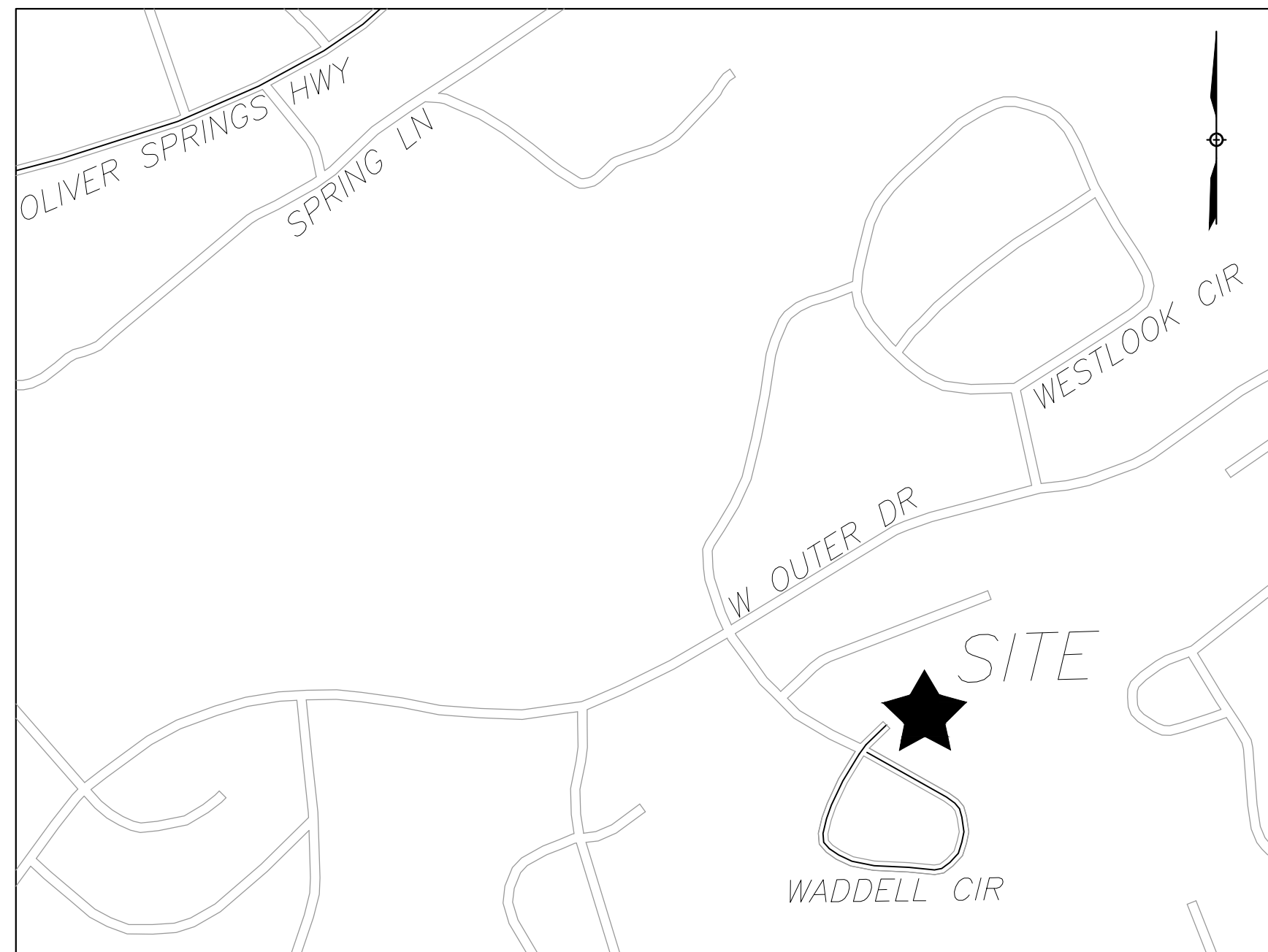


SITE DEVELOPMENT PLANS & PRELIMINARY PLAT

U.E.I. PROJECT NO. 1908021

WADDELL PLACE

PARCEL 2: 106 WADDELL PLACE, OAK RIDGE (37830)
 PARCEL 3: 108 WADDELL PLACE, OAK RIDGE (37830)
 PARCEL 4: 111 WADDELL PLACE, OAK RIDGE (37830)
 PARCEL 5: 105 WADDELL PLACE, OAK RIDGE (37830)



LOCATION MAP

OWNER/DEVELOPER:
 OAK RIDGE LAND BANK INC.
 200 SOUTH TULANE AVENUE
 OAK RIDGE, TN 37830
 (865) 425-3584

SITE ENGINEER:
 CHRIS SHARP, P.E.
 URBAN ENGINEERING, INC.
 11852 KINGSTON PIKE
 KNOXVILLE, TENNESSEE 37934
 (865) 966-1924

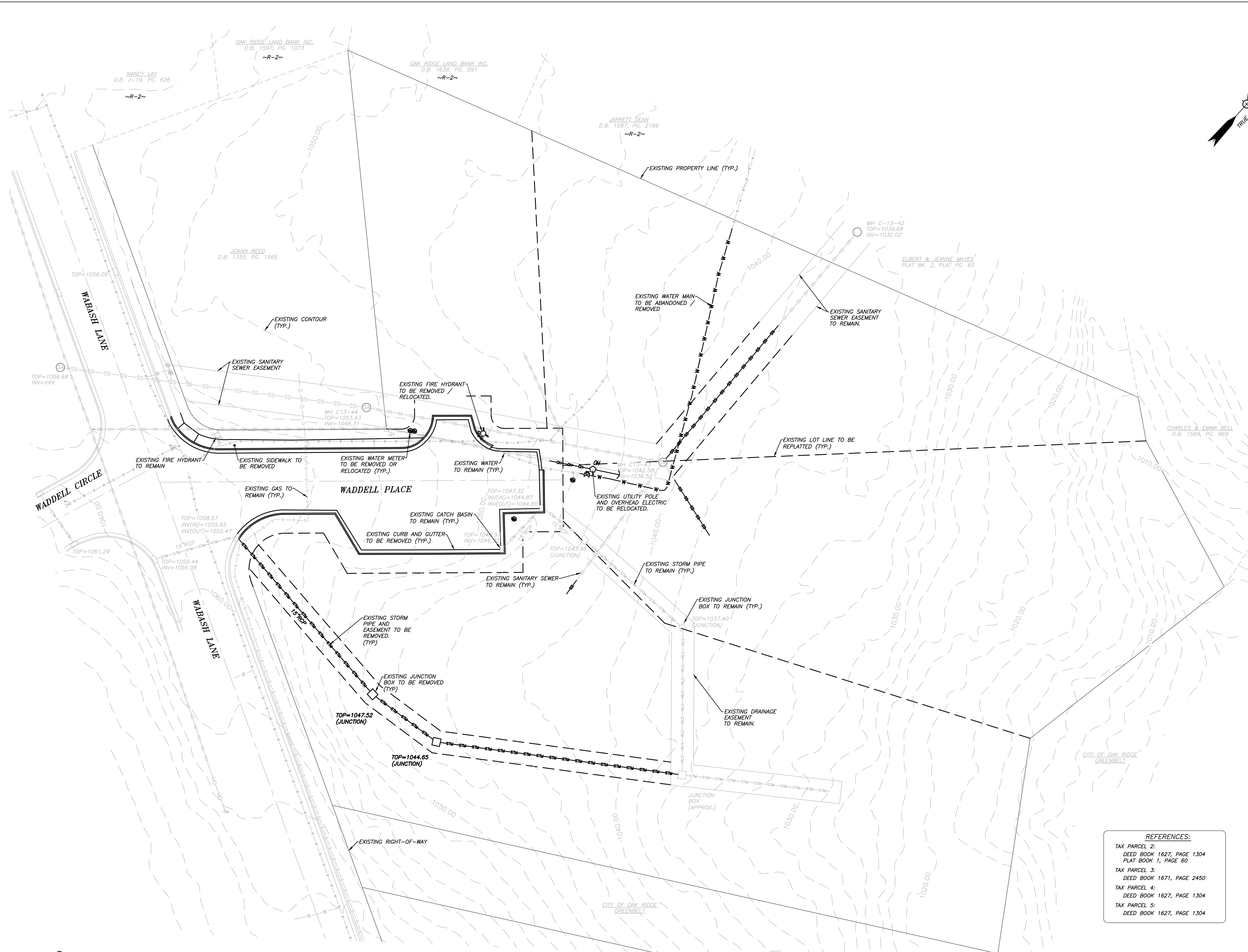
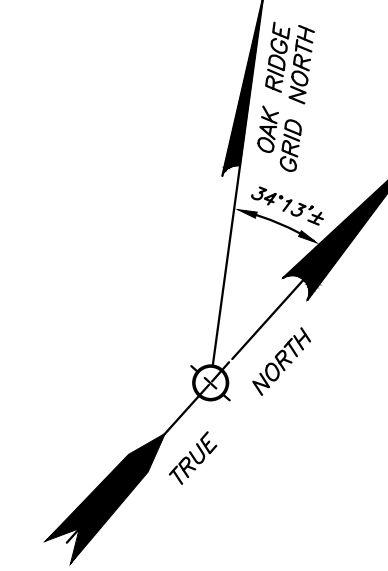
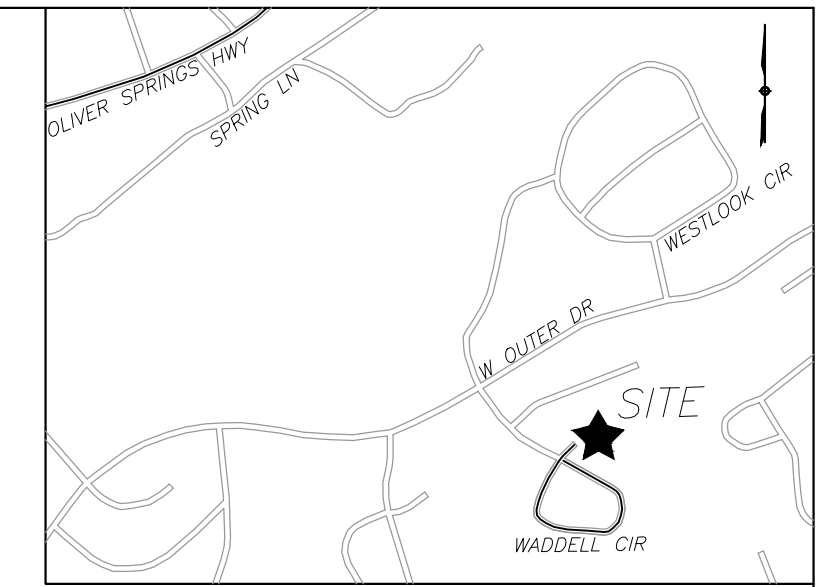
SPECIFICATIONS
 EXCEPT WHERE DIRECTED OTHERWISE BY THE PLANS, WORKMANSHIP AND MATERIAL (BUT NOT MEASUREMENT AND PAYMENT) FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS AND STANDARDS.

ELECTRICAL - AS DIRECTED THE CITY OF OAK RIDGE
 WATER & SEWER - AS DIRECTED THE CITY OF OAK RIDGE
 GAS - AS DIRECTED BY ORUD
 CABLE TV - AS DIRECTED BY COMCAST
 TELEPHONE - AS DIRECTED BY AT&T
 SITE AND ROADWAY - AS DIRECTED BY THE CITY OF OAK RIDGE

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GRADING & DRAINAGE PLAN	C-3
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ISSUE NO.	DATE	DESCRIPTION
3	1/22/20	ISSUE FOR BIDS
2	10/18/19	CORRECTIONS
1	9/25/19	PRELIMINARY PLAT SUBMITTAL



- DEMOLITION PLAN NOTES:**
- 1) THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER VALVES, ETC., AND COMPILING INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE CONTRACTOR SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES AND ALSO CALL TENN ONE-CALL PRIOR TO ANY EXCAVATION WORK, TO VERIFY INFORMATION SHOWN AND DETERMINE THE LAYOUT OF THE IRRIGATION SYSTEM AND IF ADDITIONAL IMPROVEMENTS MAY EXIST.
 - 2) THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL FEATURES THAT ARE BOLD ON THIS SHEET. THE CONTRACTOR IS RESPONSIBLE FOR DISPOSAL FEES IF APPLICABLE.
 - 3) BUILDINGS SHALL BE REMOVED TO THE BOTTOMS OF THEIR FOUNDATIONS. UNLESS OTHERWISE DIRECTED BY THE OWNER, ALL UTILITY SERVICES SHALL BE REMOVED TO THE PROPOSED RIGHT OF WAY LINE UNLESS OTHERWISE DIRECTED BY THE OWNER. THE CONTRACTOR SHALL COORDINATE THE REMOVAL/RELOCATION OF THE GAS METER(S), SERVICE LINES AND THE ELECTRIC METERS AND SERVICES WITH THE CITY OF OAK RIDGE AND OAK RIDGE UTILITY DISTRICT.
 - 4) THE CONTRACTOR IS RESPONSIBLE FOR ATTAINING BUILDING DEMOLITION PERMITS.
 - 5) IF NECESSARY, EXISTING WATER METERS AND SERVICE LINES SHALL BE REMOVED OR RELOCATED, AS DIRECTED BY OAK RIDGE UTILITY DISTRICT UNLESS OTHERWISE NOTED.

