

# RFP 2019-107 ARSENAL WINDOW RESTORATION

## CONTACTS

### Owner:

City of Beaufort  
1911 Boundary Street  
Beaufort, SC 29902

Paul McGee  
Owner Representative  
Email: Pmcgee@cityofbeaufort.org

### Architect:

Meadors Inc.  
PO Box 21758  
Charleston, South Carolina 29413  
Tel: 843.723.8585  
Fax: 843.577.3107

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Project Architect  
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Kalen McNabb  
Conservator  
Email: kalen@meadorsinc.com

### Engineer:

Live Oak Consultants, LLC  
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Fax: 1.800.915.0341

Gerald R. (Jerry) Ulmer, PE  
Principal and Mechanical Engineer  
Email: JUlmer@LiveOakConsultants.com

## PROJECT DATA

### 1. General Information

Address: Beaufort Arsenal/Beaufort History Museum  
713 Craven Street  
Beaufort, SC 29902

Property ID: R120 004 000 819A 0000  
Flood Zone: A11  
Flood Insurance Map Panel #450026 0005D

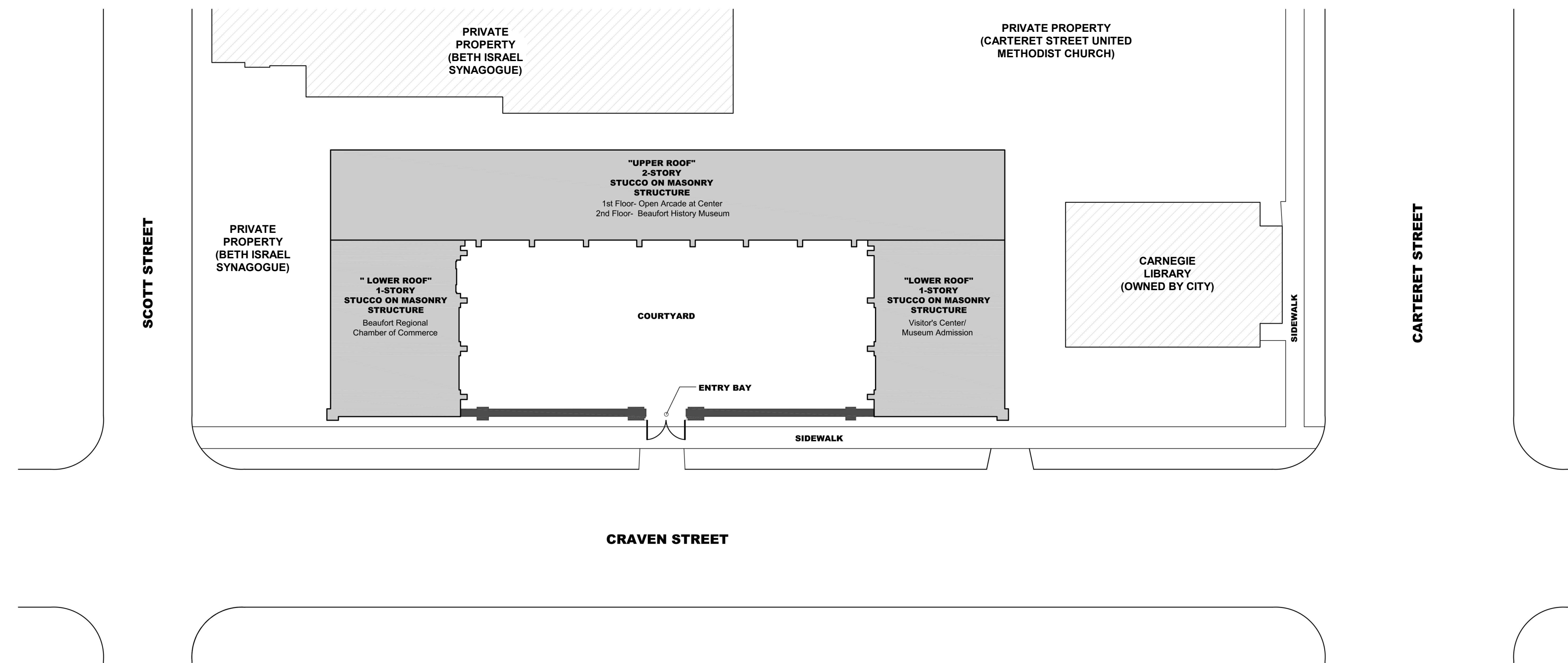
Site Area: 9,212 SF (.212 Acres)

## PROJECT DESCRIPTION

The Beaufort Arsenal is an iconic local historic site and a major contributing structure in the City of Beaufort's National Historic Landmark District. The scope of work for this project includes window restoration, stucco repair adjacent to the windows, and an alternate for restoration of two doors.

## DRAWING LIST

A00 COVER/TITLE SHEET  
A01 NOTES & SPECIFICATIONS  
A101 1ST FLOOR PROPOSED PLAN  
A201 BUILDING ELEVATIONS  
A601 WINDOW & DOOR SCHEDULES



