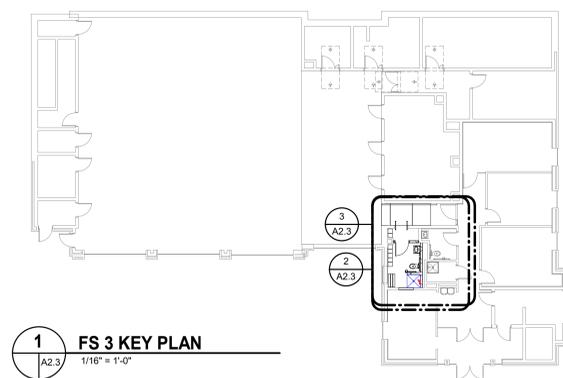


FINISH SCHEDULE FS3											
Department	NUMBER	NAME	FLOOR	BASE	WALLS				WAINSCOT	CEILING	NOTES
					NORTH	EAST	SOUTH	WEST			
FS3	301	SHOWER ROOM	P-TILE	P-TILE	P-TILE	P-TILE	P-TILE	P-TILE	P-TILE	GB PT	FULL HEIGHT PORCELAIN TILE IN SHOWER, 7-2" PORCELAIN TILE WAINSCOT NOT IN SHOWER AREA
FS3	302	CORRIDOR	CONC-SLR	PT	PT	PT	PT	PT	PT	-	PROVIDE CONC-SLR AT LANDING SURFACES OUTSIDE SHOWER ROOM AND ALL CONCRETE WITHIN THE CORRIDOR, NOT INCLUDING THE APPARATUS BAYS. PAINT ALL WALLS IN THE LANDING AREA AND ALL WALLS WITHIN THE CORRIDOR, NOT INCLUDING THE APPARATUS BAYS.

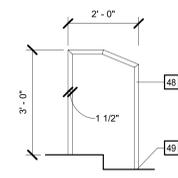
ADDENDUM 1



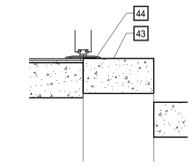
TOILET ROOM 302 TILE FINISH



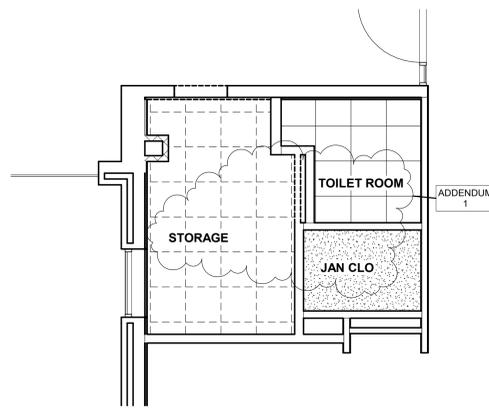
1 FS 3 KEY PLAN
1/16" = 1'-0"



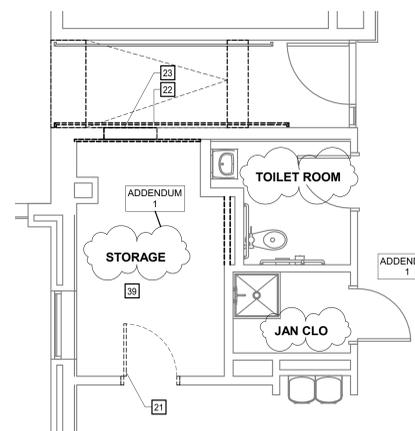
7 HANDRAIL ELEVATION
1/2" = 1'-0"



6 DETAIL
1 1/2" = 1'-0"



4 FS 3 SHOWER RCP - DEMO
1/4" = 1'-0"



3 FS 3 SHOWER - DEMO
1/4" = 1'-0"

2018 ADA STANDARDS

405.2 SLOPE
EXCEPTION: IN EXISTING SITES, BUILDINGS, AND FACILITIES, RAMPS SHALL BE PERMITTED TO HAVE RUNNING SLOPES STEEPER THAN 1:12 COMPLYING WITH TABLE 405.2 WHERE SUCH SLOPES ARE NECESSARY DUE TO SPACE LIMITATIONS.