REFERENCES:
 TAX PARCEL 2:
 DEED BOOK 1627, PAGE 1304
 PLAT BOOK 1, PAGE 60
 TAX PARCEL 3:
 DEED BOOK 1671, PAGE 2450
 TAX PARCEL 4:
 DEED BOOK 1627, PAGE 1304
 TAX PARCEL 5:
 DEED BOOK 1627, PAGE 1304

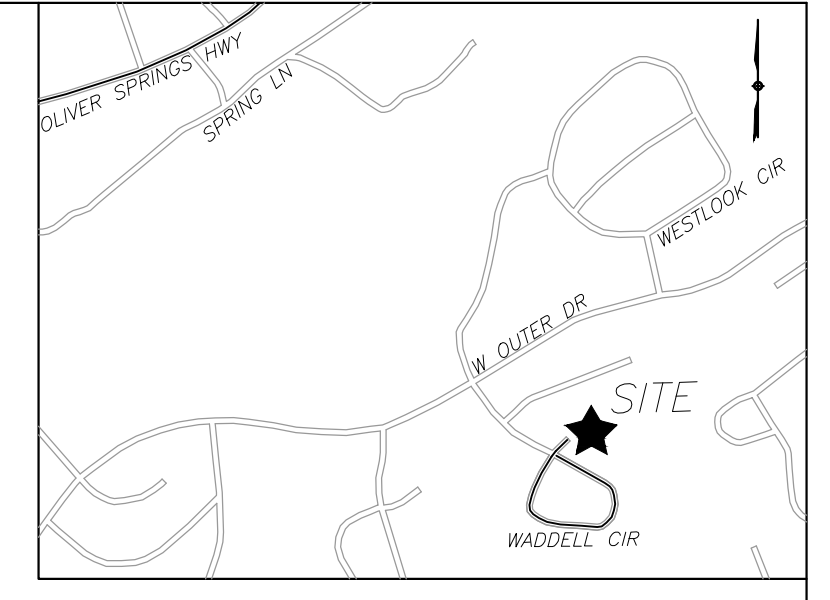
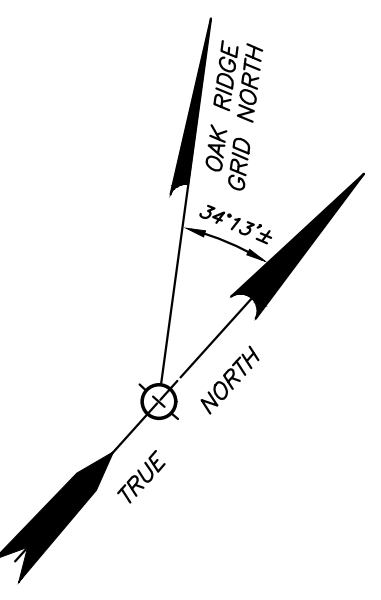
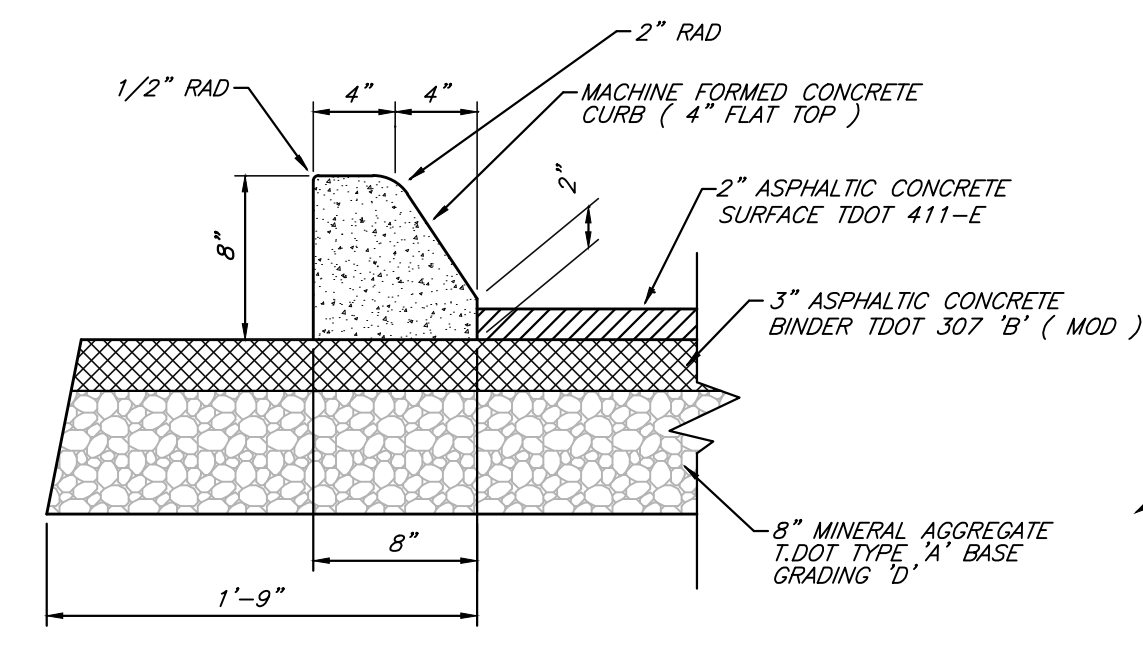
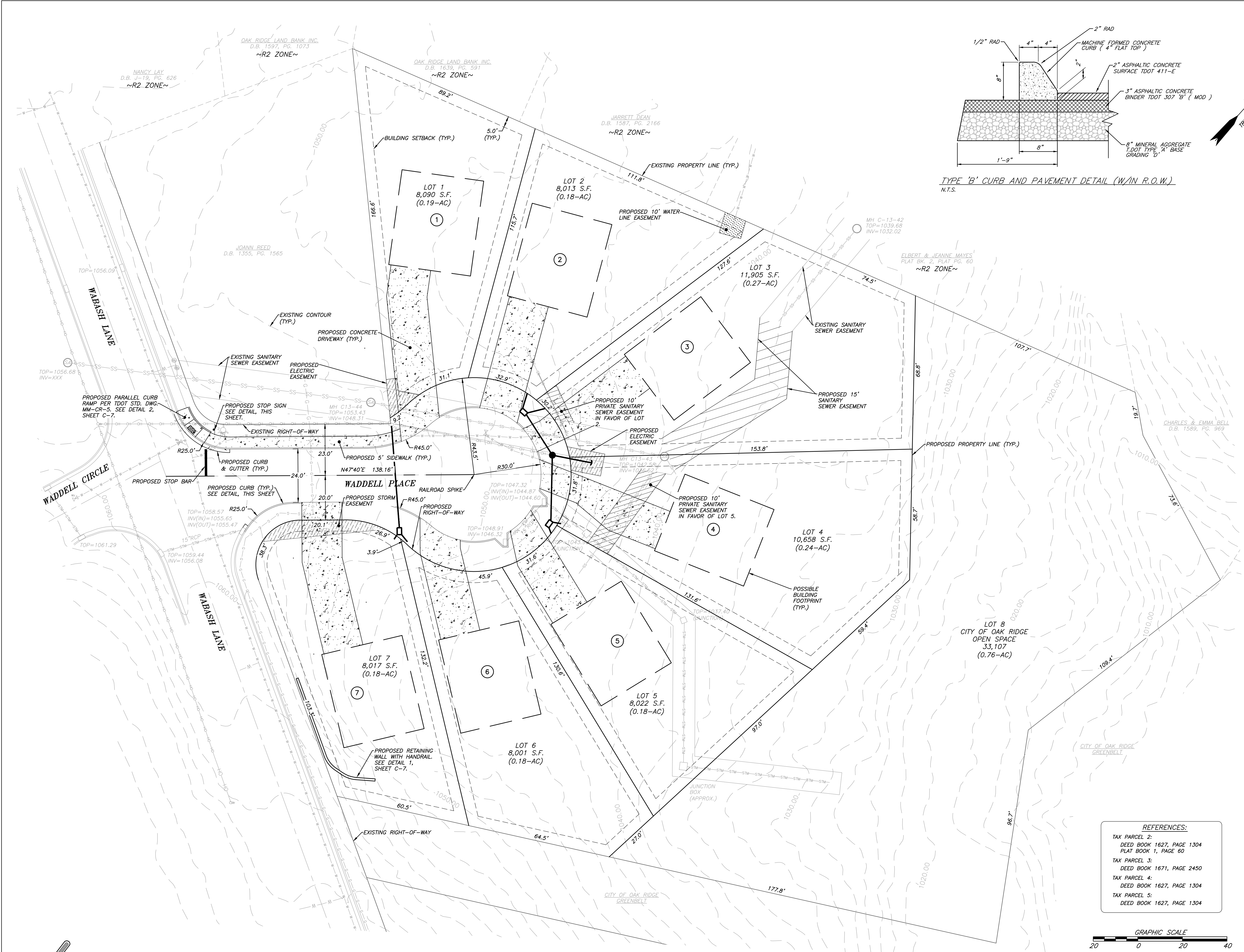


SHEET C-1 (SHEET 2 OF 11)

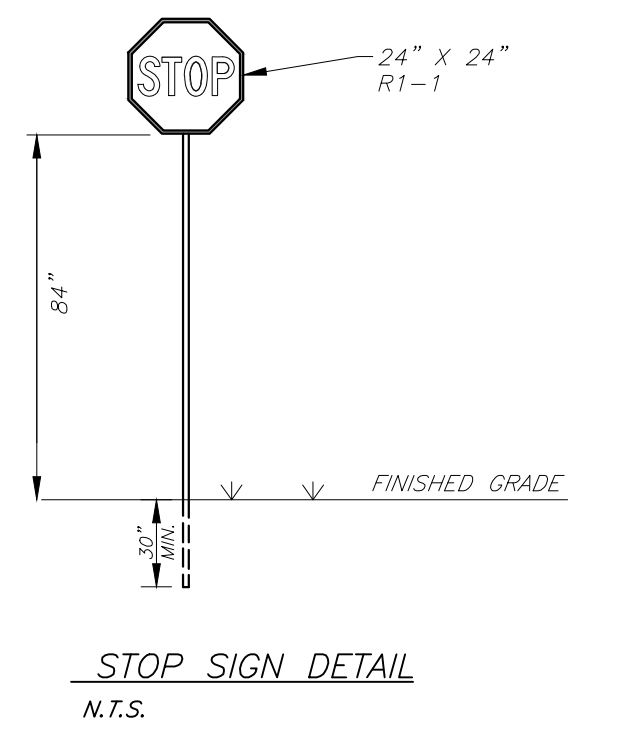
SITE DEMOLITION PLAN	
WADDELL PLACE	
SITE ADDRESS (PAR 2): 106 WADDELL PLACE, OAK RIDGE (378.30)	
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(PAR 4): 111 WADDELL PLACE, OAK RIDGE (378.30)	
(PAR 5): 105 WADDELL PLACE, OAK RIDGE (378.30)	
DIST. 02	ANDERSON COUNTY
CITY OF OAK RIDGE	TENNESSEE
CLT MAP 99C	GROUP 'D'
SCALE: 1"=20'	PARCELS 2, 3, 4, 5
	SEPTEMBER 20, 2019
OWNER/DEVELOPER (PARCELS 2, 3, 4, 5):	
OAK RIDGE LAND BANK INC.	
200 SOUTH TULANE AVENUE	
OAK RIDGE, TN 37830	
(865) 425-3584	
URBAN ENGINEERING, INC.	
11852 KINGSTON PIKE	
FARRAGUT, TENNESSEE 37934	
(865) 966-1924	
DWN: CLM	CHK: CAS
	DWG. NO. 1908021

REVISION	DATE	DESCRIPTION	BY
3	1/22/20	GENERAL REVISIONS	CAS
2	10/18/19	GENERAL REVISIONS	CAS
1	9/25/19	GENERAL REVISIONS	CAS





- NOTES:**
- THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER VALVES, ETC. AS WELL AS, BY COMPILING INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITIES AND GOVERNMENT AGENCIES.
 - THE PARCELS ARE LOCATED IN THE MANHATTAN DISTRICT OVERLAY, AND THE SETBACKS ARE AS FOLLOWS:
FRONT - 5'
SIDE - 5'
REAR - 5'
 - EFFORTS SHALL BE MADE TO CONSERVE EXISTING TREES ALONG THE PERIPHERY OF THE PROPERTY. TREES THAT ARE REMOVED AS A RESULT OF CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH THE REGULATIONS OF THE CITY OF OAK RIDGE.
 - THE ALLOWABLE FLOOR AREA TO LOT RATIOS SHALL NOT EXCEED 35%. THE FLOOR AREA SHALL BE DETERMINED BY THE ENTIRE FOOTPRINT OF THE GROUND FLOOR WHICH INCLUDES ALL AREAS UNDER ROOF.
 - NO CONSTRUCTION OF BUILDINGS OR SIGNS OR INSTALLATION OF LANDSCAPING SHALL TAKE PLACE WITHIN EASEMENTS WITHOUT THE CITY OF OAK RIDGE'S WRITTEN APPROVAL. LANDSCAPING MUST COMPLY WITH CORED STANDARD 650 (LATEST REVISION). LANDSCAPING MUST BE APPROVED IN WRITING BY CORED AND PUBLIC WORKS VIA AN EASEMENT ENCROACHMENT FORM. PLACEMENT SHALL BE COORDINATED WITH THE CITY.
 - LANDSCAPING, IMPROVEMENTS, AND CONSTRUCTION WITHIN UTILITY EASEMENTS ARE PERFORMED AT THE RISK OF THE OWNER. REASONABLE CARE WILL BE TAKEN BY UTILITIES TO PRESERVE IMPROVEMENTS AND LANDSCAPING WITHIN SUBJECT EASEMENTS. THE CITY OF OAK RIDGE WILL NOT BE RESPONSIBLE FOR REPLACING OR REPAIRING IMPROVEMENTS WITHIN AFFECTED EASEMENTS THAT MAY BE DAMAGED WHILE PERFORMING WORK WITHIN THE EASEMENT.
 - THE PROJECT WILL CONSIST OF 8 LOTS. THE TOTAL AREA OF THE PROJECT IS 2.18 ACRES.
 - THE PROPERTY IS NOT WITHIN A FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA PER FEMA FIRM MAP #47001C0219F, EFFECTIVE 01/17/2007.
 - SIGNAGE AND STRIPING TO BE IN ACCORDANCE WITH THE MUTCD (LATEST EDITION).
 - THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING A 1-1/2" ASPHALT OVERLAY. UPON COMPLETION OF THE FINAL PLAT AND ROADWAY IMPROVEMENTS, A RAILROAD SPIKE SHALL BE INSTALLED AT THE CENTER OF THE CUL DE SAC BY THE PROJECT SURVEYOR.
 - THE PROPOSED BUILDING UNITS SHOWN HEREON ARE 43' DEEP X 37' WIDE.
 - LOT 8 WILL BE OWNED AND MAINTAINED BY THE CITY OF OAK RIDGE.
 - AN EASEMENT OF 5 FEET INSIDE OF ALL LOT LINES IS HEREBY RESERVED FOR UTILITY PURPOSES IN FAVOR OF THE CITY OF OAK RIDGE.
 - ANY REQUEST TO RELOCATE EXISTING ELECTRICAL FACILITIES SHALL BE PAID BY THE REQUESTING PARTY. THE PARTY WILL ALSO BE RESPONSIBLE FOR SURVEYING AND RECORDING ANY EASEMENTS REQUIRED FOR RELOCATED FACILITIES.
 - EXISTING WADDELL PLACE RIGHT OF WAY = 9,262 S.F.
RIGHT OF WAY AREA AFTER REPLATING = 9,326 S.F.
NET INCREASE = 64 S.F.