1 SITE PLAN - ARSENAL COMPLEX  
SCALE: 1/8" = 1'-0"



MEADORS  
SINCE 1984

2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585

CITY OF BEAUFORT  
BEAUFORT ARSENAL  
713 CRAVEN STREET  
BEAUFORT, SC 29902

NOT FOR CONSTRUCTION

BID DRAWINGS

PROJ. 18-0125  
ISSUE DATE: 04/15/19

REVISIONS

#	DATE	NOTES

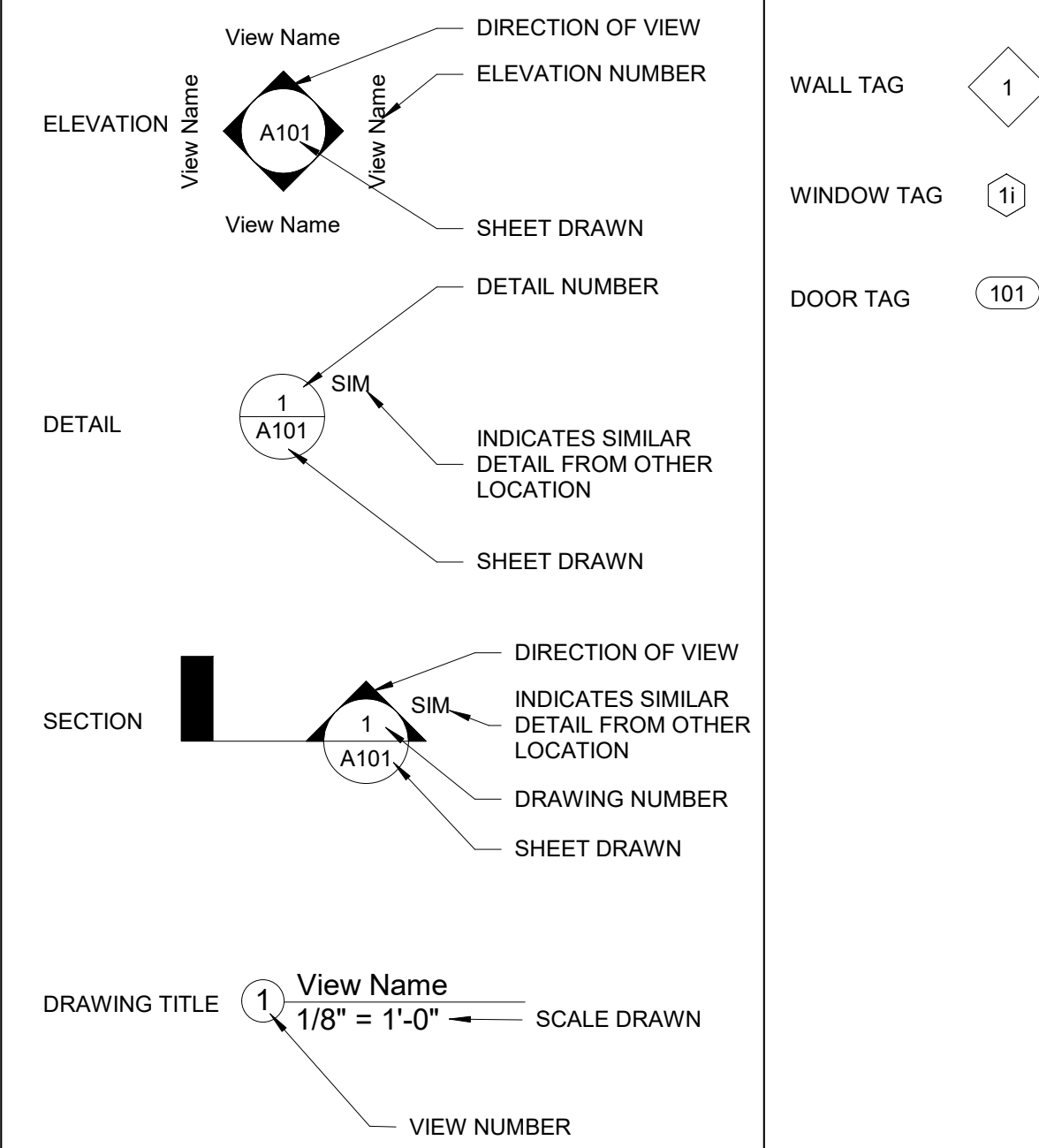
COVER/TITLE SHEET

A00

# PROJECT GENERAL NOTES

- THE BUILDING IS HISTORIC. CARE SHALL BE TAKEN TO PROTECT THE BUILDING AND PROPERTY FROM DAMAGE DURING ALL WORK. ALL EFFORT SHALL BE MADE TO PROTECT, RETAIN, AND PRESERVE AS MUCH EXISTING ORIGINAL MATERIAL AS POSSIBLE. NEW MATERIAL MUST MATCH THE ORIGINAL LOCATION, SIZE, MATERIAL, PROFILE (WHERE APPLICABLE), AND INSTALLATION METHOD.
- THE TERM "WORK" AS USED IN THESE NOTES SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS, SPECIFICATIONS, AND WRITTEN INSTRUCTIONS AND APPROVED BY THE ARCHITECT.
- THE TERM "CONTRACTOR" AS USED IN THESE NOTES SHALL REFER TO THE GENERAL CONTRACTOR OR TO THE SUB-CONTRACTORS.
- SCOPE OF WORK. THE CONTRACTOR SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION, TAXES, PERMITS, AND FEES AND PAY ALL EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE THE WORK OF OTHERS. CONTRACTOR SHALL PERFORM ALL WORK NECESSARY FOR PRODUCING A COMPLETE, HABITABLE PROJECT.
- BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- IF THE CONTRACT DRAWINGS AND SPECS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.
- THE ARCHITECT SHALL HAVE UNRESTRICTED ACCESS TO THE SITE DURING CONSTRUCTION OF THE PROJECT. IF A CONDITION EXISTS, THAT REQUIRES OBSERVATION OR ACTION BY THE ARCHITECT OR ANY OF THE ARCHITECT'S CONSULTANTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING.
- CONTRACTOR SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL ENSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE AND FEDERAL CODES, TRADE STANDARDS AND MANUFACTURER'S RECOMMENDATIONS. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE, AND NATIONAL CODES, THE MORE STRINGENT SHALL GOVERN.
- THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, AND COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY ARE THE CONTRACTOR'S RESPONSIBILITY.
- CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS AND METHODS AS OUTLINED IN THE CONTRACT DRAWINGS AND SPECIFICATIONS, AND ALL SAFETY PROCEDURES AND FOR COORDINATION OF ALL PORTIONS OF THE WORK.
- INSURANCE: WORKMEN'S COMPENSATION, AS REQUIRED BY LAW AND GENERAL LIABILITY SHALL BE CARRIED BY THE CONTRACTOR, NAMING THE OWNER AND ARCHITECTS AS ADDITIONALLY INSURED.
- GUARANTEE: THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS AND WORKMANSHIP FURNISHED OR INSTALLED BY HIM OR HIS SUBCONTRACTORS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE, UNLESS NOTED OTHERWISE IN THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSE TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING RESULTING FROM DEFECTIVE WORK OR ITS REPAIR. THE CONTRACTOR SHALL REPLACE DEFECTIVE WORK WITHIN TEN (10) DAYS AFTER IT IS BROUGHT TO HIS ATTENTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK AND THAT OF HIS SUBCONTRACTORS, FOR LOSSES AND DAMAGES TO EQUIPMENT, TOOLS AND MATERIALS USED IN CONJUNCTION WITH THE WORK AND FOR ACTS OF HIS EMPLOYEES AND SUBCONTRACTORS.
- CLEANING UP: THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH AND, AT THE COMPLETION OF THE WORK, SHALL REMOVE ALL RUBBISH, IMPLEMENTS, AND SURPLUS MATERIALS, AND LEAVE THE PROJECT CLEAN AND IN SAFE CONDITION.
- CONTRACTOR TO PROVIDE THE OWNER WITH A LIST OF ALL SUBCONTRACTORS USED, COMPLETE WITH ADDRESSES, PHONE NUMBERS AND COPIES OF ALL WARRANTIES AND OPERATIONS AND MAINTENANCE MANUALS ASSOCIATED WITH ANY COMPONENT INCLUDED AS PART OF THE SCOPE OF WORK.
- CONTRACTOR SHALL KEEP A RECORD SET OF DRAWINGS ON SITE AND NOTE DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS AND DOCUMENT SPECIAL CONDITIONS THAT ARE EXPOSED. CONTRACTOR SHALL TURN THE RECORD SET OVER TO THE OWNER AT THE COMPLETION OF THE PROJECT.
- NO OPEN FLAME DEVICES ARE ALLOWED WITHIN THE BUILDING OR ON COMPONENTS STILL ATTACHED TO THE BUILDING. THIS INCLUDES, BUT IS NOT LIMITED TO, TORCHES, WELDERS OR CIGARETTES.
- DO NOT SCALE OFF DRAWINGS.
- THESE DOCUMENTS ARE THE COPYRIGHTED PROPERTY AND INTELLECTUAL PROPERTY OF MEADORS INC. THE DOCUMENTS ARE NOT TO BE REPRODUCED OR UTILIZED FOR ANY PURPOSE OTHER THAN ORIGINALLY INTENDED AS STIPULATED ON THE COVER SHEET AND TITLEBLOCK. USE OF THE DOCUMENTS FOR ANY PURPOSE, SPECIFICALLY STIPULATED OR NOT, SHALL BE GRANTED ONLY VIA AUTHORIZED WRITING BY MEADORS INC.
- NONE OF THE DOCUMENTS INCLUDED IN DRAWING INDEX ARE INTENDED TO BE CONSIDERED IN ISOLATION OF ONE ANOTHER. ALL PARTIES/ENTITIES UTILIZING THESE DOCUMENTS FOR BIDDING, QUANTITY SURVEY, AND/OR CONSTRUCTION SHALL CONSULT THE GENERAL NOTES AND INFORMATION LOCATED ON THIS SHEET AND ALL SHEETS FOR INFORMATION AND CONDITIONS GOVERNING WORK DESCRIBED IN DOCUMENTS LISTED IN THE DRAWING INDEX BEFORE PROCEEDING WITH PROCUREMENT AND/OR CONSTRUCTION. GENERAL INFORMATION AND DATA SHEET(S) PROVIDE CODE PROCEDURAL AND USE GUIDELINES GOVERNING ALL BID AND/OR CONSTRUCTION DOCUMENTS. ALL BIDDERS, SUB-BIDDERS, CONTRACTORS, AND SUB-CONTRACTORS SHALL UTILIZE COMPLETE SETS OF THE BIDDING AND/OR CONSTRUCTION DOCUMENTS IN QUANTIFYING AND CONSTRUCTING. NEITHER THE OWNER NOR ARCHITECT ASSUMES RESPONSIBILITY FOR ERRORS, OMISSIONS, OR MISINTERPRETATIONS RESULTING FROM THE USE OF INCOMPLETE SETS OF BIDDING AND/OR CONSTRUCTION DOCUMENTS.
- ALL CONSTRUCTION, MATERIALS, AND INSTALLATIONS SHALL CONFORM TO THE CURRENT CODES NOTED ON THE COVER SHEET OF THESE DRAWINGS AS WELL AS APPLICABLE STATE AND LOCAL CODES, TRADE ASSOCIATION STANDARDS AND/OR MANUFACTURER'S STANDARDS AS ADOPTED BY THE APPLICABLE LOCAL JURISDICTION HAVING AUTHORITY.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS FROM ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
- COORDINATE AREAS FOR LAYDOWN, STORAGE AND PARKING WITH ARCHITECT AND OWNER PRIOR TO BEGINNING THE WORK.
- FLOOR ELEVATIONS BASED ON SITE MEASUREMENTS W/ ELEVATION 0'-0" AT FIRST FLOOR. VERIFY DIMENSIONS PRIOR TO PERFORMING WORK.