SLOPE	MAX RISE
1:8 - 1:12	3"
1:12 - 1:20	2"

1:8 RAMP PROVIDED TO THE MAXIMUM RISE ALLOWABLE. 1:10 RAMP PROVIDED, SHORTER THAN THE MAX ALLOWABLE RUN.

405.7.3 LENGTH OF LANDINGS
THE LANDING CLEAR LENGTH SHALL BE 60" LONG MINIMUM. IF INTERMEDIATE LANDING PROVIDED.

405.8 HANDRAILS
RAMP BUILT WITH A RISE GREATER THAN 6" SHALL HAVE HANDRAILS COMPLYING WITH 505.

BOTH PROPOSED RAMP RAISES ARE LESS THAN 6". SO HANDRAILS WOULD NOT BE REQUIRED. THE EXISTING RAILING ON THE NORTH WALL COULD BE LEFT IN PLACE, AS A CONVENIENCE.

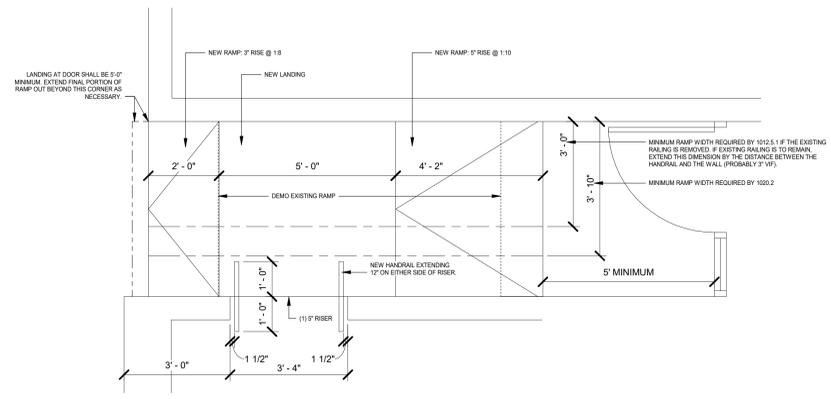
2018 VIRGINIA CONSTRUCTION CODE

911.5.2 RISER HEIGHT AND TREAD DEPTH - STAIRS
STAIR RISER HEIGHTS SHALL BE 7" MAX AND 4" MINIMUM.

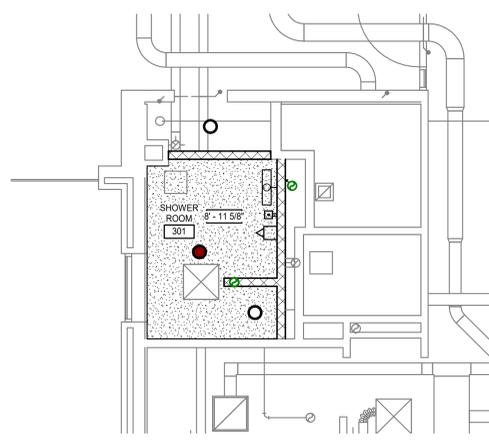
THE PROPOSED RISER IS 5", WHICH IS WITHIN THE ACCEPTABLE RANGE.

912.1.1 MINIMUM WIDTH AND CAPACITY - RAMPS
THE MINIMUM WIDTH AND REQUIRED CAPACITY OF A MEANS OF EGRESS RAMP SHALL BE NOT LESS THAN THAT REQUIRED FOR CORRIDORS IN SECTION 1002. THE CLEAR WIDTH OF A RAMP BETWEEN HANDRAILS, IF PROVIDED, OR OTHER PERMISSIBLE PROJECTIONS SHALL BE 36" MINIMUM.

