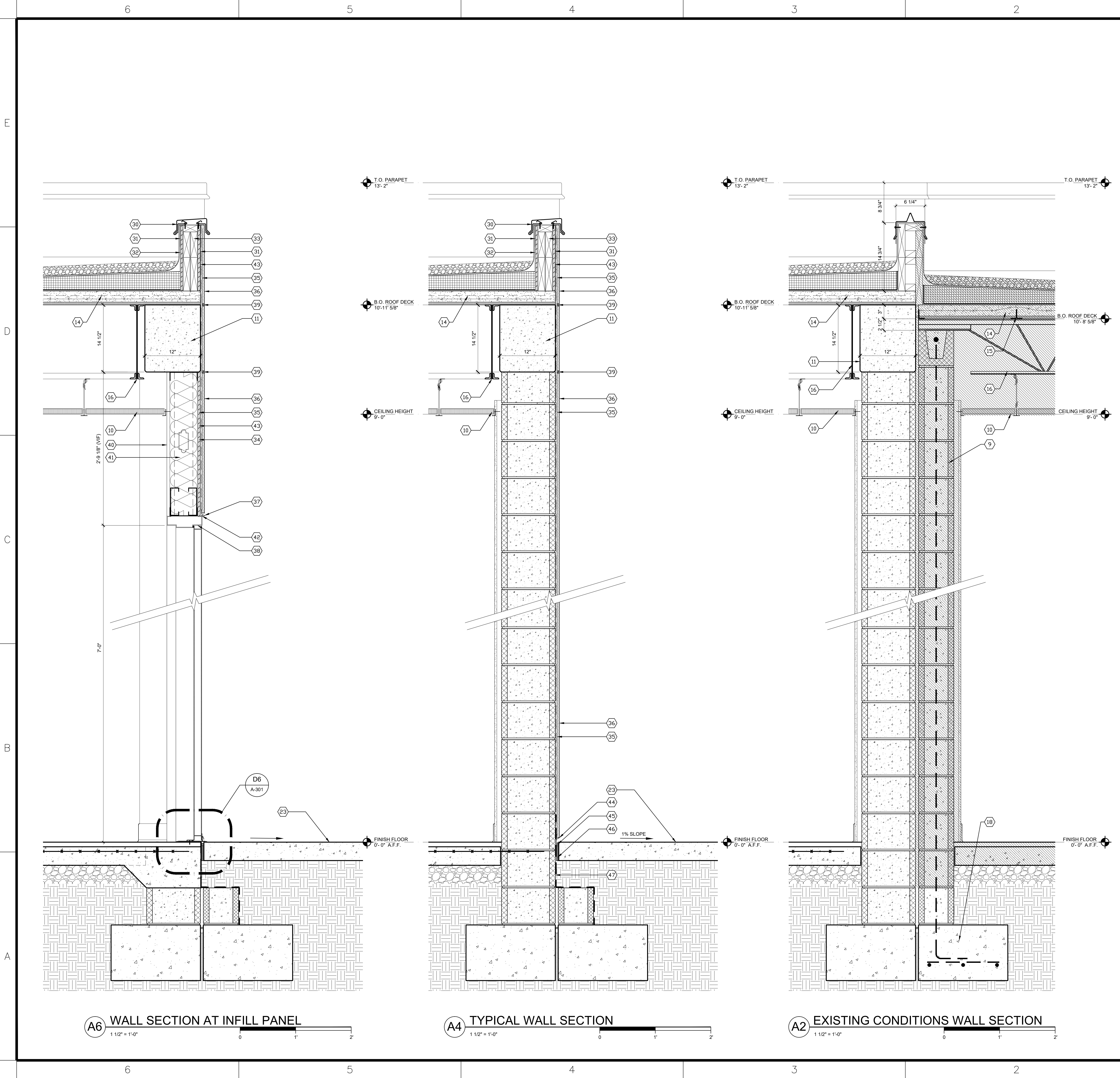
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**SECTIONS  
AND DETAILS**

**A-301**



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2. EXISTING BUILDING EXPANSION JOINT
3. EXISTING EXPANSION JOINT COVER IN FLOOR
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6. STUCCO FINISH ON NEW INFILL WALL. SEE WALL SECTION A6/A-302
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39. CONTROL JOINT WITH SILICON SEALANT
40. 5/8" GYPSUM WALL BOARD WITH A LEVEL 4 FINISH
41. 6" 18 GAUGE METAL STUDS @ 16" O.C. W/ R-21 BATT INSULATION
42. CONTINUOUS BEAD OF SILICON SEALANT
43. 2 LAYERS OF 30lb FELT MIN. LAP OVER DRIP EDGE
44. ALUMINUM DRIP EDGE SCREED
45. SEALANT W/ BACKER ROD
46. COMPRESSIBLE FILLER
47. LIQUID APPLIED WATERPROOFING MEMBRANE TO EXTEND UP WALL A MIN. OF 6" ABOVE GRADE

**LEGEND:**

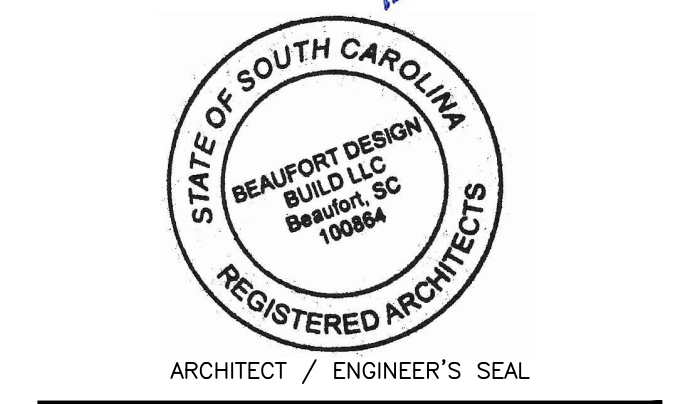
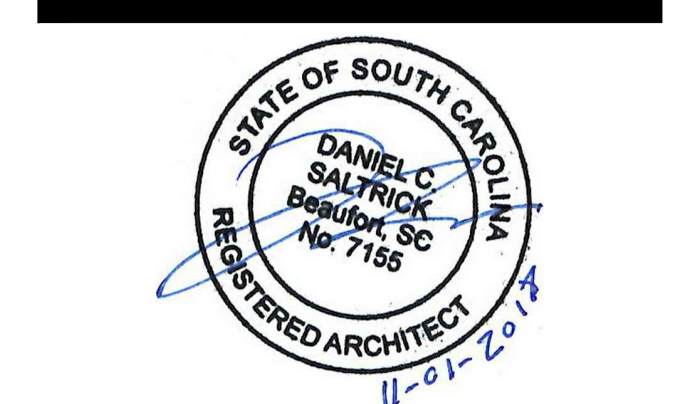
- AREA OF EXISTING BUILDING TO BE REMOVED IN ITS ENTIRETY
- EXISTING BUILDING EXPANSION JOINT
- NEW STUCCO FINISH ON NORTH WALL (ONLY)

