

# ADDENDUM 3

DISTRIBUTION:

Via: e-MAIL

**PROJECT:**  
(IFB) #R-17-002-201  
**MIDDLE STREET OFFICE RENOVATIONS**  
City of Chattanooga

**ADDENDUM NUMBER:** 3

**TO CONTRACTOR(s)**  
Full Prospective Bidders List

**DATE:** 10.10.17

**ARCHITECTS PROJECT #:** 01706

**CONTRACT FOR:** General Construction

THE CONTRACT DOCUMENTS ARE HEREBY CHANGED BY **ADDENDUM NUMBER 3** AS FOLLOWS:

A) MODIFICATIONS TO PREVIOUS ADDENDA:  
NOT USED

B) CLARIFICATIONS:

1. QUESTION: "In restroom 112 the left and upper wall are drawn different than the S6 wall. What type of wall construction are they?"
  - a. ANSWER: Wall types for restroom 112 have been clarified on A1-0; they should be non-rated 3 5/8" metal stud walls with sound-attenuation insulation extending 6" above ceiling.
2. QUESTION: "Per Sheet A1-0 the new Restroom wall is called out to be type S6 which is to terminate at the deck. The existing restroom walls do not extend to the deck. Are we to build the new walls to the deck or stop at same height as existing walls? If So - Do we extend the existing walls to the deck? Please advise."
  - a. ANSWER: Wall types for restroom and other walls have been clarified. The only walls extending to the deck are the dividing wall extending all the way across the space and the attic walls, called out as S1.
3. QUESTION: "Per Sheet A8-0 Schedules Addendum 02 the schedule has the two restrooms reversed in their number identification. Please advise."
  - a. ANSWER: 112 is new and 113 is existing. Ref. A8-0.
4. QUESTION: "Per sheet A8-0 addendum 02 the finish schedule calls for the restroom 112 to have a floor finish to be existing floor which is concrete. Restroom 113 floor finish is called out to be Recycled rubber floor. Please confirm Existing Restroom has no flooring but new restroom will receive Rubber Floor. Just confirming that the finishes don't match in the side by side restrooms. Please advise..
  - a. ANSWER: New bathroom floor will also be ETR (concrete). Ref. A8-0.
5. QUESTION: "The attic room 200 there is no finishes listed for the walls in this room. Do all the attic walls terminate to deck? What level of finish on the drywall, we assume walls just fire tape, terminate to deck and do not paint. Please confirm/advise."
  - a. ANSWER: Attic walls terminate to deck and receive a level 1 finish and no paint.
6. QUESTION: "Exterior wall at Garage door - door controls and security system controls need relocated if these small columns wrap. Will the owner's security contractor relocate key pad? Please advise."
  - a. ANSWER: See question 7.

7. QUESTION: "Exterior wall at Garage door, Please advise as to how to handle columns at each side of door –where does the Sheetrock terminate?"
  - a. ANSWER: Gypsum board finish in Add-Alternate 1 should terminate in a clean vertical line at edge of column. Do not wrap column.
8. QUESTION: "Per Picture #08 of Metal Building Column at New Breakroom 106 There is a thermostat attached to column which will need to be relocated. Please advise/confirm."
  - a. ANSWER: Yes, thermostat will be relocated. Extend conduit as req'd to mount to new gyp board wall.
9. QUESTION: "Existing common wall where soffit detail 2/A4-0 was added there is not an existing 2x at top of wall and the existing piping is in the way of installing the soffit as drawn. Please advise."
  - a. ANSWER: Soffit should be attached as shown in 2/A4-0. It has been slightly revised for clarity.
10. QUESTION: "Reference Addendum 2 – Questions 8 and 10. There is one response saying to scrape and paint block, then answer 10 states to fur with metal and hang drywall. Please confirm that answer 8 is correct (scrape and paint) – if wall is furred and drywalled it would cause problems returning into jambs and where block meets existing drywall it would bump out. Please see photo below showing typical drywall to Masonry termination."
  - a. ANSWER: Scrape and paint existing block in this area. Ref. revised notes on A1-0.
11. QUESTION: "Please reference the above photo how do you want to address soffit as it comes across existing room and how should we address conduits on wall to electrical panels?"
  - a. ANSWER: Continue soffit horizontally across conduits connecting to electrical panels. Conduit will emerge from bottom of soffit.
12. QUESTION: "Previous question regarding roof penetration was asking if there is an existing Roof Warranty that we needed to maintain, and was there particular requirements for patching the existing penetration and flashing the new penetration. Please advise – below is a photo of the existing penetration."
  - a. ANSWER: The existing roof is not under warranty. Patch according to industry best practices.
13. QUESTION: "Will we be supplying any residential appliances (fridge or microwave, etc)?"
  - a. ANSWER: The City will supply appliances.
14. QUESTION: "On the bid schedule there is a place for architecture fees. I wanted to make sure that there were no architectural/engineering fees that we are supposed to pick up."
  - a. ANSWER: The price breakdown for the bid tabulation was meant to break up the proposal into trades. The "Architectural Package - Complete" simply means that all items found on the architectural drawings should be included in that price. This is the same for "Mechanical Package - Complete", etc. However, the contractor is required to cover all costs and fees associated with permits (including plan review fees).
15. QUESTION: "I didn't find the spec for residential casework. It is listed on the table of contents but I didn't find it in the specs."
  - a. ANSWER: It is in the specifications in the section listed on the table of contents. Ensure that the documents you have procured are complete. Reference previous Addenda.

C) MODIFICATIONS TO PROJECT MANUAL:

SCHEDULE OF VALUES has been modified as follows:  
Addition of a \$5,000 "Owner's Use Allowance".

D) MODIFICATIONS TO DRAWINGS:

SHEET A1-0 has been modified as follows:  
Keyed note added and items noted changed  
Wall types changed at restrooms, center dividing wall, offices  
Ship ladder has moved

SHEET A3-0 has been modified as follows:

Walls at attic were extended to deck

Attic door replaced with opening

SHEET A4-0 has been modified as follows:

Detail 2 CEILING WITH EXISTING WALL DETAIL has been modified to accurately reflect existing conditions

SHEET A5-0 has been modified as follows:

Attic space enlarged plan shows wall tags and wall opening rather than door

SHEET A8-0 has been modified as follows:

Door elevations show accurate materials

Finish schedule is accurate for bathrooms

SHEET P0-1 has been modified as follows:

Update Plumbing fixture schedule and Plumbing sheet index

SHEET P2-1 has been modified as follows:

Removal of existing spigot

SHEET P2-2 has been modified as follows:

Relocation of spigot

SHEET P3-0 has been modified as follows:

Exposed wall hydrant installation detail

***Attached Documents:***

Sheet A1-0 FLOOR PLAN

Sheet A3-0 BUILDING SECTIONS

Sheet A4-0 WALL SECTION AND DETAILS

Sheet A5-0 ENLARGED PLANS

Sheet A8-0 SCHEDULES

Sheet P0-1 PLUMBING COVER SHEET

Sheet P2-1 PLUMBING DEMO

Sheet P2-2 PLUMBING DOMESTIC & GAS PLAN

Sheet P3-0 PLUMBING DETAILS

*Receipt and review of this Addendum MUST be acknowledged on all submitted bid forms.*

***END OF ADDENDUM NO. 3***

## ACKNOWLEDGMENT

I acknowledge receipt of ADDENDUM NO. **3** to the Invitation to Bid (IFB) for IDIQ INDEFINITE DELIVERY/INDEFINITE QUANTITY FOR GENERAL CONTRACTORS SERVICES FOR MIDDLE STREET OFFICE RENOVATION.

\_\_\_\_\_  
(Signed)

\_\_\_\_\_  
(Company)

\_\_\_\_\_  
(Date)

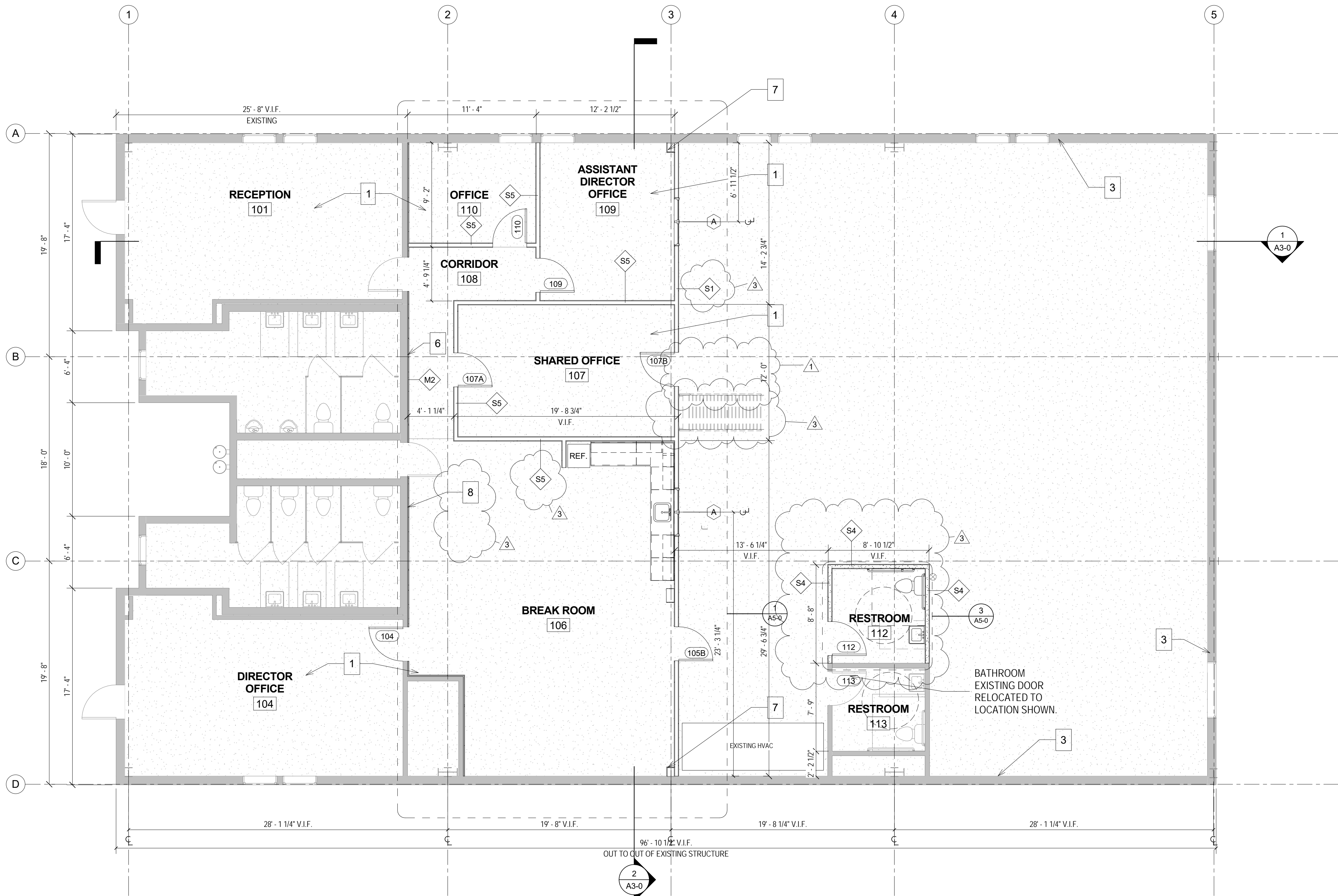
**QUALIFIED BIDS MUST INCLUDE THIS FORM WITH THE SEALED BID.**

BID SCHEDULE  
 MIDDLE STREET OFFICE RENOVATION  
 PROJECT NO. R-17-002-201  
 City of Chattanooga, TN

Item Number	Item Description	Unit	Item Total
1	Architectural Package, complete	LS	
2	Mechanical Package, complete	LS	
3	Electrical Package, complete	LS	
4	Plumbing Package, complete	LS	
5	Owner's Use Allowance	LS	\$5,000.00
	<b>TOTAL BASE BID</b>		

**BID ALTERNATIVES**

Item Number	Item Description	Unit	Item Total
1	Alternative #1 - Add 5/8" Drywall at Interior of Existing Storage Area. See Note 3, Plan Page A1-0	LS	
	<b>TOTAL BID ALTERNATIVES</b>		