# SYMBOLS LEGEND



# APPLICABLE CODES

Code Compliance with the Following:

- International Building Code (IBC), 2015 Edition with South Carolina Modifications
- International Existing Building Code (IEBC), 2015 Edition (*Work Area Compliance Method, Alteration Level 2*)
- International Fire Code (IFC), 2015 Edition with South Carolina Modifications
- International Mechanical Code (IMC), 2015 Edition
- International Plumbing Code (IPC), 2015 Edition
- National Electrical Code, 2014 Edition, NFPA 70
- South Carolina Energy Conservation Code (SCECC), 2009 Edition
- Federal Emergency Management Agency American with Disabilities Act (ADA)
- ANSI A117.1 2017 Edition - Accessible & Usable Buildings & Facilities

# ABBREVIATIONS LEGEND

&	AND	KDAT	KILN DRIED AFTER TREATMENT
@	AT	LT WT	LIGHT WEIGHT
ACOUS	ACOUSTICAL	LLH	LONG LEG HORIZONTAL
ACT	ACOUSTICAL CEILING TILE	LLV	LONG LEG VERTICAL
ADA	AMERICANS WITH DISABILITY ACT	LP	LOW POINT
AFB	ABOVE FINISHED FLOOR	LVL	LAMINATED VENEER LUMBER
ALT	ALTERNATE		
ALUM	ALUMINUM	MAT'L	MATERIAL
APPROX	APPROXIMATE	MAX	MAXIMUM
ARCH	ARCHITECTURAL	MECH	MECHANICAL
		MFR	MANUFACTURER
BLDG	BUILDING	MIN	MINIMUM
BLKG	BLOCKING	MISC	MISCELLANEOUS
BM	BEAM	MO	MASONRY OPENING
B.O.	BOTTOM OF	MTL	METAL
CAT	CATALOGUE	NIC	NOT IN CONTRACT
CJ	CONTROL JOINT	NOM	NOMINAL
CL	CENTERLINE	NON-COM	NON-COMBUSTIBLE
CLG	CEILING	NTS	NOT TO SCALE
CMU	CONCRETE MASONRY UNIT		
COL	COLUMN	OC	ON CENTER
CONC	CONCRETE	OPNG	OPENING
CONN	CONNECTION	OPP	OPPOSITE
CONST	CONSTRUCTION	OF/CI	OWNER FURNISHED - CONTRACTOR INSTALLED
CONT	CONTINUOUS	OF/OI	OWNER FURNISHED - OWNER INSTALLED
DET / DTL	DETAIL		
DIAG	DIAGONAL	PLUMB	PLUMBING
DIA	DIAMETER	PR	PAIR
DIM	DIMENSION	PRE-FAB	PRE-FABRICATED
DN	DOWN	PT	PAVER TILE
DR	DOOR	PT	PRESSURE-TREATED
DS	DOWNSPOUT	PVB	POLY VAPOR BARRIER
DWGS	DRAWINGS		
EA	EACH	RAD	RADIUS
EJ	EXPANSION JOINT	RD	ROOF DRAIN
ELEV	ELEVATION	REF	REFERENCE
EOS	EMERGENCY OVERFLOW SCUPPER	REINF	REINFORCING
EQ	EQUAL	REQ'D	REQUIRED
EQUIP	EQUIPMENT	REV	REVISION
EX/EXIST	EXISTING	RO	ROUGH OPENING
EXT	EXTERIOR		
		SCHED	SCHEDULE
FACP	FIRE ALARM CONTROL PANEL	SEC	SECURE / SECURITY
FD	FLOOR DRAIN	SECT	SECTION
FDN	FOUNDATION	SIM	SIMILAR
FE	FIRE EXTINGUISHER	SOG	SLAB ON GRADE
FEC	FIRE EXTINGUISHER & CABINET	SPECS	SPECIFICATIONS
FFE	FURNITURE, FIXTURES, & EQUIPMENT	SQ	SQUARE
FIG	FIGURE	SQ FT	SQUARE FEET
FIN	FINISH	STD	STANDARD
FLR	FLOOR	STL	STEEL
FRP	FIBERGLASS REINFORCED PLASTIC	STRUCT	STRUCTURE / STRUCTURAL
FTG	FOOTING	SYM	SYMMETRICAL
GALV	GALVANIZED	TEMP	TEMPORARY
GA	GAUGE OR GAGE	THK'NS	THICKNESS
GYP BD	GYPSUM BOARD	T.O.	TOP OF
GIR	GIRDER	TRTD	TREATED
GRD BM	GRADE BEAM	T.T.W.	TO THE WEATHER
		TYP	TYPICAL
H/C	HANDICAPPED	UNO	UNLESS NOTED OTHERWISE
HB	HOSE BIB		
HM	HOLLOW METAL	VCT	VINYL COMPOSITION TILE
HORIZ	HORIZONTAL	VERT	VERTICAL
HP	HIGH POINT	VIF	VERIFY IN FIELD
HT	HEIGHT	VL	VINYL
HVAC	HEATING, VENTILATION, & AIR CONDITIONING		
		W/	WITH
INSUL	INSULATION	W/O	WITHOUT
INTR	INTERIOR	WP	WATERPROOFING
INV	INVERT	WS	WATER STOP
		WT	WEIGHT
JT	JOINT		

# GENERAL DEMOLITION NOTES

- PLANS ARE GENERAL AND DIAGRAMMATIC IN NATURE. THE PLANS ARE NOT INTENDED TO REPRESENT THE TOTAL SCOPE OF WORK. THESE PLANS DO NOT SHOW EACH ITEM THAT IS REQUIRED TO BE REMOVED. EACH CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACTUAL CONDITIONS AS THEY EXIST IN THE FIELD THROUGH SITE INSPECTION AND REVIEW OF THESE DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE AND COORDINATE THE REMOVAL AND DEMOLITION WORK AS REQUIRED TO ACHIEVE THE FINAL PRODUCT AS INDICATED IN THESE DOCUMENTS.
- REMOVE, CLEAN, PATCH/REPAIR EXISTING SURFACES/FINISHES AS NECESSARY FOR THE INSTALLATION OF NEWLY SCHEDULED FINISHES. REFER TO KEYED REPAIR PLAN FOR LIMITED SCOPE.
- THE OWNER AND HIS DESIGNATED REPRESENTATIVES HAVE FIRST RIGHT OR REFUSAL REGARDING SALVAGEABLE ITEMS. CONTRACTOR SHALL COORDINATE WITH OWNER.
- EXISTING STRUCTURAL SYSTEM SHALL NOT BE REMOVED OR MODIFIED UNLESS APPROVED IN ADVANCE BY THE ARCHITECT AND/OR ENGINEER.
- REMOVE EXISTING ITEMS AS REQUIRED FOR REUSE IN THE NEW PLAN OR NEW FINISH. CATALOG AND STORE ITEMS IN A SAFE STORAGE AREA SUBJECT TO THE OWNER'S APPROVAL UNTIL THE TIME OF REINSTALLATION. LOST ITEMS SHALL BE REPLACED WITH COMPARABLE NEW ITEM AT NO COST TO THE OWNER.
- DURING THE COURSE OF DEMOLITION, IF ITEMS OR AREAS OF HISTORIC SIGNIFICANCE ARE DISCOVERED, CONTRACTOR SHALL CEASE WORK ON ITEM OR AREA OF INTEREST AND IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE AND ARCHITECT.
- SALVAGED MATERIAL: DOCUMENT ITEMS TO BE SALVAGED BEFORE PERFORMING ANY WORK. ITEMS TO BE MARKED WITH A REMOVABLE LABEL DESIGNATING ORIGINAL LOCATION AND STORED IN AN AREA TO PROTECT THEM FROM DAMAGE OR THEFT.
- EACH EXISTING HISTORICAL COMPONENT MAY VARY SLIGHTLY IN SIZE, SHAPE, AND DETAIL. VERIFY EACH COMPONENT IN THE FIELD PRIOR TO PERFORMING WORK IN THAT AREA.
- ANY ITEMS NOT SHOWN TO BE DEMOLISHED THAT ARE DAMAGED SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- ANY ITEMS NOT TO BE RETAINED BY THE OWNER SHALL BE DISPOSED OF BY THE CONTRACTOR PER APPROPRIATE REGULATIONS.
- COORDINATE LOCATION OF CONSTRUCTION BARRICADES AND DUMPSTER WITH OWNER. DUMPSTER SHALL HAVE A COVER TO AVOID WIND-BLOWN DEBRIS ONTO THE SITE.
- PROVIDE DUST & CONSTRUCTION DEBRIS CONTROL & CONTAINMENT IN AREAS WHERE WORK IS BEING PERFORMED.
- CLEAN AND RETURN EACH SPACE TO PRE-CONSTRUCTION CONDITION READY FOR USE BY OWNER PRIOR TO PROCEEDING TO NEXT WORK AREA.
- AVOID DAMAGE TO INTERIOR FINISHES DURING THE COURSE OF WORK. IF NECESSARY, A UTILITY KNIFE SHOULD BE USED TO CAREFULLY SEPARATE ELEMENTS TO BE DEMOLISHED FROM THOSE TO REMAIN. SPECIAL CARE SHOULD BE TAKEN TO PRESERVE ORIGINAL PLASTER FINISHES.
- NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH THE WORK IF MATERIALS ARE EXPOSED THAT ARE DAMAGED AND WERE NOT SCHEDULED FOR REPLACEMENT.
- GC SHALL KEEP A TRACKING LOG OF ALL HISTORIC BUILDING ELEMENTS THAT ARE SALVAGED AND REMOVED FROM THE BUILDING; LOG SHALL STATE ORIGINAL LOCATION, WHEN REMOVED & BY WHOM, WHERE TAKEN, AND WHEN RETURNED. GC SHALL UPDATE LOG REGULARLY AND PRESENT TO OWNER & ARCHITECT AS REQUIRED.
- PROVIDE SIGNAGE FOR ACCESS TO BUILDING & MAINTAIN EMERGENCY EGRESS THROUGHOUT CONSTRUCTION.
- REMOVE ALL FASTENERS, BRACKETS, CONDUITS, WIRES, ETC. THAT ARE NOT IN USE (TYP.)