**BEAUFORT**  
2 Fire Station Lane  
Seabrook, SC 29940

**CHARLOTTE**  
7315 Swansea Lane  
Cornelius, NC 28031

(843) 466-3664  
info@beaufortdesignbuild.com  
www.beaufortdesignbuild.com

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**BEAUFORT COUNTY  
A. HORNE BUILDING  
PARTIAL DEMOLITION**

104 RIBAUT ROAD  
BEAUFORT, SC 29902

**FOR  
CONSTRUCTION**

DATE	REVISIONS / SUBMISSIONS
11-01-2018	S1 RELEASED FOR BID AND PERMIT REVIEW

SHEET INFORMATION	
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CHECKED	DCS
APPROVED	DCS

**TYPICAL  
WALL SECTIONS**

**A-302**

E  
D  
C  
B  
A



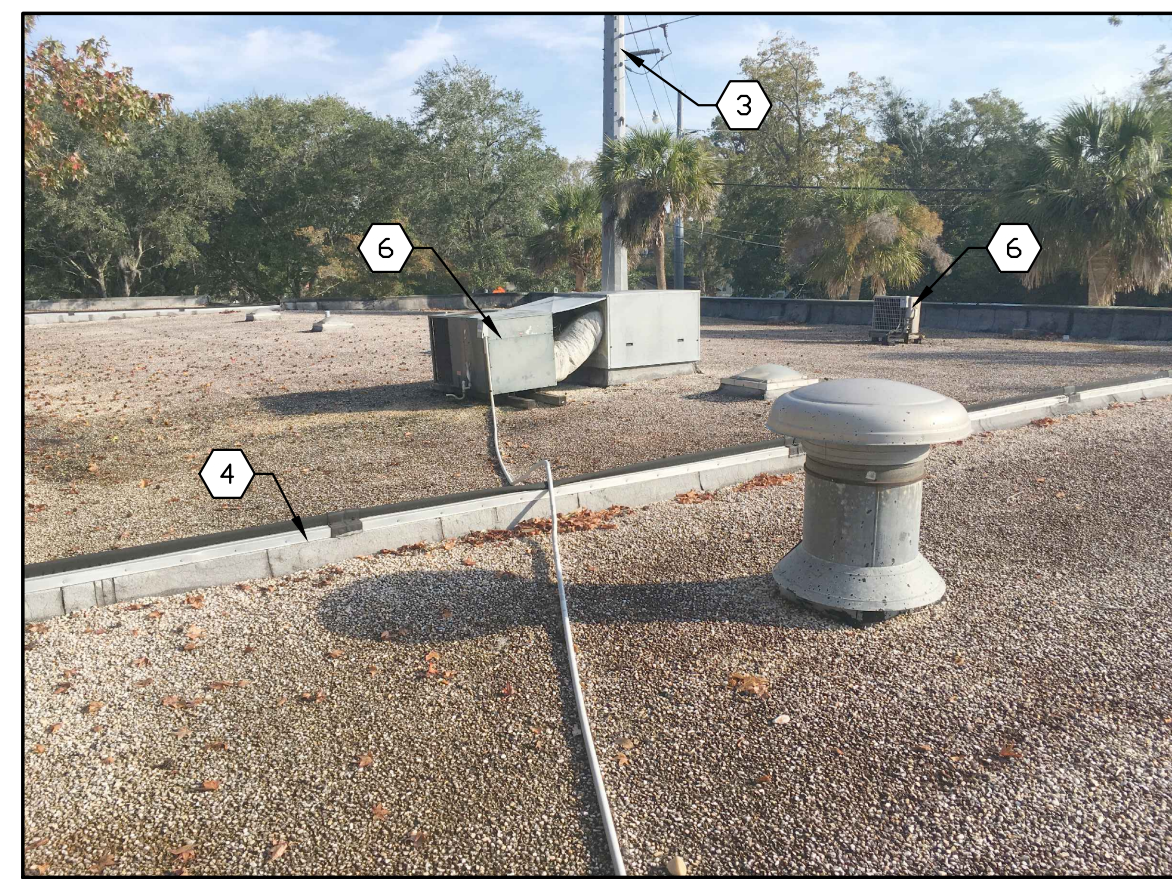
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NOT TO SCALE



