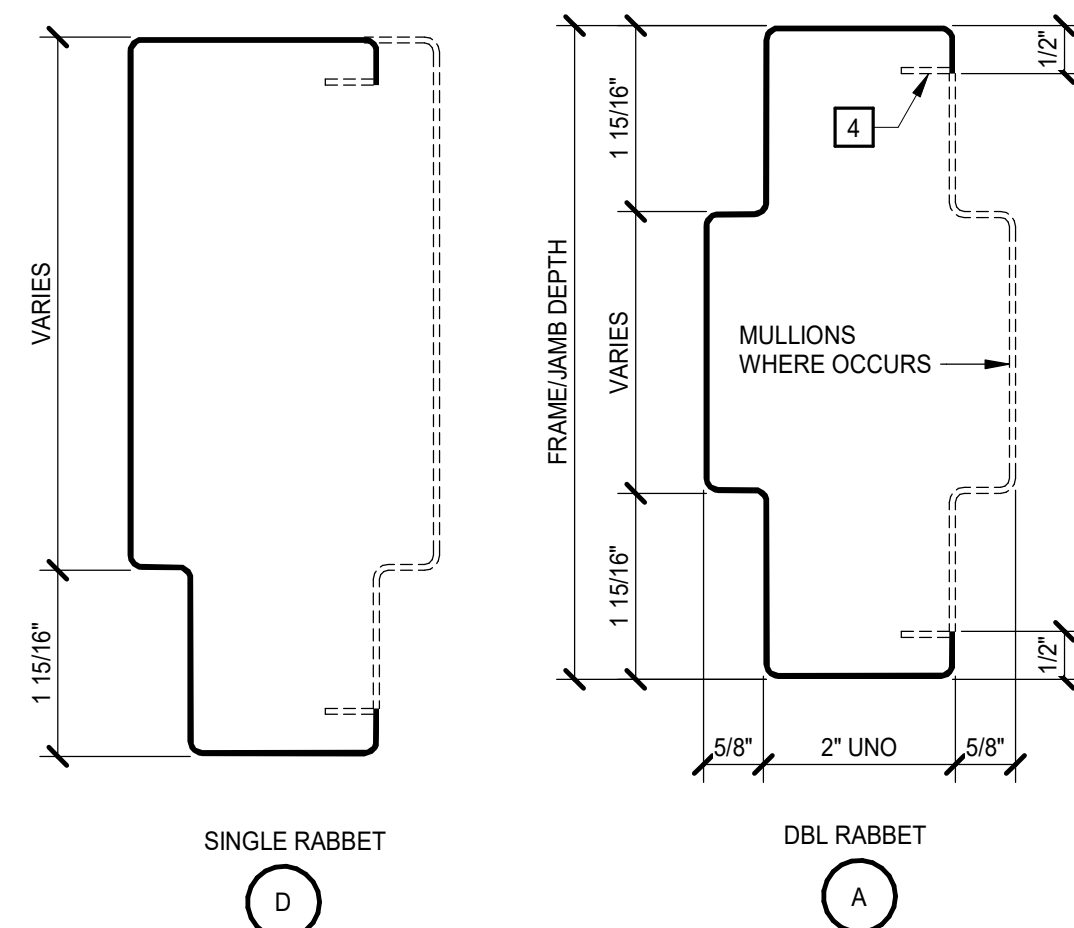


## DOOR AND FRAME DETAIL KEYNOTES

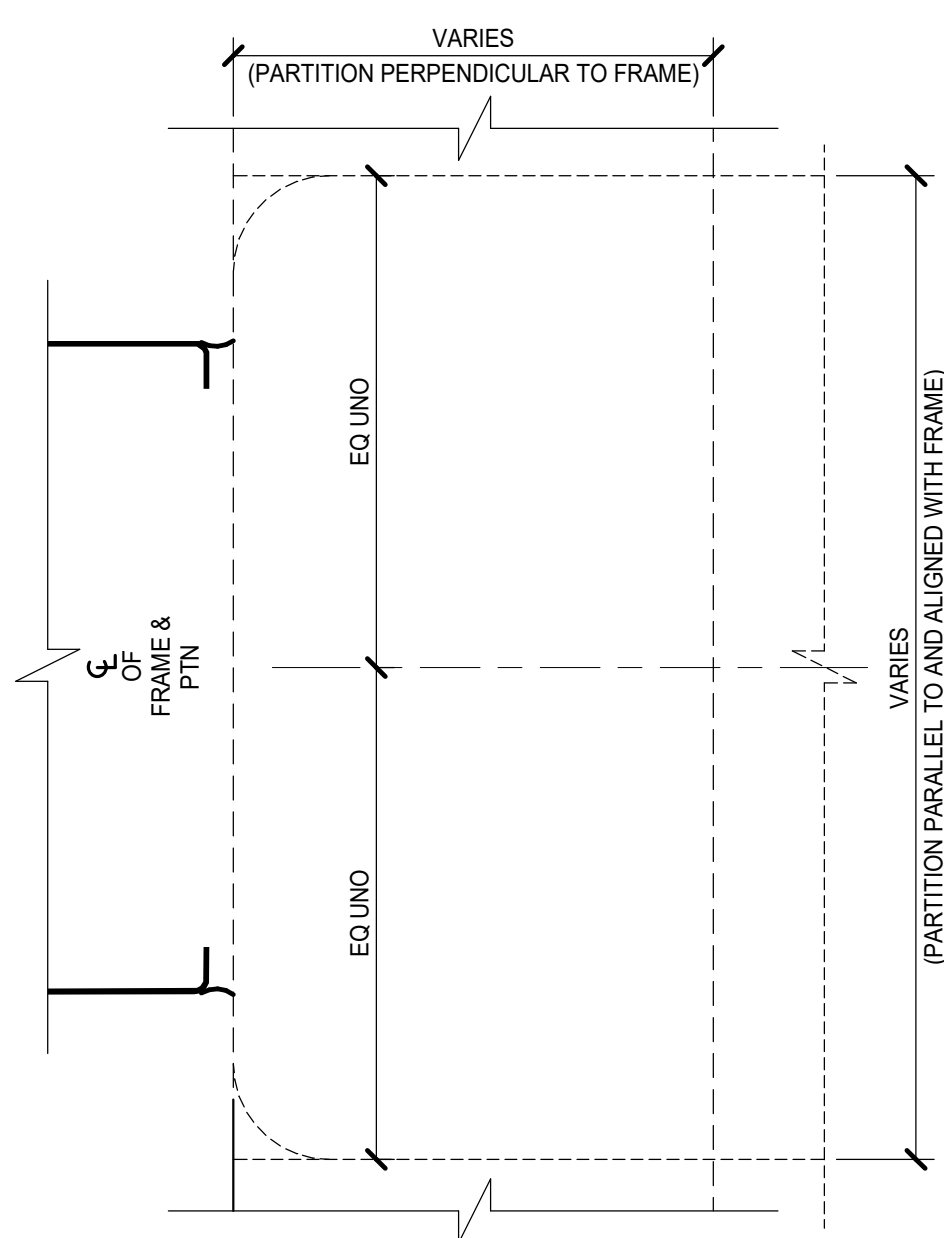
REPRESENTED BY **N**  
APPLIES TO THIS DRAWING

1	ANCHORAGES, REINFORCING, SPECIFIC PARTITION CONSTRUCTION AND/OR LINTELS ARE NOT SHOWN FOR CLARITY.
2	REFER TO FRAME SECTION IN DOOR SCHEDULE FOR TYPE.
3	SEALANT, ALL SIDES - TOOL TO 90°.
4	BACKBEND RETURN @ GB LOCATIONS ONLY.
5	9/16" @ MAS; 1/2" @ GB.
6	1/4" @ JAMBS, UNO, DIMENSION @ HEAD & SILL VARIES.
7	BULLNOSE @ CMU JAMBS & SILLS.
8	0" @ GB LOCATIONS; 1/16" @ MAS LOCATIONS.



1. ALL FRAME/JAMB DEPTHS, OTHER THAN WRAP CONDITIONS, SHALL BE 4\"/>

## STEEL FRAME SECTIONS



## INT BETWEEN THE JAMB - BUTTED HEAD/JAMB/SILL

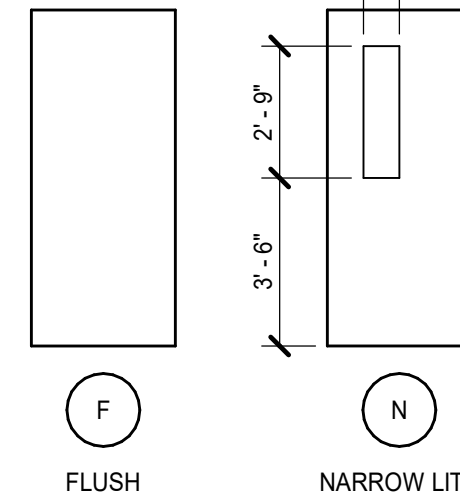
## GLAZING TYPES

REPRESENTED BY **N**

1. 1/4\"/>

## NOTES:

1. ALL GLAZING IN INTERIOR FRAMES SHALL BE TYPE 1, UNO.
2. GLAZE ALL OPENINGS IN FRAMES UNLESS SPECIFICALLY INDICATED OTHERWISE.
3. ALL GLAZING SHALL BE SAFETY GLASS UNLESS INDICATED OTHERWISE.



## DOOR TYPES

## HARDWARE SETS:

THE FOLLOWING PRODUCT MODELS ARE ASIA ABILITY, BEST, ROCKWOOD, AND STANLEY. ALTERNATIVE MANUFACTURERS WILL BE CONSIDERED IF THEY ARE OF A SIMILAR, COMMERCIAL QUALITY.