SHEET C-2 (SHEET 3 OF 11)

REFERENCES:

TAX PARCEL 2:	DEED BOOK 1627, PAGE 1304 PLAT BOOK 1, PAGE 60
TAX PARCEL 3:	DEED BOOK 1671, PAGE 2450
TAX PARCEL 4:	DEED BOOK 1627, PAGE 1304
TAX PARCEL 5:	DEED BOOK 1627, PAGE 1304



REVISION	DATE	DESCRIPTION	BY
4	1/22/20	ISSUE FOR BIDS	CAS
3	10/18/19	REVISED PER CITY OF OAK RIDGE COMMENTS	CM
2	10/8/19	REVISED PER CITY OF OAK RIDGE COMMENTS	CM
1	9/25/19	GENERAL REVISIONS	CAS

PRELIMINARY PLAT
WADDELL PLACE

SITE ADDRESS (PAR 2): 106 WADDELL PLACE, OAK RIDGE (378.30)
(PAR 3): 108 WADDELL PLACE, OAK RIDGE (378.30)
(PAR 4): 111 WADDELL PLACE, OAK RIDGE (378.30)
(PAR 5): 105 WADDELL PLACE, OAK RIDGE (378.30)

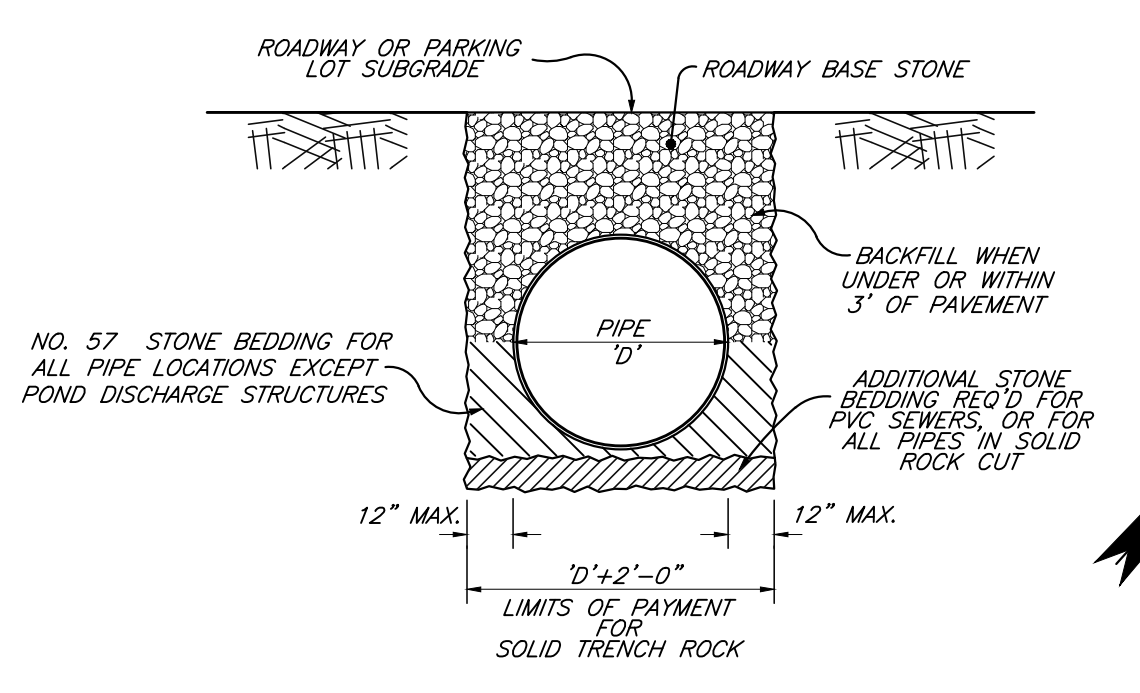
DIST. 02 ANDERSON COUNTY
CITY OF OAK RIDGE TENNESSEE
CLT MAP 99C GROUP 'D' PARCELS 2, 3, 4, 5
SCALE: 1"=20' SEPTEMBER 20, 2019

OWNER/DEVELOPER (PARCELS 2, 3, 4, 5):
OAK RIDGE LAND BANK INC.
200 SOUTH TULANE AVENUE
OAK RIDGE, TN 37830
(865) 425-3584

URBAN ENGINEERING, INC.
11852 KINGSTON PIKE
FARRAGUT, TENNESSEE 37934
(865) 966-1924

DWN: CLM CHR: CAS DWG. NO. 1908021





FOR ALL WATER, SEWER, ELECTRICAL OR DRAINAGE PIPING

PIPE BEDDING & BACKFILL DETAIL
N.T.S.

GRADING & DRAINAGE NOTES:

1. CLEAR AND GRUB. CLEARING AND GRUBBING INCLUDES THE REMOVAL OF TREES, BRUSH, DEBRIS, AND STUMPS FROM THE WORK AREA WITHIN 5' OF THE GROUND SURFACE. REMOVE ALL BUILDINGS, DRIVES, CROSS FENCES, AND MISCELLANEOUS EQUIPMENT.
2. STRIP AND STOCKPILE TOPSOIL NEEDED FOR RESREADING AND SEEDING. SURROUND TOPSOIL PILES WITH SILT FENCE, STRAW BALES, TEMPORARY SEEDING OR ADDITIONAL MEASURES AS NEEDED TO PREVENT EROSION/SEDIMENTATION.
3. AFTER STRIPPING AND REMOVAL, PROOF ROLL ENTIRE DISTURBED AREA WITH TANDEM TRUCK FULLY LOADED WITH EARTH. REMOVE ANY AREAS WHICH ARE SOFT OR YIELDING UNDER LOAD AND REPLACE WITH NEW MATERIAL MEETING PROJECT SPECIFICATIONS.
4. IF UNSUITABLE SUBGRADE MATERIALS ARE ENCOUNTERED, THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT WITH APPROVED MATERIAL FROM ONSITE OR APPROVED OFFSITE BORROW AREA. UNSUITABLE MATERIALS ARE THOSE CLASSIFIED AS MH, CH, OH, OL, AND PEAT IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM.
5. COMPACTION REQUIREMENTS ARE SUMMARIZED AS FOLLOWS: (PLACE IN 8" LIFTS)
 - a. TOP 24 INCHES OF SUBGRADE UNDER PAVED AREAS 100 PERCENT STANDARD PROCTOR - LOWER THAN 24 INCHES BELOW PAVED AREA 95 PERCENT STANDARD PROCTOR.
 - b. AREAS WITHIN THE BUILDING ENVELOPE TO BE PREPARED IN ACCORDANCE WITH RECOMMENDATIONS IN REPORT OF GEOTECHNICAL INVESTIGATION AND/OR AS DIRECTED BY THE SOILS ENGINEER.
6. HDPE PIPE SHALL BE DOUBLE WALL, SMOOTH INTERIOR, AD N-12 OR APPROVED EQUAL. BACKFILL ALL PIPE TRENCHES UNDER PAVEMENT WITH CRUSHED STONE AGGREGATE BASE (DOT 3030). OTHER TRENCH AREAS WITH WELL COMPACTED CLAY. INSTALL ALL PIPE PER MANUFACTURERS RECOMMENDATIONS.
7. ALL FINISHED YARD AREAS SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL. YARD FINISHED GRADES SHOWN ARE AFTER PLACEMENT OF 4 INCHES OF TOPSOIL. ALL FINISHED YARD SURFACES SHALL BE SMOOTHLY AND UNIFORMLY GRADED, FREE FROM IRREGULARITIES AND SHALL BE FULLY FUNCTIONAL TO PROVIDE POSITIVE DRAINAGE AT ALL LOCATIONS.
8. ALL WORK SHALL BE SEQUENCED AND COMPLETED IN ACCORDANCE WITH THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION EROSION CONTROL HANDBOOK AND THE RULES AND REGULATIONS OF THE CITY OF OAK RIDGE.
9. AT NO TIME SHALL THE TOTAL DISTURBED AREA ASSOCIATED WITH THIS PROJECT EQUAL OR EXCEED 1-ACRE.
10. PROPOSED SPOT ELEVATIONS AND PROPOSED CONTOURS ARE AFTER THE INSTALLATION OF TOPSOIL IN GRASSED AREAS AND PAVING.
11. ALL SLOPES 3:1 OR STEEPER SHALL BE MATTED.
12. RETAINING WALL TOP AND BOTTOM ELEVATIONS ARE FROM GROUND TO GROUND AND EXCLUDE CAP BLOCKS OR BURIED BLOCKS.

0.3.0
FC

SPOT ELEVATION LEGEND

FC	=	FACE OF CURB/WALK (AT ASPHALT)
EG	=	EXISTING GRADE
FG	=	FINISHED GRADE
HP	=	HIGH POINT

REFERENCES:

TAX PARCEL 2:	DEED BOOK 1627, PAGE 1304 PLAT BOOK 1, PAGE 60
TAX PARCEL 3:	DEED BOOK 1671, PAGE 2450
TAX PARCEL 4:	DEED BOOK 1627, PAGE 1304
TAX PARCEL 5:	DEED BOOK 1627, PAGE 1304



SHEET C-3 (SHEET 4 OF 11)

GRADING & DRAINAGE PLAN
WADDELL PLACE

SITE ADDRESS (PAR 2): 106 WADDELL PLACE, OAK RIDGE (37830)
(PAR 3): 108 WADDELL PLACE, OAK RIDGE (37830)
(PAR 4): 111 WADDELL PLACE, OAK RIDGE (37830)
(PAR 5): 105 WADDELL PLACE, OAK RIDGE (37830)

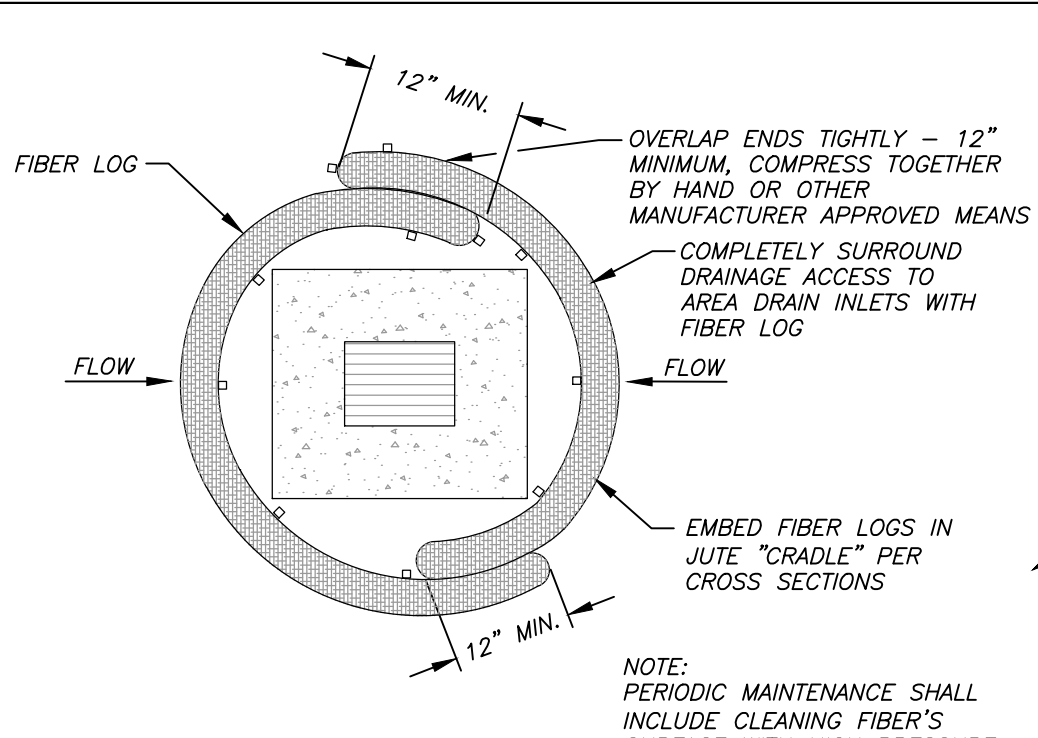
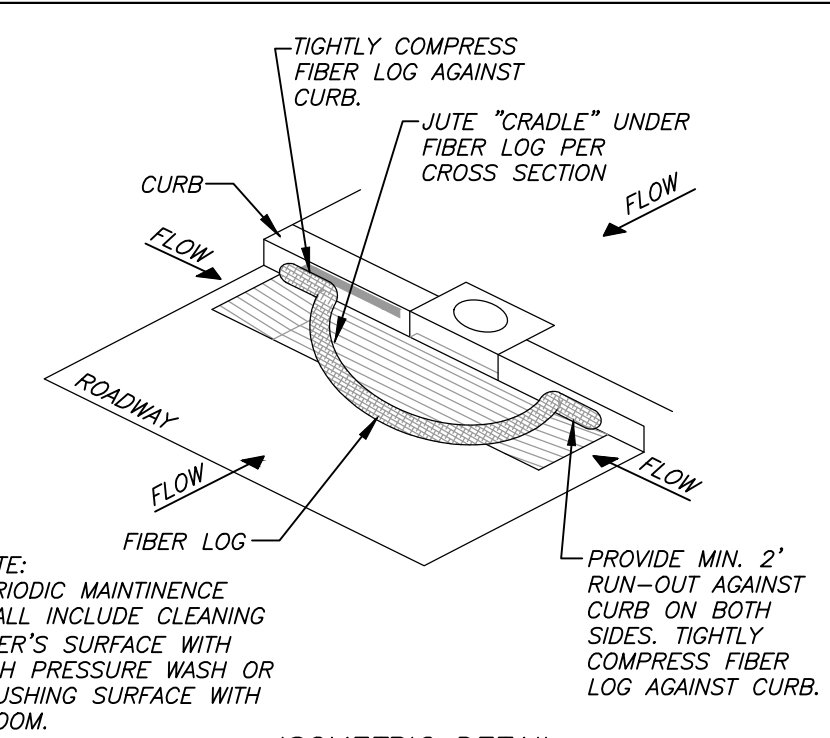
DIST. 02 ANDERSON COUNTY
CITY OF OAK RIDGE TENNESSEE
CLT MAP 99C GROUP 'D' PARCELS 2, 3, 4, 5
SCALE: 1"=20' SEPTEMBER 20, 2019

OWNER/DEVELOPER (PARCELS 2, 3, 4, 5):
OAK RIDGE LAND BANK INC.
200 SOUTH TULANE AVENUE
OAK RIDGE, TN 37830
(865) 425-3584

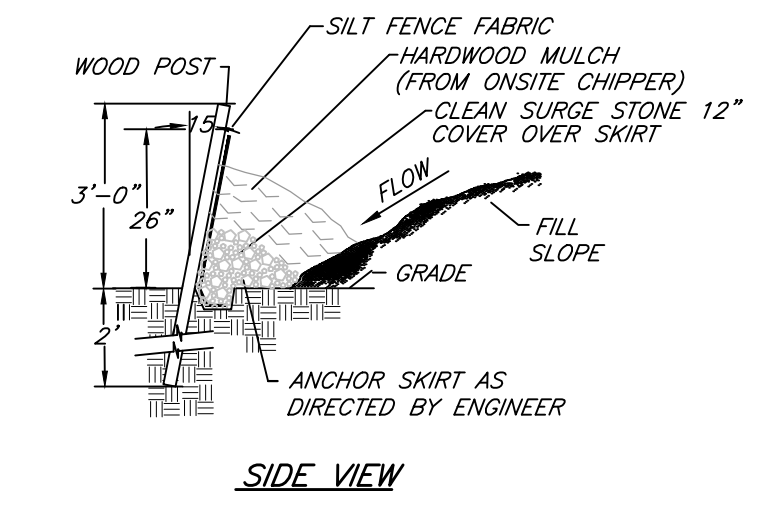
	URBAN ENGINEERING, INC. 11852 KINGSTON PIKE FARRAGUT, TENNESSEE 37934 (865) 966-1924	
DWN: CLM	CHK: CAS	DWG. NO. 1908021

REVISION	DATE	DESCRIPTION	BY
3	1/22/20	ISSUE FOR BIDS	CAS
2	10/18/19	GENERAL REVISIONS	CAS
1	9/25/19	GENERAL REVISIONS	CAS