**E2** EXIST. CONDITIONS PHOTO  
NOT TO SCALE



**E1** EXIST. CONDITIONS PHOTO  
NOT TO SCALE



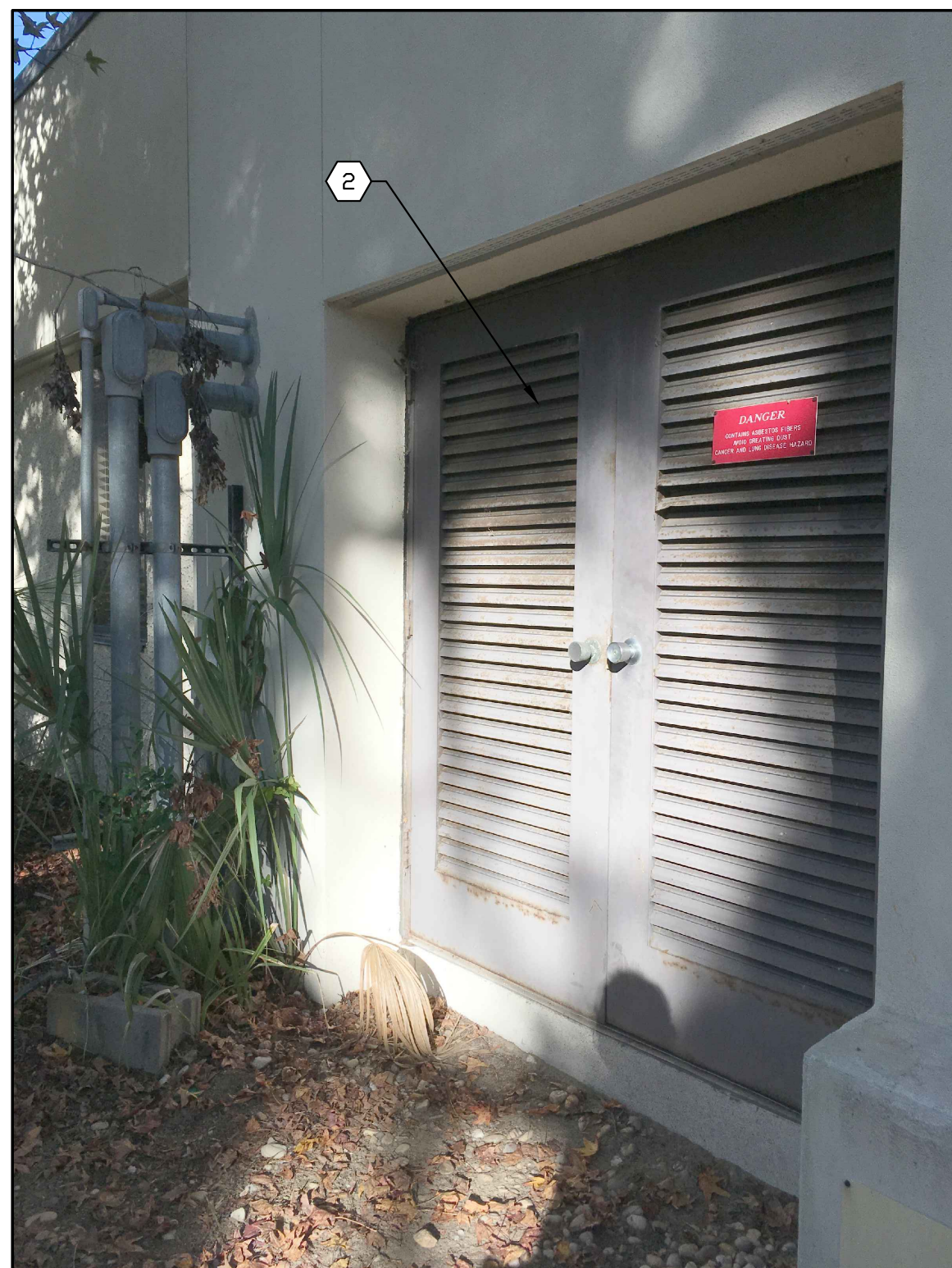
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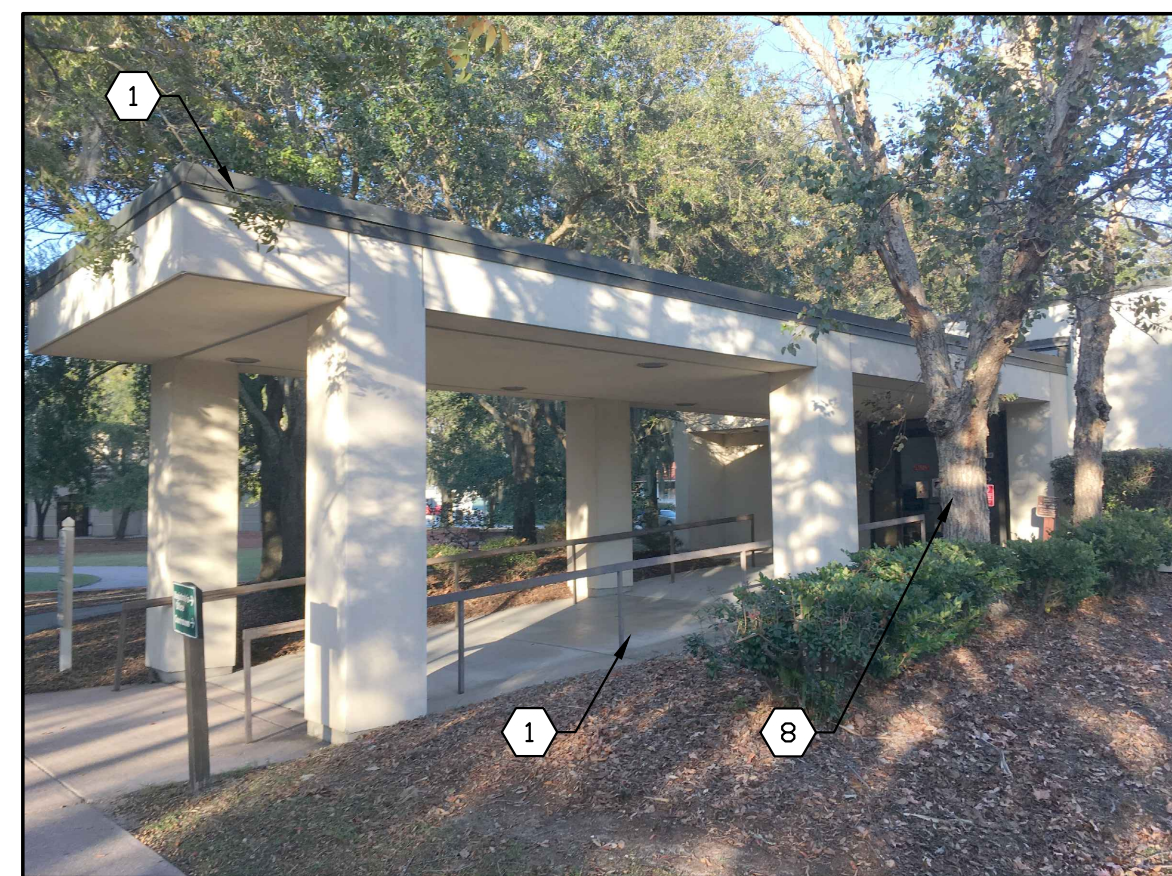
**D2** EXIST. CONDITIONS PHOTO  
NOT TO SCALE