## HDL - PRODUCT

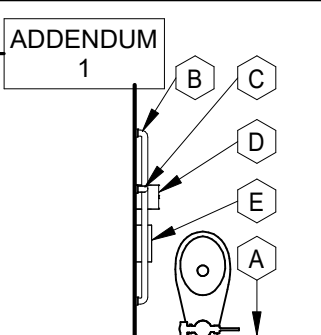
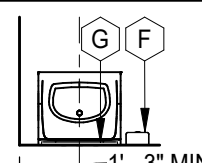
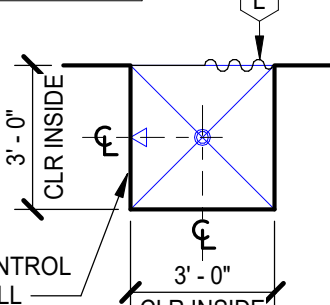
- 3 EACH HINGE F88179 4 1/2 X 4 1/2 US302
- 1 EACH PINCH 4844-1053 US302
- 1 EACH HDX PLATE K1050 6\"/>

## HDL - STANDARD

- 3 EACH HINGE CB168 4 1/2 X 4 1/2 US302
- 1 EACH PUSH PLATE W6 US302
- 1 EACH HDX PLATE K1050 6\"/>

## TOILET ASSEMBLIES

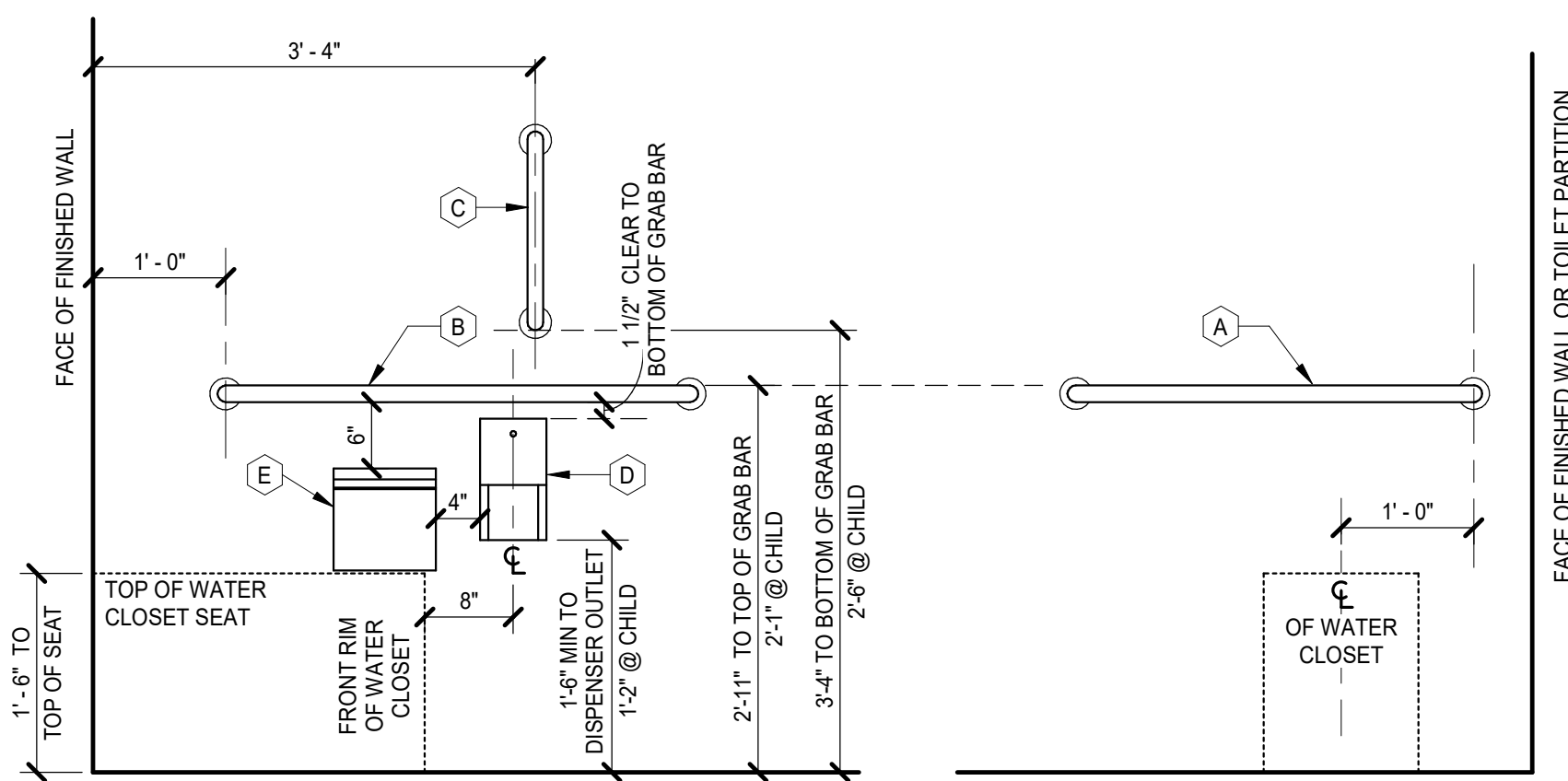
REPRESENTED BY **Tan**

MARK	REMARKS	PLAN	MARK	REMARKS	PLAN
<b>TA7</b>	USE 24" HORIZONTAL GRAB BARS AT SIDE WALL AT F53		<b>TA11</b>	CENTER (G) OVER LAVATORY	
<b>TA8</b>	OMIT (E)		<b>TA12</b>	PROVIDE SOLID SURFACE SHOWER PAN REFER TO PLUMBING DOCUMENTS.	
<b>LEGEND NOTES:</b> A. HANDING/ORIENTATION MAY VARY. REFER TO PLANS FOR PROPER ORIENTATION. B. PLUMBING FIXTURE GRAPHICS IN THIS LEGEND ARE REPRESENTATIVE ONLY. ACTUAL PLUMBING FIXTURES MAY VARY. C. COAT/ROBE HOOKS INDICATED ON THE BACK OF TOILET COMPARTMENT DOORS ARE PART OF THE TOILET COMPARTMENT ASSEMBLY AND ARE NOT CONSIDERED A TOILET ACCESSORY.			<b>TA13</b>		

## TOILET ACCESSORIES SCHEDULE

MARK	DESCRIPTION	MOUNTING HEIGHT	REMARKS
	24" HORIZONTAL GRAB BAR	REFER TO TUB & SHOWER ELEVATIONS	
A	36" HORIZONTAL GRAB BAR	REFER TO WATER CLOSET ELEVATIONS	
B	42" HORIZONTAL GRAB BAR	REFER TO WATER CLOSET ELEVATIONS	
C	16" VERTICAL GRAB BAR	REFER TO WATER CLOSET ELEVATIONS	
D	TOILET TISSUE DISPENSER	REFER TO WATER CLOSET ELEVATIONS	
E	SANITARY NAPKIN DISPOSAL	REFER TO WATER CLOSET ELEVATIONS	
F	SOAP DISPENSER	3'-4" AFF TO DISPENSING OUTLET	
G	MIRROR (12" X 36") OVER LAV AND COUNTERTOP	3'-4" AFF TO BOTTOM OF REFLECTIVE SURFACE	
L	SHOWER CURTAIN, ROD AND HOOKS	6'-8" AFF TO ROD	

1. ACCESSORY ITEMS ARE IDENTIFIED BY **N** ON PLANS. LETTERS CORRESPOND TO SCHEDULE ABOVE.
2. ACTUAL DIMENSIONS OF ACCESSORIES MAY VARY. COORDINATE DIFFERENCES, IF ANY.
3. PROVIDE ROBE HOOK ON INTERIOR FACE OF ALL TOILET ROOM DOORS. MOUNT AT 5'-0\"/>