GENERAL NOTES - FLOOR PLANS

- LEGALITIES + RESPONSIBILITIES:
1. ALL CONSTRUCTION IS INTENDED TO BE IN CONFORMANCE WITH FEDERAL AND STATE LAWS, CURRENT LOCAL ORDINANCES & BUILDING CODES AND THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG). REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH WORK.
  2. G.C. TO VERIFY REQUIREMENTS OF ALL OWNER PROVIDED FURNISHED ITEMS WITH OWNER BEFORE PROCEEDING WITH WORK.
  3. CONTRACTOR RESPONSIBLE FOR ALL BLOCKING REQUIRED FOR ALL WALL HUNG EQUIPMENT. SUCH AS BUT NOT LIMITED TO THE FOLLOWING: TOILET ACCESSORIES, SHELVING, SHOWER SEATS, EXTERIOR LIGHT FIXTURES, WALL GUARDS, RAILING, ETC.
  4. CONTRACTOR TO PROVIDE LOW VOC CAULKING AT THE FOLLOWING LOCATIONS UNO:  
A) AT CABINET ENDS, WHERE THEY MEET SPECIFIED WALL (I.E. TYPICAL IS GYP).  
B) AT HOLLOW METAL DOOR FRAMES, BOTH SIDES AND TOP.  
C) ALL WALL TILE AND WALL COVERINGS @ TRANSITIONS.
  5. ALL WORK PERFORMED BY G.C. SHALL BE INSTALLED PER MANUFACTURES RECOMMENDATIONS.SAFETY CODE REQUIREMENTS.
  6. ALL WORK SHALL BE INSTALLED COMPLETE IN ANY RESPECT.
  7. THE CONTRACTOR TO BE FULLY RESPONSIBLE FOR DAMAGES AND OMISSIONS OF THE SUB CONTRACTORS.
- FIRE, EGRESS + LIFE SAFETY:
8. EXISTING WALLS ARE SHOWN AS GRAY FILLED AND ARE NOT TAGGED ON THE ARCHITECTURAL PLANS.  
A) THE CONTRACTOR IS TO COORDINATE EXISTING WALLS WITH THE LIFE SAFETY PLANS.  
B) THE CONTRACTOR IS TO VERIFY THE CONSTRUCTION AND INTEGRITY OF ALL EXISTING FIRE RATED WALLS IN THE AREAS OF WORK.  
C) THE CONTRACTOR IS TO NOTIFY THE ARCHITECT IF ANY EXISTING WALLS, SHOWN AS FIRE RATED ON THE LIFE SAFETY PLANS, FAILS TO MEET THE INDICATED FIRE RATING.
  9. ALL EGRESS PATHS AND EXITS TO REMAIN OPEN DURING CONSTRUCTION. CONTRACTOR TO PHASE AND COORDINATE CONSTRUCTION ACTIVITY TO MAINTAIN AND INSURE EGRESS REQUIREMENTS ARE MAINTAINED AT ALL TIMES. SEE LIFE SAFETY SHEETS FOR DETAILS.
  10. RATED WALLS SHALL BE BUILT TIGHT AGAINST DECK ABOVE AND SEALED. EXTEND ALL RATED WALLS TO UNDERSIDE OF THE RATED FLOOR/CEILING OR ROOF/CEILING ABOVE.
  11. PROVIDE STENCILED LETTERING ON ALL FIRE RATED WALLS ABOVE THE CEILING, AND IN CONCEALED SPACES STATING " FIRE BARRIER.
  12. ALL PENETRATIONS THROUGH FIRE RATED WALLS ARE TO BE SEALED WITH UL LISTED MATERIALS AND METHODS.
  13. ALL JOINTS BW FIRE RATED WALLS, CEILINGS AND FLOORS SHALL BE PROTECTED BY AN APPROVED FIRE RESISTANT JOINT SYSTEM DESIGNED TO RESIST THE PASSAGE OF FIRE FOR A TIME NOT LESS THAN THE REQUIRED FIRE RESISTANCE RATING OF THE WALL.
  14. FIRE ALARM SYSTEM IS REQUIRED. SYSTEM MUST BE REVIEWED AND APPROVED BY FIRE DEPARTMENT.
- FIELD VERIFICATION:
15. CONTRACTOR TO FIELD VERIFY ALL SITE CONDITIONS PRIOR TO COMMENCING CONSTRUCTION
  16. ALL FINISH FLOOR ELEVATIONS MUST BE FIELD VERIFIED. ALL OTHER STRUCTURAL AND DIMENSIONAL ISSUES MUST BE VERIFIED BY THE CONTRACTOR. IF DISCREPANCIES ARISE, THE CONTRACTOR MUST NOTIFY THE ARCHITECT IN WRITING OF SUCH DISCREPANCIES
  17. CONTRACTOR TO FIELD VERIFY DIMENSIONS OF PLUMBING FIXTURES (TOILETS, WC, TUBS & SHOWERS) VS WALL PARTITION TYPES (WALL THICKNESSES MAY VARY WITH SHEAR WALL CONDITIONS) BEFORE COMMENCING FRAMING.
  18. CONTRACTOR TO VERIFY ALL DIMENSIONS WITH MANUFACTURER ON FIXTURES & EQUIPMENT SUPPLIED, PRIOR TO CONSTRUCTION
- DIMENSIONS:
19. DIMENSIONS ARE TO FACE OF STUD TO FACE OF STUD, UNLESS NOTED OTHERWISE (UNO). DIMENSIONS FOR NEW CONSTRUCTION ARE BASED ON EXISTING STRUCTURE. THE CONTRACTOR SHOULD FIELD VERIFY BEFORE BEGINNING CONSTRUCTION.
  20. FOR SIZE AND SPACING OF STEEL STUDS - REFER TO T0-3.
  21. REFER TO ENLARGED PLANS FOR ADDITIONAL INFORMATION INCLUDING DIMENSIONS. ENLARGED PLANS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES BEFORE PROCEEDING.

KEYED NOTES

1. INSTALL NEW FLOOR. RECYCLED RUBBER FLOORING. PROVIDE SAMPLES FOR FINISH SELECTION BY ARCHITECT. SEE SPEC SET 09 65 66
2. PAINT NEW WALLS TO MATCH EXISTING PAINT FINISHES.
3. ADD ALTERNATE: PROVIDE ESTIMATE FOR PROVIDING 5/8" DRYWALL AT 11' 7" TOP OF WALL WITH AN 'L' BEAD AT INTERIOR OF EXISTING STORAGE AREA.
4. ADD ALTERNATE: PROVIDE ESTIMATE FOR PROVIDING RUBBER BASE TO MATCH EXISTING.
5. INSTALL CHASE AROUND THE EXISTING CONDUIT.
6. CLEAN AND INSTALL METAL FURRING STRIP TO EXISTING CMU WALL, EXISTING UNFINISHED WALL AND CMU WALL TO LEVEL 4 FINISH FOR PAINTING AND PROVIDING RUBBER BASE TO MATCH EXISTING.
7. ENCASE THE EXISTING STEEL COLUMNS WITH 5/8" GYP. BOARD TO BOTTOM OF DROPPED ACT CEILING. MATCH EXISTING PAINT FINISH AND PROVIDE RUBBER BASE.
8. SCRAPE AND PAINT EXISTING CMU BLOCK WALL.



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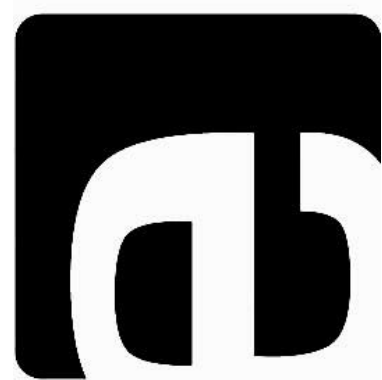


RELEASE DATE: 06/07/17  
PROJECT NO.: 0800

REVISIONS		
NUMBER	DATE	DESCRIPTION
1	Date 1	ADDENDUM #1
3	10-10-17	ADDENDUM #2

FLOOR PLAN

A1-0



REVISIONS		
NUMBER	DATE	DESCRIPTION
1	Date 1	ADDENDUM #1
3	10-10-17	ADDENDUM #3

WALL OPENING FOR ACCESS

STL STUD WALL TO ROOF  
DECK ABOVE: SEE  
PARTITION SCHEDULE.

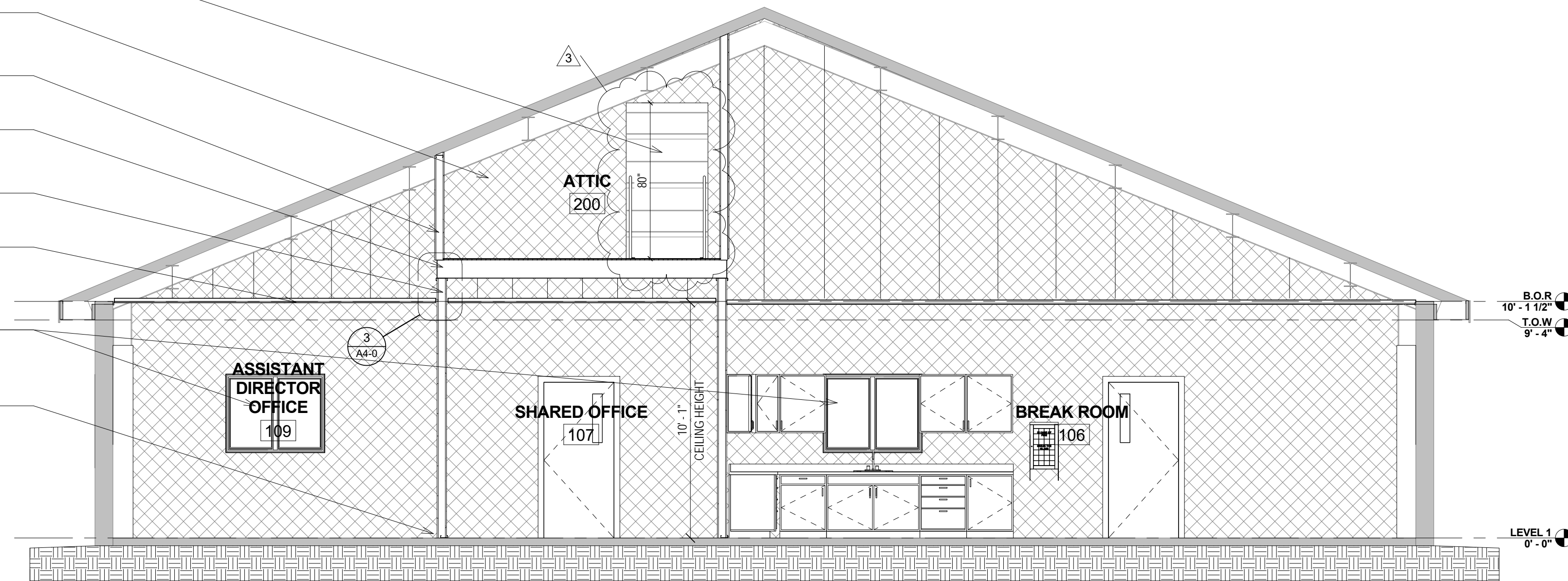
STL STUD WALL TO  
EXISTING STRUCTURE  
10" WOOD FLOOR JOIST W/  
PLYWOOD DECKING ABOVE  
FOR STORAGE

STL STUD WALL PER  
PARTITION SCHEDULE

SUSPENDED ACT CEILING,  
MATCH EXISTING CEILING HT.