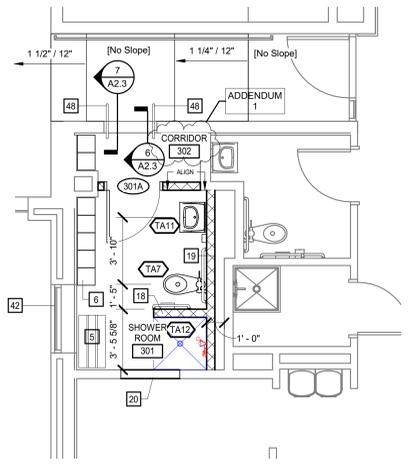
TABLE 1002.2 MINIMUM CORRIDOR WIDTH
ANY FACILITY NOT LISTED BELOW 44"
WITH OCCUPANT LOAD > 50 36"



8 RAMP DIMENSIONS
1/2" = 1'-0"



5 FS 3 SHOWER RCP - NEW
1/4" = 1'-0"



2 FS 3 SHOWER - NEW
1/4" = 1'-0"

FLOOR PLAN KEYNOTES	
REPRESENTED BY [A]	
APPLIES TO DRAWINGS A2.2 - A2.9	
1	SALVAGE WASHER AND DRYER. TURN OVER TO THE OWNER.
2	REMOVE BENCH.
3	REMOVE SINK.
4	STACKED WASHER/DRYER UNIT. APPLIANCE FURNISHED BY THE OWNER. CONTRACTOR SHALL PROVIDE THE NECESSARY HOOKUPS AND INSTALL THE APPLIANCE.
5	FURNITURE NIC.
6	12"x12"x72" METAL GYM LOCKER PROVIDED BY OWNER.
7	EXISTING EXTRACTOR TO REMAIN.
8	EXISTING DRYING CABINET TO REMAIN.
9	REMOVE CEILING AND ALL HOSTED ELEMENTS, INCLUDING LIGHT FIXTURES, MECHANICAL DIFFUSERS, FIRE ALARMS, SMOKE DETECTORS, ETC.
10	MATCH HEIGHT OF ACOUSTIC CEILING WITH ADJACENT EXISTING CEILING.
11	PROVIDE 3/4" THICK STAINED WOOD SILL. PROVIDE POLYURETHANE COAT.
12	PROVIDE 3/4"x5" STAINED WOOD WALL BASE. PROVIDE POLYURETHANE COAT.
13	5/8" GYPSUM BOARD.
14	3 5/8" CFSF
15	8" NOMINAL CMU
16	RELOCATED AIR COMPRESSOR.
17	SALVAGE EXISTING AIR COMPRESSOR FOR RELOCATION. IF THERE ARE VIBRATION PADS AT THE FEET OF THE COMPRESSOR, REINSTALL THE PADS AT THE NEW LOCATION.
18	8" NOMINAL CMU
19	4" NOMINAL CMU
20	INFILL OPENING. MATCH ADJACENT CONSTRUCTION AND FINISH UNO.
21	SALVAGE DOOR AND FRAME.
22	REMOVE RAILING AT THIS SIDE OF RAMP.
23	REMOVE PORTION OF WALL AS NECESSARY TO PROVIDE OPENING.
24	SS TOILET PARTITION
25	2'-6"x7'-0" SS TOILET STALL DOOR
26	PROVIDE SHOWER ROD AND CURTAIN.