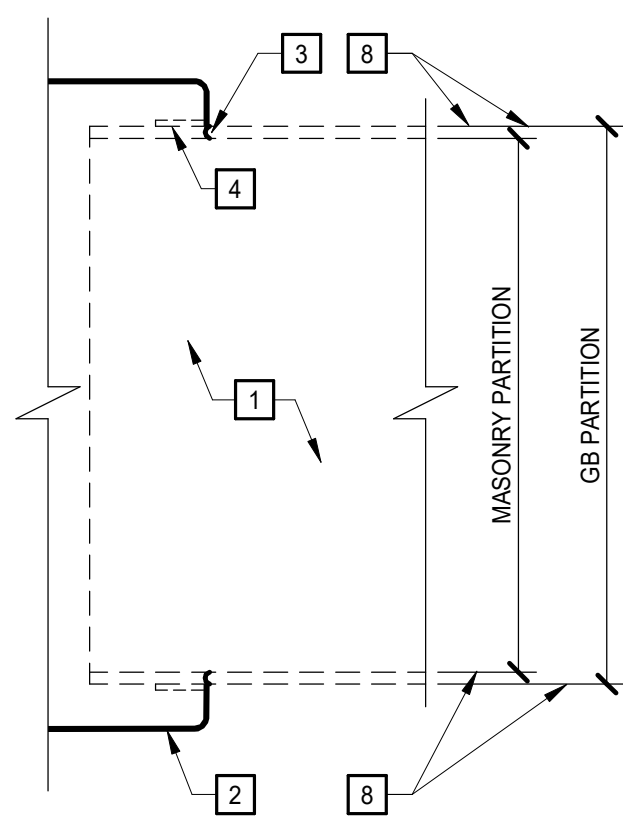


## WATER CLOSET ELEVATIONS

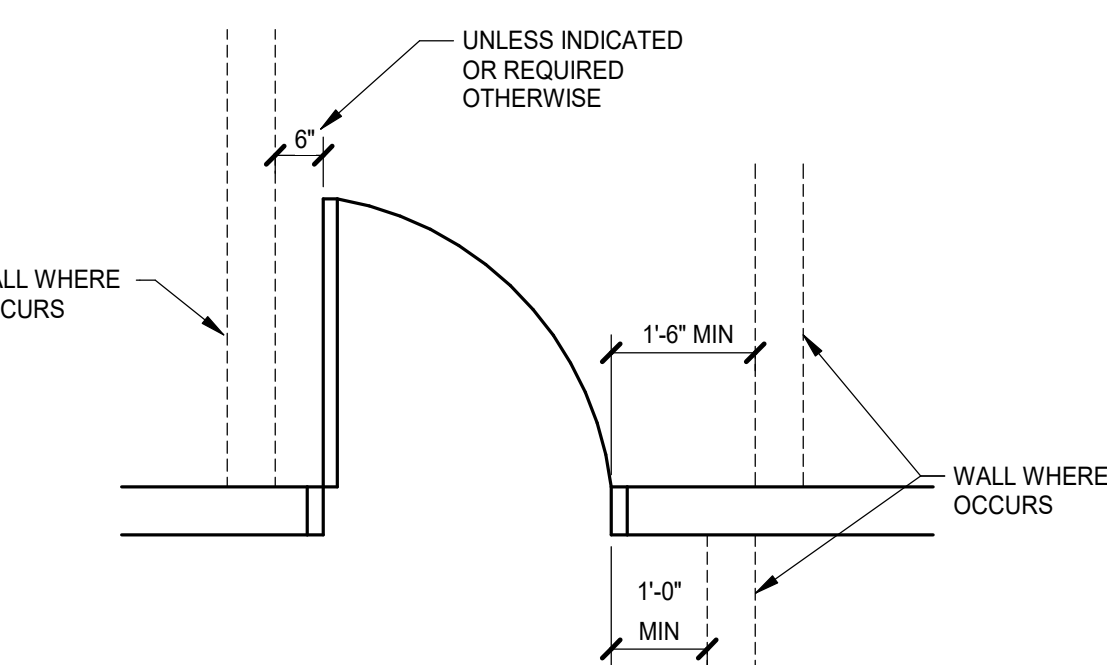
## TOILET ASSEMBLIES, SCHEDULE AND ENLARGED PLAN GENERAL NOTES

- PLAN DIMENSIONS ARE TO FACE OF WALL OR PARTITION. WHERE APPLIED FINISHES OCCUR-SUCH AS CERAMIC TILE, DIMENSIONS ARE TO FACE OF APPLIED FINISH. FOR WAINSCOTS, FLOOR PLAN DIMENSIONS ARE TO FACE OF WAINSCOT MATERIAL. APPLIED FINISHES ARE NOT ALLOWED TO REDUCE CLEAR DIMENSIONS. "APPLIED FINISHES" IN THIS CASE DO NOT INCLUDE TRIM, BASE, AND ACOUSTIC WALL PANELS.
- CLEAR DIMENSIONS ARE TO FACE OF APPLIED WALL AND PARTITION FINISHES.

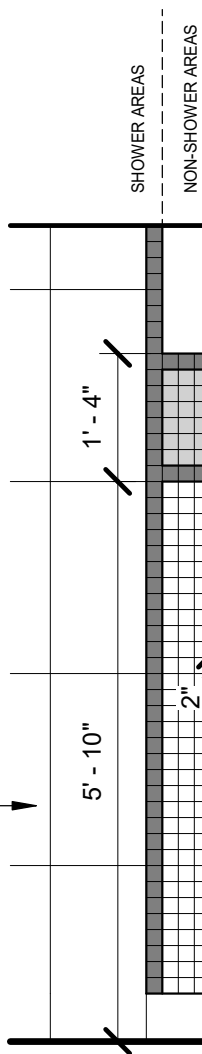
## INTERIOR BETWEEN THE JAMB - PROJECTED HEAD/JAMB/SILL



## INTERIOR WRAP HEAD/JAMB/SILL



## MANEUVERING CLEARANCE AT DOORS



## TILE PATTERNING

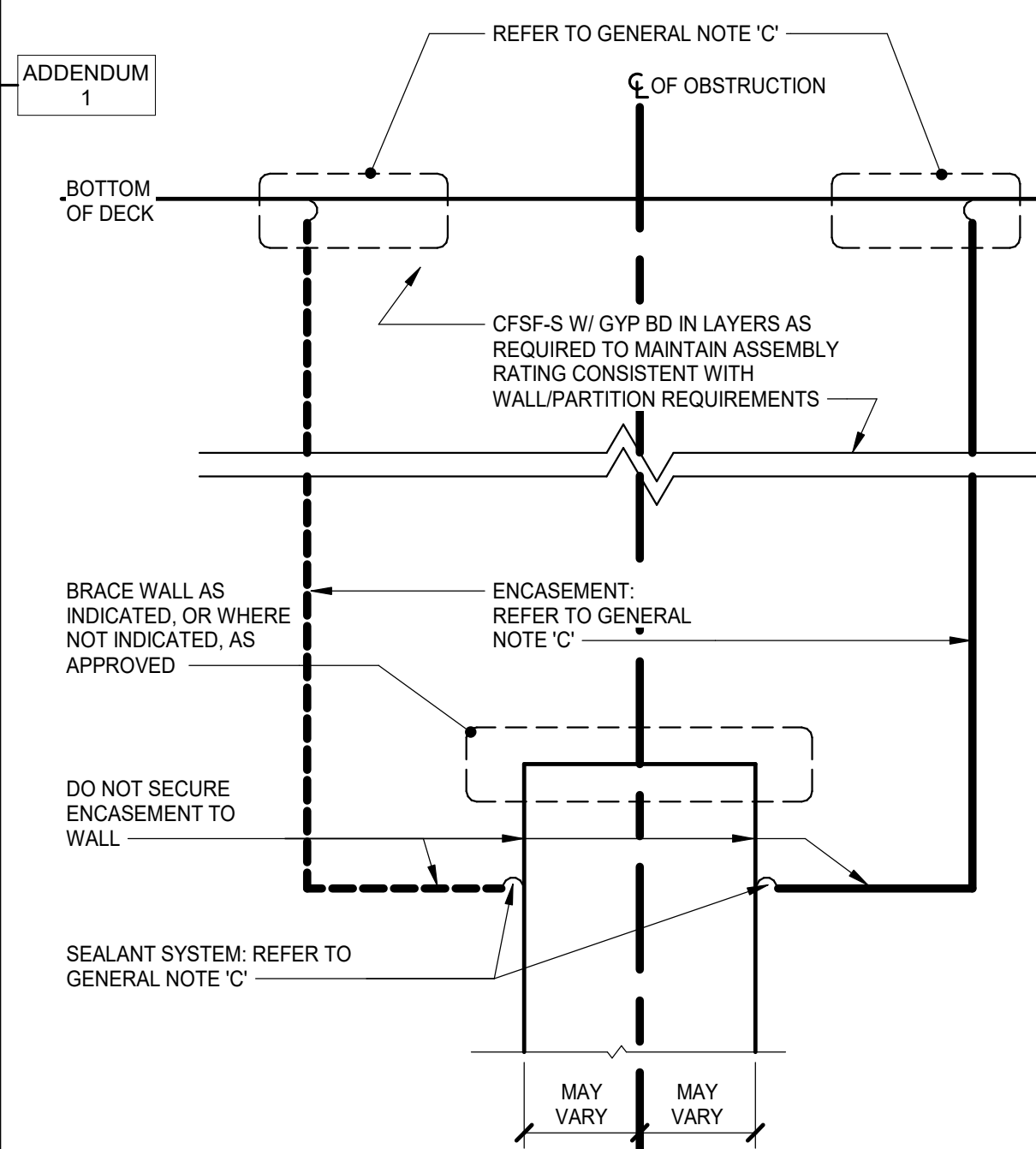
## WALL/PARTITION TYPE GENERAL NOTES

- PLAN DIMENSIONS ARE TO FACE OF WALL OR PARTITION. WHERE APPLIED FINISHES OCCUR-SUCH AS CERAMIC TILE, DIMENSIONS ARE TO FACE OF APPLIED FINISH. FOR WAINSCOTS, FLOOR PLAN DIMENSIONS ARE TO FACE OF WAINSCOT MATERIAL. APPLIED FINISHES ARE NOT ALLOWED TO REDUCE CLEAR DIMENSIONS. "APPLIED FINISHES" IN THIS CASE DO NOT INCLUDE TRIM, BASE, AND ACOUSTIC WALL PANELS.
- EXTEND WALL/PARTITION ASSEMBLY COMPONENTS FULL HEIGHT OF ASSEMBLY.
- REFER TO STRUCTURAL DRAWINGS AND RELATED SPECIFICATIONS FOR SOLID MASONRY, GROUTING, AND REINFORCEMENT REQUIREMENTS INCLUDING BUT MAY NOT BE LIMITED TO:
  - MASONRY WALLS/PARTITIONS
  - LINTELS
  - LINTEL BEARING CONDITIONS
  - BOND BEAMS
  - SHELF BEARING CONDITIONS
  - STRUCTURAL REINFORCING REQUIREMENTS
  - CHANGES IN WYTHE
- THE TERMS "WALL" AND "PARTITION" MAY BE USED INTERCHANGEABLY THROUGHOUT THE CONTRACT DOCUMENTS.
- PARTITIONS THAT DO NOT EXTEND TO UNDERSIDE OF DECK OR CAP ABOVE:
  - EXTEND 4 INCHES MINIMUM ABOVE HIGHEST ADJACENT FINISH CEILING UNLESS INDICATED OTHERWISE.
- DO NOT CONNECT TIES, ANCHORS, OR REINFORCING TO SINGLE CANTILEVERED FIRE WALL OR BETWEEN DOUBLE FIRE WALLS.
- SEAL AROUND ALL PENETRATIONS.
- COMPLY WITH TERMINATION, WALL JOINT, AND MISCELLANEOUS DETAILS FOR THOSE CONDITIONS WHERE APPLICABLE. COMPLY WITH REFERENCED STANDARDS WHERE DETAILS ARE NOT IDENTIFIED IN THE DRAWINGS.
- WALL/PARTITION TYPES DO NOT ADDRESS WALL FINISHES. REFER TO FINISH SCHEDULE.
- FINISHED SPACES: PROVIDE CHASES AROUND ALL EXPOSED VERTICAL COMPONENTS, INCLUDING BUT NOT LIMITED TO: DUCTWORK, PIPING, AND CONDUIT, UNLESS COMPONENTS ARE SPECIFICALLY INDICATED TO REMAIN EXPOSED. IF NOT OTHERWISE INDICATED, PROVIDE 4\"/>
- PROVIDE BACKER BOARD/UNIT OF SAME THICKNESS INDICATED IN LIEU OF GYPSUM BOARD PANEL AT PORTIONS OF WALLS/PARTITIONS TO RECEIVE TILE.