# GENERAL SPECIFICATIONS

**THIS DRAWING SET IS TO BE PAIRED WITH PROVIDED OUTLINE SPECIFICATIONS DOCUMENT. NEITHER THE DRAWINGS OR THE OUTLINE SPECIFICATIONS DOCUMENT ARE INTENDED TO BE CONSIDERED IN ISOLATION OF ONE ANOTHER. BOTH THE DRAWINGS AND THE OUTLINE SPECIFICATIONS DOCUMENTS ARE TO BE CONSIDERED IN THE SCOPE OF WORK FOR THIS PROJECT.**

## ADDITIONAL NOTES:

\*\*\* Contractor is responsible to verify all dimensions and relevant bidding criteria.

**MEADORS**  
 SINCE 1984  
 2811 AZALEA DRIVE ■ CHARLESTON, SC 29405 ■ 843.723.8585

**NOT FOR CONSTRUCTION**

CITY OF BEAUFORT  
 BEAUFORT ARSENAL  
 713 CRAVEN STREET  
 BEAUFORT, SC 29902

# BID DRAWINGS

PROJ.	18-0125
ISSUE DATE:	04/15/19

REVISIONS		
#	DATE	NOTES

**NOTES & SPECIFICATIONS**  
**A01**

**NOT FOR CONSTRUCTION**

**GENERAL CONSTRUCTION NOTES**

1. THE INTENT OF THE PROJECT IS TO PROVIDE COMPLETE WINDOW RESTORATION FOR ALL STRUCTURES COMPRISING THE BEAUFORT ARSENAL COMPLEX.
2. ALL WORK IS TO BE EXECUTED IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS, AND APPLICABLE CONSTRUCTION STANDARDS AND CODES.
3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL WORK IS IN COMPLIANCE WITH ALL CURRENT ADOPTED BUILDING CODES, ORDINANCES, AND REGULATIONS OF ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS FROM ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
5. PRIOR TO START OF CONSTRUCTION, VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
6. ARSENAL COMPLEX TO REMAIN OPEN DURING CONSTRUCTION. TEMPORARY WINDOW COVERINGS TO BE INSTALLED AS REQUIRED DURING WINDOW RESTORATION. AT ALL TIMES, THE BUILDING ENVELOPE IS TO REMAIN WATERTIGHT. SPECIAL CARE SHOULD BE TAKEN TO PROTECT ALL INTERIOR CONTENTS, INCLUDING THE MUSEUM COLLECTION.
7. ALL DIMENSIONS TO BE FIELD VERIFIED.

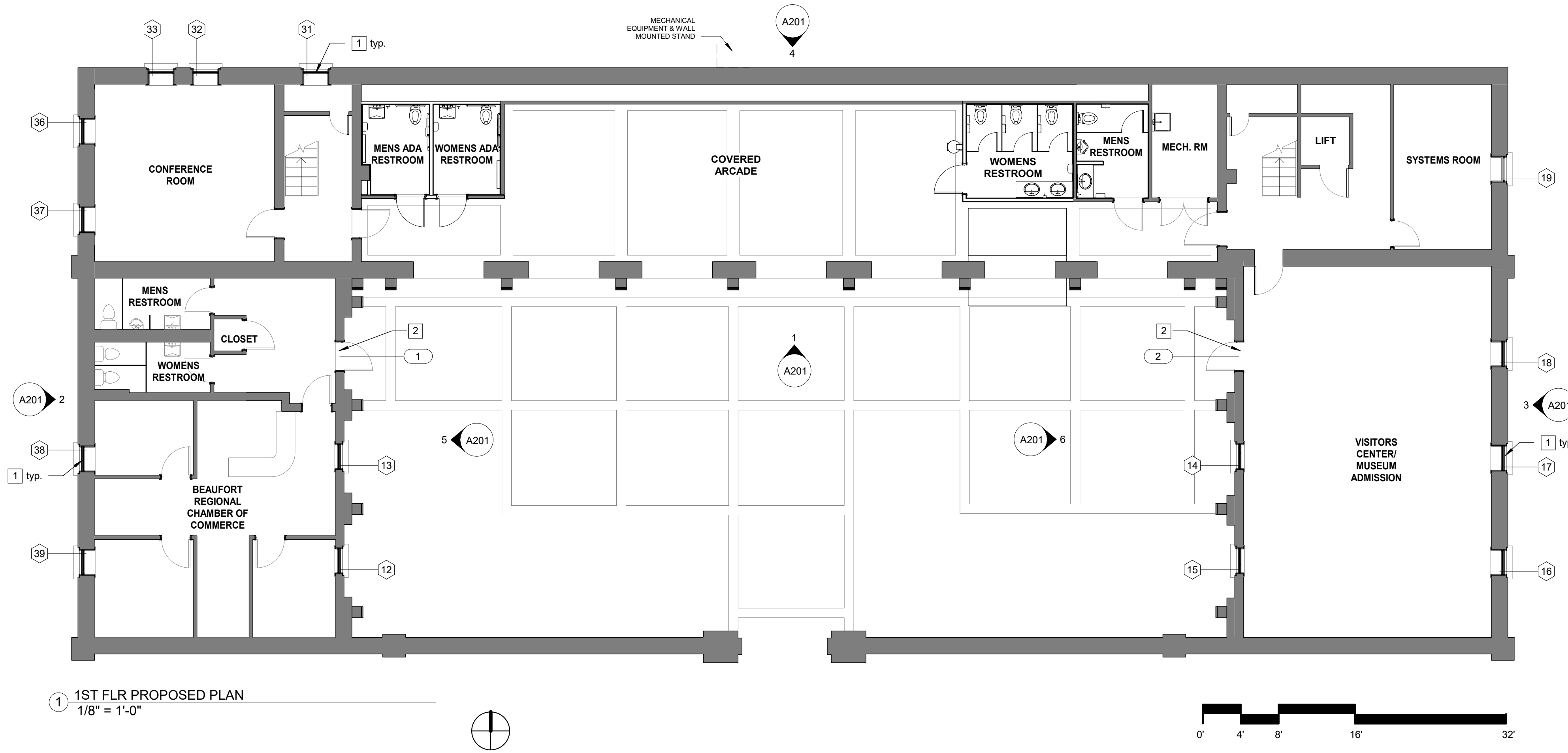
**NEW CONSTRUCTION NOTES**

1. REPAIR AND RESTORE ALL WINDOWS. SEE WINDOW SCHEDULE AND GENERAL WINDOW NOTES.  
  
ALL STUCCO DAMAGED DURING RESTORATION OF THE WINDOWS TO BE RESTORED WITH COMPATIBLE STUCCO. REPOINT MASONRY SUBSTRATE AS REQUIRED. STUCCO PATCHES AND REPAIRS SHALL MATCH EXISTING TEXTURE. STUCCO DAMAGED AND REPAIRED DURING WINDOW RESTORATION TO BE PAINTED TO MATCH EXISTING WALL.  
  
REPLACE ALL JOINT SEALANT AT THE EXTERIOR JOINT BETWEEN WOOD CASING AND STUCCO.  
  
ALTERNATE 1: REMOVE PLASTIC COVERS, SALVAGE FOR OWNER. INSTALL NEW 3M CLIMATE CONTROL 75 FILM ON INTERIOR OF WINDOWS # 3-11 AND #20-28 (SASH AND ARCHED TRANSOM). FILM MUST BE INSTALLED BY CERTIFIED INSTALLER.
2. ALTERNATE 2: RESTORE TWO (2) ACCESS DOORS AND SIDE PANELS COMPLETE, INCLUDING JAMB AND TRIM. INTERIOR AND EXTERIOR SIDES TO BE RESTORED. PAINT COMPLETE (INTERIOR AND EXTERIOR SIDES). EXISTING HARDWARE TO REMAIN. CLEAN AND PAINT HINGES. PRIME HINGES WITH RUST INHIBITING PRIMER. EXISTING HARDWARE TO REMAIN.  
  