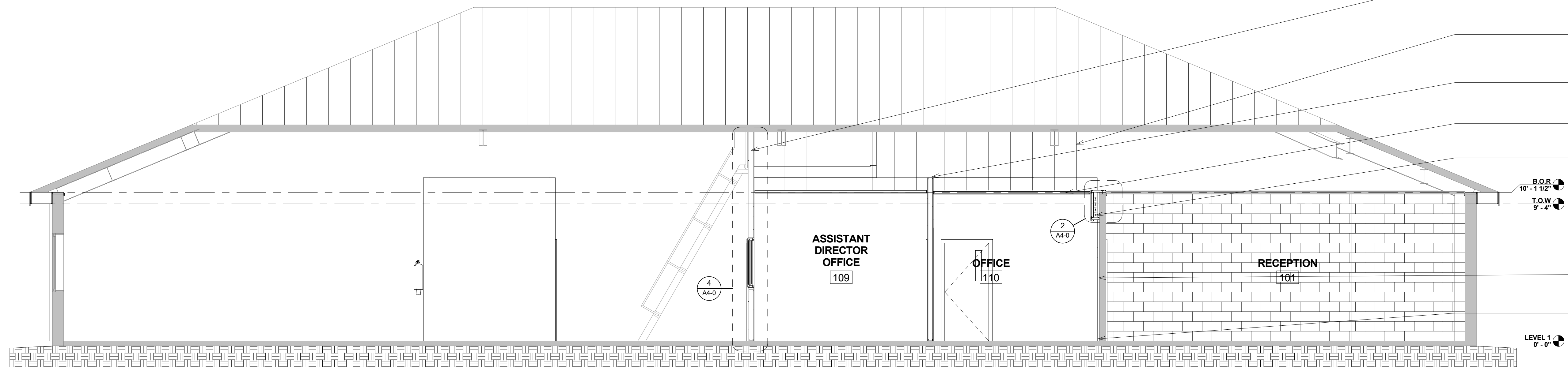
ALUMINUM STOREFRONT  
WINDOW TO MATCH EXISTING;  
SEE WINDOW ELEVATION

TYP. ADD RUBBER BASE AS  
ALTERNATE TO MATCH  
EXISTING



2 CROSS SECTION  
1/4" = 1'-0"

A



1 LONGITUDINAL SECTION  
1/4" = 1'-0"

STL STUD WALL TO  
STRUCTURE ABOVE: SEE  
PARTITION SCHEDULE.

SUSPEND WIRE FOR ACT  
CEILING TO MATCH EXISTING.

STL STUD WALL PER  
PARTITION SCHEDULE.

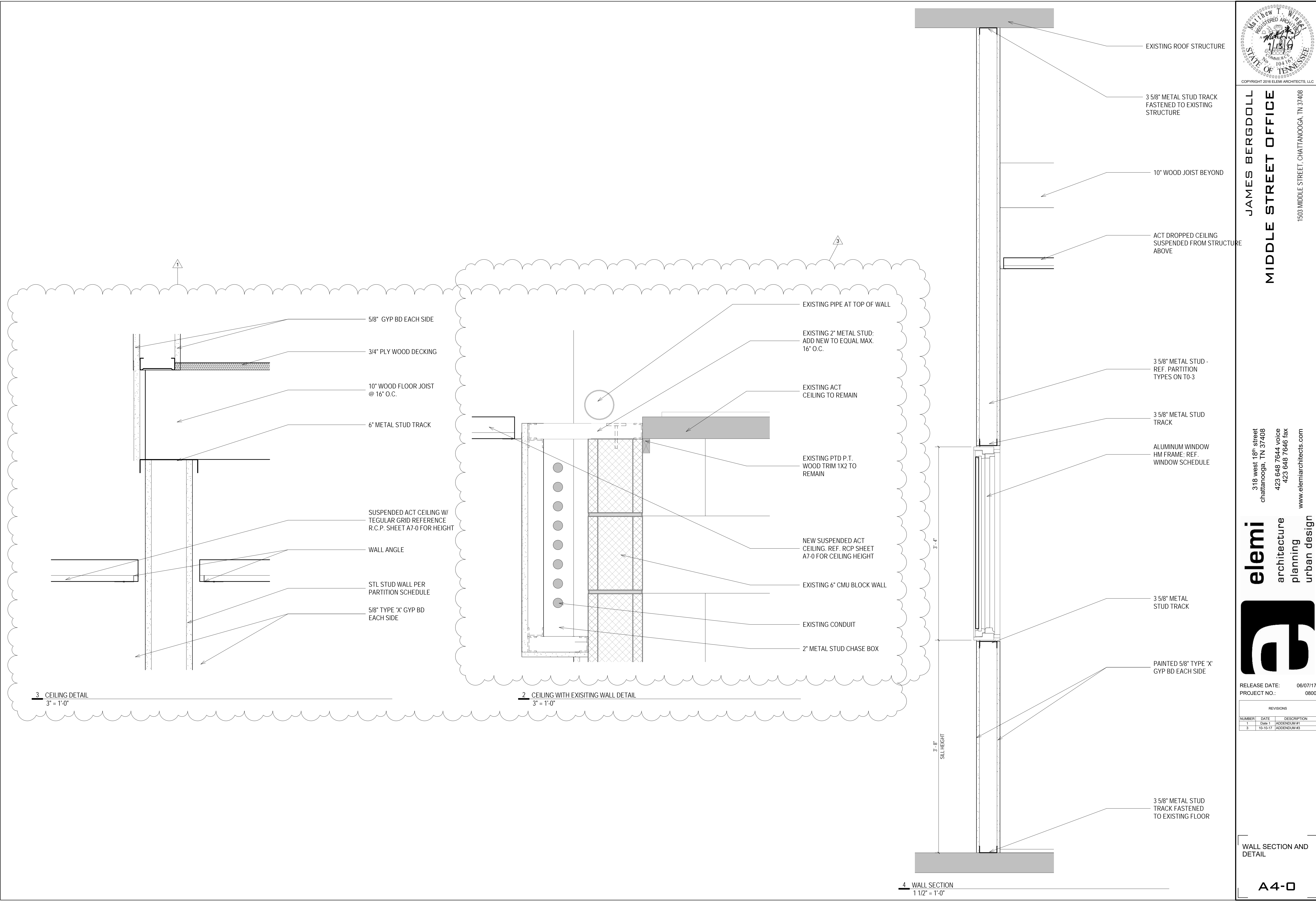
SUSPENDED ACT CEILING,  
MATCH EXISTING CEILING HT.

EXISTING CONDUIT

B.O.R.  
10' - 1 1/2"  
T.O.W.  
9' - 4"

BRING EXISTING WALL TO  
LEVEL 4 FINISH

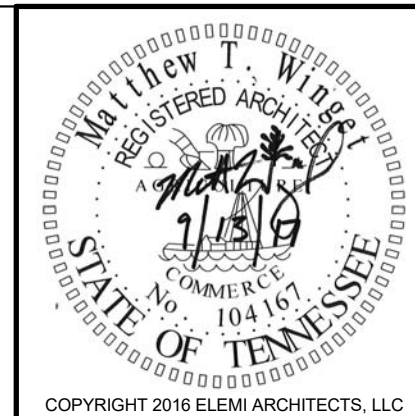
TYP. ADD RUBBER BASE AS  
ALTERNATE TO MATCH EXISTING



3 CEILING DETAIL  
3" = 1'-0"

2 CEILING WITH EXISITING WALL DETAIL  
3" = 1'-0"

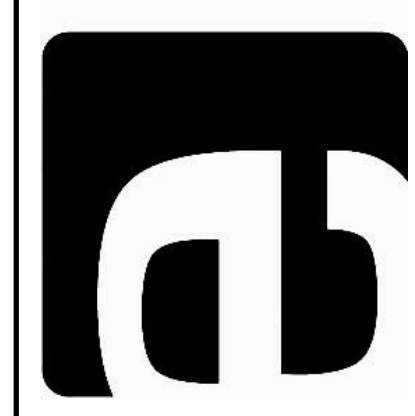
4 WALL SECTION  
1 1/2" = 1'-0"



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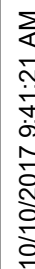


RELEASE DATE: 06/07/17  
PROJECT NO.: 0800

REVISIONS		
NUMBER	DATE	DESCRIPTION
1	Date 1	ADDENDUM #1
3	10-10-17	ADDENDUM #3

WALL SECTION AND  
DETAIL

A4-0



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## planning

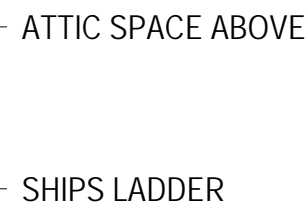


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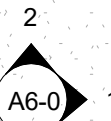
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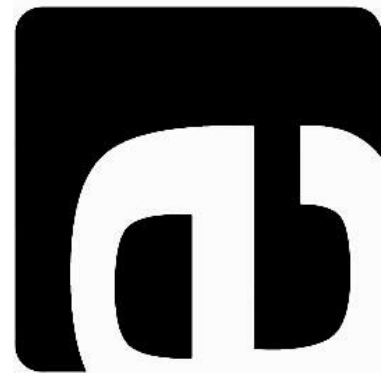
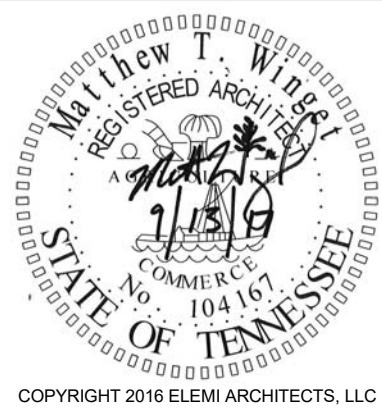
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$$1/4'' = 1'-0''$$

$$1/2'' = 1'-0''$$

$$1/2'' = 1'-0''$$

$$1/2^n = 1 - 0^n$$

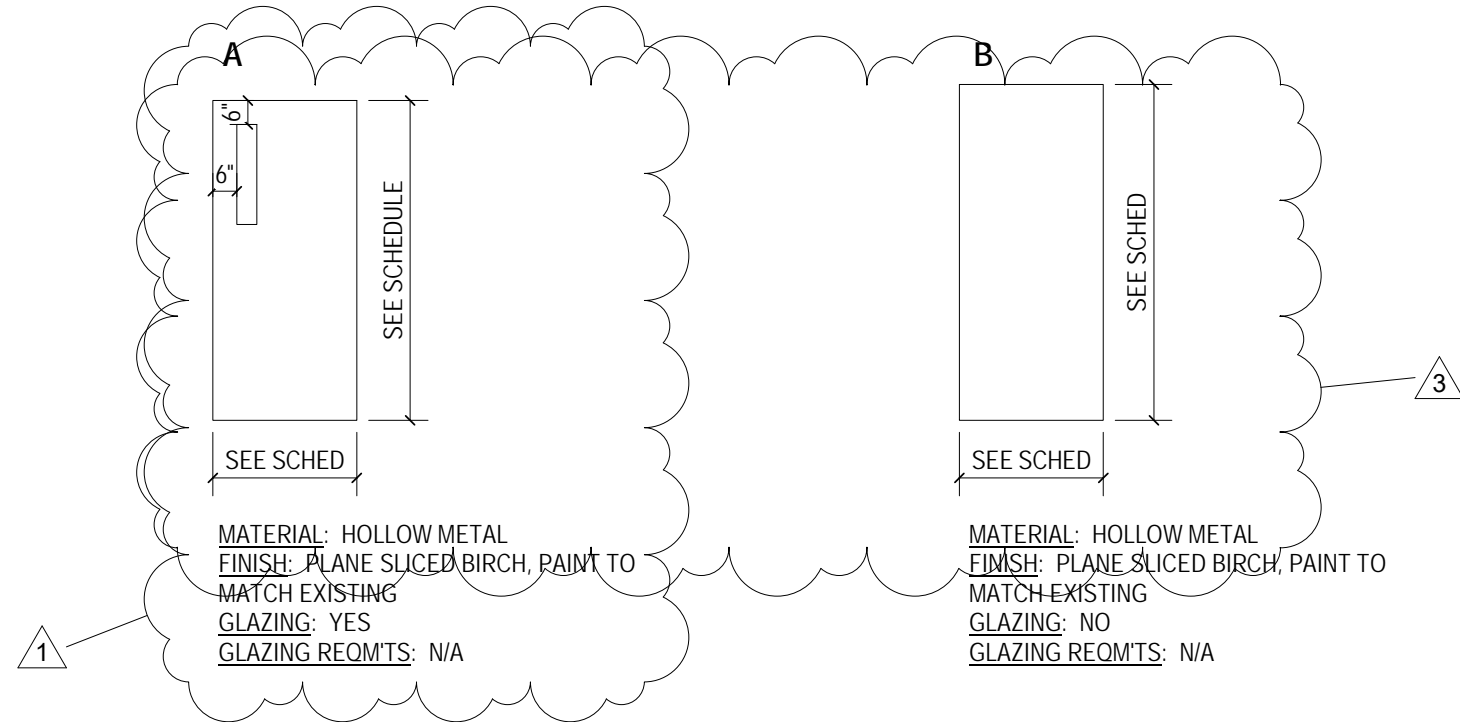


REVISIONS		
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3	10-10-17	ADDENDUM #3