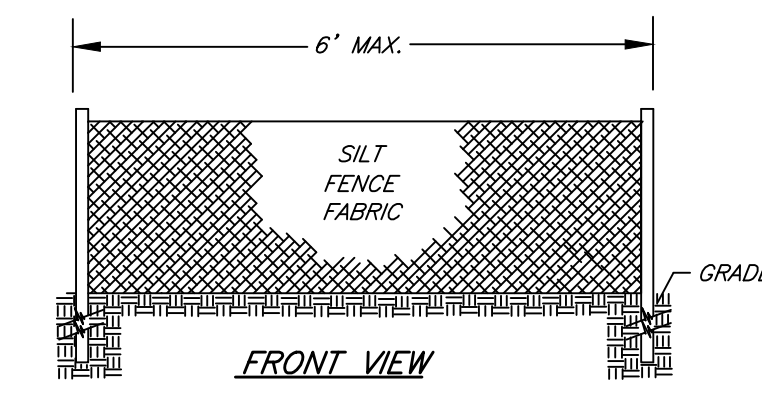




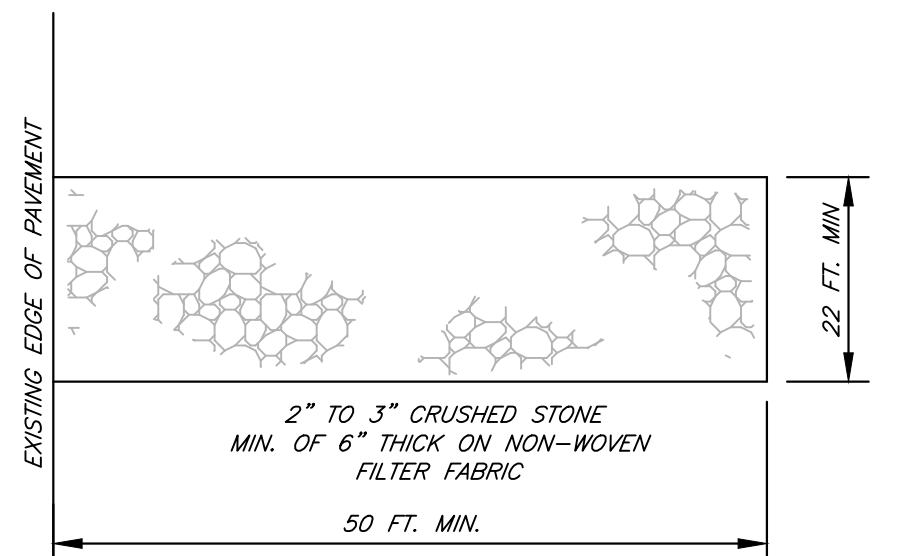
FIBER LOG INLET SEDIMENT TRAP
N.T.S.



SILT FENCE NOTES:
 -USE SILT FENCE ONLY WHEN DRAINAGE AREA DOES NOT EXCEED 1/4 ACRE PER 100 FEET OF FENCE AND NEVER IN AREAS OF CONCENTRATED FLOW GREATER THAN ONE CUBIC FEET PER SECOND
 -SILT FENCE/STRAW BALE CHECK DAM PLACEMENT SUGGESTED AT MINOR SWALES



STANDARD TEMPORARY SILT FENCE
N.T.S.



TEMPORARY CONSTRUCTION ENTRANCE
N.T.S.

EROSION & SEDIMENT CONTROL NOTES

- THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER VALVES, ETC., AND COMPLYING INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE CONTRACTOR SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES AND ALSO CALL TOWN ONE-CALL PRIOR TO ANY EXCAVATION WORK, TO VERIFY INFORMATION SHOWN AND DETERMINE THE LAYOUT OF THE IRRIGATION SYSTEM AND IF ADDITIONAL IMPROVEMENTS MAY EXIST.
- THE CONTRACTOR SHALL MEET ONSITE WITH THE ENGINEER TO APPROVE THE LOCATION OF THE SILT FENCES AND OTHER EROSION CONTROL FEATURES PRIOR BREAKING GROUND.
- THE CONTRACTOR SHALL AVOID TRACKING MUD AND SILT ONTO EXISTING ROADS AND SHALL BE RESPONSIBLE FOR CLEANUP OF ANY VIOLATION.
- ALL CONSTRUCTION SHALL COMPLY WITH THE TDEC EROSION CONTROL HANDBOOK AND THE REGULATIONS OF THE CITY OF OAK RIDGE.
- ALL UNIMPROVED AREAS SHALL BE LANDSCAPED OR GRASSED. GRASS SPECIFICATIONS AS FOLLOWS:
 TOPSOIL TO UNIFORM DEPTH OF 4"
 AGRICULTURAL LIME - 3 TONS/ACRE
 3.0 LBS. KY 31 FESCUE PER 1,000 SQ. FT.
 0.5 LBS. ENGLISH RYE PER 1,000 SQ. FT.
 10 LBS. DRY FERTILIZER (12-24-24 OR EQUAL) PER 1,000 SQ. FT.
 100 LBS DRY STRAW PER 1,000 SQ. FT. (EXCEPT WHERE EROSION CONTROL FABRIC REQUIRED)
 ALL GRASSED SLOPES 3:1 OR STEEPER TO HAVE ECM (VERDYOL OR EQUAL)
 IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ESTABLISH A FULL, EVEN STAND OF VEGETATION ON THE AREAS TO BE SEED. SPARSE AREAS SHALL BE SCARIFIED AND RESEEDED UNTIL A FULL STAND IS ESTABLISHED.
- THE OWNER IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF CONSTRUCTION OF SITE POLLUTION PREVENTION CONTROLS THROUGHOUT THE LIFE OF THE PROJECT.
- ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE GRADING PERMITEE.
- THE PROPOSED SEDIMENT CONTROL MEASURES ARE DESIGNED TO ACCOMMODATE A 5-YEAR, 24-HOUR STORM.
- AT NO TIME SHALL THE ACTIVE DISTURBED AREA ASSOCIATED WITH THIS PROJECT EQUAL OR EXCEED 1-ACRE.

SEQUENCE OF WORK ACTIVITIES:

- PHASE 1:**
- INSTALL SILT FENCES, CONSTRUCTION ENTRANCE AND INLET PROTECTION ON EXISTING CATCH BASINS.
- PHASE 2:**
- RELOCATE UTILITIES AND INSTALL STORM DRAIN AND NEW SIDEWALK.
 - PATCH ROADWAY.
 - STRIP AND STOCKPILE TOPSOIL. STABILIZE TOPSOIL WITH SILT FENCE AND/OR TEMPORARY SEEDING.
 - CLEAR/GRUB AND DISPOSE OF TIMBER AND TRASH.
 - CUT/FILL FOR THE REMAINDER OF THE SITE.
 - FINALIZE SUB-GRADE AND RE-SPREAD TOPSOIL. ESTABLISH VEGETATION ON ALL DISTURBED AREAS PER SEEDING SPECS.
 - INSTALL ASPHALT OVERLAY.

REFERENCES:

TAX PARCEL 2:	DEED BOOK 1627, PAGE 1304
	PLAT BOOK 1, PAGE 60
TAX PARCEL 3:	DEED BOOK 1671, PAGE 2450
TAX PARCEL 4:	DEED BOOK 1627, PAGE 1304
TAX PARCEL 5:	DEED BOOK 1627, PAGE 1304

SHEET C-4 (SHEET 5 OF 11)

EROSION & SEDIMENT CONTROL PLAN
WADDELL PLACE
 SITE ADDRESS (PAR 2): 106 WADDELL PLACE, OAK RIDGE (37830)
 (PAR 3): 108 WADDELL PLACE, OAK RIDGE (37830)
 (PAR 4): 111 WADDELL PLACE, OAK RIDGE (37830)
 (PAR 5): 105 WADDELL PLACE, OAK RIDGE (37830)

DIST. 02 ANDERSON COUNTY
 CITY OF OAK RIDGE TENNESSEE
 CLT MAP 99C GROUP 'D' PARCELS 2, 3, 4, 5
 SCALE: 1"=20' SEPTEMBER 20, 2019

OWNER/DEVELOPER (PARCELS 2, 3, 4, 5):
OAK RIDGE LAND BANK INC.
 200 SOUTH TULANE AVENUE
 OAK RIDGE, TN 37830
 (865) 425-3584

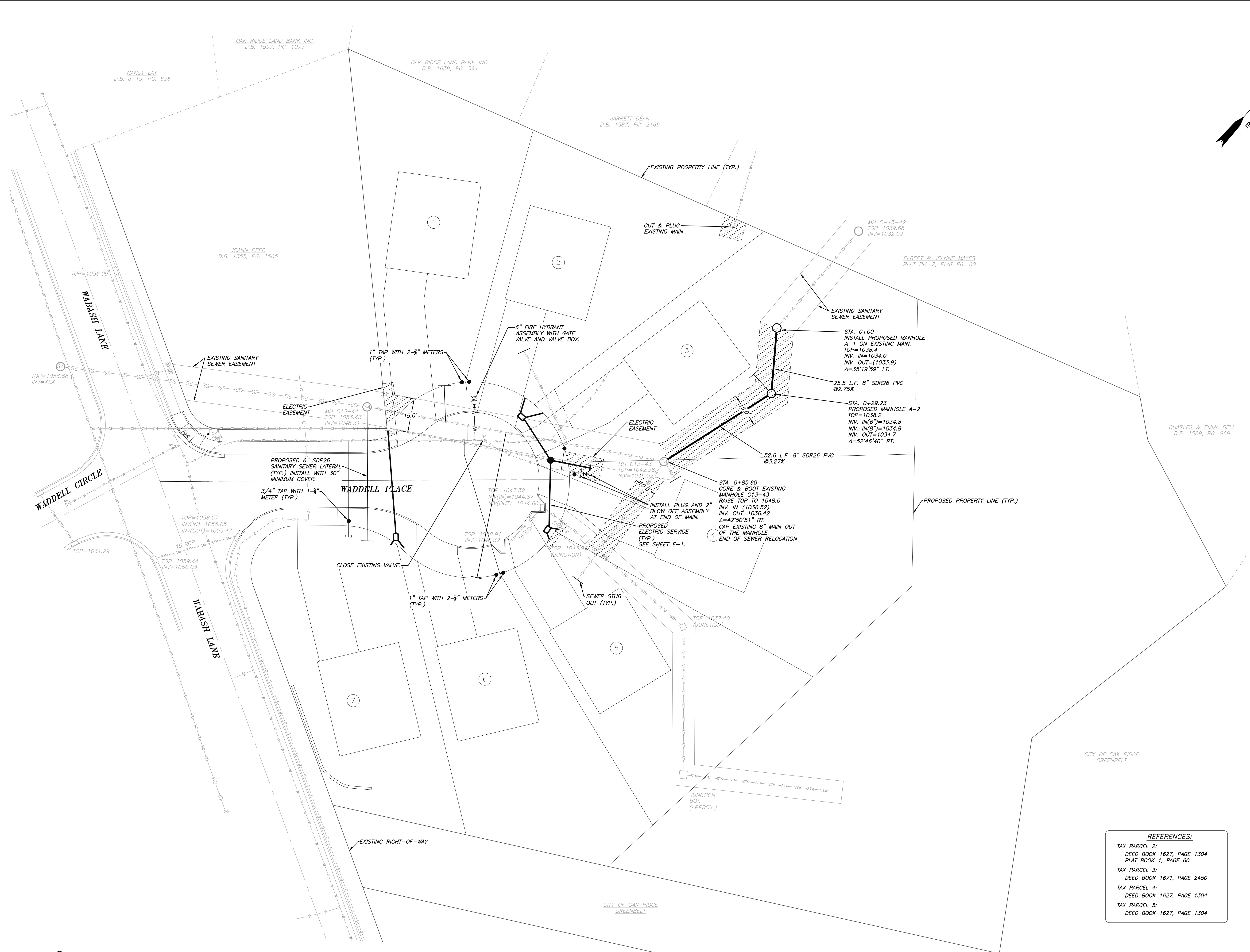
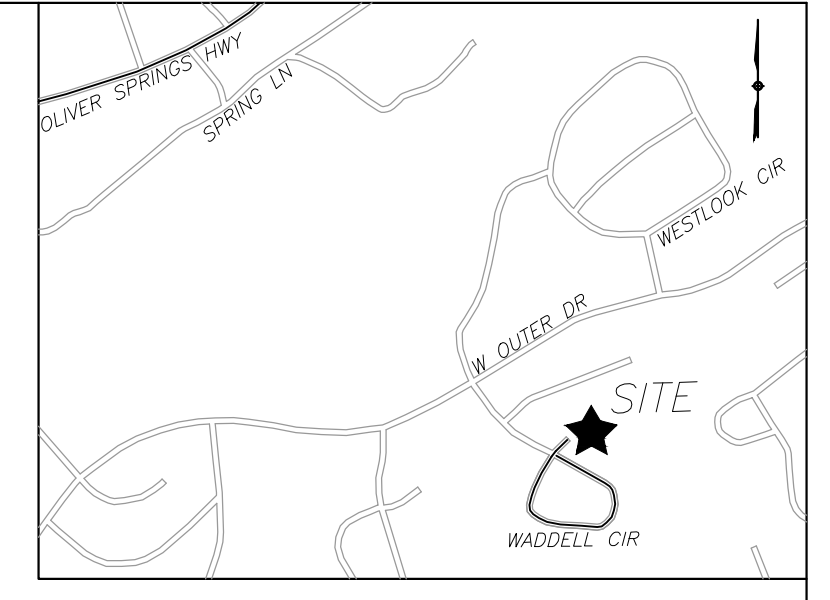
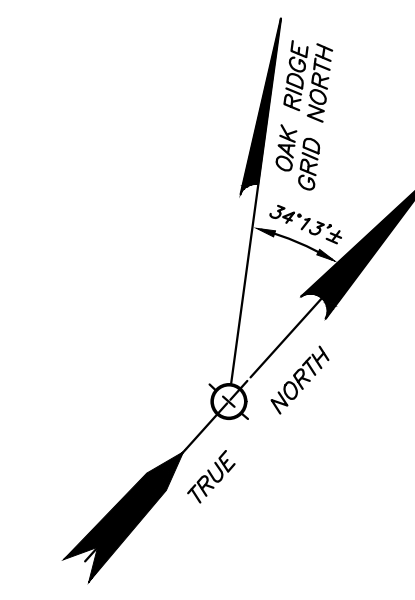
URBAN ENGINEERING, INC.
 11852 KINGSTON PIKE
 FARRAGUT, TENNESSEE 37934
 (865) 966-1924

DWN: CLM CHK: CAS DWG. NO. 1908021

GRAPHIC SCALE

3	1/22/20	ISSUE FOR BIDS	CAS
2	10/18/19	GENERAL REVISIONS	CAS
1	9/25/19	GENERAL REVISIONS	CAS
REVISION	DATE	DESCRIPTION	BY





- GENERAL NOTES:**
1. THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER VALVES, ETC., AND COMPILING INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE CONTRACTORS SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES AND ALSO CALL TENN ONE-CALL PRIOR TO ANY EXCAVATION WORK TO VERIFY INFORMATION SHOWN AND DETERMINE THE LAYOUT OF THE IRRIGATION SYSTEM AND IF ADDITIONAL IMPROVEMENTS MAY EXIST.
 2. CONTRACTOR TO PROVIDE FITTINGS, AS NEEDED TO INSTALL SERVICES.
 3. ASPHALT, CURBING & STRIPING THAT IS DAMAGED DURING SEWER INSTALLATION SHALL BE REPLACED IN KIND BY THE CONTRACTOR OR DEVELOPER.
 4. ALL PIPING UNDER OR WITHIN 3' OF PROPOSED PAVING SHALL BE BACKFILLED WITH STONE.
 5. AN EASEMENT OF 5 FEET INSIDE ALL LOT LINES IS HEREBY RESERVED FOR UTILITY PURPOSES IN FAVOR OF THE CITY OF OAK RIDGE.
 6. ANY REQUEST TO RELOCATE EXISTING ELECTRICAL FACILITIES SHALL BE PAID BY THE REQUESTING PARTY. THE PARTY WILL ALSO BE RESPONSIBLE FOR SURVEYING AND RECORDING ANY EASEMENTS REQUIRED FOR RELOCATED FACILITIES.
 7. NO CONSTRUCTION OF BUILDINGS OR SIGNS OR INSTALLATION OF LANDSCAPING SHALL TAKE PLACE WITHIN EASEMENTS WITHOUT THE CITY OF OAK RIDGE'S WRITTEN APPROVAL. LANDSCAPING MUST COMPLY WITH CORED STANDARD 650 (LATEST REVISION). LANDSCAPING MUST BE APPROVED IN WRITING BY CORED AND PUBLIC WORKS VIA AN EASEMENT ENCROACHMENT FORM. PLACEMENT SHALL BE COORDINATED WITH THE CITY.
 8. LANDSCAPING, IMPROVEMENTS, AND CONSTRUCTION WITHIN UTILITY EASEMENTS ARE PERFORMED AT THE RISK OF THE OWNER. REASONABLE CARE WILL BE TAKEN BY UTILITIES TO PRESERVE IMPROVEMENTS AND LANDSCAPING WITHIN SUBJECT EASEMENTS. THE CITY OF OAK RIDGE WILL NOT BE RESPONSIBLE FOR REPLACING OR REPAIRING IMPROVEMENTS WITHIN AFFECTED EASEMENTS THAT MAY BE DAMAGED WHILE PERFORMING WORK WITHIN THE EASEMENT.
 9. WATER LINE TO BE FIELD STAKED PRIOR TO CONSTRUCTION.