**B6** EXIST. CONDITIONS PHOTO  
NOT TO SCALE



**B5** EXIST. CONDITIONS PHOTO  
NOT TO SCALE



**C4** EXIST. CONDITIONS PHOTO  
NOT TO SCALE



**C2** EXIST. CONDITIONS PHOTO  
NOT TO SCALE



**A6** EXIST. CONDITIONS PHOTO  
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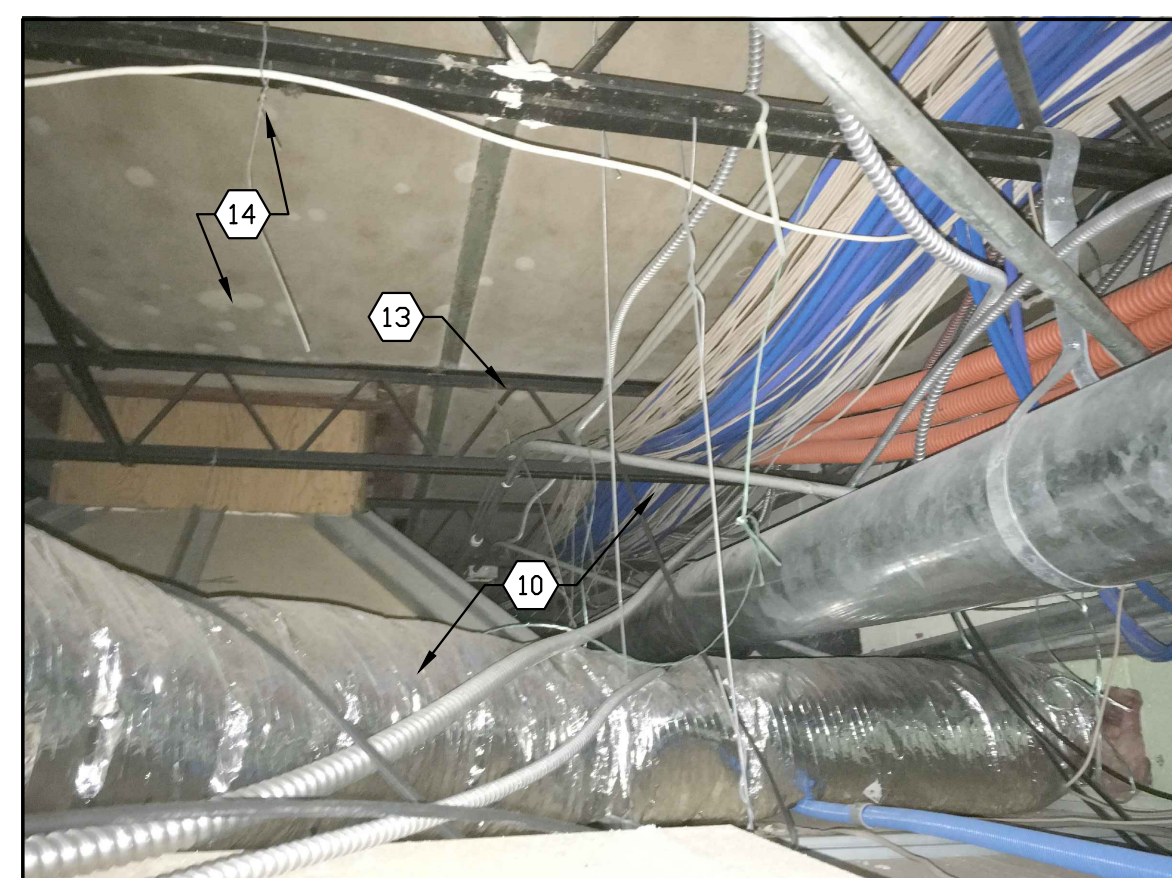
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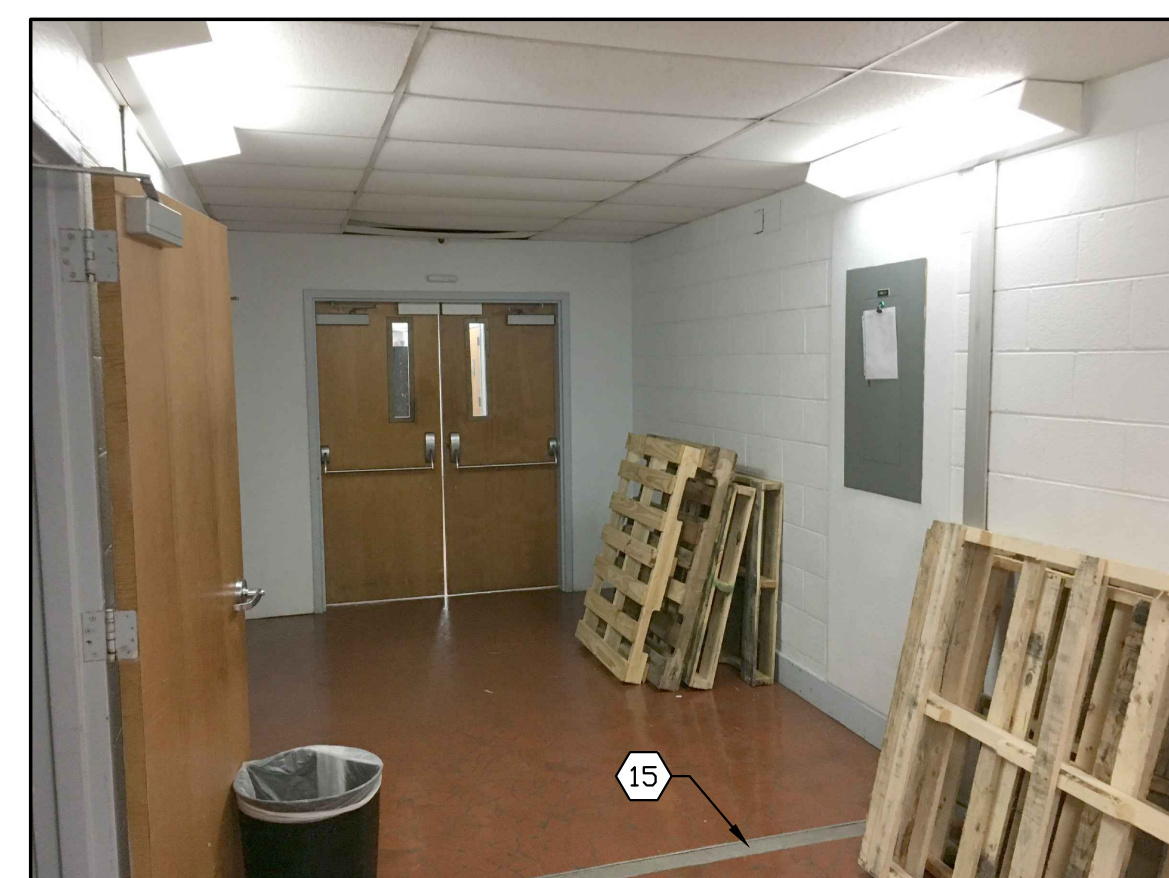
**B4** EXIST. CONDITIONS PHOTO  
NOT TO SCALE