## TERMINATION GENERAL NOTES

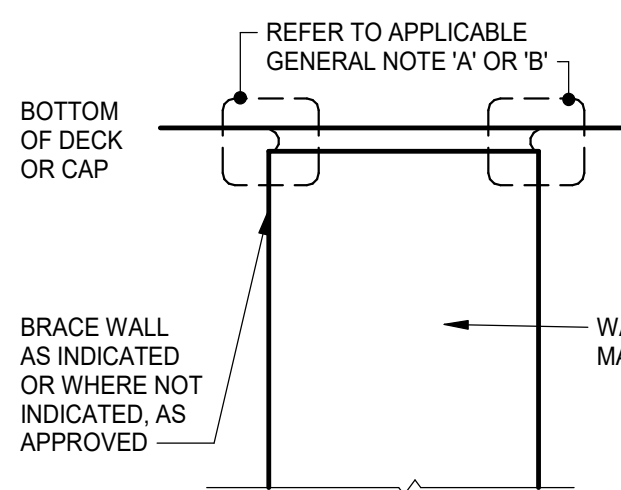
- AT FIRE-, SMOKE-, AND ACOUSTICALLY-RATED WALLS: SEAL ALL NON-OBSTRUCTED HEAD-OF-WALL CONDITIONS IN ACCORDANCE WITH JOINT SYSTEM MANUFACTURER'S RECOMMENDATIONS BASED ON CONDITION ENCOUNTERED (E.G., CMU-TO-DECK (PARALLEL OR PERPENDICULAR TO FLUTES); OR CFSS-TO-DECK (PARALLEL OR PERPENDICULAR TO FLUTES)) TO MAINTAIN ASSEMBLY RATING CONSISTENT WITH WALL/PARTITION REQUIREMENTS. BRACE WALL AS INDICATED OR REQUIRED.
- AT ALL OTHER WALLS INDICATED TO EXTEND TO UNDERSIDE OF FLOOR/ROOF DECK/CAP: SEAL ALL NON-OBSTRUCTED HEAD-OF-WALL CONDITIONS IN ACCORDANCE WITH JOINT SYSTEM MANUFACTURER'S RECOMMENDATIONS BASED ON CONDITION ENCOUNTERED (E.G., CMU-TO-DECK (PARALLEL OR PERPENDICULAR TO FLUTES); OR CFSS-TO-DECK (PARALLEL OR PERPENDICULAR TO FLUTES)). BRACE WALL AS INDICATED OR REQUIRED.
- AT ALL WALLS PREVENTED FROM TERMINATING AT THE UNDERSIDE OF FLOOR/ROOF DECK BY OBSTRUCTIONS, COMPLY WITH THE FOLLOWING:
  - AT FIRE-, SMOKE-, AND ACOUSTICALLY-RATED WALLS: ENCASE OBSTRUCTION(S) TO MAINTAIN ASSEMBLY RATING CONSISTENT WITH WALL/PARTITION REQUIREMENTS.
  - AT SECURITY WALLS: TERMINATE IN ACCORDANCE WITH SECURITY PARTITION REQUIREMENTS.
  - AT OTHER WALLS: ENCASE OBSTRUCTION(S) ON ONE SIDE.
  - SEAL ENCASEMENT TO WALL AND SEAL ENCASEMENT TO DECK IN ACCORDANCE WITH JOINT SYSTEM MANUFACTURER'S RECOMMENDATIONS AND TO MAINTAIN ASSEMBLY RATING CONSISTENT WITH WALL/PARTITION REQUIREMENTS.

## TERMINATIONS



## HEAD-OF-WALL TERMINATION @ OBSTRUCTION

OBSTRUCTION MAY VARY (BEAM, JOIST, GIRDER, CHANNEL, DUCTWORK, PIPING)