SEE GENERAL DOOR NOTES.

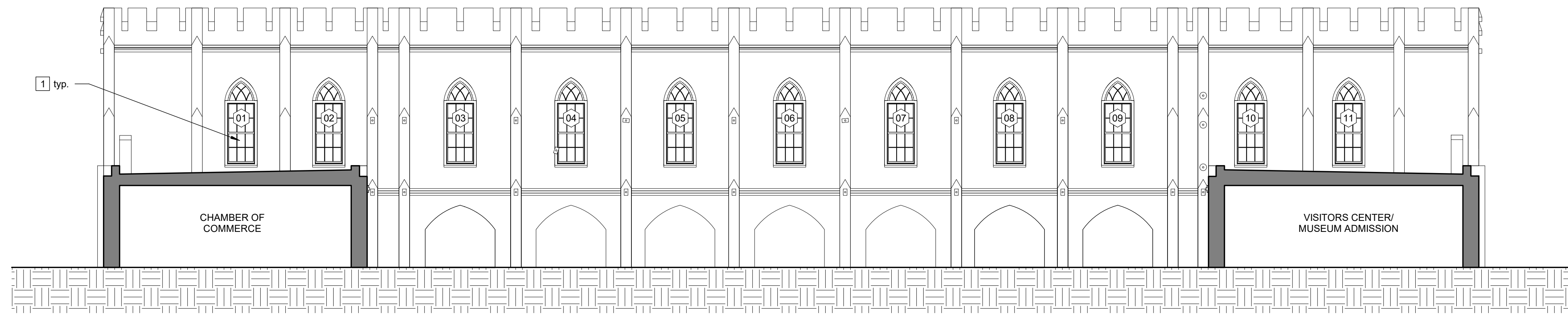
**FLOOR PLAN LEGEND**

**Room name**  
101 ← ROOM NUMBER REFER TO ROOM FINISH SCHEDULE  
150 SF  
101 ← DOOR NUMBER REFER TO DOOR SCHEDULE  
1 ← WINDOW NUMBER REFER TO WINDOW SCHEDULE  
← EXISTING WALL CONSTRUCTION  
← NEW WALL CONSTRUCTION (RESTROOM PROJECT IS BE BID SEPARATE FROM THE WINDOW PROJECT)  
3 ← NEW CONSTRUCTION NUMBERED NOTE REFER TO DESCRIPTIONS ON THIS PAGE

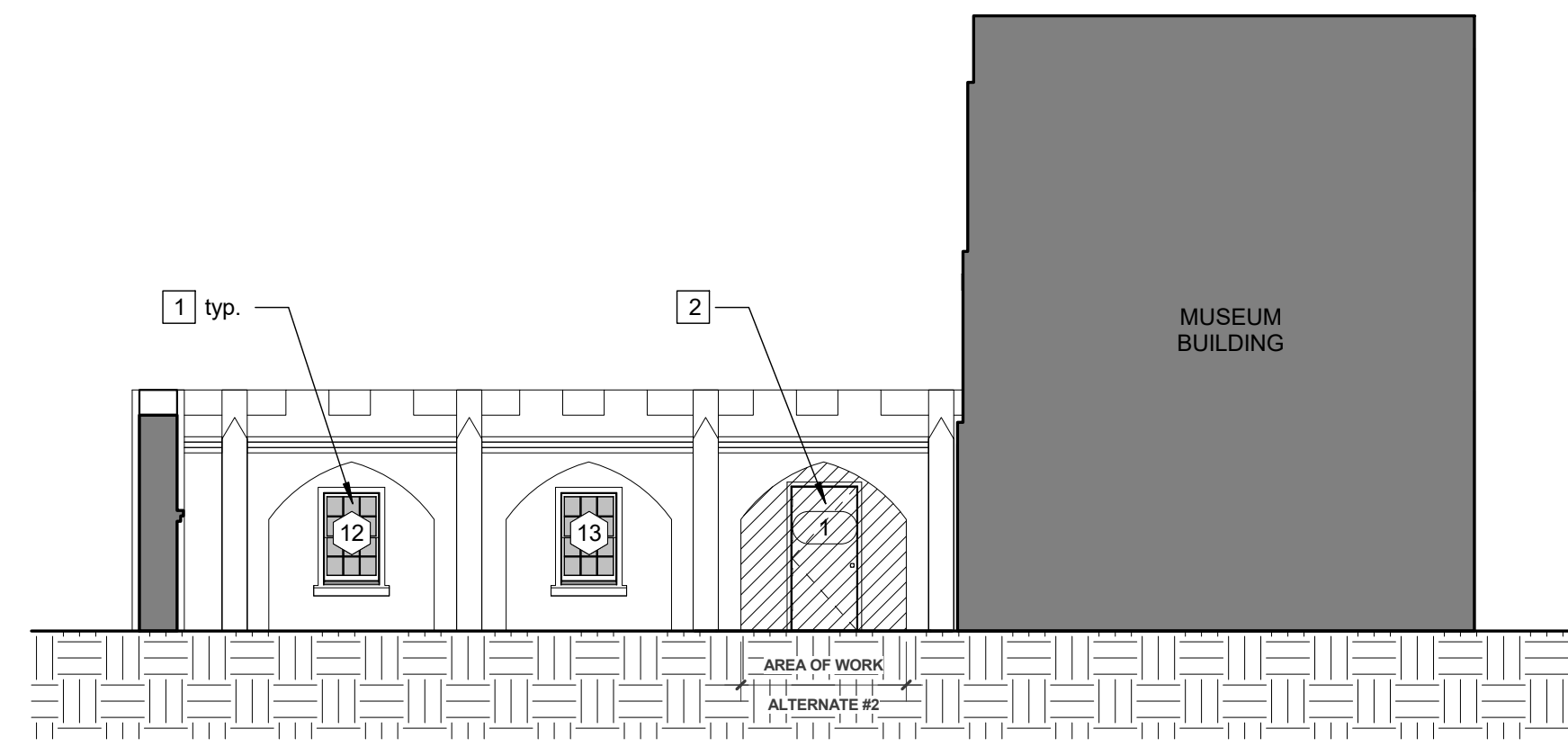
**GENERAL FLOOR PLAN NOTES:**  
A. REFER TO ROOM FINISH SCHEDULES ON SHEET A901.  
B. REFER TO LARGE SCALE PLANS, ELEVATIONS, & DETAILS FOR MORE INFORMATION.  
C. REFER TO GENERAL NOTES ON SHEET A01.  
D. WALLS ARE DIMENSIONED TO FINISH FACE OF WALL.  
E. DOORS AND WINDOWS ARE DIMENSIONED TO THE FINISHED OPENING.  
F. NEW INTERIOR WALL AND CEILING FINISHES TO BE INSTALLED IN ALL NEW AND RENOVATED RESTROOMS.