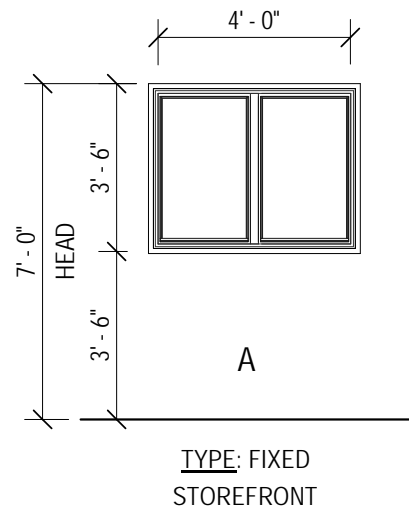
DOOR SCHEDULE

DOOR NUMBER	WIDTH	HEIGHT	THICKNESS	DOOR ELEVATION	DOOR MATERIAL	DOOR FINISH	FIRE RATING	HARDWARE	FRAME TYPE	FRAME MATERIAL	FRAME FINISH	Count	COMMENTS
104	3' - 0"	6' - 8"	0' - 1 3/4"	A	HM	PAINT TO MATCH EXISTING		SET 2				1	
105B	3' - 0"	6' - 8"	0' - 1 3/4"	A	HM	PAINT TO MATCH EXISTING		SET 1	WRAP AROUND	HM	PNT	1	
107A	3' - 0"	6' - 8"	0' - 1 3/4"	A	HM	PAINT TO MATCH EXISTING		SET 2	WRAP AROUND	HM	PNT	1	
107B	3' - 0"	6' - 8"	0' - 1 3/4"	A	HM	PAINT TO MATCH EXISTING		SET 2	WRAP AROUND	HM	PNT	1	
109	3' - 0"	6' - 8"	0' - 1 3/4"	A	HM	PAINT TO MATCH EXISTING		SET 2	WRAP AROUND	HM	PNT	1	
110	3' - 0"	6' - 8"	0' - 1 3/4"	A	HM	PAINT TO MATCH EXISTING		SET 2	WRAP AROUND	HM	PNT	1	
112	3' - 0"	6' - 8"	0' - 1 3/4"	B	HM	PAINT TO MATCH EXISTING		SET 3	WRAP AROUND	HM	PNT	1	
113	3' - 0"	6' - 8"	0' - 1 3/4"	B				SET 3				1	TO BE RELOCATED PER PLAN

DOOR ELEVATIONS



WINDOW ELEVATION



FINISH SCHEDULE

ROOM NUMBER	ROOM NAME	FLOOR FINISH	BASE FINISH	NORTH WALL	SOUTH WALL	EAST WALL	WEST WALL	COMMENTS
101	RECEPTION	RECYCLED RUBBER FLOOR	RUBBER BASE TO MATCH EXISTING					
104	DIRECTOR OFFICE	RECYCLED RUBBER FLOOR	RUBBER BASE TO MATCH EXISTING					PAINT WALL TO MATCH EXISTING
106	BREAK ROOM	RECYCLED RUBBER FLOOR	RUBBER BASE TO MATCH EXISTING					PAINT WALL TO MATCH EXISTING
107	SHARED OFFICE	RECYCLED RUBBER FLOOR	RUBBER BASE TO MATCH EXISTING					PAINT WALL TO MATCH EXISTING
108	CORRIDOR	RECYCLED RUBBER FLOOR	RUBBER BASE TO MATCH EXISTING					PAINT WALL TO MATCH EXISTING
109	ASSISTANT DIRECTOR OFFICE	RECYCLED RUBBER FLOOR	RUBBER BASE TO MATCH EXISTING					PAINT WALL TO MATCH EXISTING
110	OFFICE	RECYCLED RUBBER FLOOR	RUBBER BASE TO MATCH EXISTING					PAINT WALL TO MATCH EXISTING
112	RESTROOM	EXISTING	RUBBER BASE TO MATCH EXISTING					PAINT WALL TO MATCH EXISTING
113	RESTROOM	EXISTING	EXISTING TO REMAIN					CLEAN AND RE-PAINT WALL TO MATCH EXISTING
200	ATTIC	PLYWOOD						

FINISH LEGEND

CONC	CONCRETE
CPT	LOW VOC CARPET
CTIL	CERAMIC TILE
EXP	EXPOSED BRICK - CLEAN +
SEAL	
GYP	GYPSUM WALL BOARD
PNT	LOW VOC PAINT
PTIL	PORCELAIN TILE
RB	RUBBER BASE
SEAL	LOW VOC SEALER
STN	LOW VOC STAIN
VCT	VINYL COMPOSITION TILE
VWC	VINYL WALL COVERING
WD	WOOD

## PLUMBING GENERAL NOTES

### GENERAL PLUMBING NOTES:

1. CODES AND PERMITS: ALL WORK TO BE DONE IN ACCORDANCE WITH APPLICABLE LOCAL AND STATE CODES. PERMIT AND CONNECTION FEES TO BE PAID BY CONTRACTORS AS REQUIRED. WARRANTY: WORK AND MATERIALS TO BE WARRANTED FOR ONE (1) YEAR AFTER PROJECT COMPLETION.
2. THE CONTRACTOR SHALL FURNISH ALL LABOR, INSTALL ALL MATERIAL AND EQUIPMENT AND INCLUDE SERVICES AND INCIDENTALS TO THE INSTALLATION OF WORK INVOLVED FOR A COMPLETE AND OPERATING FACILITY.
3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS, INSPECTIONS, AND PAY ALL FEES REQUIRED FOR THIS JOB.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ASSEMBLING ANY EQUIPMENT SHIPPED IN SECTIONS, IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
5. EACH EQUIPMENT CONNECTION TO HAVE SHUT-OFF COCK, DRIP LEG, AND UNION. WHERE DISTRIBUTION PRESSURE IS HIGHER THAN UTILIZATION PRESSURE, PROVIDE SUITABLE PRESSURE REGULATOR.
6. PLUMBING FIXTURES, TRIM, AND ACCESSORIES: PROVIDE FIXTURES, TRIM, CARRIERS AND ACCESSORIES AS SCHEDULED AND REQUIRED FOR COMPLETE INSTALLATION AND PROPER OPERATION. NO "ALTERNATES" OR "EQUALS" MAY BE USED WITHOUT THE WRITTEN PRE-AUTHORIZATION BY THE ARCHITECT OR ENGINEER.
7. FAUCETS FOR LAVATORIES AND SINKS TO HAVE WASHERLESS CARTRIDGES WITH POSITIVE POSITIONING SHUTOFF AGAINST METALLIC OR CERAMIC STOPS.
8. HANDICAPPED PROVISIONS: HEIGHTS OF FIXTURES DESIGNATED FOR HANDICAPPED USE SHALL BE IN ACCORDANCE WITH ANSI A117.1-80, ADA, OR LOCALLY APPLICABLE HANDICAP CODES.
9. OFFSET P-TRAPS TO MAXIMIZE KNEE SPACE AT SINKS AND LAVATORIES. INSULATE EXPOSED WATER AND WASTE PIPING WITH PREFABRICATED INSULATING ASSEMBLY.
10. FLUSH OPERATOR DEVICE FOR WATER CLOSETS TO BE LOCATED ON SIDE OF FIXTURE WITH WIDE DIMENSION IN TOILET STALL OR ENCLOSURE.
11. THE PLUMBING DRAWINGS ARE DIAGRAMMATIC AND SHOW ONLY THE RELATIONSHIP BETWEEN EQUIPMENT AND CONNECTION. DO NOT SCALE THE DRAWINGS FOR EXACT SIZES OR LOCATIONS. FIELD VERIFY ALL DIMENSIONS PRIOR TO INSTALLATION OR FABRICATION.
12. AS PART OF THE PROJECT CLOSEOUT THE PLUMBING CONTRACTOR SHALL PROVIDE FULL PLUMBING SYSTEM AS-BUILTS AS WELL AS TEST AND BALANCE REPORTS OF ALL PERTINENT SYSTEMS.
13. INSTALL PIPING TIGHT TO BEAMS, JOISTS, COLUMNS, WALLS AND OTHER PERMANENT ELEMENTS OF THE BUILDING. PROVIDE SPACE TO PERMIT INSULATION APPLICATIONS WITH 1" CLEARANCE OUTSIDE THE INSULATION. ALLOW SUFFICIENT SPACE ABOVE REMOVABLE CEILING PANELS TO ALLOW REMOVAL.
14. REFER TO PLUMBING FIXTURE SCHEDULE FOR WATER, WASTE AND VENT CONNECTION SIZES.
15. PROVIDE AUTOMATIC TRAP PRIMERS FOR ALL FLOOR DRAINS AND FLOOR SINKS, WHICH ARE LOCATED IN INTERIOR SPACES. PRIMERS TO BE INSTALLED IN CW PIPING AT NEAREST SUITABLE FIXTURE, PREFERABLY A LAVATORY. TRAPS TO HAVE FACTORY FABRICATED FITTING TO RECEIVE PRIMER LINE. PRIMERS TO HAVE AUTOMATIC OPERATION, WITH BRONZE BODY, INTEGRAL VALVE BREAKER, NON- LINGERING INTERNAL OPERATING ASSEMBLY, GASKETED BRONZE COVER, AND 1/2" CONNECTIONS. PRIMERS TO BE ZURN Z1022 OR EQUAL.
16. PROVIDE SLEEVES FOR PIPES THRU FLOORS, MASONRY WALLS & FIRE OR SMOKE PARTITIONS. PENETRATIONS THROUGH WALLS AND FLOORS BELOW GRADE AND OUTSIDE WALLS SHALL BE SEALED AND CAULKED WATER, MOISTURE AND AIR TIGHT TO ARCHITECT APPROVAL.
17. ALL PLUMBING PIPING ROUTING IN PLENUM RETURNS ARE TO BE PLENUM RATED.

## PLUMBING SPECIFICATIONS

**DOMESTIC WATER:**

1. BACK FLOW PREVENTER AT THE BUILDING SERVICE ENTRY SHALL BE LOCAL AUTHORITY APPROVED TYPED IRRESPECTIVE OF WHAT IS SHOWN ON THE DRAWINGS. THE REQUIRED TYPE SHALL BE VERIFIED PRIOR TO BID. INSTALL IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS WITH RECOMMENDED CLEARANCES FOR TESTING AND SERVICE. BACK FLOW PREVENTER SHALL BE LOCATED IN ACCORDANCE WITH STATE CODES, LOCAL CODES AND AUTHORITY HAVING JURISDICTION.
2. ALL COLD WATER SUPPLY LINES TO HAVE IN-LINE SHUT-OFF VALVES AT CONNECTION POINT TO MAIN, ALL BRANCH DOMESTIC WATER PIPING TO PLUMBING FIXTURES TO HAVE IN-LINE SHUT-OFF VALVES. LOCATE SHUT-OFF VALVES WITHIN EASY REACH ABOVE SUSPENDED CEILINGS. SEE ARCH REFLECTED CEILING PLAN.
3. INTERIOR ABOVE SLAB - TYPE 1 HARD-DRAWN COPPER WITH SOLDERED JOINTS.
4. INTERIOR BELOW SLAB - TYPE L SOFT-DRAWN COPPER WITHOUT JOINTS IN SIZES 1-1/4" AND SMALLER, AND SILVER- BRAZED JOINTS IN SIZES 1-1/2" AND LARGER.
5. EXTERIOR BURIED PIPING - TYPE 1 HARD-DRAWN COPPER WITH SOLDERED JOINTS, OR LOCAL CODES PERMITTING, POLYPROPYLENE (PP-R) SDR-11 'GREENPIPE' WITH FUSION WELDED JOINTS. INSTALL #10 AWG COPPER TRACER WIRE WITH PLASTIC PIPING AND TERMINATE ABOVE GRADE AT BUILDING.
6. INSULATION: INSULATE DOMESTIC WATER LINES ABOVE GRADE WITH CLOSED CELL ELASTOMERIC INSULATION. THICKNESS AS FOLLOWS: 1/2" AT CW LINES AND 1" AT HW.
7. IF DOMESTIC WATER PIPING MATERIAL USED IS PEX-A ALL SIZES INDICATED ARE TO BE INCREASED BY ONE PIPE SIZE. IF USING PEX-A AND ASTM F1960 GLO EXPANSION FITTINGS, UP-SIZING IS NOT REQUIRED.