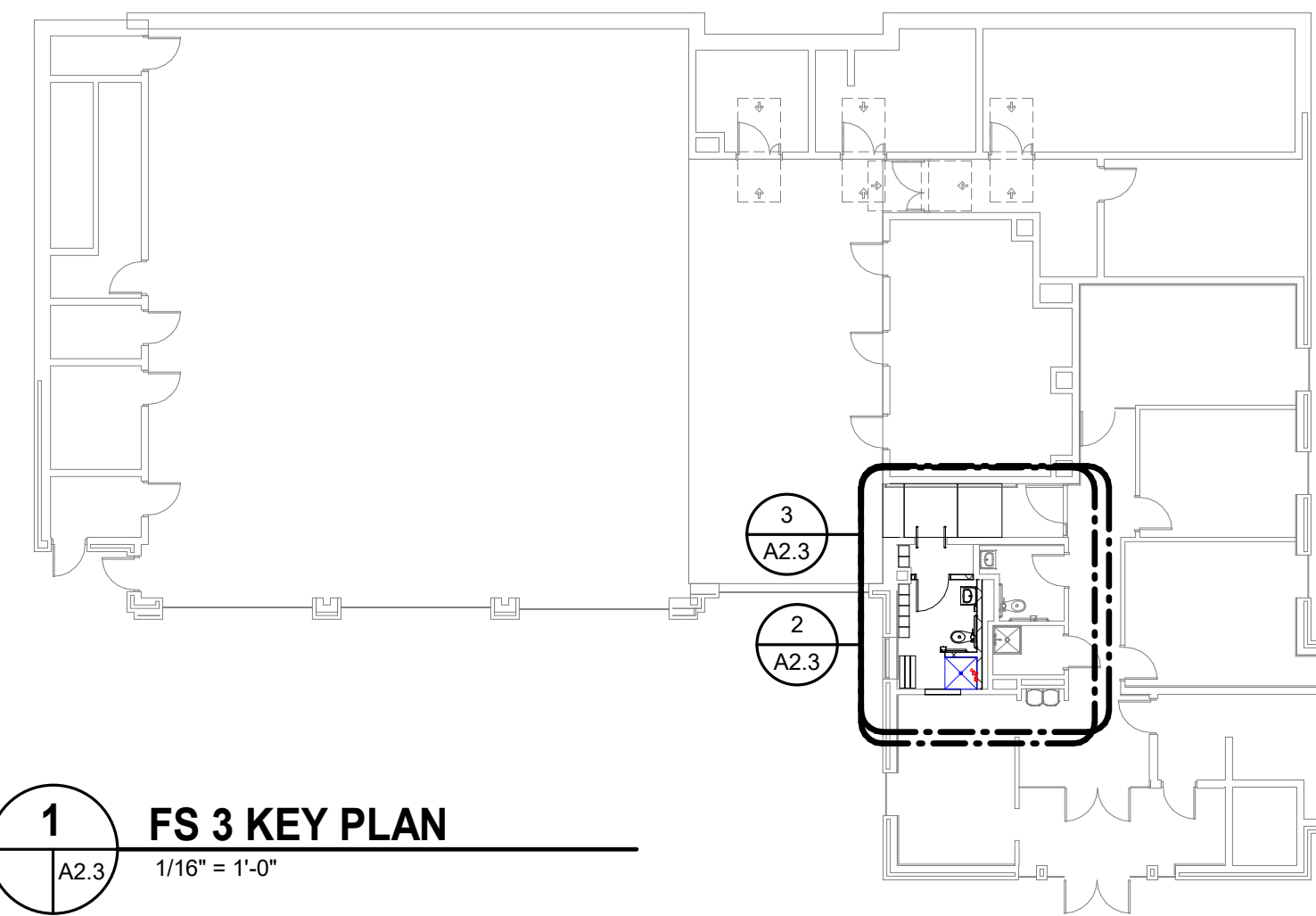
## HEAD-OF-WALL TERMINATION @ NON-OBSTRUCTION



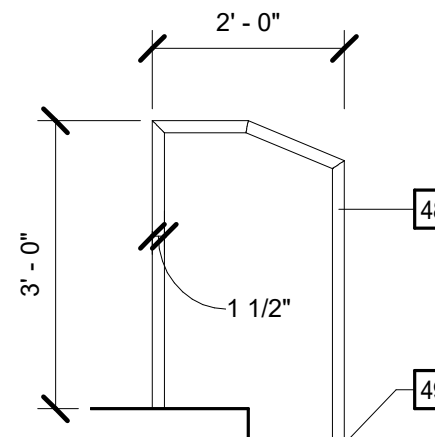
ADDENDUM  
1



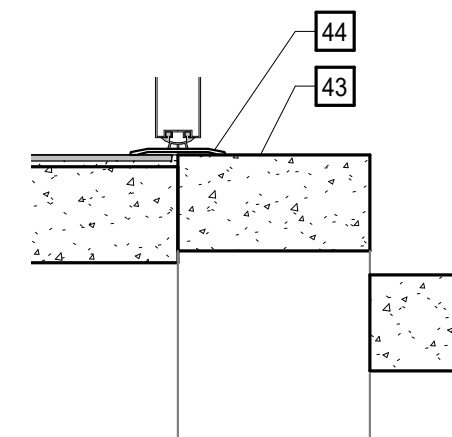
TOILET ROOM 302 TILE FINISH



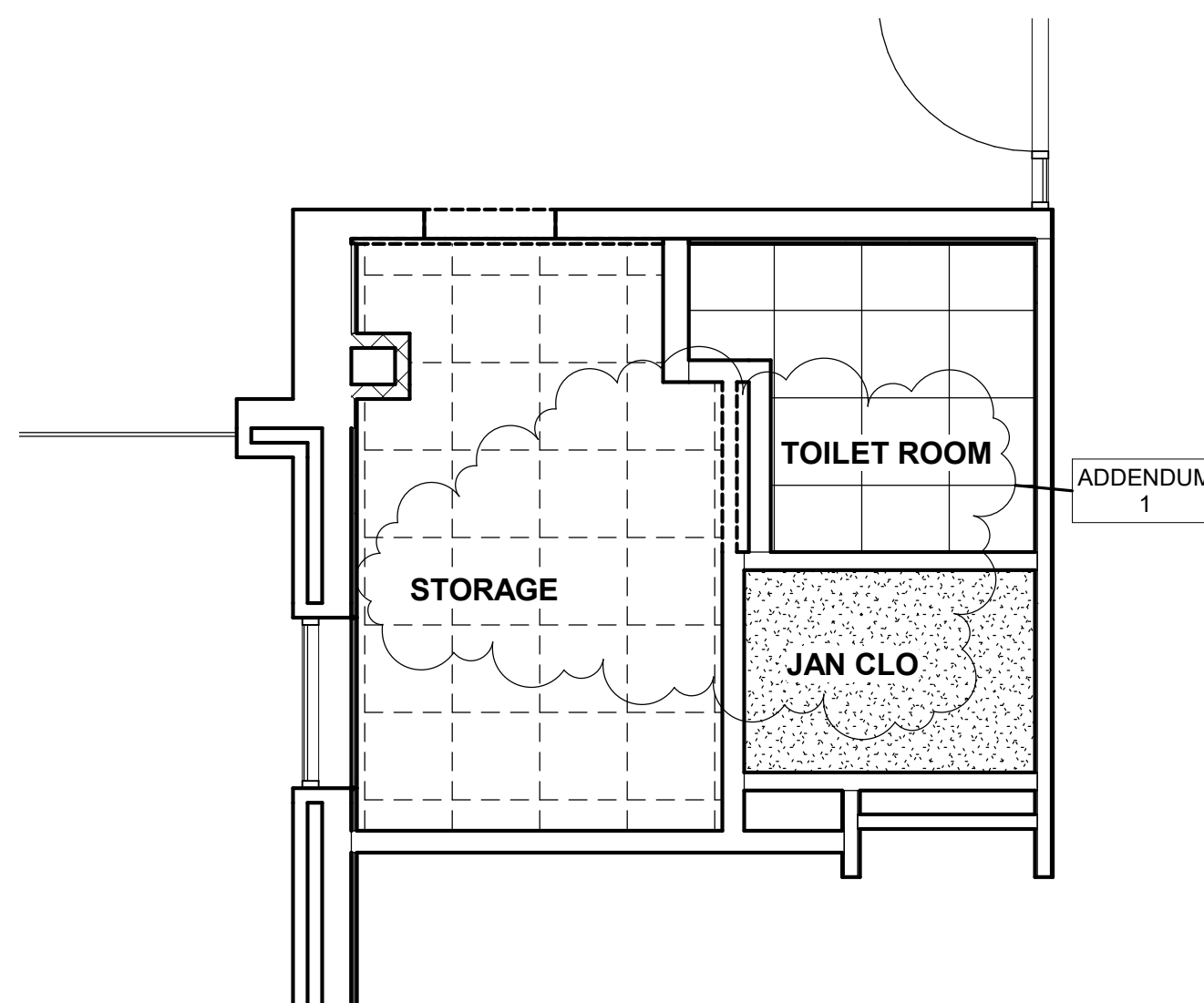
**1** **FS 3 KEY PLAN**  
A2.3 1/16" = 1'-0"



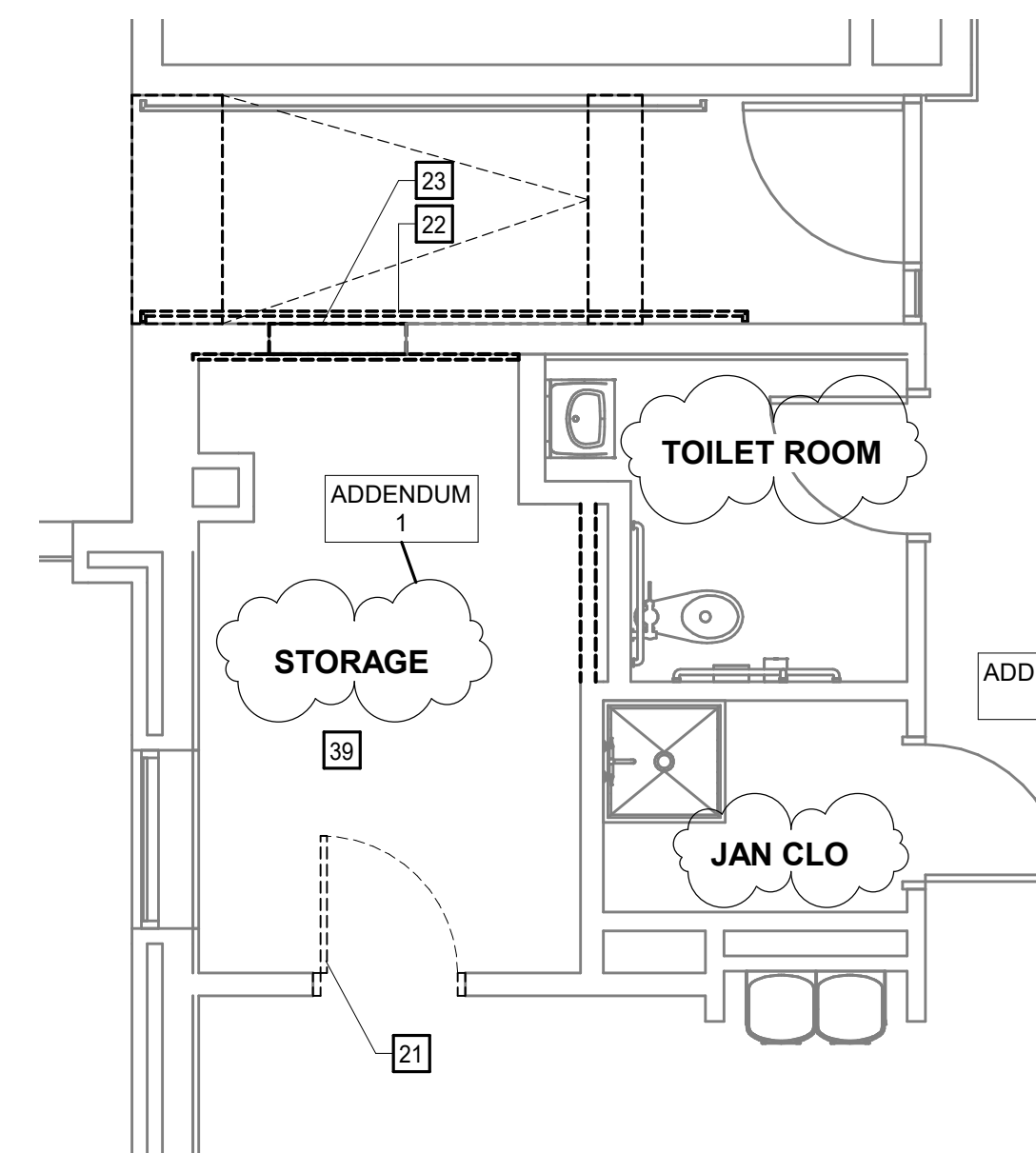
**7** **HANDRAIL ELEVATION**  
A2.3 A2.3 1/2" = 1'-0"