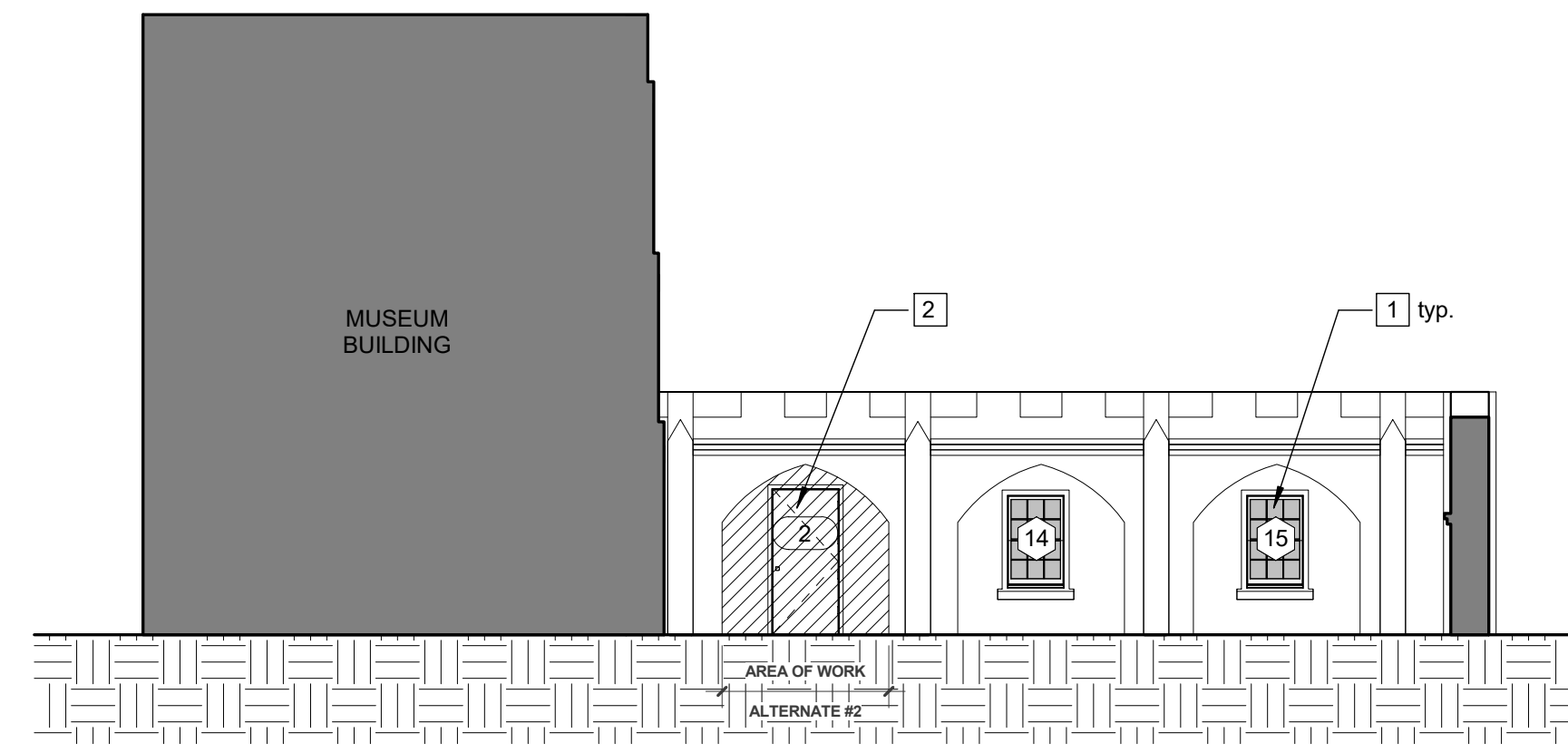
**1 1ST FLR PROPOSED PLAN**  
1/8" = 1'-0"



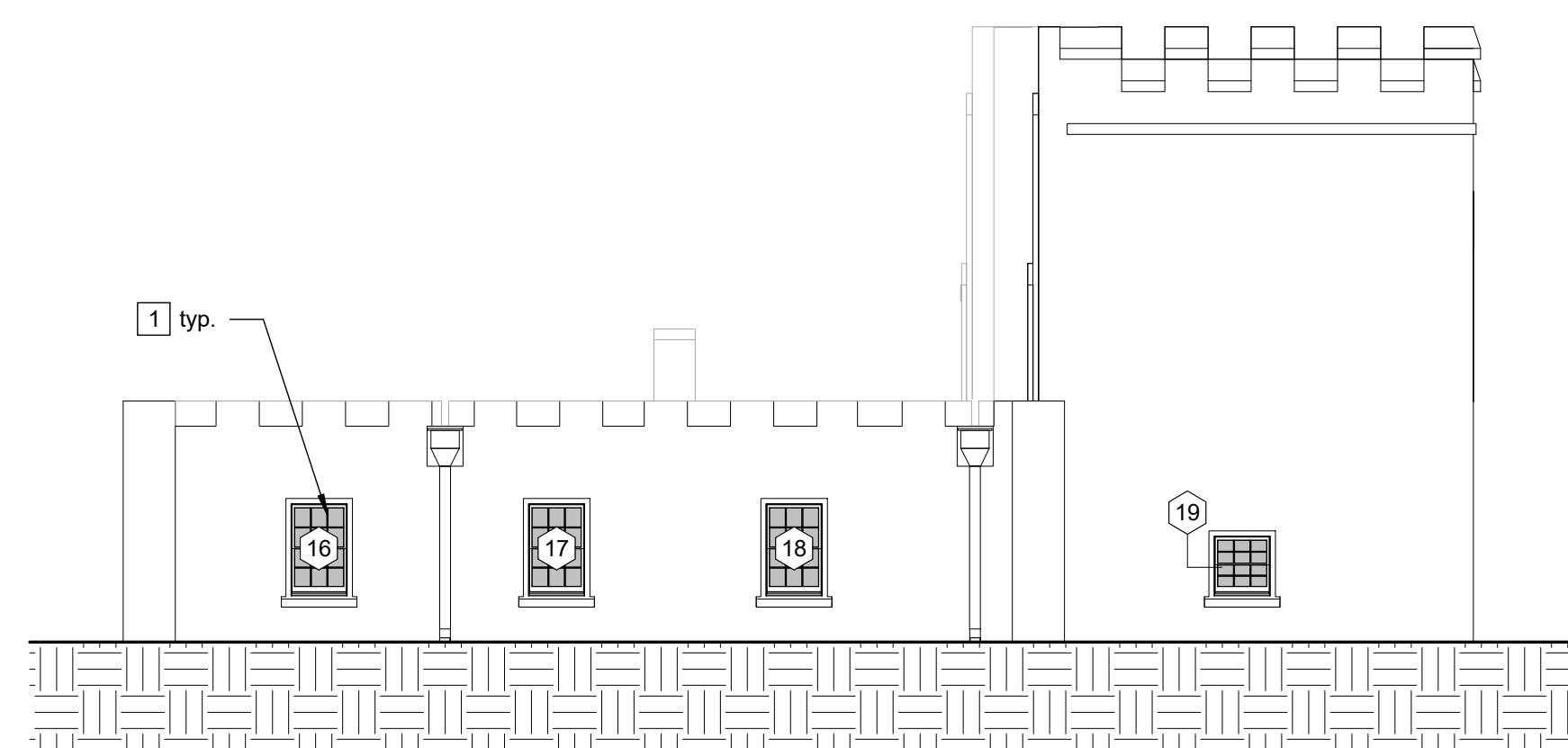
1 EXISTING SOUTH SECTION ELEVATION- COURTYARD  
1/8" = 1'-0"



2 EXISTING EAST INTERIOR ELEVATION- COURTYARD  
1/8" = 1'-0"



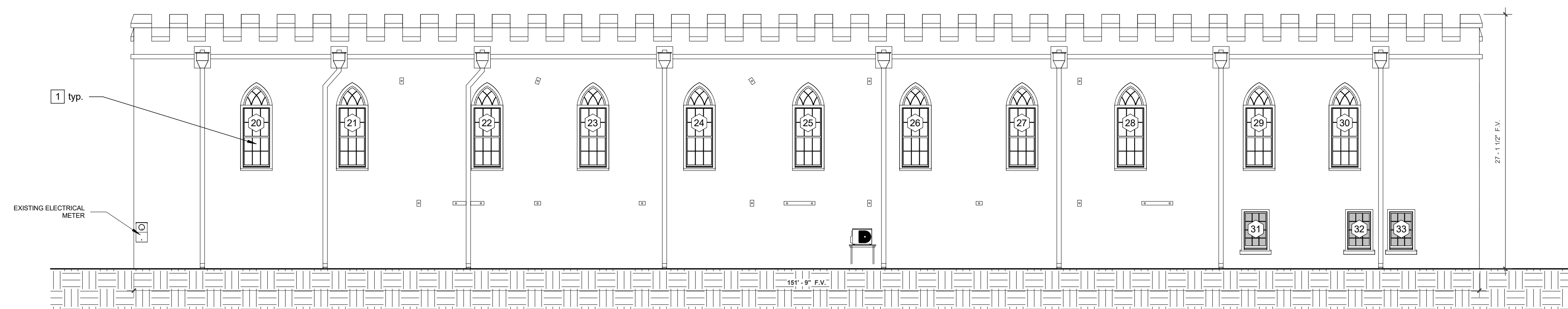
3 EXISTING WEST INTERIOR ELEVATION- COURTYARD  
1/8" = 1'-0"



4 EXISTING EAST EXTERIOR ELEVATION- PERIMETER WALL  
1/8" = 1'-0"



5 EXISTING WEST EXTERIOR ELEVATION- PERIMETER WALL  
1/8" = 1'-0"



6 EXISTING NORTH ELEVATION- PERIMETER WALL  
1/8" = 1'-0"

- ### GENERAL CONSTRUCTION NOTES
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  6. ALL DIMENSIONS TO BE FIELD VERIFIED.

- ### NEW CONSTRUCTION NOTES
1. REPAIR AND RESTORE ALL WINDOWS, SEE WINDOW SCHEDULE AND GENERAL WINDOW NOTES.  
  
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REPLACE ALL JOINT SEALANT AT THE EXTERIOR JOINT BETWEEN WOOD CASING AND STUCCO.  
  