**SANITARY, WASTE AND VENT (DWV) & STORM SYSTEM:**

1. ROUTE PIPING AS SHOWN. MAKE ALL CHANGES IN DIRECTION FOR PIPING USING APPROPRIATE "Y" BRANCHES, STRAIGHT TEES AND ELBOWS. MAKE NO CHANGE IN DIRECTION OF FLOW GREATER THAN 90 DEGREES. REDUCTION OF THE SIZE OF PIPING IN THE DIRECTION OF FLOW IS PROHIBITED. SLOPE PIPING A MINIMUM OF 1/8" INCH PER FOOT.
2. ALL LOCATIONS - NO-HUB CAST IRON WITH GASKETED JOINTS FOR ALL BURIED STORM AND SANITARY PIPING. DWV (SCH. 40) SOLID WALL PVC WITH SOLVENT-WELDED JOINTS ACCEPTABLE ABOVE GRADE. STORM PIPING MUST BE PROVIDED WITH 1" THICK CLOSED CELL ELASTOMERIC INSULATION. *CELLULAR (FOAM) CORE PVC IS AN UNACCEPTABLE SUBSTITUTION* (SOLID CORE PVC MAY BE SUBSTITUTED IN PLACE OF CAST-IRON WITH WRITTEN APPROVAL FROM OWNER.) ALL BURIED PVC PIPE AND FITTINGS SHALL BE INSTALLED PER ASTM D 3231.
3. IF PLASTIC PIPING IS USED, PROVIDE SUITABLE EXPANSION JOINTS IN VERTICAL RISERS, FLASHING - AT BUILT-UP ROOF, USE 4 LB. SHEET LEAD; AT METAL ROOF, COORDINATE WITH ROOF SYSTEM VENDOR.
4. PROVIDE CLEANOUTS PER CODE AND WHERE INDICATED AS FOLLOWS: FLOOR: ZURN ZN-1400, WALL: ZURN Z-1441 WITH STAINLESS STEEL COVER EXTERIOR: ZURN ZN-1400-HD WITH RECESSED PLUG AND 12"x 12"x 4" DEEP CONCRETE PAD.
5. FABRICATED PVC DWV FITTINGS SHALL CONFORM TO ASTM F 1866. PIPE AND FITTINGS SHALL BE MANUFACTURED AS A SYSTEM AND BE THE PRODUCT OF ONE MANUFACTURER UNLESS WRITTEN APPROVAL FROM OWNER IS PROVIDED.

**NATURAL GAS**

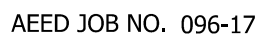
1. SCH. 40 BLACK STEEL WITH THREADED (1-1/2" AND SMALLER) OR WELDED (2" AND LARGER) JOINTS. INSTALL PIPING IN ACCESSIBLE, VENTILATED SPACES AND PROVIDE SUITABLE SLEEVES UNDER SLABS ON GRADE AND THRU PLENUMS.
2. WHERE GAS PIPING CONNECTS TO EQUIPMENT, IT SHALL BE PROVIDED WITH A DRIP LEG THE FULL SIZE OF THE SUPPLY PIPE, A 100% SHUT-OFF GAS COCK AND UNION.
3. PORTIONS OF A GAS PIPING SYSTEM INSTALLED IN CONCEALED LOCATIONS SHALL NOT HAVE UNIONS, TUBE FITTINGS OR RUNNING THREADS.
4. BURIED STEEL PIPING TO BE PLASTIC COATED, WITH JOINTS TAPED. PROVIDE 17 LB. MAGNESIUM ANODE(S) AS DIRECTED.
5. ALL EXPOSED, UNFINISHED PIPE, FITTINGS, SUPPORTS AND ACCESSORIES SHALL BE PREPARED FOR FINISH PAINT. IN THE EVENT OF MORE STRINGENT SPECIFICATIONS, CONTRACTOR SHALL TOUCH-UP THE SURFACE AS REQUIRED WITH A RUST-INHIBITIVE PRIMER RECOMMENDED BY TOP COAT MANUFACTURER AND THEN APPLY TWO COATS OF LATEX ENAMEL IN A COLOR CONSISTENT WITH THE ANSI STANDARDS OR AS DIRECTED BY THE OWNER/ARCHITECT.

DOMESTIC WATER FIXTURE LOAD							
FIXTURE	OCCUPANCY	TYPE OF SUPPLY CONTROL	SUPPLY FIXTURE UNIT VALUES			QTY	TOTAL WATER SUPPLY FIXTURE UNITS
			COLD	HOT	TOTAL		
LAVATORY	PRIVATE	-	1.50	1.50	2.00	1	2.00
WATER CLOSET	PUBLIC	FLUSH TANK	5.00	0.00	5.00	1	5.00
KITCHEN SINK	PRIVATE	FAUCET	1.00	1.00	1.40	1	1.40
REFRIGERATOR	-	-	0.25	0.00	0.25	1	0.25
ADDED WATER SUPPLY FIXTURE UNIT						TOTAL	8.65

SANITARY SEWER FIXTURE LOAD					
FIXTURE	OCCUPANCY	TYPE OF SUPPLY CONTROL	DRAINAGE FIXTURE UNIT VALUES	QTY	TOTAL DFUS
BATHROOM GROUPS	PRIVATE	FLUSH TANK	5.00	1.00	5.00
LAVATORY	PUBLIC	FAUCET	1.00	1.00	1.00
KITCHEN SINK	PRIVATE	FAUCET	2.00	1.00	2.00
ADDED DRAINAGE FIXTURE UNIT			TOTAL		8.00

PLUMBING LEGEND		
	CW	COLD WATER
	HW	HOT WATER
	HWR	HOT WATER RECIRC
	SAN	SANITARY WASTE
	SAN	SANITARY WASTE BELOW FLOOR
	V	VENT
	SD	STORM/OVERFLOW
	G	NATURAL GAS
	CD	CONDENSATE DRAIN
	A	MEDICAL AIR
	O	MEDICAL OXYGEN
	V	MEDICAL VACUUM
	-	ARROW INDICATES DIRECTION OF FLOW
	-	UNION
	WTS	WATERTIGHT SLEEVE
	SOV	SHUT-OFF VALVE
	CV	CHECK VALVE
	PRV	PRESSURE REDUCING VALVE
	CS	CIRCUIT SETTER
	MV	MIXING VALVE
	FPHB & HB	FREEZE PROOF HOSE BIBB WITH SOV INLINE
	BFP	REDUCED PRESSURE BACKFLOW PREVENTER
	GM	GAS METER
	TP	AUTOMATIC TRAP PRIMER
	VRV	VACUUM RELIEF VALVE
	T & P	TEMPERATURE & PRESSURE RELIEF VALVE
	W & T	WASTE & TRAP
	PG	PRESSURE GAUGE WITH ISOLATION VALVE
	TG	PRESSURE GAUGE WITH ISOLATION VALVE
	WHA	WATER HAMMER ARRESTOR
	CO	CLEANOUT PLUG FLUSH WITH FLOOR
	CO & WCO	CLEANOUT PLUG OR WALL CLEAN OUT
	VTR	VENT THROUGH ROOF
	CVK	CONCENTRIC VENT KIT
	RCP	RECIRCULATION PUMP
	POC	POINT OF CONNECTION

CO	CLEAN OUT	HW	DOMESTIC HOT WATER
CD	CONDENSATE DRAIN	HWR	DOMESTIC HOT WATER RECIRC
CW	DOMESTIC COLD WATER	IWH	INSTANT, WATER HEATER
DF	DRINKING FOUNTAIN	LAV	LAVATORY
ECO	EXTERIOR CLEANOUT	MS	MOP SINK
EEW	EMERGENCY EYE WASH	RD	ROOF DRAIN
EW	ELECTRIC WATER COOLER	SH	SHOWER
EX	EXISTING	SK	SINK
FD	FLOOR DRAIN	TUB	BATHTUB
FPHB	FREEZE PROOF HOSE BIB	UR	URINAL
FS	FLOOR SINK	VENT	VENT THRU ROOF
G	GAS	WC	WATER CLOSET
GI	GREASE INTERCEPTOR	WCO	WALL CLEAN OUT
GM	GAS METER	WH	WATER HEATER
GW	GREASE WASTE	WHA	WATER HAMMER ARRESTOR
HB	HOSE BIB		

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PLUMBING  
COVER SHEET

**PO-1**



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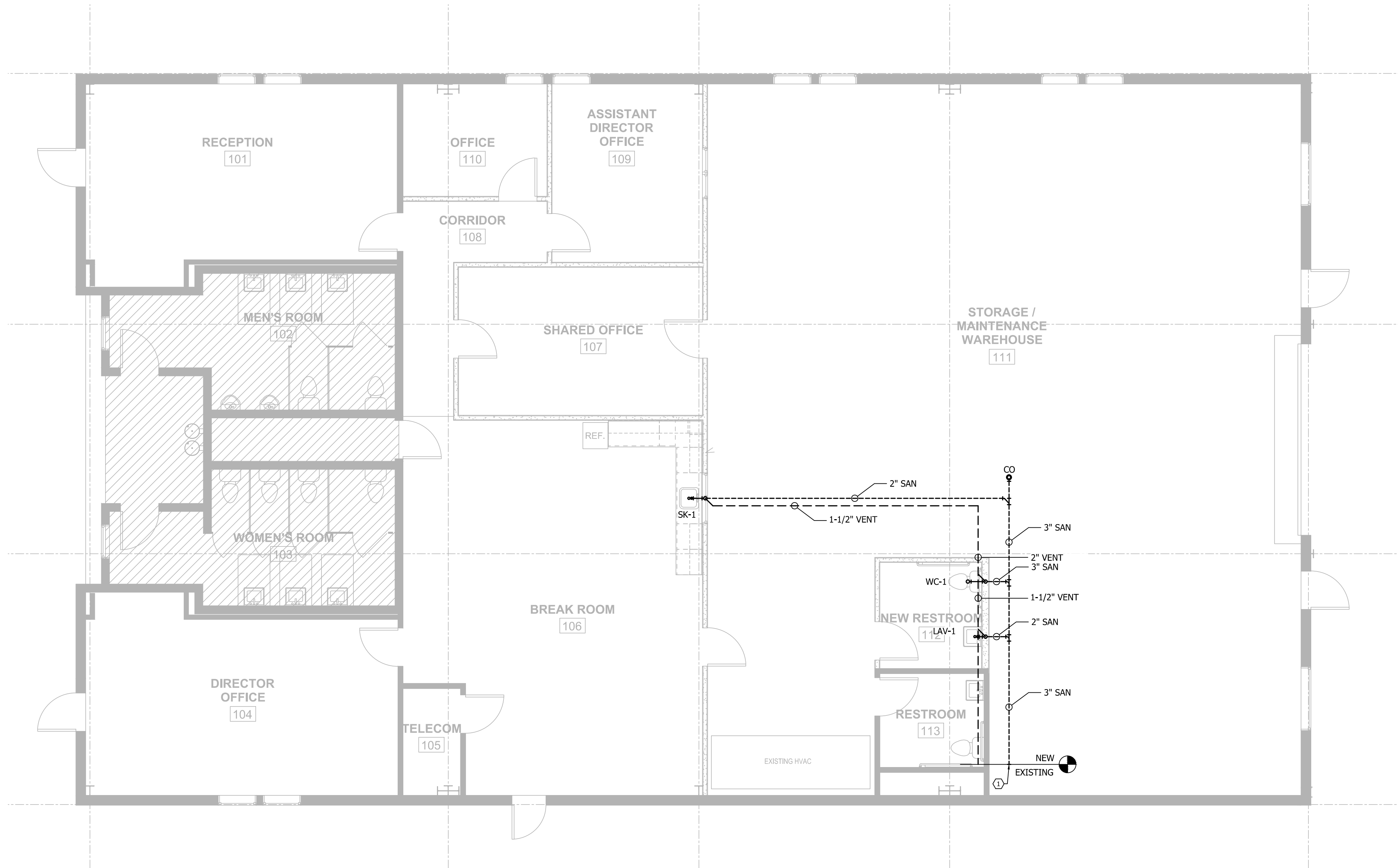
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PLUMBING  
COVER SHEET



1 PLUMBING - WASTE & VENT PLAN  
P1-1 SCALE: 3/16" = 1'-0"

PLUMBING UNREFERENCED NOTES

- SEE SHEET P0-1 FOR GENERAL PLUMBING NOTES.
- REFER TO PLUMBING FIXTURE SCHEDULE FOR FIXTURE CONNECTION SIZES.
- COORDINATE DWV & DOMESTIC WATER LINES WITH ARCHITECTURAL AND STRUCTURAL CONDITIONS. PLUMBING CONTRACTOR SHALL NOT CUT ANY STRUCTURAL MEMBER WITHOUT WRITTEN CONSENT FROM THE STRUCTURAL ENGINEER.
- ALL EXISTING UNDERGROUND SANITARY PIPE ROUTING ARE SHOWN TO THE BEST OF ENGINEER'S KNOWLEDGE. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL WALK THE SITE AND FIELD VERIFY ALL EXISTING UNDERGROUND SANITARY ROUTING AND INVERTS ALONG WITH DOMESTIC CW & NATURAL GAS TIE-IN LOCATIONS AND CONDITIONS.