**B2** EXIST. CONDITIONS PHOTO  
NOT TO SCALE



**A4** EXIST. CONDITIONS PHOTO  
NOT TO SCALE



**A2** EXIST. CONDITIONS PHOTO  
NOT TO SCALE

**GENERAL NOTES:**

- A. PHOTOGRAPHS ARE PROVIDED FOR REFERENCE ONLY. CONTRACTOR IS TO FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS
- B. THE OWNER HAS OBTAINED AN ASBESTOS TEST REPORT INDICATING THAT THERE ARE NO ASBESTOS CONTAINING MATERIALS. IT SHOULD BE NOTED THAT MATERIALS LOCATED IN CONCEALED CONDITIONS WERE NOT TESTED. IF MATERIALS SUSPECTED OF CONTAINING ASBESTOS ARE ENCOUNTERED, THE CONTRACTOR SHALL IMMEDIATELY STOP DEMOLITION WORK AND NOTIFY THE ARCHITECT. SEE G-104 FOR TEST RESULTS
- C. ALL DEMOLISHED MATERIALS ARE THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS

**SHEET KEY NOTES:** (X)

- 1. EXISTING CANOPIES, WALKWAYS, RAILINGS AND SIDEWALKS ON THE NORTH END OF THE EXISTING BUILDING ARE TO BE DEMOLISHED IN THEIR ENTIRETY
- 2. ACCESS TO EXISTING MECHANICAL ROOM - SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR WORK ON EXISTING EQUIPMENT AND DISTRIBUTION SYSTEMS. COORDINATE SHUTDOWN OF EXISTING BOILER AND CHILLER TO OCCUR AFTER HOURS (AT NIGHT OR OVER A WEEKEND)
- 3. SEE AS-101 AND A-201 FOR ADDITIONAL INFORMATION ON EXISTING 115KV OVERHEAD POWER LINES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH SCE&G TO ESTABLISH SETBACKS FOR PERSONNEL, EQUIPMENT, VEHICLES, ETC.
- 4. REMOVE EXISTING COPING AT EXISTING BUILDING EXPANSION JOINT. SEE A-302 FOR TYPICAL SECTIONS AND DETAILS
- 5. EXISTING ROOF IS NOT UNDER WARRANTY. TIE-IN EXISTING ROOF AT NEW PARAPET WITH LIKE MATERIALS AND METHODS
- 6. ALL ROOFTOP EQUIPMENT AT THE PORTION OF THE EXISTING BUILDING BEING DEMOLISHED IS TO BE REMOVED AND DISPOSED OF
- 7. CONTRACTOR SHALL TAKE CARE DURING DEMOLITION TO NOT DAMAGE EXISTING POWER POLES, BASES OR OVERHEAD LINES
- 8. SEE CIVIL DRAWINGS FOR PROTECTION OF EXISTING TREES AND LANDSCAPING
- 9. MAINTAIN EXISTING WOOD FRAMING AND BLOCKING AT EXISTING PARAPET. SEE WALL SECTIONS ON SHEET A-302 FOR ADDITIONAL INFORMATION AND DETAILS
- 10. SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR DEMOLITION OF EXISTING DUCTWORK, PIPING AND CONDUIT
- 11. EXISTING CONCRETE BEAM TO REMAIN
- 12. EXISTING STEEL BAR JOIST TO REMAIN
- 13. EXISTING STEEL BAR JOIST TO BE REMOVED
- 14. EXISTING LIGHT-WEIGHT CONCRETE / GYPSUM BOARD FORM ROOF DECK TO BE REMOVED
- 15. EXISTING BUILDING EXPANSION JOINT COVER IN CORRIDOR TO BE REMOVED

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Seabrook, SC 29940

**CHARLOTTE**  
7315 Swansea Lane  
Cornelius, NC 28031

(843) 466-8664  
info@beaufortdesignbuild.com  
www.beaufortdesignbuild.com

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EXISTING  
CONDITIONS  
PHOTOGRAPHS