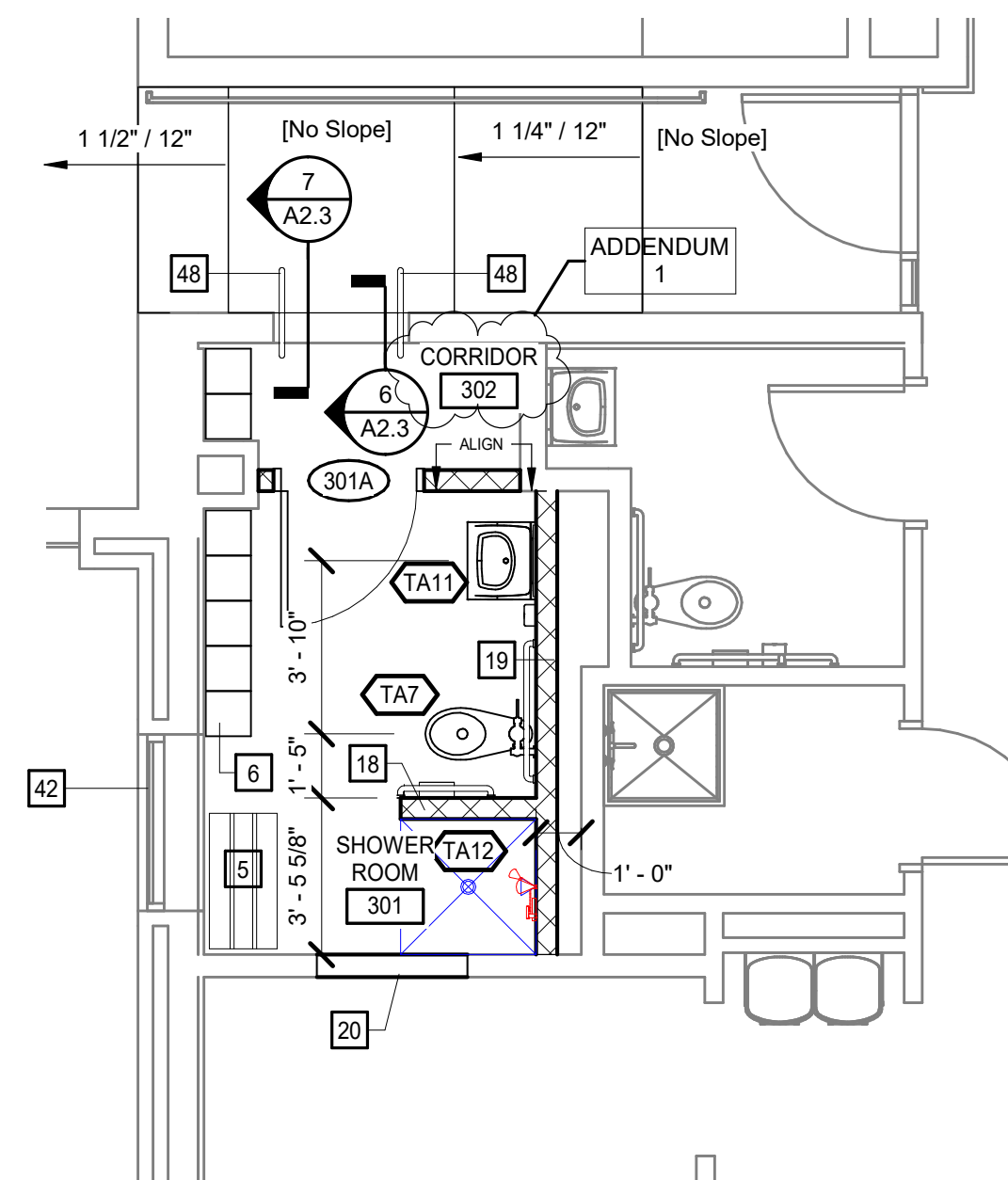
**6** **DETAIL**  
A2.3 A2.3 1 1/2" = 1'-0"



**4** **FS 3 SHOWER RCP - DEMO**  
A2.3 1/4" = 1'-0"

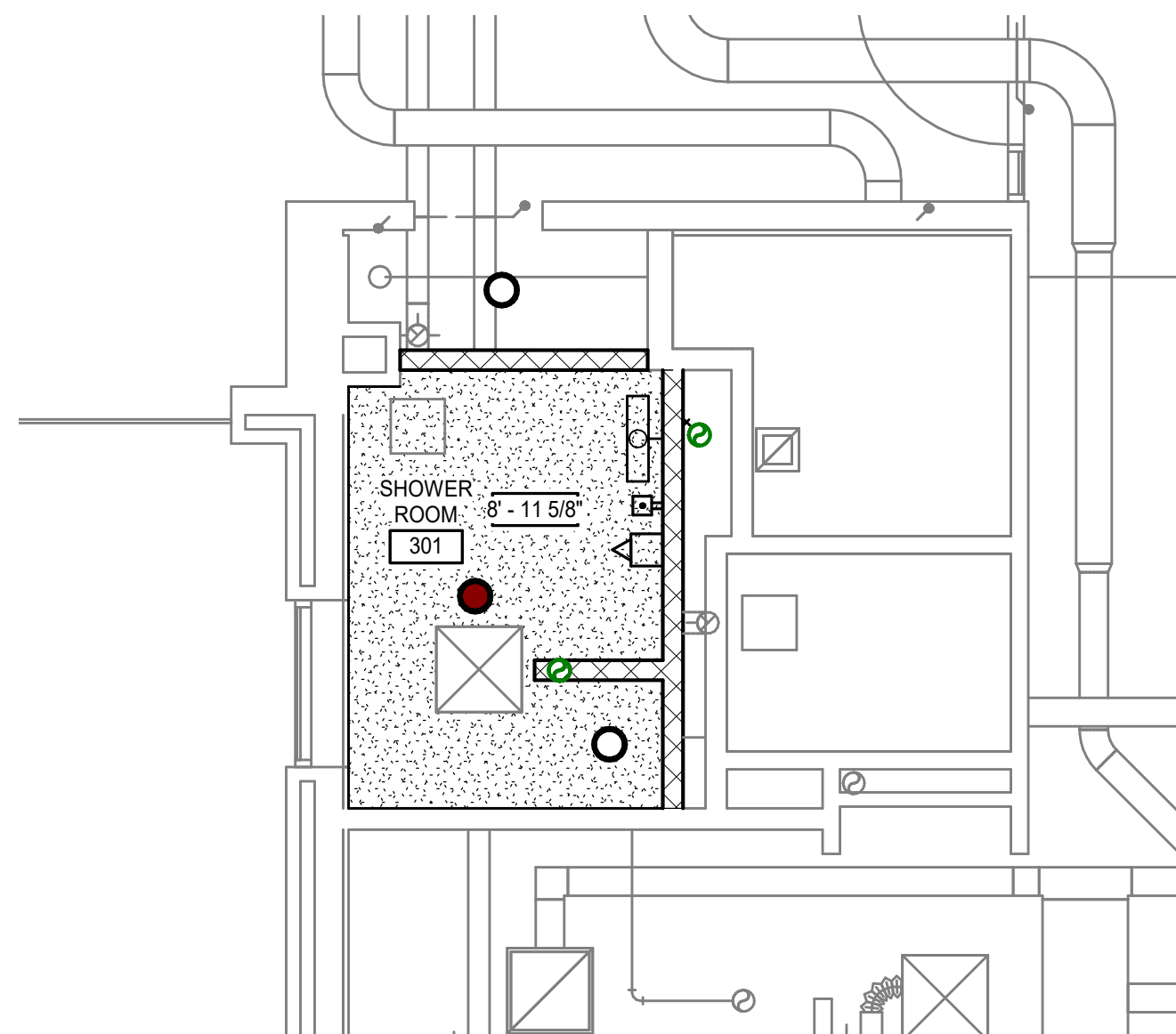


**FS 3 SHOWER - DEMO**




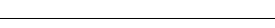

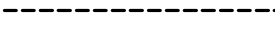

**2** **FS 3 SHOWER - NEW**  
A2.3 | A2.3 1/4" = 1'-0"

**8 RAMP DIMENSIONS**  
1/2" = 1'-0"



**5** **FS 3 SHOWER RCP - NEW**  
A2.3 1/4" = 1'-0"

<div> <div>FLOOR PLAN KEYNOTES</div> <div> <div>REPRESENTED BY</div> <div></div> </div> <div>APPLIES TO DRAWINGS A2.2 - A2.9</div> </div>	
1	SALVAGE WASHER AND DRYER. TURN OVER TO THE OWNER.
2	REMOVE BENCH
3	REMOVE SINK.
4	STACKED WASHER/DRYER UNIT. APPLIANCE FURNISHED BY THE OWNER. CONTRACTOR SHALL PROVIDE THE NECESSARY HOOKUPS AND INSTALL THE APPLIANCE.
5	FURNITURE NIC.
6	12"x12"x72" METAL GYM LOCKER PROVIDED BY OWNER.
7	EXISTING EXTRACTOR TO REMAIN
8	EXISTING DRYING CABINET TO REMAIN.
9	REMOVE CEILING AND ALL HOSTED ELEMENTS, INCLUDING LIGHT FIXTURES, MECHANICAL DIFFUSERS, FIRE ALARMS, SMOKE DETECTORS, ETC.
10	MATCH HEIGHT OF ACOUSTIC CEILING WITH ADJACENT EXISTING CEILINGS.
11	PROVIDE 3/4" THICK STAINED WOOD SILL. PROVIDE POLYURETHANE COAT.
12	PROVIDE 3/4"x5" STAINED WOOD WALL BASE. PROVIDE POLYURETHANE COAT.
13	5/8" GYPSUM BOARD.
14	3 5/8" CFSF
15	8" NOMINAL CMU
16	RELOCATED AIR COMPRESSOR.
17	SALVAGE EXISTING AIR COMPRESSOR FOR RELOCATION. IF THERE ARE VIBRATION PADS AT THE FEET OF THE COMPRESSOR, REINSTALL THE PADS AT THE NEW LOCATION.
18	6" NOMINAL CMU
19	4" NOMINAL CMU
20	INFILL OPENING. MATCH ADJACENT CONSTRUCTION AND FINISH UNO.
21	SALVAGE DOOR AND FRAME
22	REMOVE RAILING AT THIS SIDE OF RAMP.
23	REMOVE PORTION OF WALL AS NECESSARY TO PROVIDE OPENING.
24	SS TOILET PARTITION
25	2'-6"x7'-0" SS TOILET STALL DOOR
26	PROVIDE SHOWER ROD AND CURTAIN.
27	SALVAGE DOOR. FRAME SHALL REMAIN. REMOVE STRIKE AND PROVIDE STEEL OR ALUMINUM CLOSURE PLATE. PAINT TO MATCH FRAME COLOR.
28	EXISTING SHOWER CONTROLS TO REMAIN. TYPICAL THIS FIRE STATION.
29	EXISTING LINEAR DRAIN TO REMAIN.
30	EXISTING ACCESS PANEL AT CEILING.
31	PROVIDE GAP AT TOP AND BOTTOM OF PARTITION. DO NOT BLOCK AIRFLOW.
32	REMOVE HALFWALL.
33	EXISTING PIPING TO REMAIN.
34	ALIGN CMU CHASE WITH EXISTING CONSTRUCTION.
35	GROUTED COLLAR JOINT.
36	ALIGN DOOR FRAME WITH EXISTING OPENING.
37	SALVAGE EXISTING DRYING CABINET FOR RELOCATION. REMOVE RAISED CONCRETE PAD.
38	INSTALL SALVAGED DRYING CABINET AT THIS LOCATION. POUR CONCRETE BASE FOR CABINET. MATCH EXISTING BASE DIMENSIONS.
39	REMOVE FINISH FLOORING. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL DEMOLITION SCOPE.
40	GEAR GRID NIC. SHOWN FOR COORDINATION PURPOSES WITH THE OWNER.
41	SALVAGE EXISTING HOSE REEL SOLENOID SWITCH ASSEMBLY.
42	PROVIDE FROSTING FILM AT INTERIOR SIDE OF GLAZING.
43	PROVIDE CONCRETE SILL AT BASE OF DOOR OPENING.
44	PROVIDE METAL THRESHOLD TO STRADDLE THE FINISH FLOOR AND THE CONCRETE SILL.
45	SALVAGE STORAGE HOOKS AND RELOCATE TO ADJACENT WALL. COORDINATE WITH OWNER TO DETERMINE PRECISE LOCATION.
46	REMOVE EXISTING BENCH AND SHELF.
47	INSTALL SALVAGED HOSE REEL SOLENOID SWITCH ASSEMBLY. ORIENT SWITCH ASSEMBLY VERTICALLY. EXTEND AND MODIFY CONDUIT AS REQUIRED AND TEST SWITCHES FOR PROPER OPERATION.
48	1 1/2" CIRCULAR GALVANIZED STEEL HANDRAIL.
49	CONTINUE HANDRAIL TO FLOOR. EMBED IN CONCRETE. TYPICAL.
50	REMOVE CASEWORK AND SHELF.
51	PAINT CMU WITHIN RECESSED AREA.