27	SALVAGE DOOR. FRAME SHALL REMAIN. REMOVE STRIKE AND PROVIDE STEEL OR ALUMINUM CLOSURE PLATE. PAINT TO MATCH FRAME COLOR.
28	EXISTING SHOWER CONTROLS TO REMAIN. TYPICAL THIS FIRE STATION.
29	EXISTING LINEAR DRAIN TO REMAIN.
30	EXISTING ACCESS PANEL AT CEILING.
31	PROVIDE GAP AT TOP AND BOTTOM OF PARTITION. DO NOT BLOCK AIRFLOW.
32	REMOVE HALF WALL.
33	EXISTING PIPING TO REMAIN.
34	ALIGN CMU CHASE WITH EXISTING CONSTRUCTION.
35	GROUTED COLLAR JOINT.
36	ALIGN DOOR FRAME WITH EXISTING OPENING.
37	SALVAGE EXISTING DRYING CABINET FOR RELOCATION. REMOVE RAISED CONCRETE PAD.
38	INSTALL SALVAGED DRYING CABINET AT THIS LOCATION. POUR CONCRETE BASE FOR CABINET. MATCH EXISTING BASE DIMENSIONS.
39	REMOVE FINISH FLOORING. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL DEMOLITION SCOPE.
40	GEAR GRID NIC. SHOWN FOR COORDINATION PURPOSES WITH THE OWNER.
41	SALVAGE EXISTING HOSE REEL SOLENOID SWITCH ASSEMBLY.
42	PROVIDE FROSTING FILM AT INTERIOR SIDE OF GLAZING.
43	PROVIDE CONCRETE SILL AT BASE OF DOOR OPENING.
44	PROVIDE METAL THRESHOLD TO STRADDLE THE FINISH FLOOR AND THE CONCRETE SILL.
45	SALVAGE EXISTING HOSE REEL SOLENOID SWITCH ASSEMBLY. COORDINATE WITH OWNER TO DETERMINE PRECISE LOCATION.
46	REMOVE EXISTING BENCH AND SHELF.
47	INSTALL SALVAGED HOSE REEL SOLENOID SWITCH ASSEMBLY. ORIENT SWITCH ASSEMBLY VERTICALLY. EXTEND AND MODIFY CONDUIT AS REQUIRED AND TEST SWITCHES FOR PROPER OPERATION.
48	1 1/2" CIRCULAR GALVANIZED STEEL HANDRAIL.
49	CONTINUE HANDRAIL TO FLOOR. EMBED IN CONCRETE. TYPICAL.
50	REMOVE CASEWORK AND SHELF.
51	PAINT CMU WITHIN RECESSED AREA.