- SEWER NOTES:**
1. ALL WORK TO BE PERFORMED WILL BE IN ACCORDANCE WITH THE OAK RIDGE UTILITY DISTRICT WATER AND WASTEWATER DEPARTMENT (CURRENT EDITION) SPECIFICATIONS AND DETAILS.
 2. SEWER LINE MATERIALS, INSTALLATION AND TESTING PER CITY OF OAK RIDGE WATER AND WASTEWATER DEPARTMENT STANDARDS (CURRENT EDITION).
 3. FINAL CLEANOUT TOPS TO MATCH PLAN FINISHED GRADES.

- WATER NOTES:**
1. ALL WORK TO BE PERFORMED WILL BE IN ACCORDANCE WITH THE OAK RIDGE UTILITY DISTRICT WATER AND WASTEWATER DEPARTMENT (CURRENT EDITION) SPECIFICATIONS AND DETAILS.
 2. WATER LINE MATERIALS, INSTALLATION AND TESTING PER CITY OF OAK RIDGE WATER AND WASTEWATER DEPARTMENT STANDARDS (CURRENT EDITION).
 3. CITY OF OAK RIDGE SHALL PERFORM ALL WATER LINE TAPS REQUIRED FOR THIS PROJECT.
 4. ALL SERVICES SHALL HAVE 30" MINIMUM COVER.
 5. A 10' EASEMENT SHALL BE RESERVED ALONG THE CENTERLINE OF THE PROPOSED WATER MAIN IN FAVOR OF THE CITY OF OAK RIDGE.
 6. INSTALL THRUST BLOCKING PER CITY OF OAK RIDGE SPECIFICATIONS.
 7. WATER LINE TO BE FIELD STAKED PRIOR TO CONSTRUCTION.

REFERENCES:

TAX PARCEL 2:
DEED BOOK 1627, PAGE 1304
PLAT BOOK 1, PAGE 60

TAX PARCEL 3:
DEED BOOK 1671, PAGE 2450

TAX PARCEL 4:
DEED BOOK 1627, PAGE 1304

TAX PARCEL 5:
DEED BOOK 1627, PAGE 1304



SHEET C-5 (SHEET 6 OF 11)

WATER AND SANITARY SEWER PLAN
WADDELL PLACE

SITE ADDRESS (PAR 2): 106 WADDELL PLACE, OAK RIDGE (378.30)
(PAR 3): 108 WADDELL PLACE, OAK RIDGE (378.30)
(PAR 4): 111 WADDELL PLACE, OAK RIDGE (378.30)
(PAR 5): 105 WADDELL PLACE, OAK RIDGE (378.30)

DIST. 02 ANDERSON COUNTY
CITY OF OAK RIDGE TENNESSEE
CLT MAP 99C GROUP 'D' PARCELS 2, 3, 4, 5
SCALE: 1"=20' SEPTEMBER 20, 2019

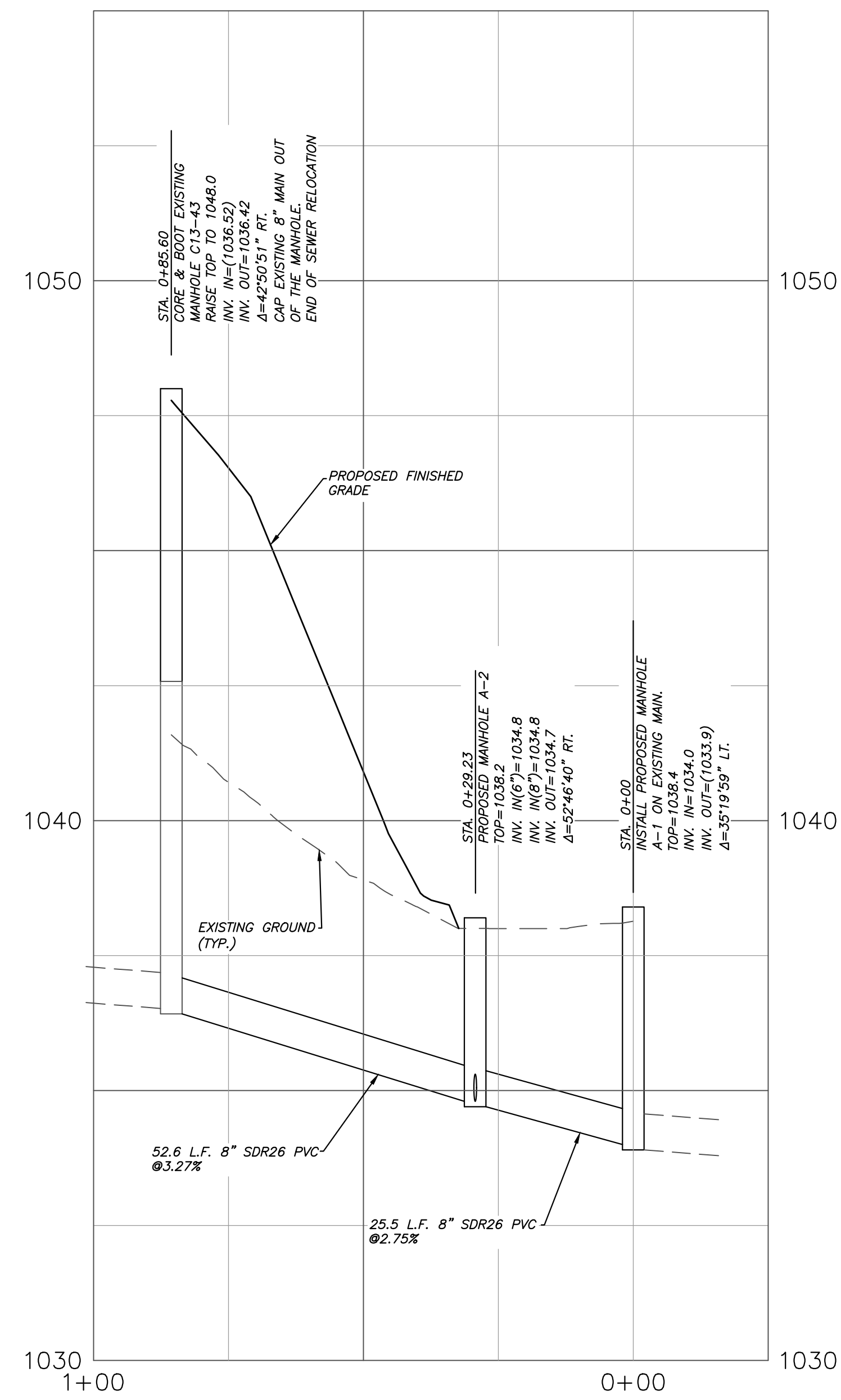
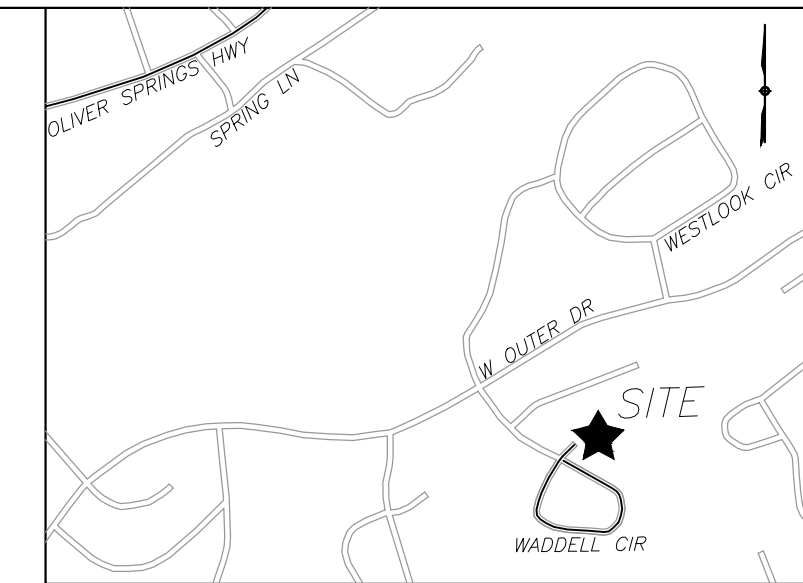
OWNER/DEVELOPER (PARCELS 2, 3, 4, 5):
OAK RIDGE LAND BANK INC.
200 SOUTH TULANE AVENUE
OAK RIDGE, TN 37830
(865) 425-3584

URBAN ENGINEERING, INC.
11852 KINGSTON PIKE
FARRAGUT, TENNESSEE 37934
(865) 966-1924

DWN: CLM CHK: CAS DWG. NO. 1908021

REVISION	DATE	DESCRIPTION	CAS
3	1/22/20	ISSUE FOR BIDS	CAS
2	10/18/19	GENERAL REVISIONS	CAS
1	9/25/19	GENERAL REVISIONS	CAS





SEWER LINE RELOCATION
 SCALE:
 1"=20' (HORIZ.)
 1"=2' (VERT.)

REFERENCES:

TAX PARCEL 2:
 DEED BOOK 1627, PAGE 1304
 PLAT BOOK 1, PAGE 60

TAX PARCEL 3:
 DEED BOOK 1671, PAGE 2450

TAX PARCEL 4:
 DEED BOOK 1627, PAGE 1304

TAX PARCEL 5:
 DEED BOOK 1627, PAGE 1304



SHEET C-6 (SHEET 7 OF 11)

WATER LINE PROFILE
WADDELL PLACE

SITE ADDRESS (PAR 2): 106 WADDELL PLACE, OAK RIDGE (37830)
 (PAR 3): 108 WADDELL PLACE, OAK RIDGE (37830)
 (PAR 4): 111 WADDELL PLACE, OAK RIDGE (37830)
 (PAR 5): 105 WADDELL PLACE, OAK RIDGE (37830)

DIST. 02 ANDERSON COUNTY
 CITY OF OAK RIDGE TENNESSEE
 CLT MAP 99C GROUP 'D' PARCELS 2, 3, 4, 5
 SCALE: 1"=20' SEPTEMBER 20, 2019

OWNER/DEVELOPER (PARCELS 2, 3, 4, 5):
 OAK RIDGE LAND BANK INC.
 200 SOUTH TULANE AVENUE
 OAK RIDGE, TN 37830
 (865) 425-3584

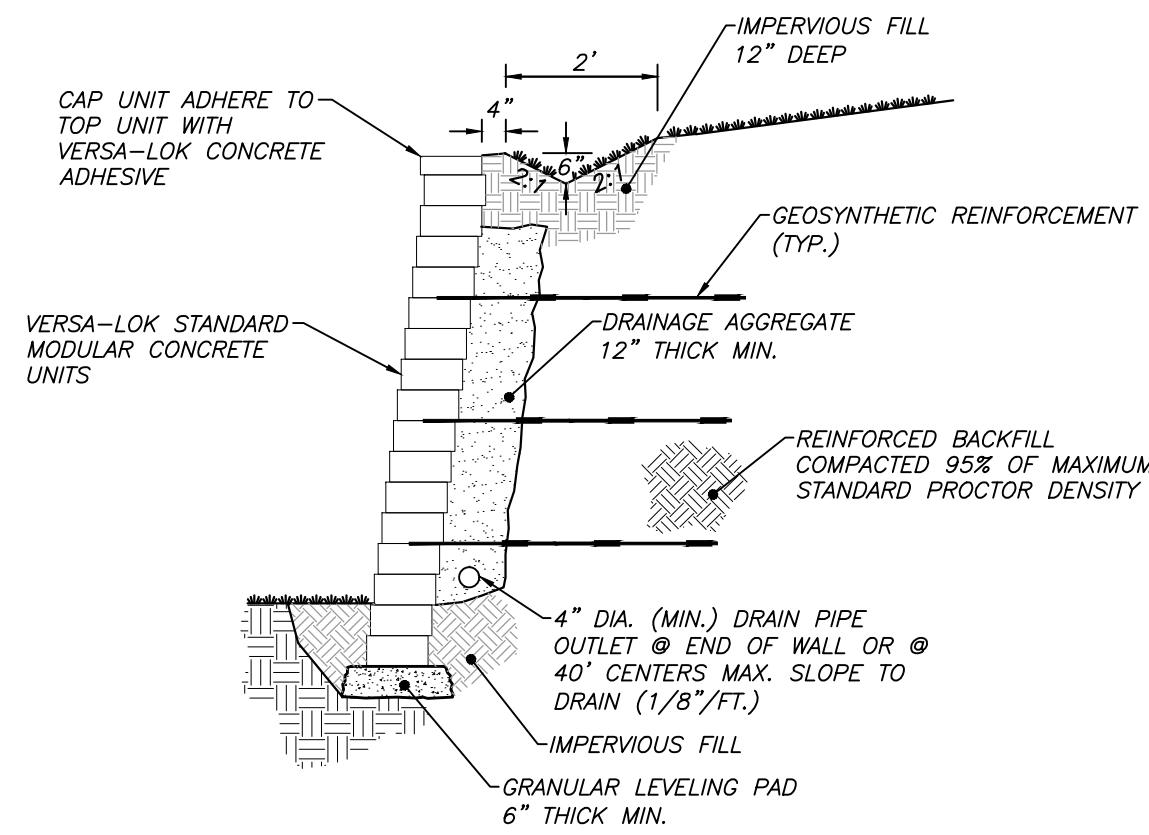
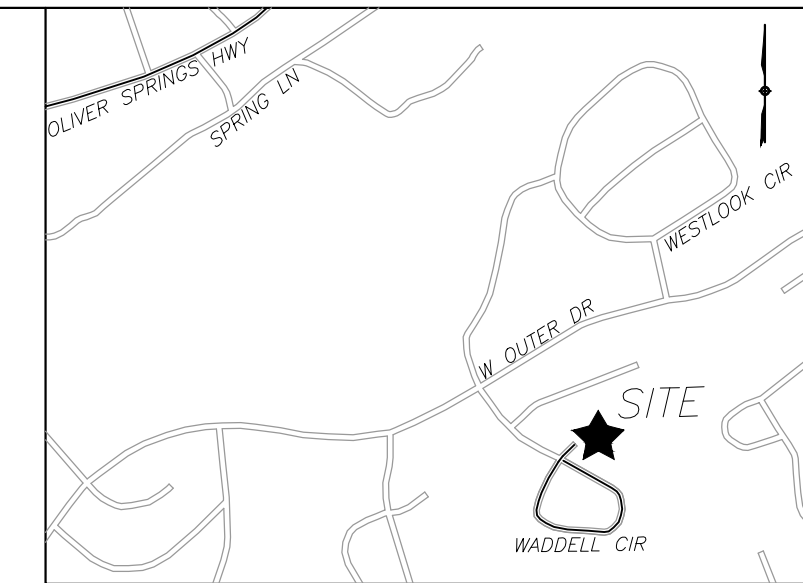