PLUMBING REFERENCED NOTES

- TIE NEW SANITARY LINE AND VENT INTO EXISTING BATHROOM SYSTEM. CONTRACTOR TO FIELD VERIFY TIE IN LOCATION AND INVERTS PRIOR TO ANY WORK.



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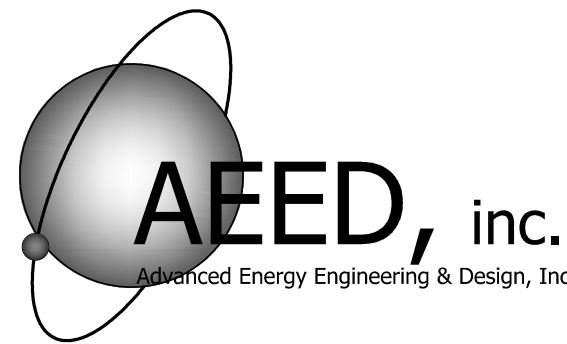
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PLUMBING  
WASTE & VENT PLAN

P1-1



1 PLUMBING - DEMO  
P2-1 SCALE: 3/16" = 1'-0"

PLUMBING UNREFERENCED NOTES

- a. SEE SHEET P0-1 FOR GENERAL PLUMBING NOTES.
- b. REFER TO PLUMBING FIXTURE SCHEDULE FOR FIXTURE CONNECTION SIZES.
- c. COORDINATE DWV & DOMESTIC WATER LINES WITH ARCHITECTURAL AND STRUCTURAL CONDITIONS. PLUMBING CONTRACTOR SHALL NOT CUT ANY STRUCTURAL MEMBER WITHOUT WRITTEN CONSENT FROM THE STRUCTURAL ENGINEER.
- d. ALL EXISTING UNDERGROUND SANITARY PIPE ROUTING ARE SHOWN TO THE BEST OF ENGINEER'S KNOWLEDGE. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL WALK THE SITE AND FIELD VERIFY ALL EXISTING UNDERGROUND SANITARY ROUTING AND INVERTS ALONG WITH DOMESTIC CW & NATURAL GAS TIE-IN LOCATIONS AND CONDITIONS.

PLUMBING REFERENCED NOTES

- 1 REMOVE AND SALVAGE EXISTING SPIGOT AND RELOCATE TO NEW LOCATION PER PLUMBING SHEET P2-2.



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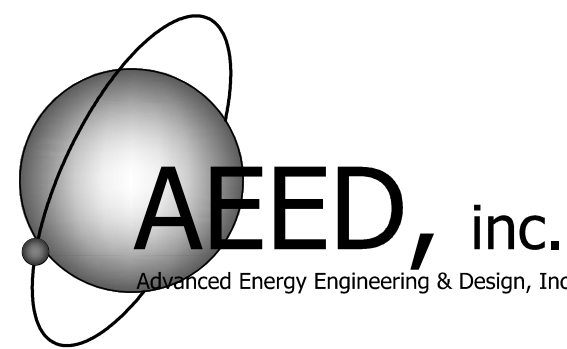
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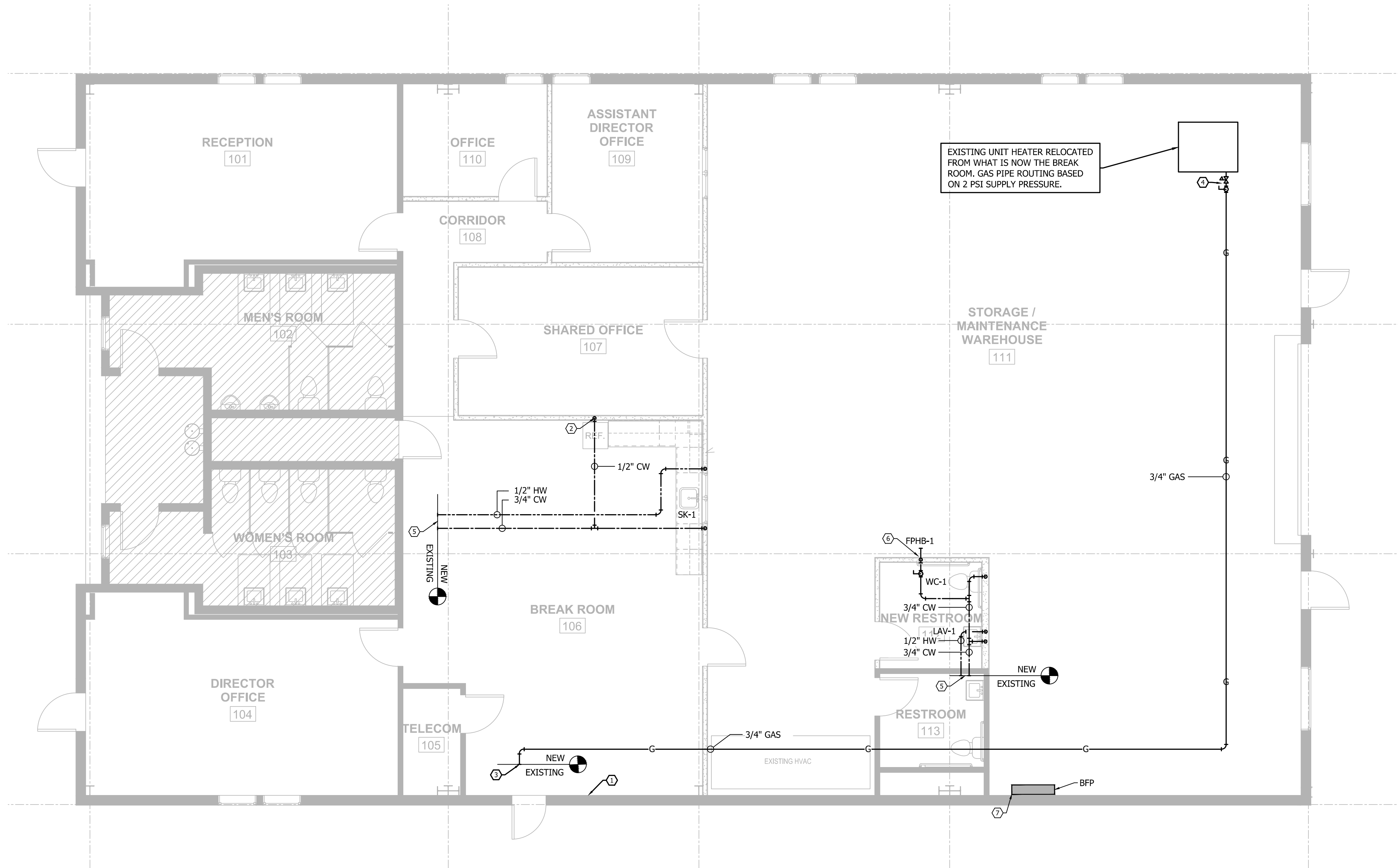


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PLUMBING  
DEMO

P2-1

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1 PLUMBING - DOMESTIC & GAS PLAN  
P2-2 SCALE: 3/16" = 1'-0"

PLUMBING UNREFERENCED NOTES

- a. SEE SHEET P001 FOR GENERAL PLUMBING NOTES.
- b. REFER TO PLUMBING FIXTURE SCHEDULE FOR FIXTURE CONNECTION SIZES.
- c. COORDINATE DWV & DOMESTIC WATER LINES WITH ARCHITECTURAL AND STRUCTURAL CONDITIONS. PLUMBING CONTRACTOR SHALL NOT CUT ANY STRUCTURAL MEMBER WITHOUT WRITTEN CONSENT FROM THE STRUCTURAL ENGINEER.
- d. ALL EXISTING UNDERGROUND SANITARY PIPE ROUTING ARE SHOWN TO THE BEST OF ENGINEER'S KNOWLEDGE. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL WALK THE SITE AND FIELD VERIFY ALL EXISTING UNDERGROUND SANITARY ROUTING AND INVERTS ALONG WITH DOMESTIC CW & NATURAL GAS TIE-IN LOCATIONS AND CONDITIONS.
- e. PROVIDE FLOOR DRAINS WITH 1/2" CW TRAP PRIMER CONNECTION.

PLUMBING REFERENCED NOTES

- 1 ANY GAS PIPING THAT IS ENCLOSED DURING THE CONSTRUCTION OF THE BREAK ROOM WALL MUST BE WELDED PER CODE.
- 2 1/2" CW LINE TO SUPPLY FRIDGE. PLUMB DOWN IN WALL TO SIOUX CHIEF SHUT-OFF VALVE BOX IN WALL.
- 3 TAKE OFF 3/4" GAS LINE (2-PSI) FROM EXISTING LINE AND ROUTE TO RELOCATED UNIT HEATER AS SHOWN PER PLAN.
- 4 PROVIDE WITH SHUT OFF VALVE AND LBS TO INCHES REGULATOR TO EQUIPMENT. SEE EQUIPMENT SPEC SHEET FOR INLET PRESSURE REQUIREMENTS.
- 5 TIE NEW CW AND HW LINES INTO EXISTING SYSTEMS. CONTRACTOR TO FIELD VERIFY TIE IN POINTS PRIOR TO ANY WORK.
- 6 SPIGOT RELOCATED FROM EXISTING NORTH WALL OF THE RESTROOM TO THIS LOCATION. COORDINATE WITH OWNER ON EXACT LOCATION OF SPIGOT RELOCATION PRIOR TO ANY ROUTING.
- 7 EXISTING BACK FLOW PREVENTOR LOCATION.