**A-901**

6 5 4 3 2 1

6 5 4 3 2 1

E

D

C

B

A

**MECHANICAL DEMOLITION NOTES**

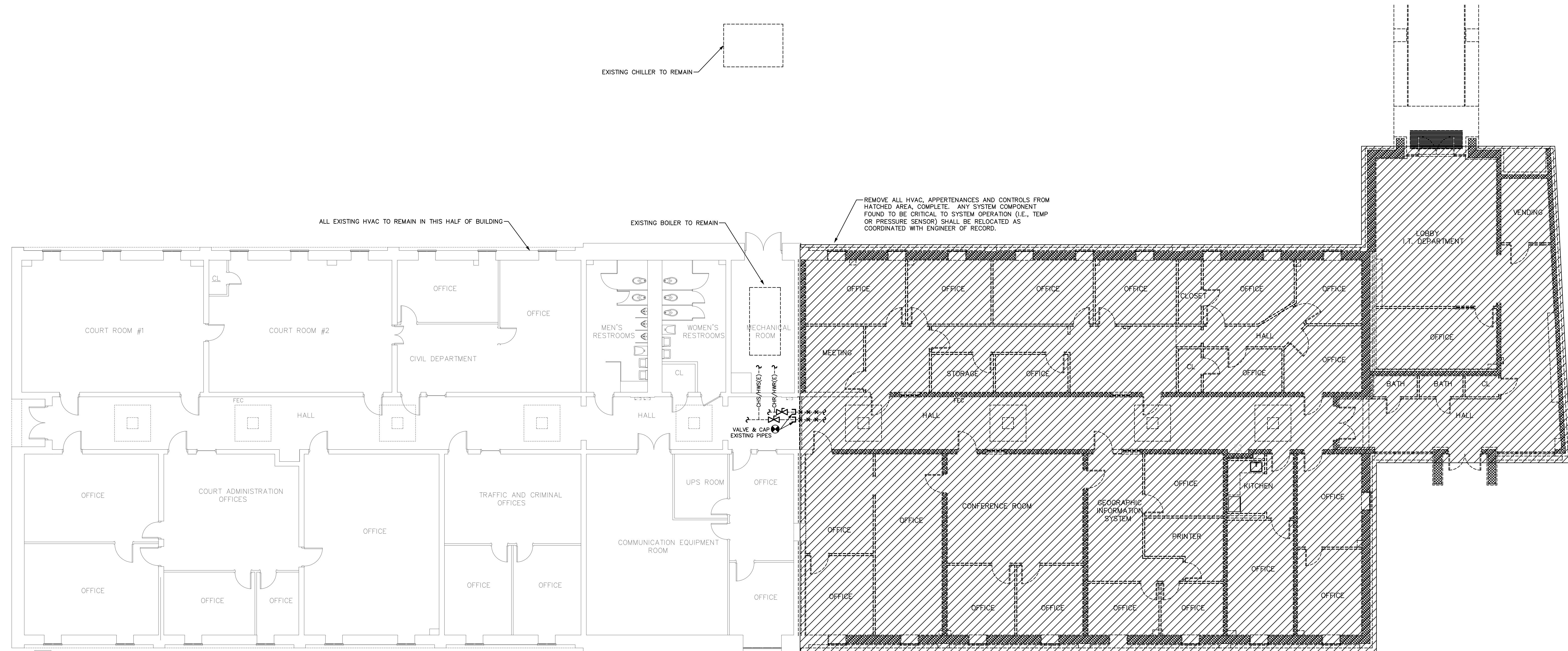
1. THE MECHANICAL CONTRACTOR SHALL VISIT SITE PRIOR TO BEGINNING WORK TO DETERMINE THE LEVEL OF DEMOLITION REQUIRED AND INCLUDE ALL NECESSARY PRICING IN THEIR BID.
2. IT IS THE MECHANICAL CONTRACTORS RESPONSIBILITY TO FIELD VERIFY ALL EXISTING DUCTWORK AND PIPING. ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND MECHANICAL PLANS SHOULD BE BROUGHT TO THE ATTENTION OF THE MECHANICAL ENGINEER.
3. EXISTING CHILLER AND BOILER SHALL BE INSPECTED FOR PROPER OPERATION OR DAMAGE. INOPERABLE OR IMPROPERLY OPERATING EQUIPMENT SHALL BE BROUGHT TO THE OWNER'S ATTENTION. EQUIPMENT, PIPING OR INSULATION DAMAGED DURING DEMOLITION OR CONSTRUCTION ACTIVITIES SHALL BE REPAIRED.
4. EXISTING SYSTEMS SHALL BE: (1) DISCONNECTED FROM THE PORTION OF THE BUILDING WHICH WILL BE DEMOLISHED, (2) MADE FUNCTIONAL AND OPERATIONAL FOR THE PORTION OF THE BUILDING WHICH WILL REMAIN, (3) BE TESTED AND (4) BE ACCEPTED BY THE OWNER BEFORE WHOLESALE BUILDING DEMOLITION BEGINS.
5. THE OWNER HAS OBTAINED AN ASBESTOS REPORT FOR THE EXISTING BUILDING AND NO ASBESTOS CONTAINING MATERIALS WERE IDENTIFIED. SEE ARCHITECTURAL SHEET G-104 FOR ADDITIONAL INFORMATION.
6. THE PORTION OF THE EXISTING BUILDING WHICH WILL NOT BE DEMOLISHED, WILL REMAIN OCCUPIED AND FULLY OPERATIONAL THROUGHOUT THE PROJECT.
7. SEE ARCHITECTURAL DRAWING G-101 FOR GENERAL REQUIREMENTS AND GENERAL NOTES APPLICABLE TO ALL TRADES.
8. ANY WORK WHICH WILL REQUIRE TAKING THE BUILDING HVAC SYSTEM OFF-LINE SHALL BE SCHEDULED AND PERFORMED BETWEEN FRIDAY AT 6 PM AND MONDAY AT 6 AM. ANY SUCH WORK SHALL BE COORDINATED IN ADVANCE WITH THE OWNER.