ALTERNATE 1: REMOVE PLASTIC COVERS. SALVAGE FOR OWNER. INSTALL NEW 3M CLIMATE CONTROL 75 FILM ON INTERIOR OF WINDOWS # 3-11 AND #20-28 (SASH AND ARCHED TRANSOM). FILM MUST BE INSTALLED BY CERTIFIED INSTALLER.
  2. ALTERNATE 2: RESTORE TWO (2) ACCESS DOORS AND SIDE PANELS COMPLETE, INCLUDING JAMB AND TRIM. INTERIOR AND EXTERIOR SIDES TO BE RESTORED. PAINT COMPLETE (INTERIOR AND EXTERIOR SIDES). EXISTING HARDWARE TO REMAIN. CLEAN AND PAINT HINGES. PRIME HINGES WITH RUST INHIBITING PRIMER. EXISTING HARDWARE TO REMAIN.  
  
SEE GENERAL DOOR NOTES.



**MEADORS**  
SINCE 1984  
2811 AZALEA DRIVE ■ CHARLESTON, ■ 843.723.8585

CITY OF BEAUFORT  
BEAUFORT ARSENAL  
713 CRAVEN STREET  
BEAUFORT, SC 29902

BID DRAWINGS

PROJ. 18-0125  
ISSUE DATE: 04/15/19

REVISIONS

#	DATE	NOTES

BUILDING ELEVATIONS

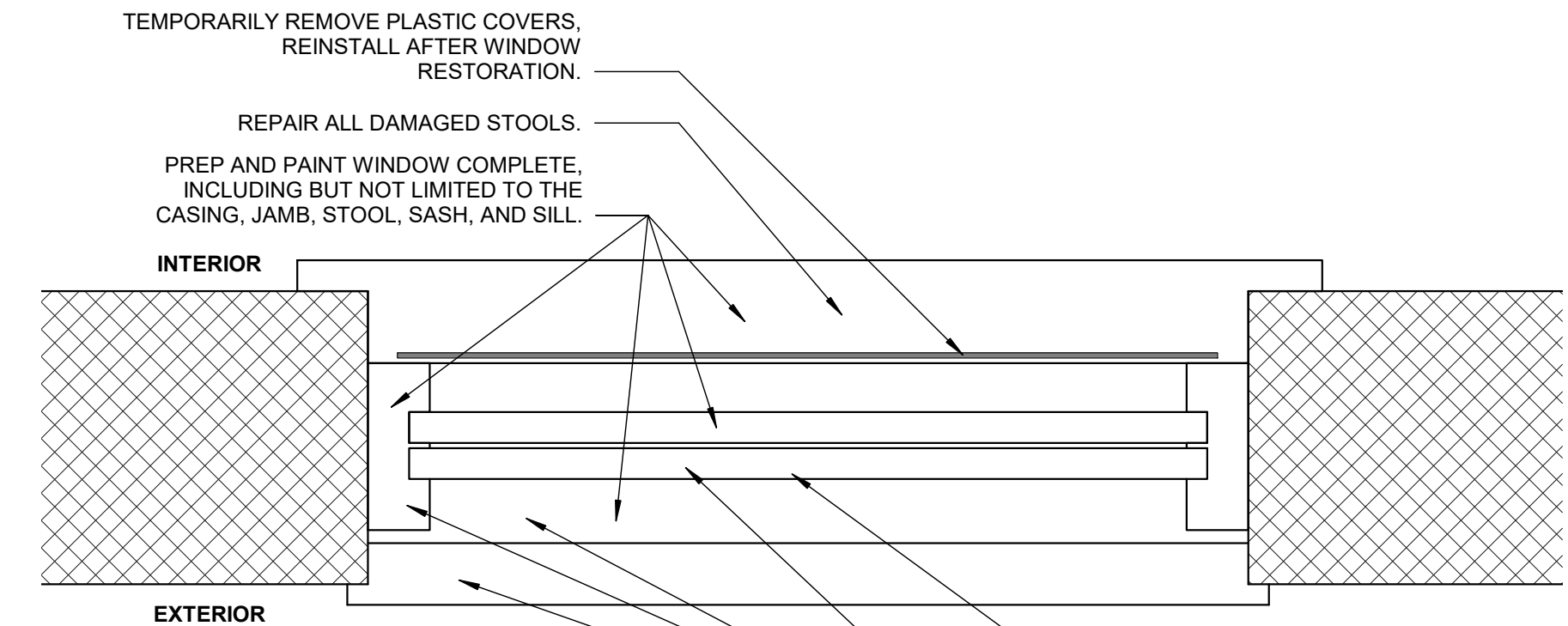
A201

**NOT FOR CONSTRUCTION**

WINDOW SCHEDULE			
Mark	Window Type	Width	Height
01	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
02	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
03	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
04	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
05	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
06	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
07	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
08	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
09	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
10	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
11	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
12	W2- Double Hung Window	2' - 6"	4' - 0"
13	W2- Double Hung Window	2' - 6"	4' - 0"
14	W2- Double Hung Window	2' - 6"	4' - 0"
15	W2- Double Hung Window	2' - 6"	4' - 0"
16	W2- Double Hung Window	2' - 6"	4' - 0"
17	W2- Double Hung Window	2' - 6"	4' - 0"
18	W2- Double Hung Window	2' - 6"	4' - 0"
19	W2- Double Hung Window	2' - 6"	4' - 0"
20	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
21	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
22	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
23	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
24	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
25	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
26	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
27	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
28	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
29	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
30	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
31	W2- Double Hung Window	2' - 6"	4' - 0"
32	W2- Double Hung Window	2' - 6"	4' - 0"
33	W2- Double Hung Window	2' - 6"	4' - 0"
34	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
35	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
36	W2- Double Hung Window	2' - 6"	4' - 0"
37	W2- Double Hung Window	2' - 6"	4' - 0"
38	W2- Double Hung Window	2' - 6"	4' - 0"
39	W2- Double Hung Window	2' - 6"	4' - 0"