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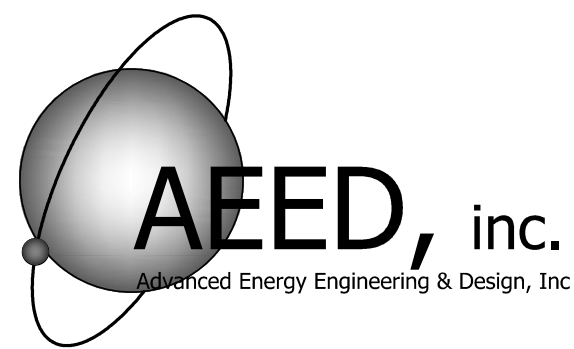
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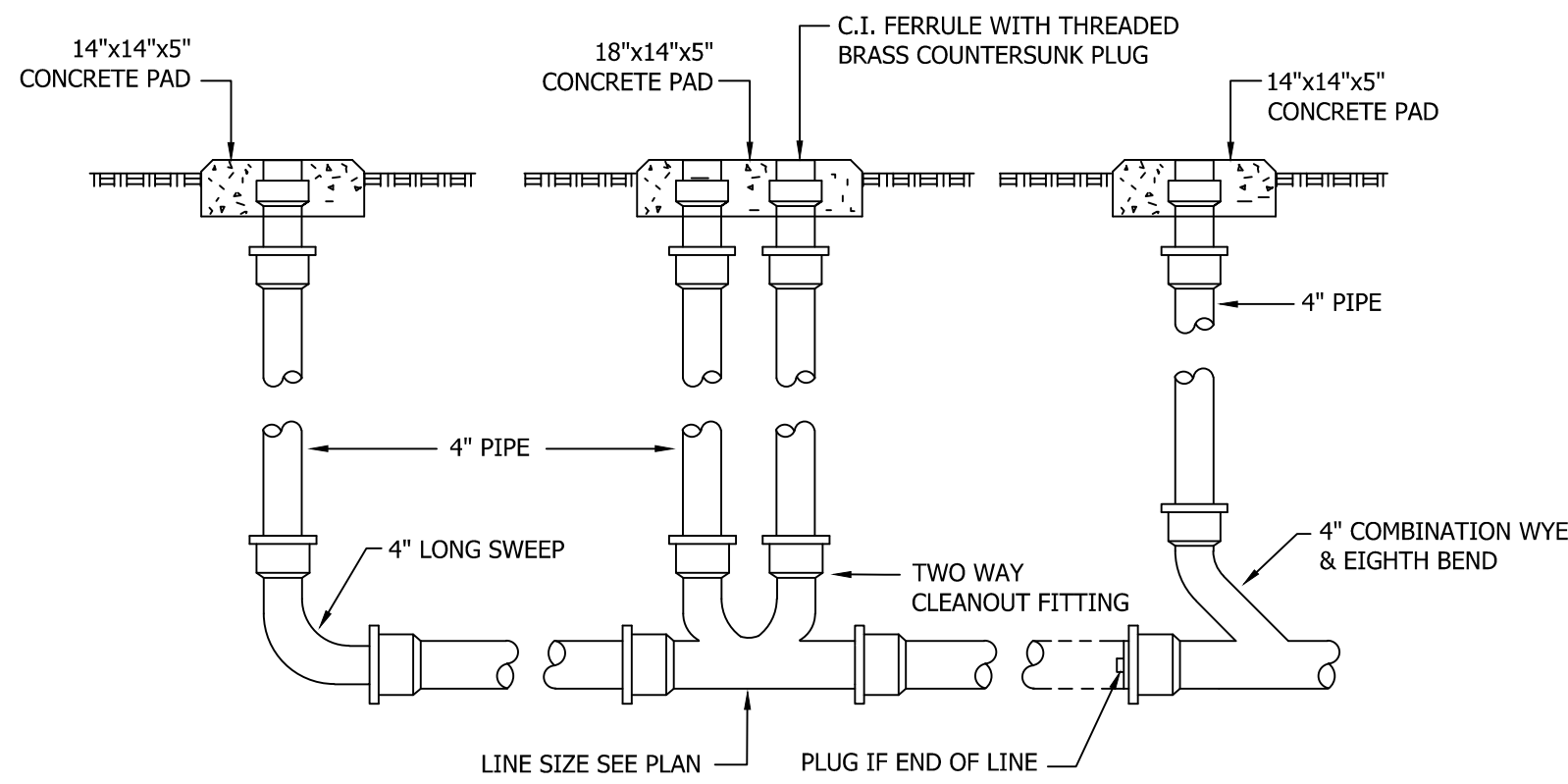
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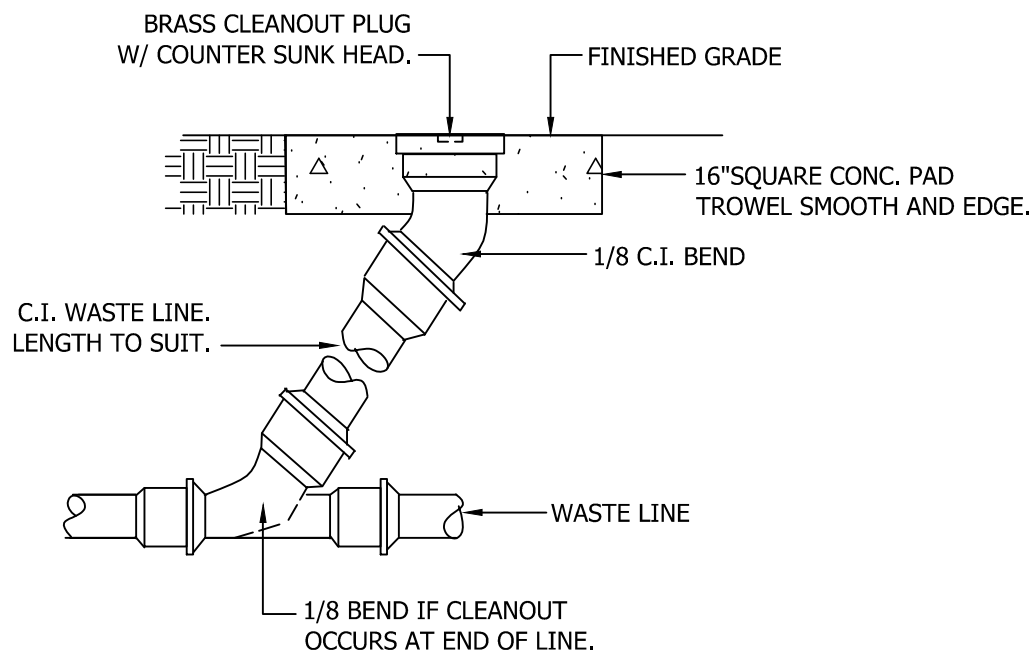
PLUMBING  
DOMESTIC & GAS  
PLAN