**MECHANICAL GENERAL NOTES**

1. DO NOT SCALE DRAWINGS. SEE ARCHITECTURAL DRAWINGS AND REFLECTED CEILING PLANS FOR EXACT LOCATION OF DOORS, WINDOWS, ETC.
2. ALL COST ASSOCIATED WITH SUBSTITUTED EQUIPMENT TO COMPLY WITH BASIS OF DESIGN, INCLUDING PROVIDING MAINTENANCE ACCESS, CLEARANCE, PIPING, SHEET METAL, ELECTRICAL, REPLACEMENT OF OTHER SYSTEM COMPONENTS, BUILDING ALTERATIONS, ETC., SHALL BE INCLUDED IN THE ORIGINAL BASE BID. NO ADDITIONAL COST ASSOCIATED WITH SUBSTITUTED EQUIPMENT WILL BE APPROVED DURING CONSTRUCTION AND ALL COST WILL BE THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR. THIS INCLUDES ANY MODIFICATIONS TO ANY ASSOCIATED MECHANICAL, PLUMBING, OR ELECTRICAL SYSTEMS REQUIRED BY THIS SPECIFIC MANUFACTURER'S INSTALLATION INSTRUCTIONS.
3. ALL PIPING AND DUCTWORK LOCATIONS SHALL BE COORDINATED WITH THE WORK UNDER OTHER DIVISIONS OF THE SPECIFICATIONS, TO AVOID INTERFERENCE.
4. PROVIDE A ONE YEAR WARRANTY FOR ALL WORK PERFORMED BEGINNING ON THE DAY THE SYSTEM IS COMPLETELY OPERATIONAL AND ACCEPTABLE BY THE OWNER.
5. ALL CHILLED WATER & HOT WATER PIPING (2-PIPE CHANGEOVER SYSTEM) 2" AND LESS SHALL BE SCHEDULE 40 BLACK STEEL OR HARD-DRAWN TYPE-L COPPER PIPE AND FITTINGS. ALL CHILLED WATER, HOT WATER PIPING AND CONDENSER WATER PIPING GREATER THAN 2" SHALL BE (WELDED) SCHEDULE 40 BLACK STEEL. PROVIDE BRONZE VALVES AND FITTINGS WITH COPPER PIPING AND CAST IRON VALVES AND FITTINGS WITH SCHEDULE 40 BLACK STEEL.
6. 2-PIPE CHANGEOVER SYSTEM PIPING SHALL BE INSULATED WITH 1 1/2" THICK PHENOLIC CLOSED CELL, ASTM C1126 RIGID FOAM, 2.2 LBS. NOMINAL DENSITY, 0°C FRIE; ASTM C518; K-VALUE OF 0.13 AT 75° F. HOT WATER PIPING (1 1/2" AND SMALLER) AND CONDENSER WATER PIPING SHALL BE INSULATED WITH 1 1/2" THICK FIBERGLASS INSULATION. ALL FITTINGS SHALL HAVE PVC FITTING COVERS. ALL PIPING OUTSIDE SHALL HAVE A BITUMINOUS COATING ALUMINUM JACKET AND PVC FITTING COVERS.
7. ALL 2-PIPE CHANGEOVER SYSTEM PIPING SHALL PITCH DOWN IN DIRECTION OF FLOW WITH MANUAL AIR VENTS AT ALL HIGH POINTS AND 1/2" DRAIN VALVES AT ALL LOW POINTS.
8. PROVIDE UNIONS, FLANGES OR COUPLINGS AT CONNECTION TO ALL VALVES AND EQUIPMENT. DO NOT USE DIRECT WELDED OR THREADED CONNECTIONS TO VALVES, EQUIPMENT OR OTHER APPARATUS.
9. PROVIDE NON-CONDUCTING DIELECTRIC UNIONS WHENEVER CONNECTING DISSIMILAR METALS.
10. ALL ISOLATION VALVES, TERMINAL UNITS, CONTROLS, ETC. REQUIRING ACCESS AND SERVICE SHALL BE INSTALLED WITHIN 18" OF THE CEILING FOR SERVICE ACCESSIBILITY. LOCATIONS SHALL BE INDICATED ON THE CEILING GRID PER THE SPECIFICATIONS.
11. EQUIPMENT OPERATED DURING CONSTRUCTION SHALL USE FILTERED MEDIA TO PREVENT CONSTRUCTION DEBRIS FROM ENTERING COILS, DUCTWORK SYSTEMS, AIR TERMINALS ETC. AT COMPLETION OF CONSTRUCTION, MECHANICAL CONTRACTOR SHALL CLEAN ALL SYSTEMS WITH ALL CONTROL DEVICES WIDE OPEN AND REMOVE ANY REMAINING DEBRIS. MECHANICAL CONTRACTOR SHALL REPLACE ALL FILTRATION WITH NEW FILTERS AT COMPLETION OF CONSTRUCTION. ANY DUCTWORK, AIR TERMINALS, AND/OR OTHER EQUIPMENT UPSTREAM OF FILTRATION SHALL BE CLEANED THOROUGHLY OF CONSTRUCTION DEBRIS BEFORE HANDING OVER TO OWNER.

**MECHANICAL LEGEND**

SYMBOL	DESCRIPTION	ABBR.
— CHS —	CHILLED WATER SUPPLY	CHS
— CHR —	CHILLED WATER RETURN	CHR
— HWS —	HOT WATER SUPPLY	HWS
— HWR —	HOT WATER RETURN	HWR
-X-X-X-	EXISTING PIPING TO BE REMOVED	
⊕	POINT OF NEW TO EXISTING CONNECTION	
⊕	3-PIECE BALL VALVE	



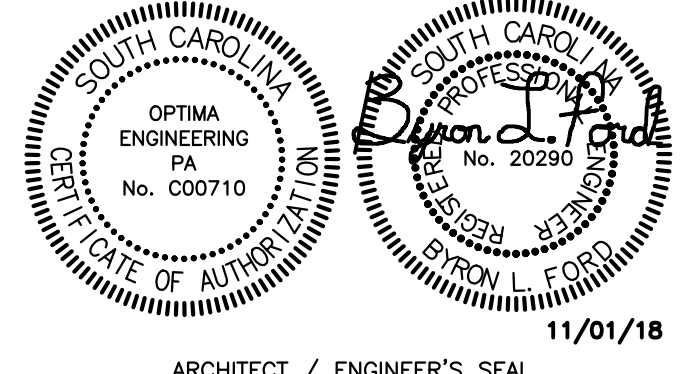
**1 FLOOR PLAN - MECHANICAL**  
1/8" = 1'-0"

**BEAUFORT**  
73 Sea Island Parkway, S. 30  
Beaufort, SC 29907

**CHARLOTTE**  
7315 Swansea Lane  
Cornelius, NC 28031

(843) 321-8277  
info@beaufortdesignbuild.com  
www.beaufortdesignbuild.com

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ARCHITECT / ENGINEER'S SEAL 11/01/18