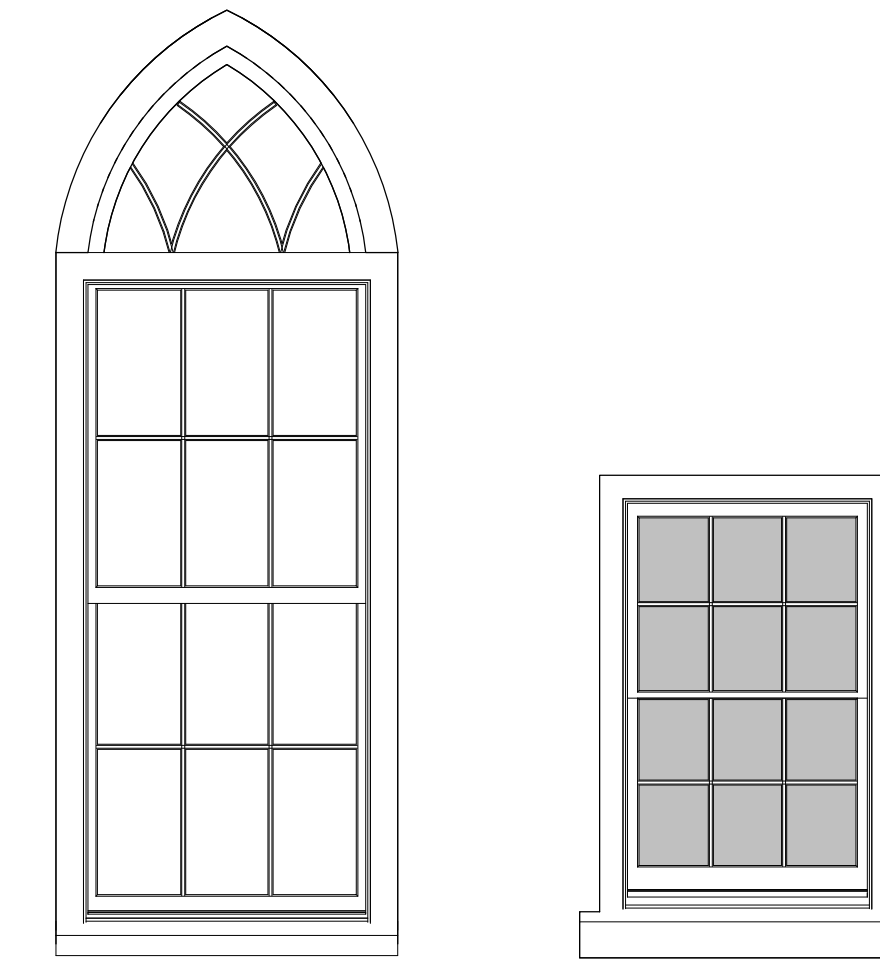
### GENERAL WINDOW NOTES

- REFER TO WINDOW ASSESSMENT DATED 11.29.17 FOR DETAILS OF EXISTING WINDOW CONDITIONS.
  - BASIS OF DESIGN: REPAIR & RESTORE ALL WINDOWS IN FULL. RESTORE LOWER SASH TO OPERABLE CONDITION. UPPER SASH FIXED. PAINT WINDOWS COMPLETE (INTERIOR AND EXTERIOR COMPONENTS). REPLACE GLAZING COMPLETE. INTERIOR PLASTIC COVERS IN MUSEUM SPACE TO BE TEMPORARILY REMOVED AND REINSTALLED FOLLOWING REPAIRS TO THE WINDOWS.**
  - ALTERNATE 1: REMOVE PLASTIC COVERS. SALVAGE FOR OWNER. INSTALL NEW 3M CLIMATE CONTROL 75 FILM ON INTERIOR OF WINDOWS # 3-11 AND #20-28 (SASH AND ARCHED TRANSOM). FILM MUST BE INSTALLED BY CERTIFIED INSTALLER.**
- THE BUILDING IS HISTORIC. CARE SHALL BE TAKEN TO PROTECT THE BUILDING AND PROPERTY FROM DAMAGE DURING THE WORK. ALL EFFORT SHALL BE MADE TO PROTECT, RETAIN, AND PRESERVE AS MUCH EXISTING ORIGINAL MATERIALS POSSIBLE. NEW MATERIAL MUST MATCH THE ORIGINAL IN LOCATION, SIZE, MATERIAL, PROFILE (WHERE APPLICABLE) AND INSTALLATION METHOD.
- ASSUME THE FOLLOWING WINDOW SASH WILL NEED TO BE REPLACED IN KIND:
  - WINDOW 1 UPPER SASH
  - WINDOW 2 UPPER AND LOWER SASH
  - WINDOW 6 UPPER SASH
  - WINDOW 7 LOWER SASH
  - WINDOW 8 LOWER SASH
  - WINDOW 9 UPPER SASH
  - WINDOW 11 LOWER SASH
  - WINDOW 19 CASEMENT SASH
  - WINDOW 20 LOWER SASH
  - WINDOW 22 UPPER SASH
  - WINDOW 25 LOWER SASH
  - WINDOW 28 LOWER SASH
  - WINDOW 30 UPPER AND LOWER SASH
  - WINDOW 34 UPPER AND LOWER SASH
- IT MAY BE NECESSARY TO REPLACE ADDITIONAL SASH. UNLESS NOTED HERE, SASH REPLACEMENT MUST BE APPROVED BY THE ARCHITECT.
- PROVIDE CONTINGENCY ALLOWANCE FOR REPLACING 6 ADDITIONAL SASH.
- WINDOW 19- PAINT METAL GRILL COMPLETE. REVERSE WINDOW (EXTERIOR SIDE CURRENTLY ON INTERIOR). INSTALL NEW TWO (2) UNLACQUERED BRASS SURFACE BOLTS (INSTALL VERTICALLY AT TOP AND BOTTOM). INSTALL NEW UNLACQUERED BRASS HINGES. MATCH SIZE OF EXISTING HINGES. RESTORE WINDOW COMPLETE. ALL ABANDONED HARDWARE MORTISES AND HOLES TO BE REPAIRED COMPLETED.
- BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK. CONTRACTOR SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL ENSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE, AND FEDERAL CODES, TRADE STANDARDS AND MANUFACTURER'S RECOMMENDATIONS. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE, AND NATIONAL CODES, THE MORE STRINGENT SHALL GOVERN.
- CHEMICAL OR PHYSICAL TREATMENTS, IF APPROPRIATE, WILL BE UNDERTAKEN USING THE GENTLEST MEANS POSSIBLE. TREATMENTS THAT CAUSE DAMAGE TO HISTORIC MATERIALS WILL NOT BE USED.
- DO NOT SCALE OFF DRAWINGS.
- REFER TO SPECIFICATIONS AND ASSESSMENT PHOTOGRAPHIC SURVEY FOR ADDITIONAL INFORMATION.
- REPAIR STUCCO DAMAGED DURING WINDOW RESTORATION. STUCCO DAMAGED AND REPAIRED DURING WINDOW RESTORATION TO BE PAINTED TO MATCH EXISTING WALL.



NOTE: WINDOWS WITH ADDED ELEMENTS AND/OR INAPPROPRIATE REPAIRS SHALL BE RETURNED TO ORIGINAL APPEARANCE. PREVIOUS REPAIRS THAT DEVIATE FROM ORIGINAL DETAILS TO BE REMOVED AND APPROPRIATE REPAIRS EXECUTED IN ACCORDANCE WITH THE SPECIFICATIONS. FINAL DETERMINATION OF REPAIRS IN QUESTIONS WILL BE MADE BY THE ARCHITECT. MANY INAPPROPRIATE REPAIRS WERE IDENTIFIED ON THE WINDOW JAMBS AND ARCHED TRANSOMS. ALL ELEMENTS OF THE JAMB AND CASING TO BE IN PLAN WITH ORIGINAL MATERIALS.

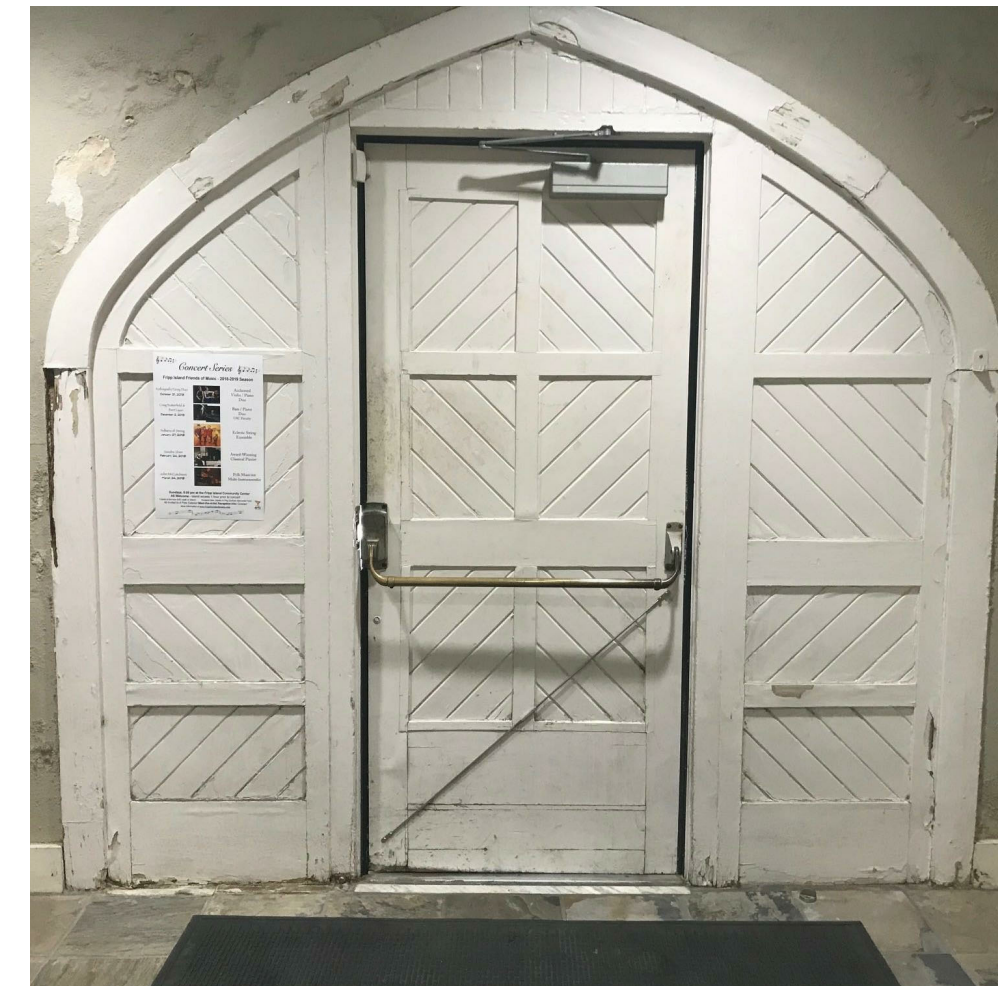
1 DIAGRAMMATIC PLAN DETAIL- WINDOW  
1 1/2" = 1'-0"



WINDOW ELEVATION LEGEND  
1/2" = 1'-0"



EXISTING CONDITIONS- ACCESS DOOR 1 EXTERIOR  
NOT TO SCALE



EXISTING CONDITIONS- ACCESS DOOR 1 INTERIOR  
NOT TO SCALE



EXISTING CONDITIONS- ACCESS DOOR 2 EXTERIOR  
NOT TO SCALE



EXISTING CONDITIONS- ACCESS DOOR 2 INTERIOR  
NOT TO SCALE

### GENERAL DOOR NOTES

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