URBAN ENGINEERING, INC.
 11852 KINGSTON PIKE
 FARRAGUT, TENNESSEE 37934
 (865) 966-1924

REVISION	DATE	DESCRIPTION	BY
3	1/22/20	ISSUE FOR BIDS	CAS
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1	9/25/19	GENERAL REVISIONS	CAS

DWN: CLM CHR: CAS DWG. NO. 1908021





1 TYPICAL SECTION - SEGMENTAL RETAINING WALL
MODULAR CONCRETE UNIT (FOR WALLS 4 FEET OR LESS IN HEIGHT)
N.T.S.

VERSA-LOK NOTES

1.01 DESCRIPTION
A. WORK INCLUDES FURNISHING AND INSTALLING SEGMENTAL RETAINING WALL (SRW) UNITS TO THE LINES AND GRADES DESIGNATED ON THE PROJECT'S FINAL CONSTRUCTION DRAWINGS OR AS DIRECTED BY THE ARCHITECT/ENGINEER.

1.02 REFERENCE STANDARDS

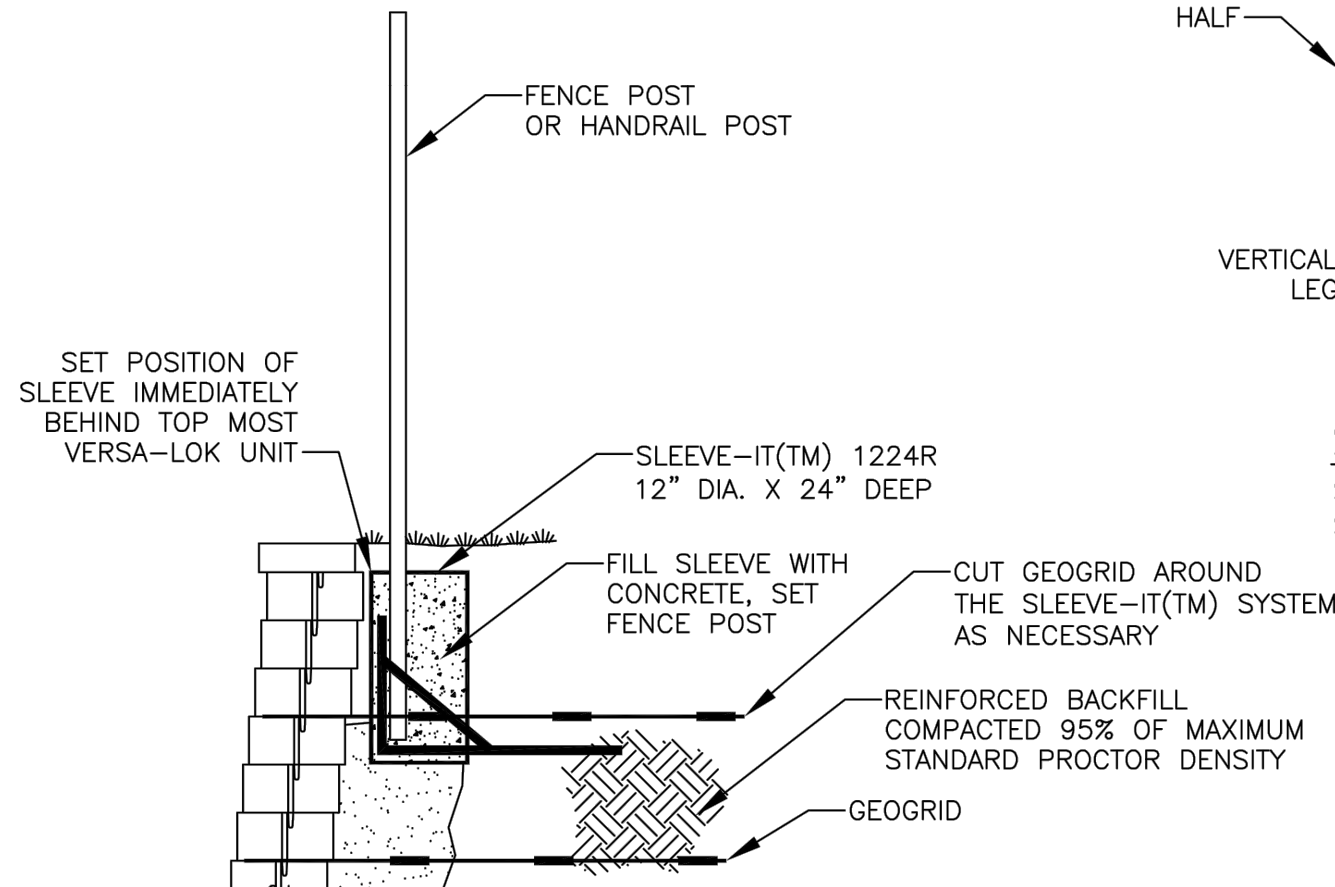
- A. SEGMENTAL RETAINING WALL UNITS
1. ASTM C 1372 - STANDARD SPECIFICATION FOR SEGMENTAL RETAINING WALL UNITS
2. ASTM C 140 - STANDARD TEST METHODS OF SAMPLING AND TESTING CONCRETE MASONRY UNITS
- B. GEOSYNTHETIC REINFORCEMENT
1. ASTM D 4595 - TENSILE PROPERTIES OF GEOTEXTILES BY THE WIDE-WIDTH STRIP METHOD
2. ASTM D 5262 - TEST METHOD FOR EVALUATING THE CONFINED CREEP BEHAVIOR OF GEOSYNTHETICS
3. GRI:GG1 - SINGLE RIB GEOGRID TENSILE STRENGTH
4. GRI:GG5 - GEOGRID PULLOUT
- C. SOILS
1. ASTM D 698 - MOISTURE DENSITY RELATIONSHIP FOR SOILS, STANDARD METHOD
2. ASTM D 422 - GRADATION OF SOILS
3. ASTM D 424 - ATTERBERG LIMITS OF SOIL
- D. DRAINAGE PIPE
1. ASTM D 3034 - SPECIFICATION FOR POLYVINYL CHLORIDE (PVC) PLASTIC PIPE
2. ASTM D 1248 - SPECIFICATION FOR CORRUGATED PLASTIC PIPE
- E. ENGINEERING DESIGN
1. "NEMA DESIGN MANUAL FOR SEGMENTAL RETAINING WALLS", SECOND EDITION

F. WHERE SPECIFICATIONS AND REFERENCE DOCUMENTS CONFLICT, THE ARCHITECT/ENGINEER SHALL MAKE THE FINAL DETERMINATION OF APPLICABLE DOCUMENT.

1.03 SUBMITTALS

- A. MATERIAL SUBMITTALS: THE CONTRACTOR SHALL SUBMIT MANUFACTURERS' CERTIFICATIONS TWO WEEKS PRIOR TO START OF WORK STATING THAT THE SRW UNITS AND GEOSYNTHETIC REINFORCEMENT MEET THE REQUIRED SPECIFICATIONS.
- B. DESIGN SUBMITTAL: THE CONTRACTOR SHALL SUBMIT TWO SETS OF DETAILED DESIGN CALCULATIONS AND FINAL RETAINING WALL PLANS AND SPECIFICATIONS FOR APPROVAL AT LEAST TWO WEEKS PRIOR TO THE BEGINNING OF WALL CONSTRUCTION. ALL CALCULATIONS, DRAWINGS, AND SPECIFICATIONS SHALL BE PREPARED AND SEALED BY A PROFESSIONAL CIVIL ENGINEER (P.E.) - (WALL DESIGN ENGINEER) EXPERIENCED IN SRW DESIGN AND LICENSED IN THE STATE OF TENNESSEE.

*FENCING SYSTEMS APPROVED FOR USE WITH SLEEVE-IT(TM) 1224R ARE LIMITED TO THE FOLLOWING HEIGHTS: CHAIN LINK-UP TO 8-FT, PRIVACY -UP TO 6-FT (WOODEN, PVC, METAL). POST SIZE 4"x4" MAX.



FENCE POST DETAIL W/ SLEEVE-IT(TM) 1224R
STANDARD UNIT WITH SLEEVE-IT(TM) 1224R
SCALE: NONE

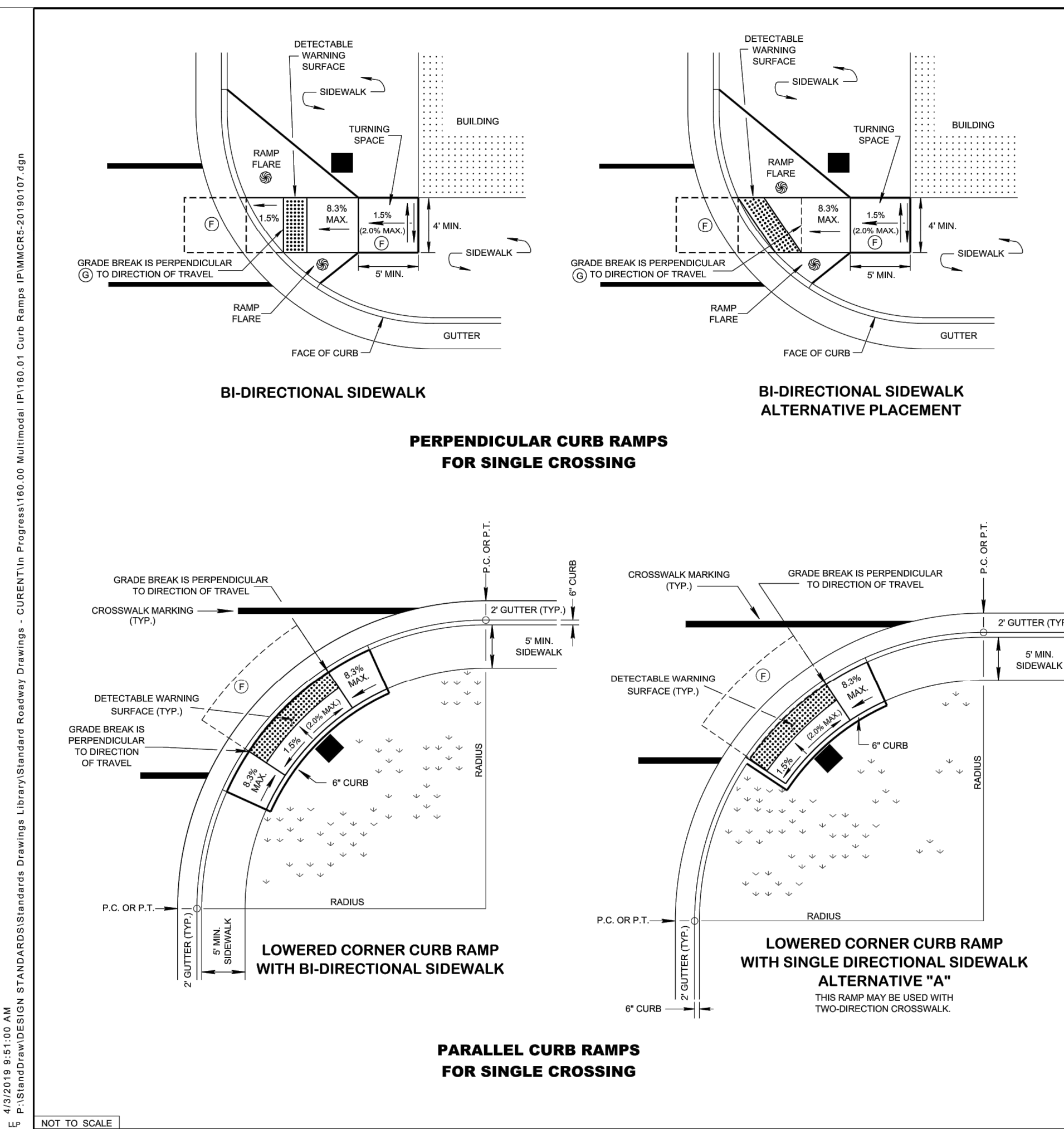
SLEEVE-IT(TM) ISO 1224R
SYSTEM COMPONENTS
SCALE: NONE

SEE SLEEVE-IT(TM) SYSTEM MANUFACTURER STRATA SYSTEMS FOR COMPLETE SPECIFICATIONS, AND TECHNICAL GUIDANCE

THESE PRELIMINARY DETAILS ARE INTENDED AS AN AID IN DESIGNING ATTRACTIVE, DURABLE RETAINING WALLS WITH VERSA-LOK UNITS. FINAL DETERMINATION OF THE SUITABILITY OF ANY INFORMATION OR MATERIAL FOR THE USE CONTEMPLATED, AND ITS MANNER OF USE, IS THE SOLE RESPONSIBILITY OF THE USER. A FINAL PROJECT SPECIFIC DESIGN SHOULD BE PREPARED BY A QUALIFIED, LICENSED, PROFESSIONAL ENGINEER.