DEMOLITION PLAN LEGEND	APPLIES TO DRAWINGS A2 - A2.9
	EXISTING PARTITION/ WALL/ ITEM TO REMAIN
	REMOVE EXISTING PARTITION/WALL/ITEM
	REMOVE EXISTING WINDOW ASSEMBLY AND FRAMING, INCLUDING ANCHORS
	SALVAGE EXISTING DOOR AND FRAME ASSEMBLY INCLUDING DOOR HARDWARE. IF FRAME DAMAGED DURING SALVAGING, DISCARD.
	REMOVE EXISTING PLUMBING FIXTURE. REFER TO PLUMBING DEMOLITION PLAN FOR ADDITIONAL INFORMATION.

## FLOOR PLAN GENERAL NOTES

A. UNLESS NOTED OTHERWISE, PAINT ALL NEW WALLS AND ALL EXISTING WALLS IN ROOMS INCLUDED IN THE WORK SCOPE.

B. PAINT ALL EXISTING DOOR FRAMES WHERE THE DOOR HAS BEEN SALVAGED OR REMOVED.

C. REFER TO STRUCTURAL DOCUMENTS FOR SLAB REMOVAL.

**PROJECT ADDRESS:** 4100 Old Dominion Dr, Arlington, VA 22207

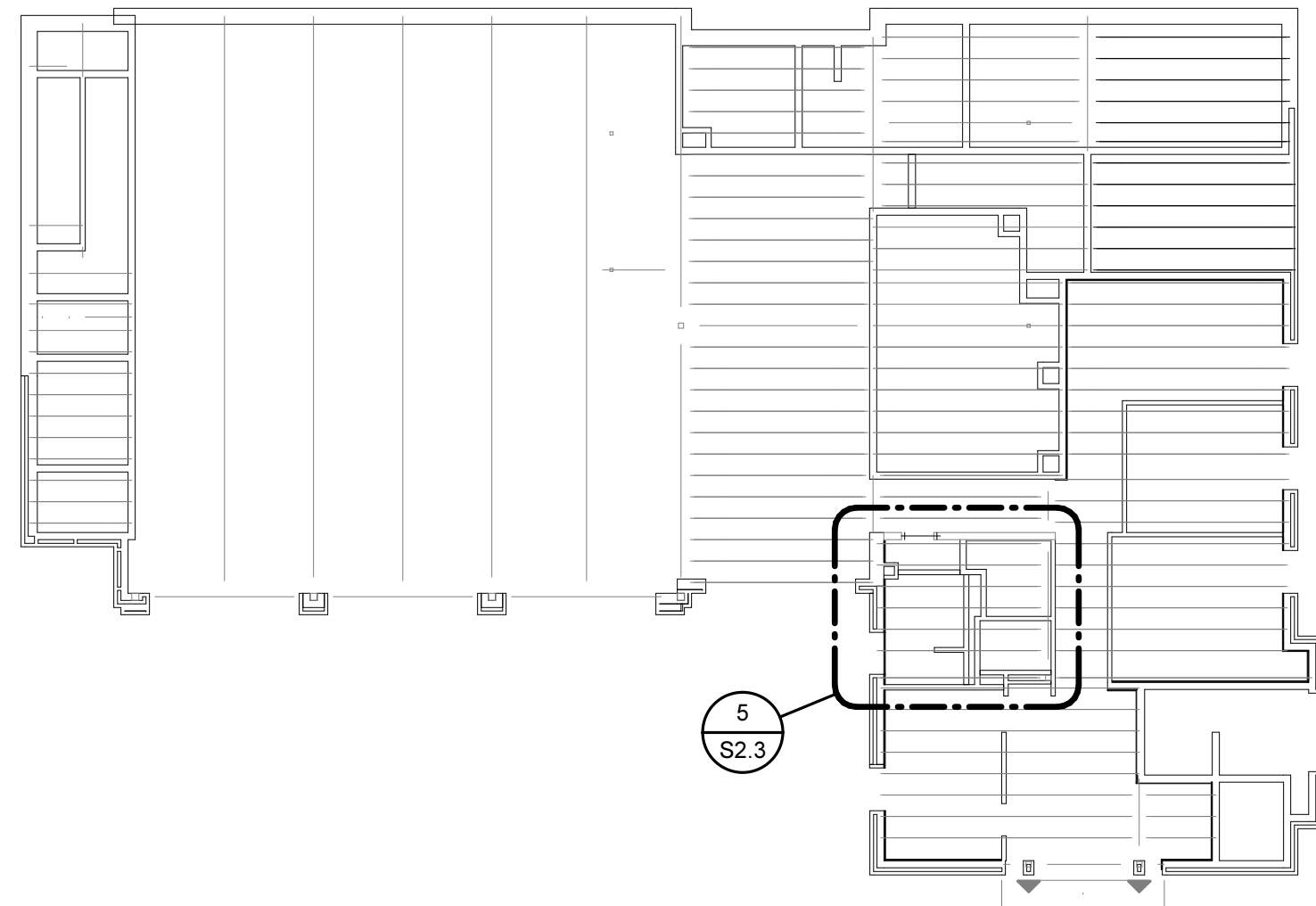


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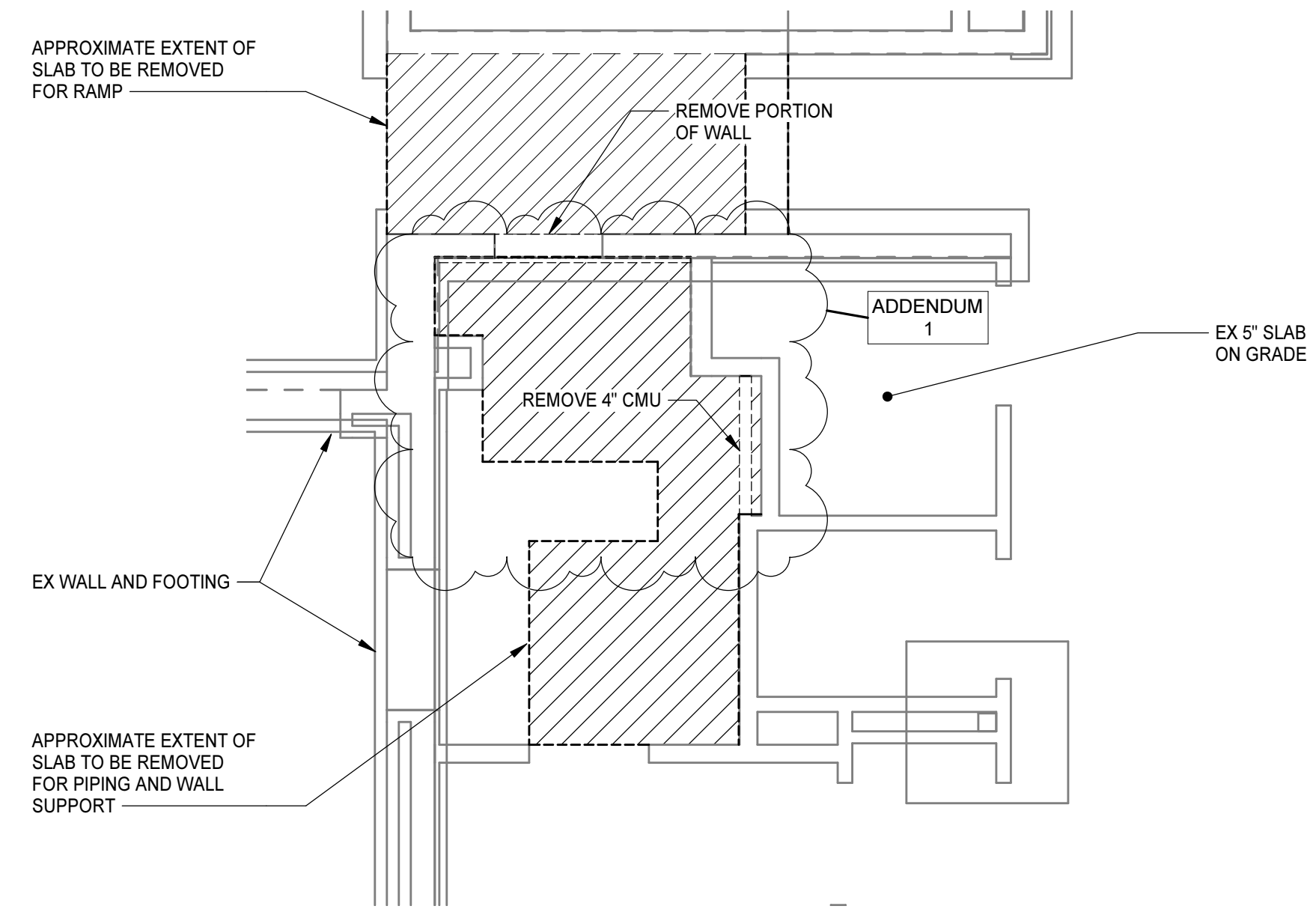
**1**  
S2.3  
1/16" = 1'-0"