P2-2

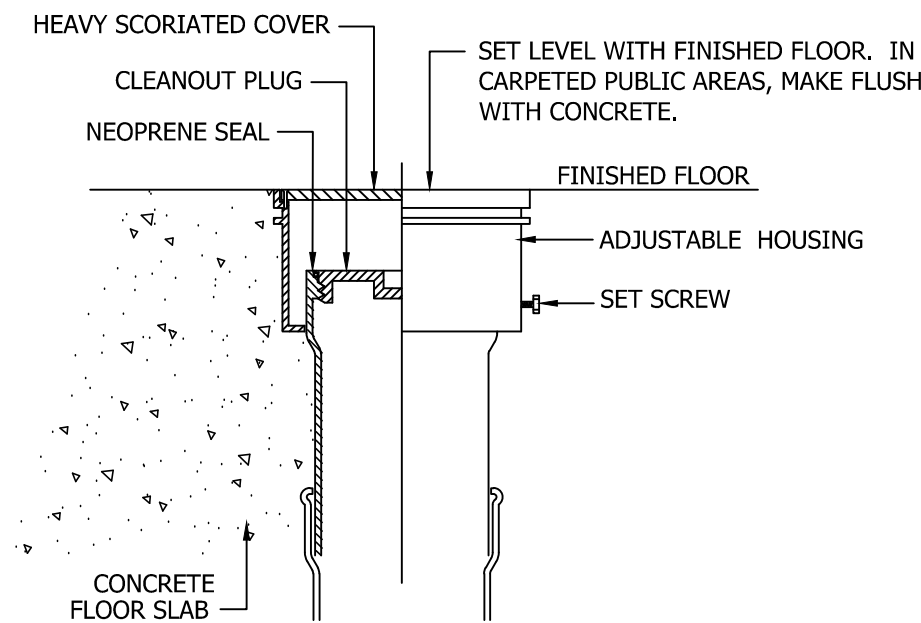


NOTE: SEE SPECS FOR PIPING MATERIAL

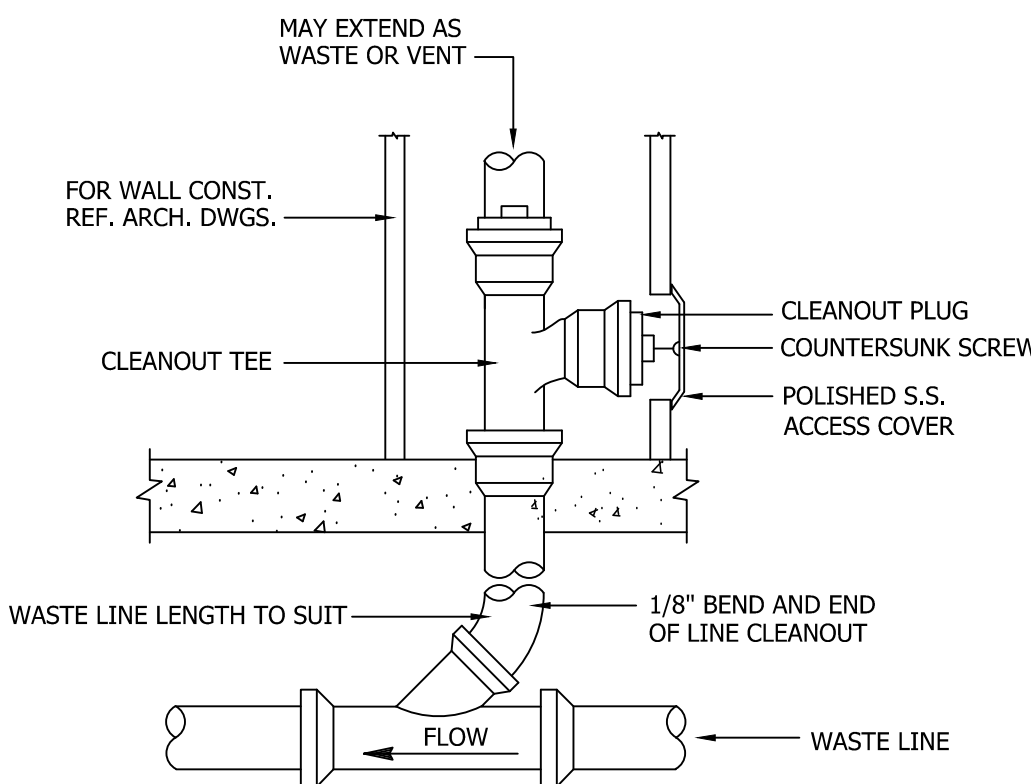
EXTERIOR CLEANOUT INSTALLATION DETAIL



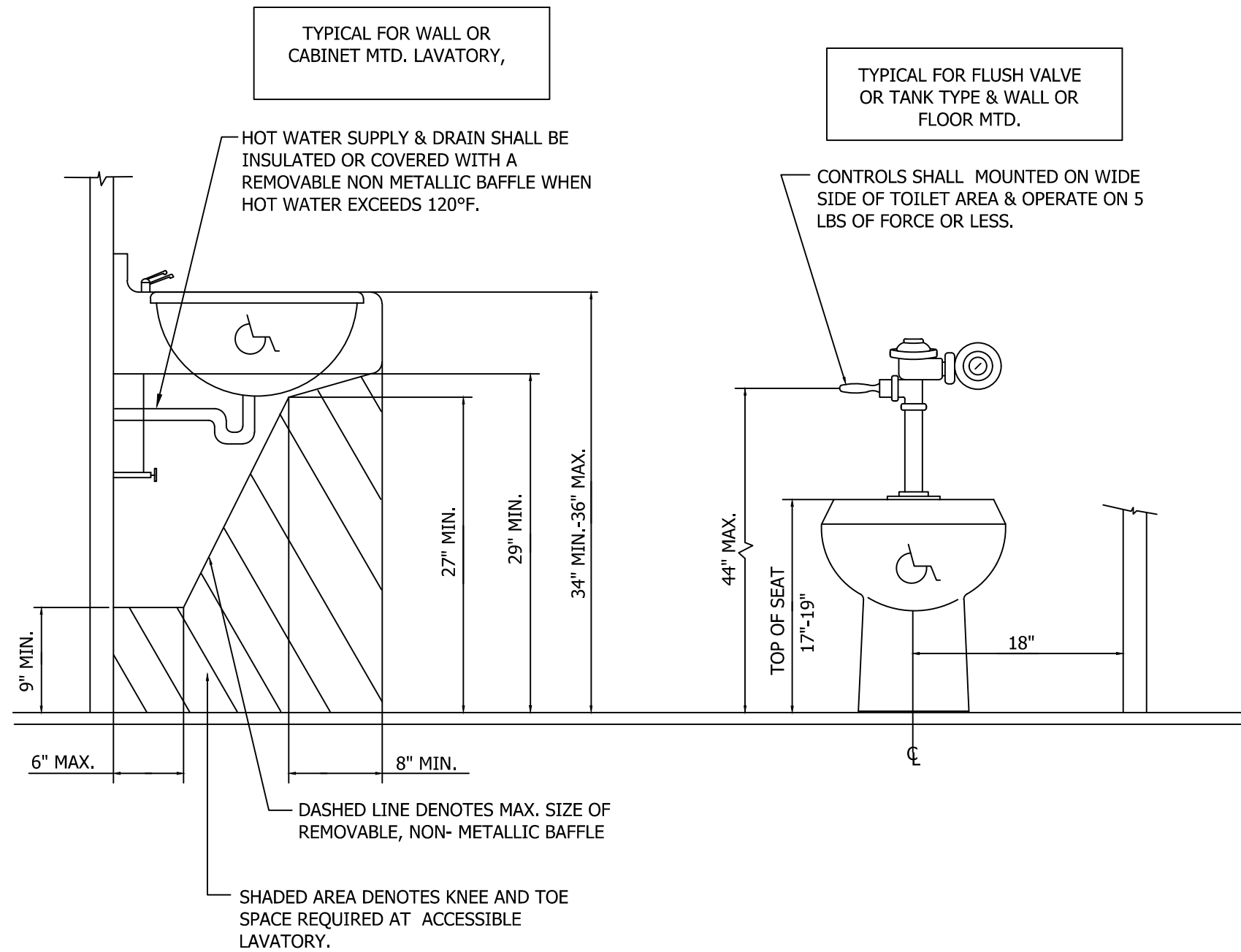
CLEANOUT TO GRADE INSTALLATION DETAIL



FLOOR CLEANOUT INSTALLATION DETAIL

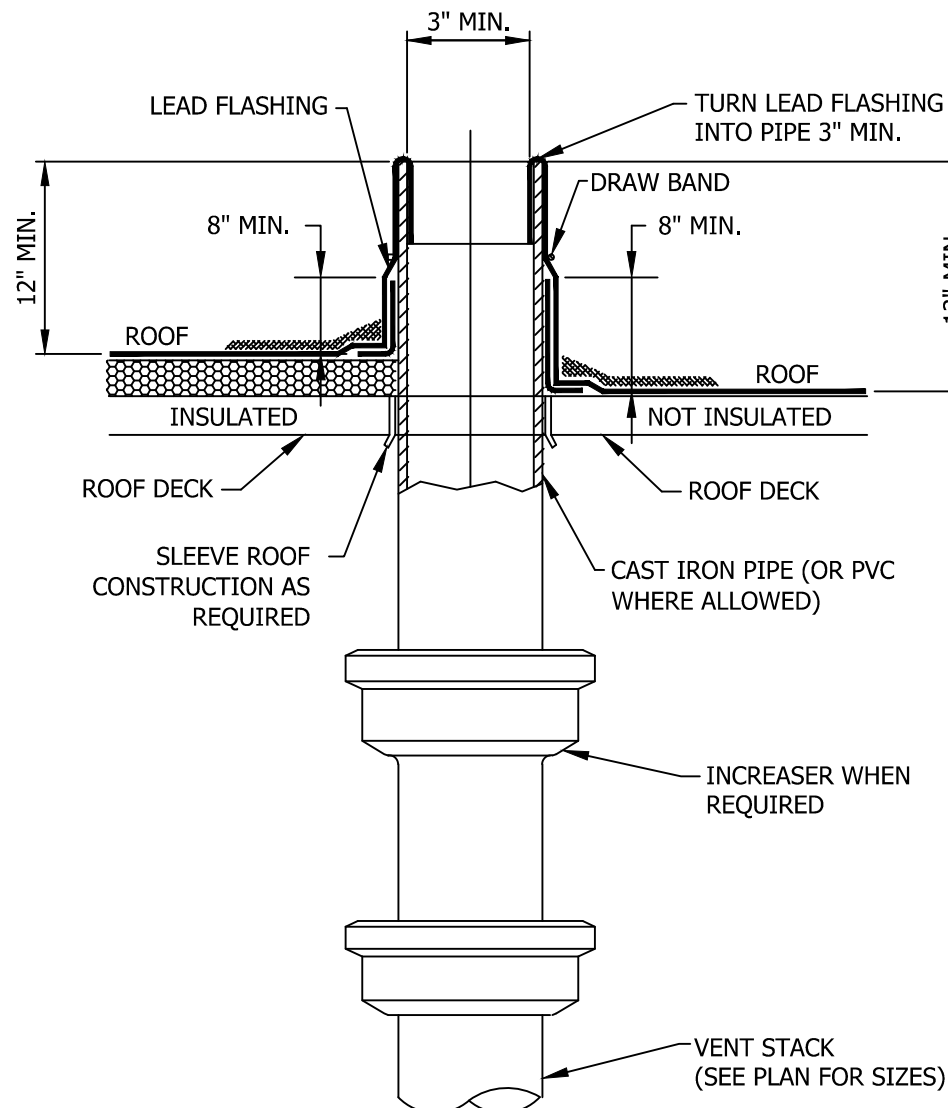


WALL CLEANOUT INSTALLATION DETAIL



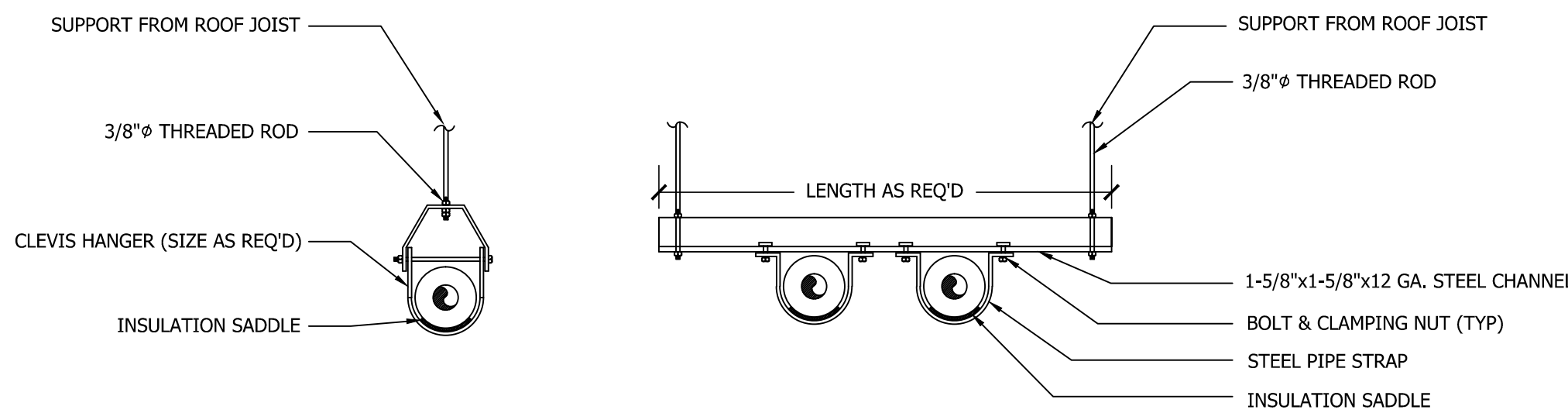
ADA PLUMBING FIXTURE INSTALLATION

SCALE: NONE



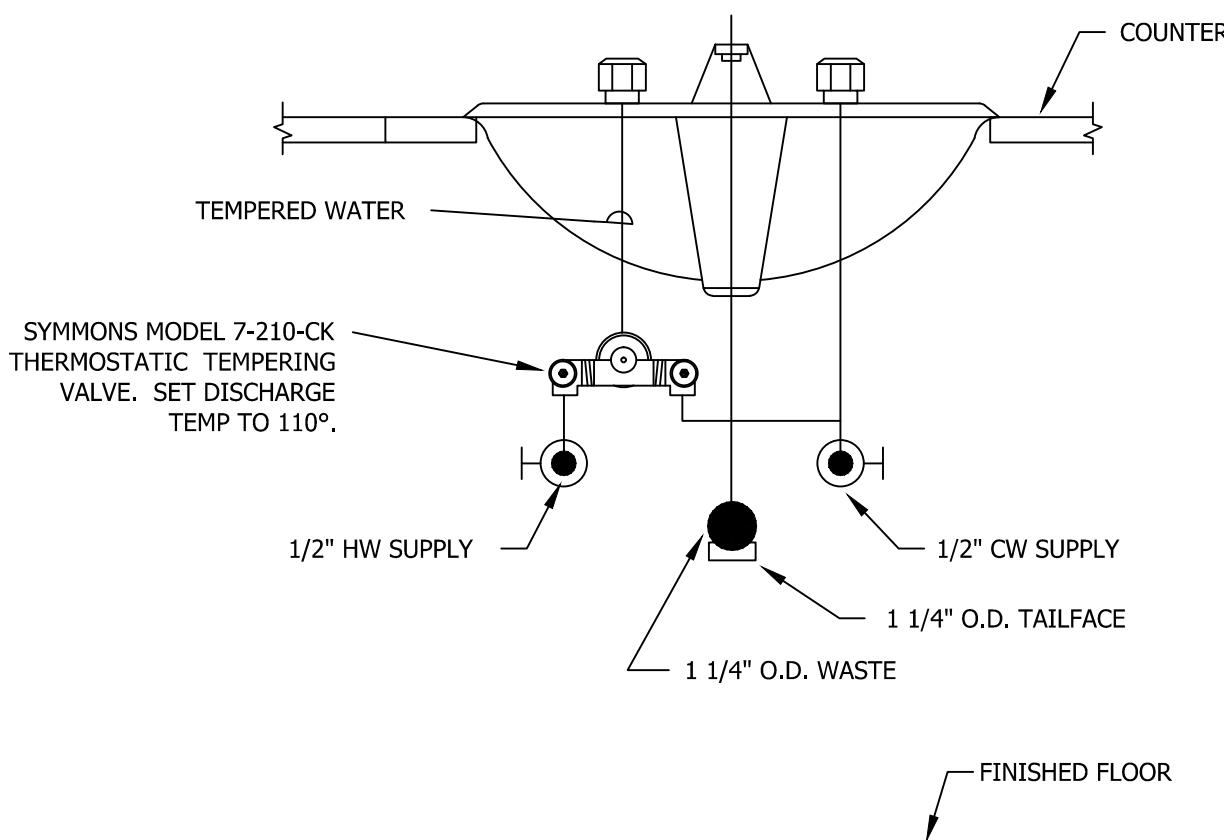
VENT THRU ROOF DETAIL

SCALE: NONE



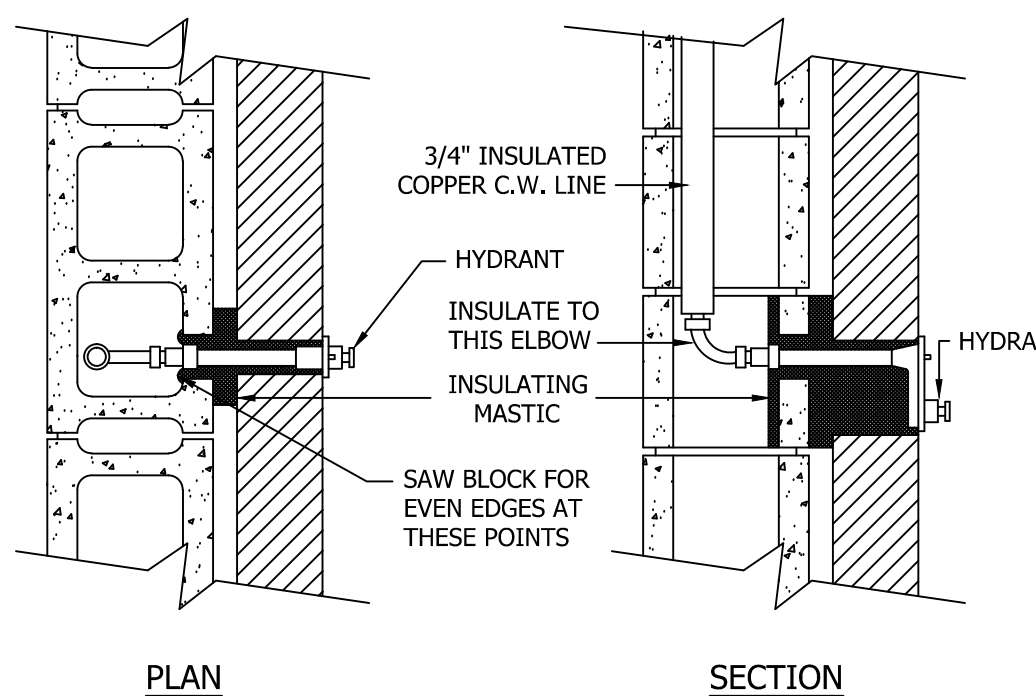
SINGLE PIPE RUN

MULTIPLE PIPE RUNS



LOCAL MIXING VALVE DETAIL

SCALE: NONE



EXPOSED WALL HYDRANT INSTALLATION DETAIL

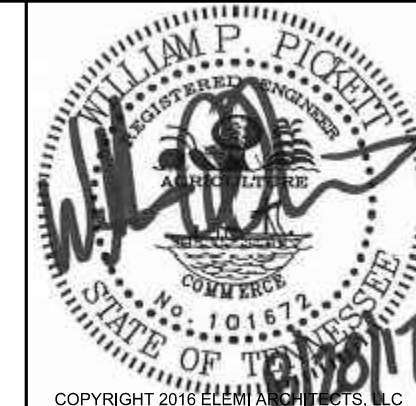
SCALE: NONE

CLEANOUT INSTALLATION DETAILS

SCALE: NONE

PIPING SUPPORT INSTALLATION DETAILS

SCALE: NONE



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PLUMBING  
DETAILS

P3-0

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