NO.	DATE	DESCRIPTION	BY
1	10/2007	VERSA-LOK STANDARD DETAILS	
2		FENCE POST WITH SLEEVE IT	

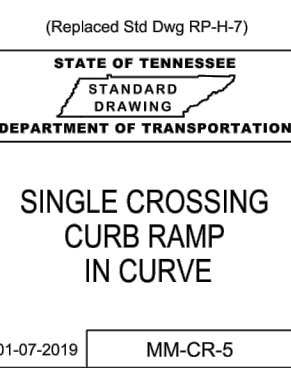


2 PARALLEL CURB RAMP
N.T.S.

LEGEND	
6	DIMENSION VARIES RELATIVE TO LONGITUDINAL ROADWAY GRADE, 8.3% DESIRABLE (10.0% MAX.)
■	DENOTES APPROXIMATE PEDESTRIAN POLE/PUSHBUTTON LOCATION FOR SIGNALIZED INTERSECTIONS

GENERAL NOTES

- A. FOR DETECTABLE WARNING SURFACE DETAILS SEE STD. DWG. MM-CR-1. FOR ADDITIONAL DETAILS AND OTHER INFORMATION FOR PERPENDICULAR CURB RAMPS NOT SHOWN ON THIS DRAWING SEE STD. DWG. MM-CR-2 AND FOR PARALLEL CURB RAMPS SEE STD. DWG. MM-CR-3. FOR CROSSWALK MARKING DETAILS SEE STD. DWG. T-164.
- B. IF PERPENDICULAR CURB RAMPS AND TURNING SPACE CANNOT BE CONSTRUCTED DUE TO LIMITED RIGHT-OF-WAY, USE PARALLEL CURB RAMP INSTEAD.
- C. CARE SHALL BE TAKEN ON ALL ROADWAY CURB RAMPS AT INTERSECTIONS WITH SIDEWALK AND CURB RAMPS TO ENSURE A UNIFORM GRADE AROUND THEM. THE ROADWAY CURB RAMP GRADE SHALL BE FREE OF SAGS AND SHORT GRADE CHANGES.
- D. SIDEWALK WIDTH SHALL NOT INCLUDE 6" CONCRETE CURB. THE DESIRABLE SIDEWALK CROSS SLOPE IS 1.5%. ABSOLUTE MAXIMUM IS 2.5%.
- E. DRAINAGE STRUCTURES SHALL NOT BE PLACED IN THE SIDEWALK OR IN FRONT OF THE CURB RAMP.
- F. TURNING SPACE CLEAR SPACE:
CLEAR SPACE BEYOND THE BOTTOM GRADE BREAK, A CLEAR SPACE 4' (MIN.) BY 4' (MIN.) SHALL BE PROVIDED WITHIN THE WIDTH OF THE PEDESTRIAN STREET CROSSING AND WHOLLY OUTSIDE THE PARALLEL VEHICLE TRAVEL LANE. TURNING SPACE MUST BE PROVIDED AT THE TOP OF PERPENDICULAR CURB RAMPS. THE TURNING SPACE MUST BE 4' (MIN.) BY 4' (MIN.) AND IS PERMITTED TO OVERLAP OTHER TURNING SPACES AND CLEAR SPACES. WHERE THE TURNING SPACE IS CONFINED AT THE BACK OF THE SIDEWALK, THE TURNING SPACE MUST BE 4' (MIN.) BY 5' (MIN.) WITH THE 5' DIMENSION PROVIDED IN THE DIRECTION OF THE RAMP RUN.
- G. FOR PARALLEL CURB RAMPS, A TURNING SPACE 4' (MIN.) BY 4' (MIN.) SHALL BE PROVIDED AT THE BOTTOM OF THE CURB RAMP AND SHALL BE PERMITTED TO OVERLAP OTHER TURNING SPACES AND CLEAR SPACES. IF THE TURNING SPACE IS CONFINED ON 2 OR MORE SIDES, THE TURNING SPACE SHALL 4' (MIN.) BY 5' (MIN.). THE 5' DIMENSION SHALL BE PROVIDED IN THE DIRECTION OF THE PEDESTRIAN STREET CROSSING.
- H. GRADE BREAKS:
GRADE BREAKS AT THE TOP AND BOTTOM OF CURB RAMP RUNS SHALL BE PERPENDICULAR TO THE DIRECTION OF THE CURB RAMP RUN. GRADE BREAKS SHALL NOT BE PERMITTED ON THE SURFACE OF CURB RAMP RUNS AND TURNING SPACES. SURFACE SLOPES THAT MEET AT GRADE BREAKS SHALL BE FLUSH. WHERE THE END OF BOTTOM GRADE BREAK ARE BEHIND THE BACK OF CURB AND THE DISTANCE FROM EITHER END OF THE BOTTOM GRADE BREAK TO THE BACK OF CURB IS 8' OR LESS, DETECTABLE WARNING SURFACES SHALL BE PLACED ON THE CURB RAMP RUN WITH ONE DOME SPACING OF THE BOTTOM GRADE BREAK.
- I. PEDESTRIAN SIGNAL PUSHBUTTON:
WHERE PEDESTRIAN SIGNALS ARE PROVIDED AT PEDESTRIAN STREET CROSSINGS, THEY SHALL INCLUDE ACCESSIBLE PEDESTRIAN SIGNALS AND PEDESTRIAN PUSHBUTTONS COMPLYING WITH SECTIONS 4E.08 THROUGH 4E.13 OF THE MUTCD FOR DETAILS OF THE PLACING OF PEDESTRIAN SIGNAL PUSHBUTTONS SEE TDOT TRAFFIC DESIGN MANUAL.
- J. WHEN TWO PEDESTRIAN PUSHBUTTONS ARE ON ONE CORNER THEY WILL BE SEPARATED BY 10 FEET.
- K. PAYMENT:
COST OF CURB AND GUTTER TO BE INCLUDED IN THE PRICE OF ITEM NO. 702-01, CONCRETE CURB, PER C. Y. OR ITEM NO. 702-03, CONCRETE COMBINED CURB & GUTTER, PER C. Y.
- L. NEW CURB RAMPS:
ALL COSTS OF INSTALLING CURB RAMPS, INCLUDING DETECTABLE WARNING SURFACES IN NEWLY CONSTRUCTED SIDEWALK AREAS, SHALL BE PAID BY ITEM NO. 701-02-03, CONCRETE CURB RAMP, PER SQUARE FOOT.
- M. PAYMENT SHALL INCLUDE ALL MATERIALS, EQUIPMENT AND LABOR NECESSARY FOR CONSTRUCTION OF THE CURB RAMPS, INCLUDING INSTALLATION OF DETECTABLE WARNING SURFACES.
- N. CURB RAMPS (RETROFIT):
ALL COSTS OF INSTALLING CURB RAMPS, INCLUDING DETECTABLE WARNING SURFACES IN EXISTING SIDEWALK AREAS, REMOVAL OF THE EXISTING SIDEWALK, AND ADJUSTMENT OF GUTTER PAN SLOPE, SHALL BE PAID BY ITEM NO. 701-02-01, CONCRETE CURB RAMP (RETROFIT), PER SQUARE FOOT.
- O. PAYMENT SHALL INCLUDE ALL MATERIALS, EQUIPMENT AND LABOR INSTALLATION OF CURB RAMPS, INCLUDING INSTALLATION OF DETECTABLE WARNING SURFACES.



REFERENCES:		
TAX PARCEL 2:	DEED BOOK 1627, PAGE 1304 PLAT BOOK 1, PAGE 60	
TAX PARCEL 3:	DEED BOOK 1671, PAGE 2450	
TAX PARCEL 4:	DEED BOOK 1627, PAGE 1304	
TAX PARCEL 5:	DEED BOOK 1627, PAGE 1304	

SHEET C-7 (SHEET 8 OF 11)

SITE CONSTRUCTION DETAILS
WADDELL PLACE
SITE ADDRESS (PAR 2): 106 WADDELL PLACE, OAK RIDGE (37830)
(PAR 3): 108 WADDELL PLACE, OAK RIDGE (37830)
(PAR 4): 111 WADDELL PLACE, OAK RIDGE (37830)
(PAR 5): 105 WADDELL PLACE, OAK RIDGE (37830)

DIST. 02 ANDERSON COUNTY
CITY OF OAK RIDGE TENNESSEE
CLT MAP 99C GROUP 'D' PARCELS 2, 3, 4, 5
SCALE: AS NOTED SEPTEMBER 20, 2019

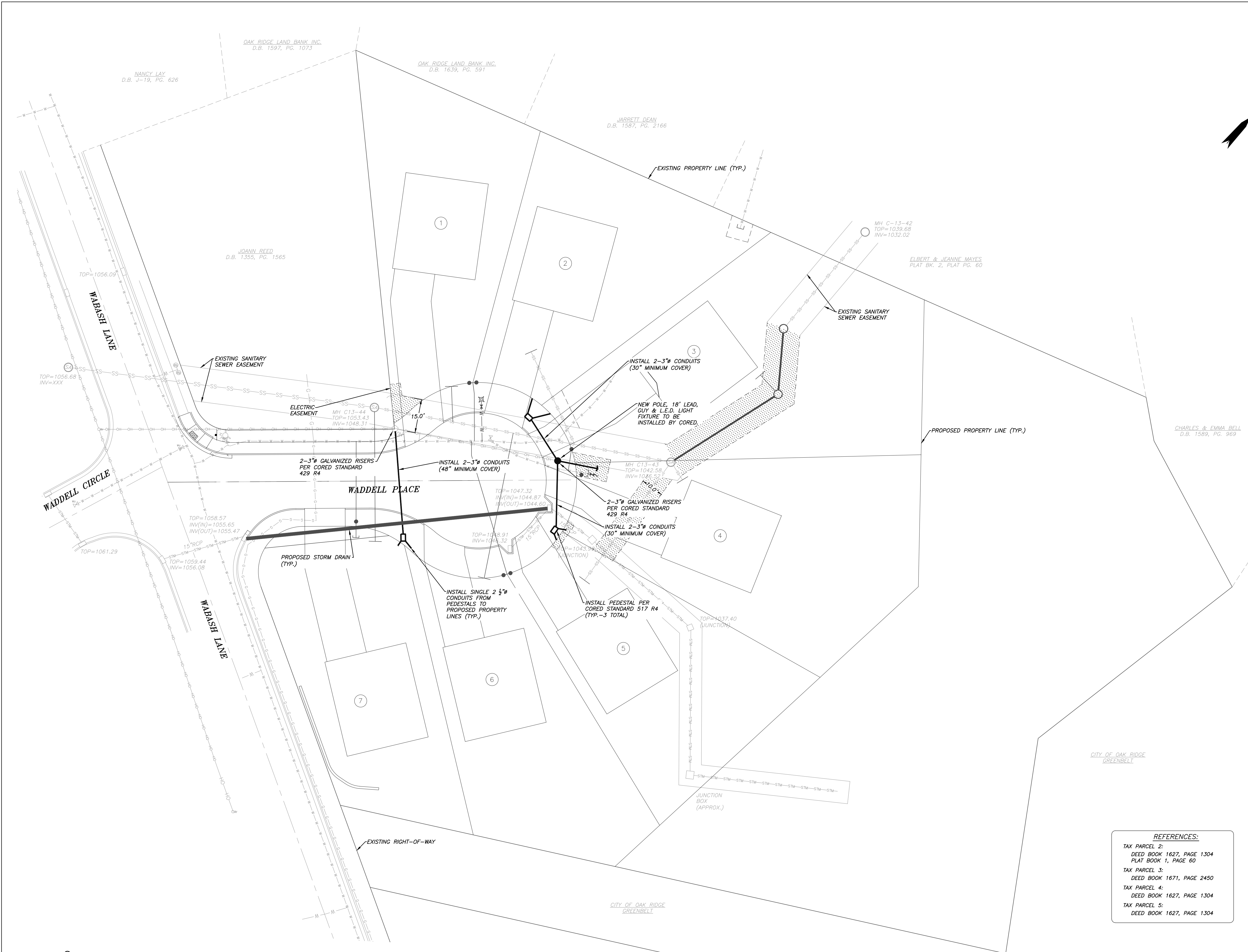
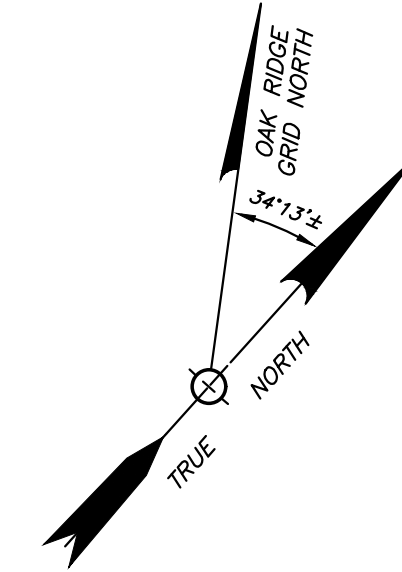
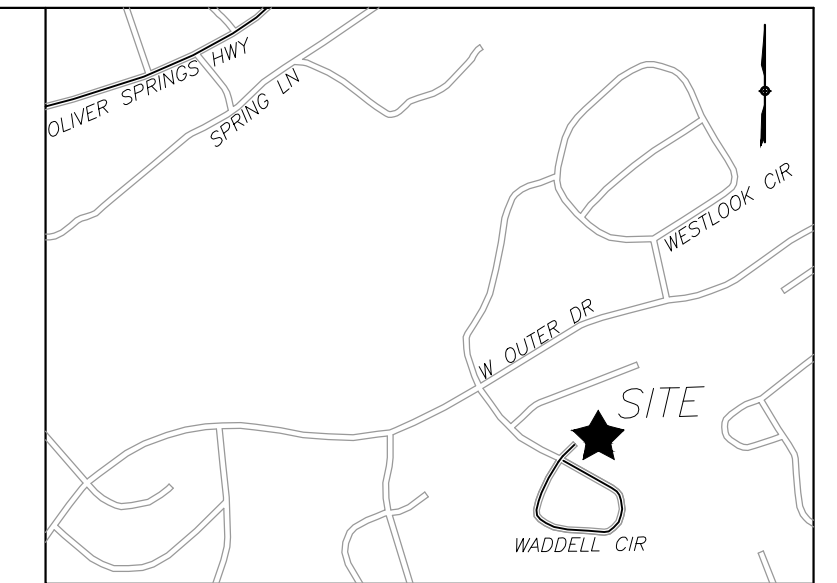
OWNER/DEVELOPER (PARCELS 2, 3, 4, 5):
OAK RIDGE LAND BANK INC.
200 SOUTH TULANE AVENUE
OAK RIDGE, TN 37830
(865) 425-3584

URBAN ENGINEERING, INC.
11852 KINGSTON PIKE
FARRAGUT, TENNESSEE 37934
(865) 966-1924

DWN: CLM CHK: CAS DWG. NO. 1908021

REVISION	DATE	DESCRIPTION	CAS	BY
3	1/22/20	ISSUE FOR BIDS	CAS	
2	10/18/19	GENERAL REVISIONS	CAS	
1	9/25/19	GENERAL REVISIONS	CAS	





- GENERAL NOTES:**
1. THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER VALVES, ETC., AND COMPILING INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE CONTRACTOR SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES AND ALSO CALL TENN ONE-CALL PRIOR TO ANY EXCAVATION WORK TO VERIFY INFORMATION SHOWN AND DETERMINE THE LAYOUT OF THE IRRIGATION SYSTEM AND IF ADDITIONAL IMPROVEMENTS MAY EXIST.
 2. CONTRACTOR TO PROVIDE FITTINGS, AS NEEDED TO INSTALL SERVICES.
 3. ALL PIPING UNDER OR WITHIN 3' OF PROPOSED PAVING SHALL BE BACKFILLED WITH STONE.
 4. AN EASEMENT OF 5 FEET INSIDE ALL LOT LINES IS HEREBY RESERVED FOR UTILITY PURPOSES IN FAVOR OF THE CITY OF OAK RIDGE.
 5. ANY REQUEST TO RELOCATE EXISTING ELECTRICAL FACILITIES SHALL BE PAID BY THE REQUESTING PARTY. THE PARTY WILL ALSO BE RESPONSIBLE FOR SURVEYING AND RECORDING ANY EASEMENTS REQUIRED FOR RELOCATED FACILITIES.
 6. NO CONSTRUCTION OF BUILDINGS OR SIGNS OR INSTALLATION OF LANDSCAPING SHALL TAKE PLACE WITHIN EASEMENTS WITHOUT THE CITY OF OAK RIDGE'S WRITTEN APPROVAL. LANDSCAPING MUST COMPLY WITH CORED STANDARD 850 (LATEST REVISION). LANDSCAPING MUST BE APPROVED IN WRITING BY CORED AND PUBLIC WORKS VIA AN EASEMENT ENCROACHMENT FORM. PLACEMENT SHALL BE COORDINATED WITH THE CITY.
 7. LANDSCAPING, IMPROVEMENTS, AND CONSTRUCTION WITHIN UTILITY EASEMENTS ARE PERFORMED AT THE RISK OF THE OWNER. REASONABLE CARE WILL BE TAKEN BY UTILITIES TO PRESERVE IMPROVEMENTS AND LANDSCAPING WITHIN SUBJECT EASEMENTS. THE CITY OF OAK RIDGE WILL NOT BE RESPONSIBLE FOR REPLACING OR REPAIRING IMPROVEMENTS WITHIN AFFECTED EASEMENTS THAT MAY BE DAMAGED WHILE PERFORMING WORK WITHIN THE EASEMENT.
 8. CORED ENGINEERING SHALL INSPECT ALL UNDERGROUND ELECTRICAL INSTALLATIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE INSPECTIONS WITH CORED.
 9. ALL PIPING UNDER OR WITHIN 3 FEET OF ASPHALT OR FLATWORK SHALL BE BACKFILLED WITH STONE.
 10. THE CONTRACTOR IS RESPONSIBLE FOR SUPPLYING ALL CONDUIT, INCLUDING THE RIGID RISERS PER CORED STANDARD 429 R4. THE CONTRACTOR SHALL INSTALL THE ELBOWS AND THE FIRST STALK OF RISER. REFER TO THE RISER NOTES IN CORED STANDARD 429 R4.
 11. THE CONTRACTOR IS RESPONSIBLE FOR SUPPLYING AND INSTALLING THE REMAINING UNDERGROUND CONDUIT AND PEDESTALS.