**FOUNDATION PLAN - FS #3**



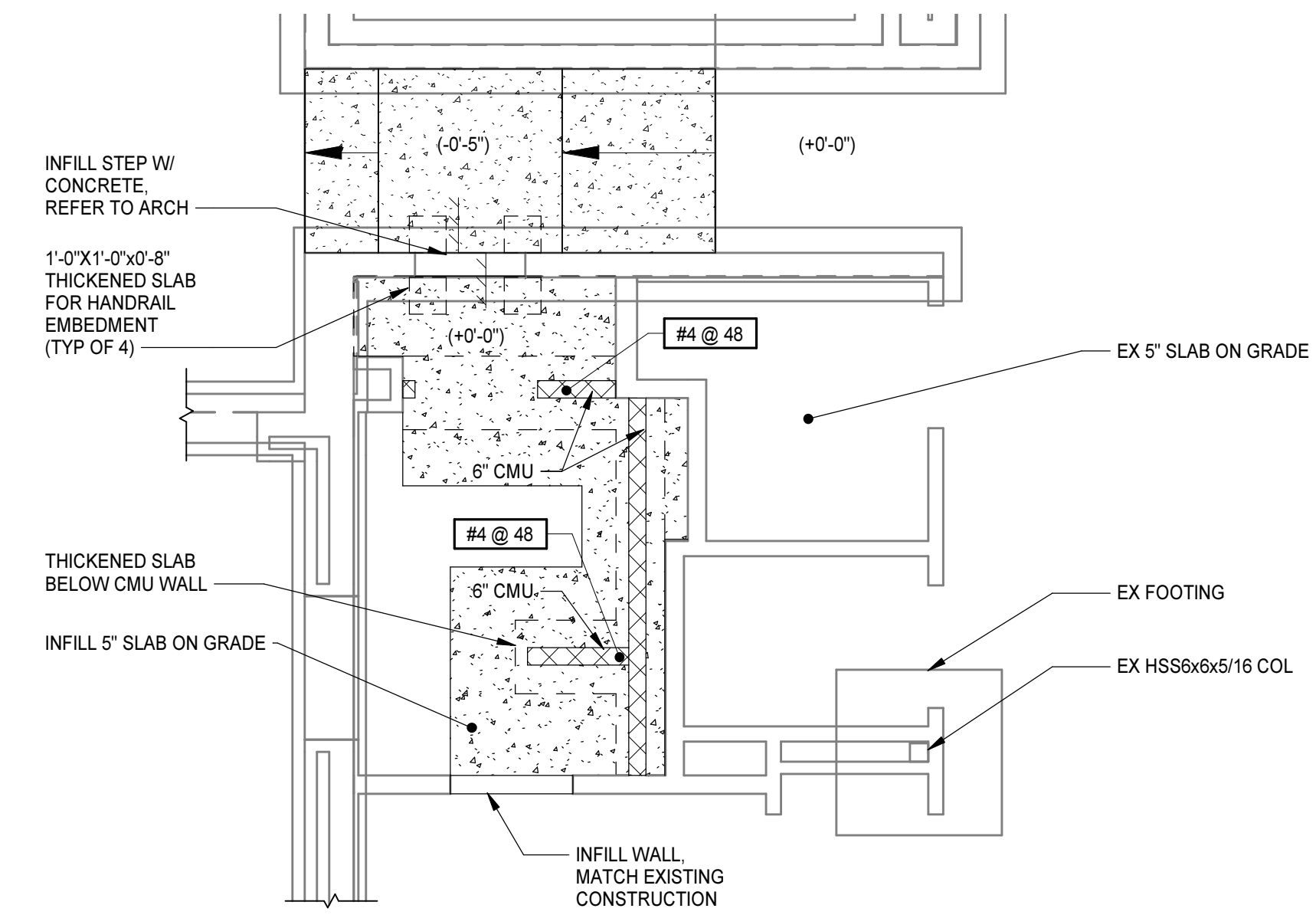
**2**  
S2.3  
1/16" = 1'-0"

**FS #3 FRAMING PLAN**



**3**  
S2.3  
1/4" = 1'-0"

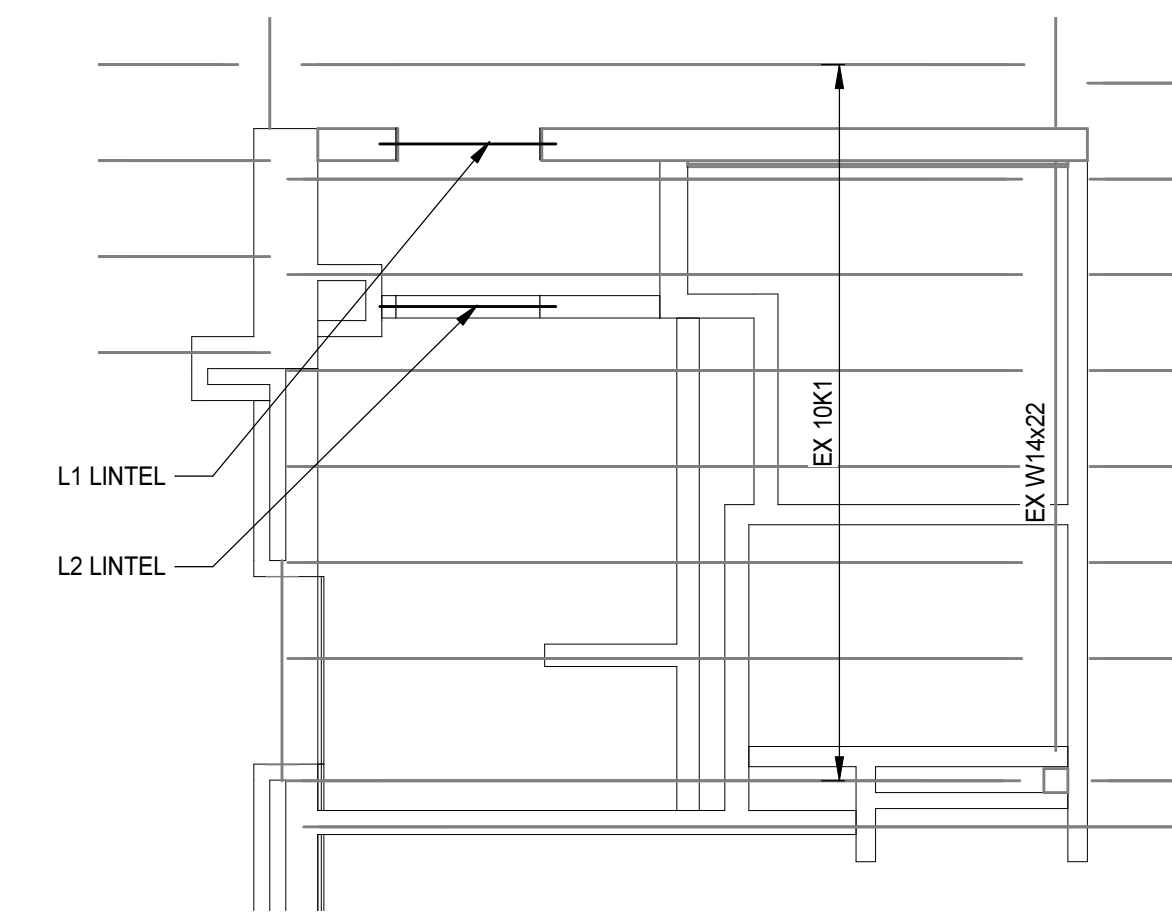
**FOUNDATION PLAN - FS #3 DEMO PLAN**



**4**  
S2.3  
1/4" = 1'-0"

**FOUNDATION PLAN - FS #3 SHOWER**

- FOUNDATION PLAN NOTES:**
1. FINISHED FIRST FLOOR ELEVATION = 301.13' = REFERENCE DATUM EL (+0'-0"). ALL STRUCTURAL ELEVATIONS INDICATED ARE REFERENCED FROM THIS ELEVATION, UNO.
  2. REFER TO DRAWING S0.0.1 FOR GENERAL NOTES, PLAN LEGEND, AND STRUCTURAL ABBREVIATIONS.
  3. REFER TO DRAWINGS S3.0.1 FOR TYPICAL FOUNDATION DETAILS AND SCHEDULES.
  4. FLOOR CONSTRUCTION SHALL BE 5" NORMAL WEIGHT CONCRETE SLAB ON GRADE REINFORCED WITH 6x6-W2.9xW2.9 VVV (AT 1" FROM TOP OF SLAB) OVER VAPOR BARRIER OVER 4" GRANULAR BASE COURSE, UNO.



**5**  
S2.3  
1/4" = 1'-0"

**FRAMING PLAN - FS #3 SHOWER**