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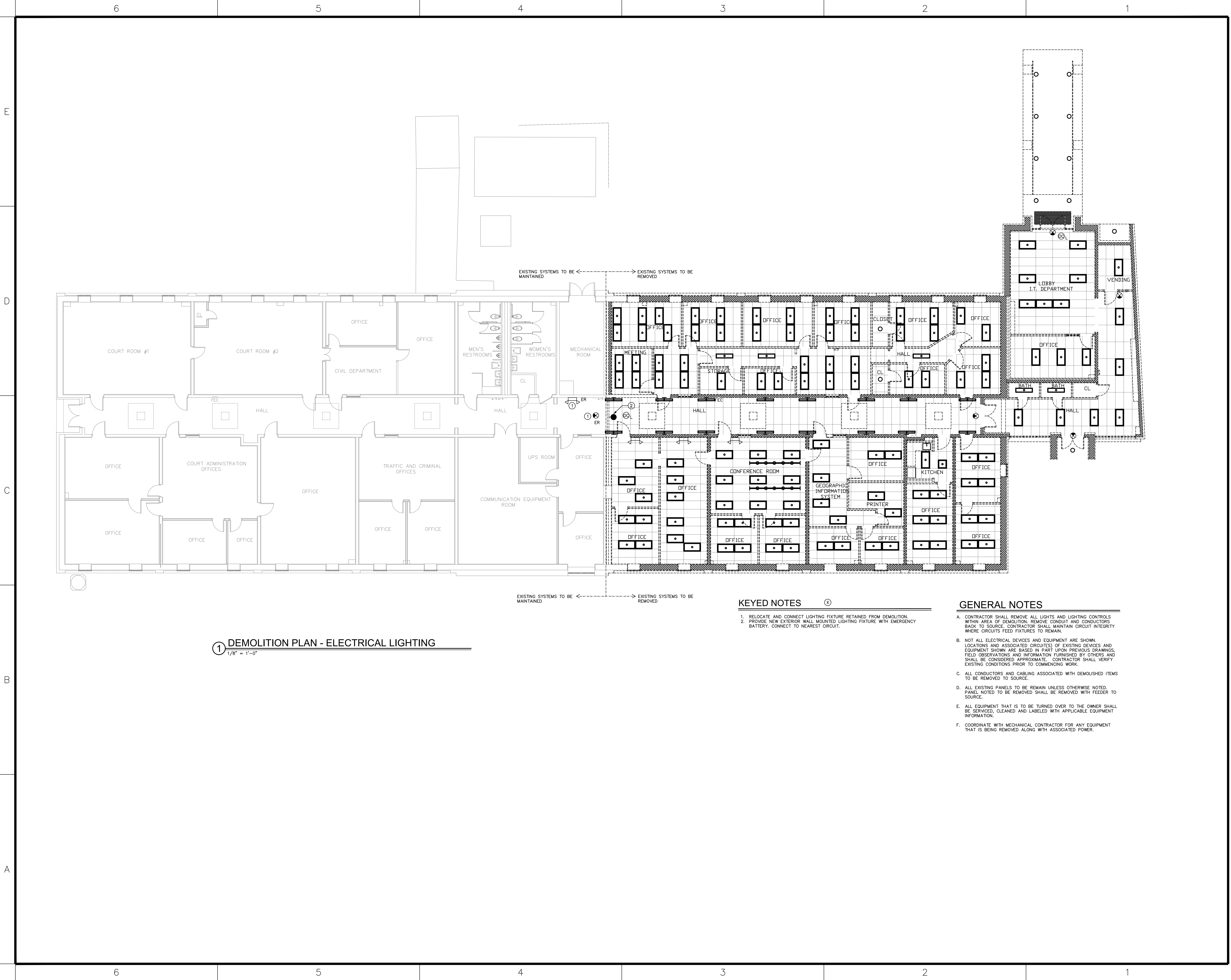
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CHECKED	BLF
APPROVED	MEH

**FLOOR PLAN -  
MECHANICAL**

**M-100**





**1 DEMOLITION PLAN - ELECTRICAL LIGHTING**  
 1/8" = 1'-0"

- KEYED NOTES** ⓧ
- RELOCATE AND CONNECT LIGHTING FIXTURE RETAINED FROM DEMOLITION.
  - PROVIDE NEW EXTERIOR WALL MOUNTED LIGHTING FIXTURE WITH EMERGENCY BATTERY. CONNECT TO NEAREST CIRCUIT.

- GENERAL NOTES**
- CONTRACTOR SHALL REMOVE ALL LIGHTS AND LIGHTING CONTROLS WITHIN AREA OF DEMOLITION. REMOVE CONDUIT AND CONDUCTORS BACK TO SOURCE. CONTRACTOR SHALL MAINTAIN CIRCUIT INTEGRITY WHERE CIRCUITS FEED FIXTURES TO REMAIN.
  - NOT ALL ELECTRICAL DEVICES AND EQUIPMENT ARE SHOWN. LOCATIONS AND ASSOCIATED CIRCUIT(S) OF EXISTING DEVICES AND EQUIPMENT SHOWN ARE BASED IN PART UPON PREVIOUS DRAWINGS, FIELD OBSERVATIONS AND INFORMATION FURNISHED BY OTHERS AND SHALL BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
  - ALL CONDUCTORS AND CABLING ASSOCIATED WITH DEMOLISHED ITEMS TO BE REMOVED TO SOURCE.
  - ALL EXISTING PANELS TO BE REMAIN UNLESS OTHERWISE NOTED. PANEL NOTED TO BE REMOVED SHALL BE REMOVED WITH FEEDER TO SOURCE.
  - ALL EQUIPMENT THAT IS TO BE TURNED OVER TO THE OWNER SHALL BE SERVICED, CLEANED AND LABELED WITH APPLICABLE EQUIPMENT INFORMATION.
  - COORDINATE WITH MECHANICAL CONTRACTOR FOR ANY EQUIPMENT THAT IS BEING REMOVED ALONG WITH ASSOCIATED POWER.

**BEAUFORT**  
 73 Sea Island Parkway, S. 30  
 Beaufort, SC 29907

**CHARLOTTE**  
 7315 Swansea Lane  
 Cornelius, NC 28031

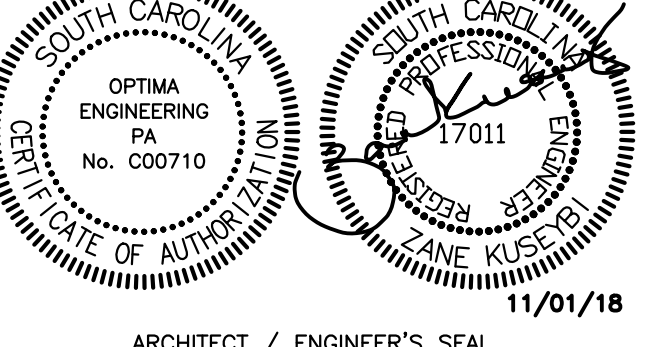
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**optima**  
 engineering

1927 South Tryon St., Suite 300, Charlotte, NC 28203  
 150 Fayetteville St., Suite 520, Raleigh, NC 27601  
 Phone: 704-338-1292 • www.optimaengineering.com



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APPROVED	ZFK

**DEMOLITION PLAN-  
 ELECTRICAL  
 LIGHTING**