REFERENCES:

TAX PARCEL 2:
DEED BOOK 1627, PAGE 1304
PLAT BOOK 1, PAGE 60

TAX PARCEL 3:
DEED BOOK 1671, PAGE 2450

TAX PARCEL 4:
DEED BOOK 1627, PAGE 1304

TAX PARCEL 5:
DEED BOOK 1627, PAGE 1304



SHEET E-1 (SHEET 9 OF 11)

ELECTRIC PLAN
WADDELL PLACE

SITE ADDRESS (PAR 2): 106 WADDELL PLACE, OAK RIDGE (37830)
(PAR 3): 108 WADDELL PLACE, OAK RIDGE (37830)
(PAR 4): 111 WADDELL PLACE, OAK RIDGE (37830)
(PAR 5): 105 WADDELL PLACE, OAK RIDGE (37830)

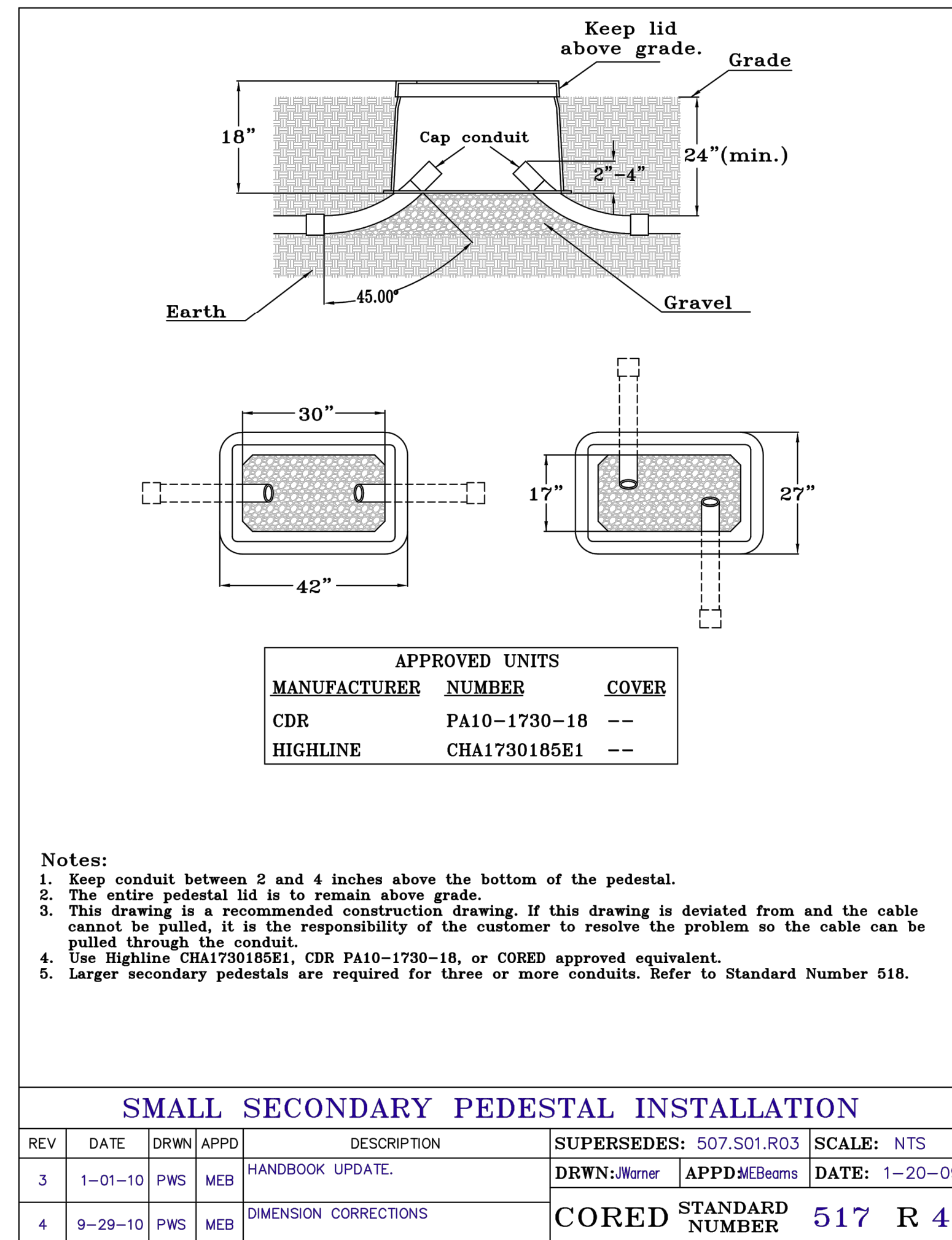
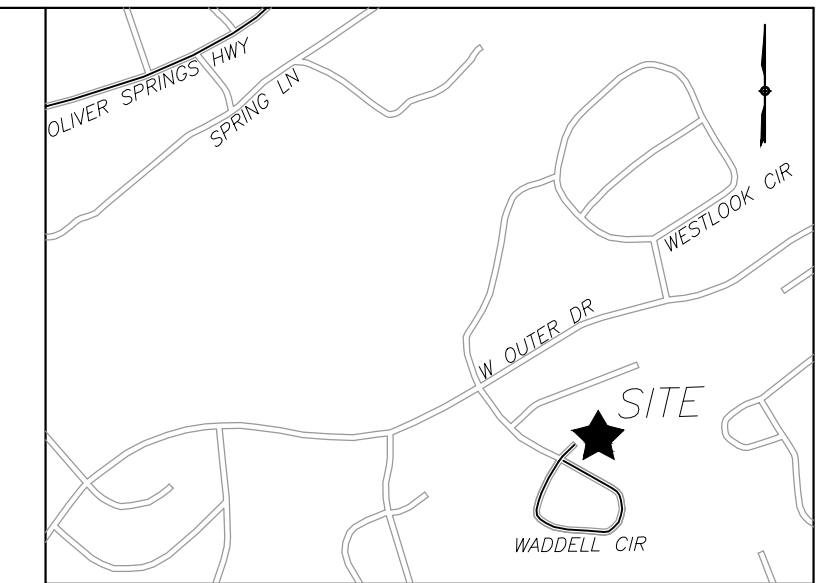
DIST. 02 ANDERSON COUNTY
CITY OF OAK RIDGE TENNESSEE
CLT MAP 99C GROUP 'D' PARCELS 2, 3, 4, 5
SCALE: 1"=20'
SEPTEMBER 20, 2019

OWNER/DEVELOPER (PARCELS 2, 3, 4, 5):
OAK RIDGE LAND BANK INC.
200 SOUTH TULANE AVENUE
OAK RIDGE, TN 37830
(865) 425-3584

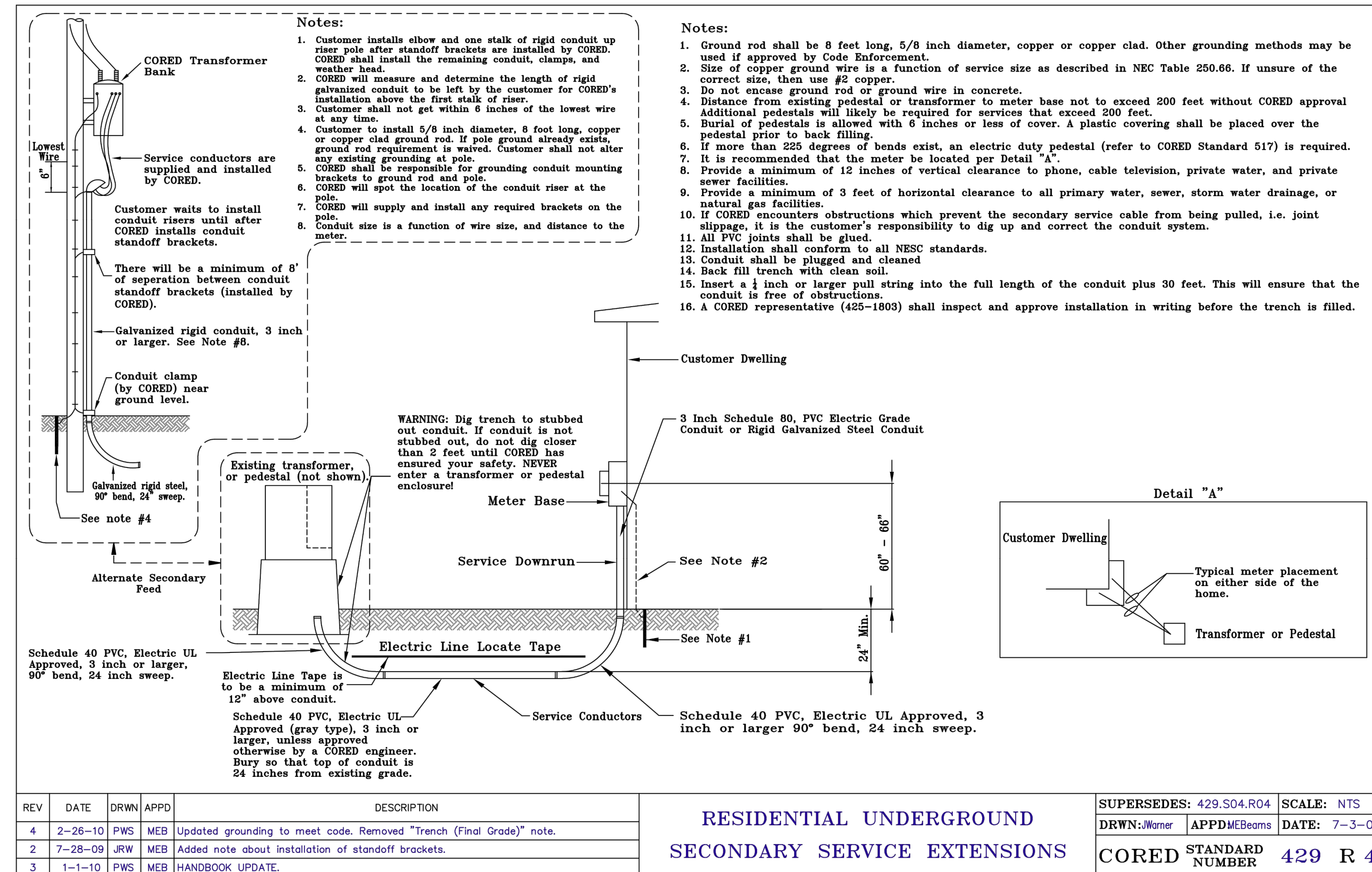
URBAN ENGINEERING, INC.
11852 KINGSTON PIKE
FARRAGUT, TENNESSEE 37934
(865) 966-1924

REVISION	DATE	DESCRIPTION	BY
2	1/22/20	ISSUE FOR BIDS	CAS
1	10/18/19	GENERAL REVISIONS	CAS





SMALL SECONDARY PEDESTAL INSTALLATION					
REV	DATE	DRWN	APPD	DESCRIPTION	SUPERSEDES: 507.S01.R03
3	1-01-10	PWS	MEB	HANDBOOK UPDATE.	SCALE: NTS
4	9-29-10	PWS	MEB	DIMENSION CORRECTIONS	DATE: 1-20-09
				CORED STANDARD NUMBER	517 R 4



RESIDENTIAL UNDERGROUND SECONDARY SERVICE EXTENSIONS					
REV	DATE	DRWN	APPD	DESCRIPTION	SUPERSEDES: 429.S04.R04
4	2-26-10	PWS	MEB	Updated grounding to meet code. Removed "Trench (Final Grade)" note.	SCALE: NTS
2	7-28-09	JRW	MEB	Added note about installation of standoff brackets.	DATE: 7-3-07
3	1-1-10	PWS	MEB	HANDBOOK UPDATE.	CORED STANDARD NUMBER 429 R 4



SHEET E-2 (SHEET 10 OF 11)

ELECTRIC DETAILS	
WADDELL PLACE	
SITE ADDRESS (PAR 2): 106 WADDELL PLACE, OAK RIDGE (37830)	
(PAR 3): 108 WADDELL PLACE, OAK RIDGE (37830)	
(PAR 4): 111 WADDELL PLACE, OAK RIDGE (37830)	
(PAR 5): 105 WADDELL PLACE, OAK RIDGE (37830)	
DIST. 02	ANDERSON COUNTY
CITY OF OAK RIDGE	TENNESSEE
CLT MAP 99C	GROUP 'D' PARCELS 2, 3, 4, 5
SCALE: 1"=20'	SEPTEMBER 20, 2019
OWNER/DEVELOPER (PARCELS 2, 3, 4, 5):	
OAK RIDGE LAND BANK INC.	
200 SOUTH TULANE AVENUE	
OAK RIDGE, TN 37830	
(865) 425-3584	
URBAN ENGINEERING, INC.	
11852 KINGSTON PIKE	
FARRAGUT, TENNESSEE 37934	
(865) 966-1924	
DWN: CLM	CHK: CAS
DWG. NO. 1908021	

REVISION	DATE	DESCRIPTION	CAS
1	1/22/20	ISSUE FOR BIDS	BY