DEMOLITION PLAN LEGEND	
APPLIES TO DRAWINGS A2.2 - A2.9	
	EXISTING PARTITION/WALL/ITEM TO REMAIN
	REMOVE EXISTING PARTITION/WALL/ITEM
	REMOVE EXISTING WINDOW ASSEMBLY AND FRAMING, INCLUDING ANCHORS
	SALVAGE EXISTING DOOR AND FRAME ASSEMBLY INCLUDING DOOR HARDWARE. IF FRAME DAMAGED DURING SALVAGING, DISCARD.
	REMOVE EXISTING PLUMBING FIXTURE. REFER TO PLUMBING DEMOLITION PLAN FOR ADDITIONAL INFORMATION.

FLOOR PLAN GENERAL NOTES	
A.	UNLESS NOTED OTHERWISE, PAINT ALL NEW WALLS AND ALL EXISTING WALLS IN ROOMS INCLUDED IN THE WORK SCOPE.
B.	PAINT ALL EXISTING DOOR FRAMES WHERE THE DOOR HAS BEEN SALVAGED OR REMOVED.
C.	REFER TO STRUCTURAL DOCUMENTS FOR SLAB REMOVAL.

PROJECT ADDRESS: 4100 Old Dominion Dr, Arlington, VA 22207

MOSELEY ARCHITECTS
3200 NORFOLK STREET, RICHMOND, VA 23230
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MOSELEYARCHITECTS.COM



KELLY DAY RENOVATIONS FS 3
563006
4100 Old Dominion Dr, Arlington, VA 22207
Owner: Arlington County

PROJECT NO.	DATE
563006	SEPTEMBER 22, 2021
REVISIONS	DESCRIPTION
DATE	DESCRIPTION
12/15/21	ADDENDUM 1

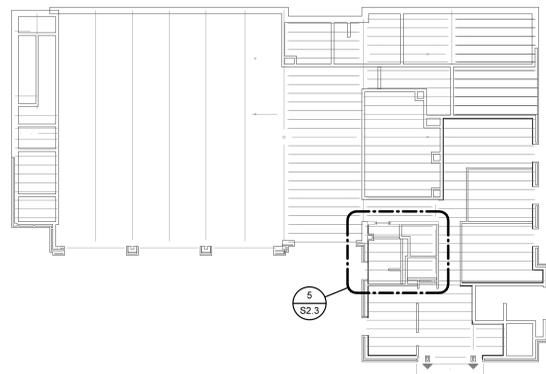
FIRE STATION 3
DRAWINGS

A2.3

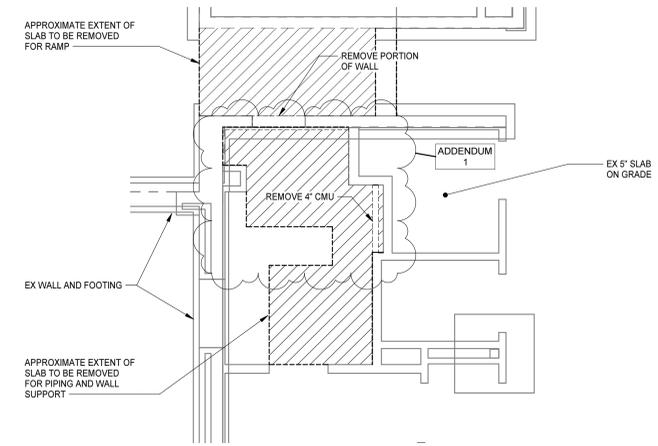
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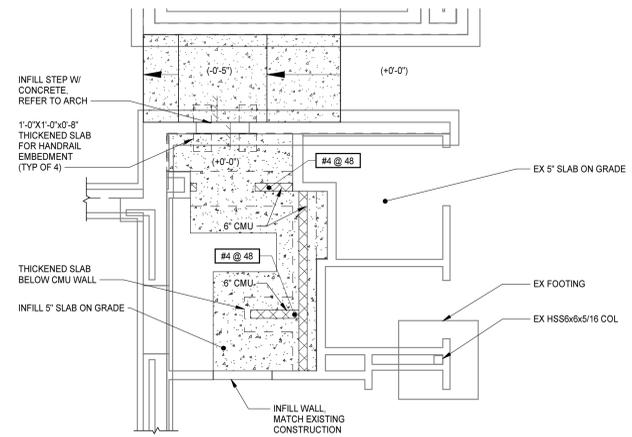
1
FOUNDATION PLAN - FS #3
1/16" = 1'-0"



2
FS #3 FRAMING PLAN
1/16" = 1'-0"

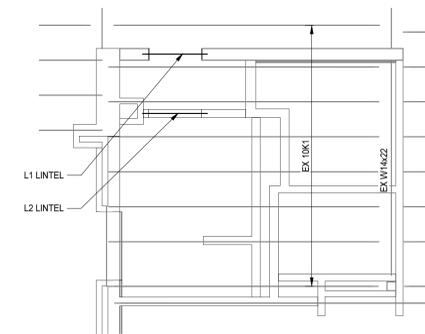


3
FOUNDATION PLAN - FS #3 DEMO PLAN
1/4" = 1'-0"



4
FOUNDATION PLAN - FS #3 SHOWER
1/4" = 1'-0"

- FOUNDATION PLAN NOTES:**
1. FINISHED FIRST FLOOR ELEVATION = 301.13' = REFERENCE DATUM EL (+0'-0"). ALL STRUCTURAL ELEVATIONS INDICATED ARE REFERENCED FROM THIS ELEVATION, UNO.
 2. REFER TO DRAWINGS S0.0.1 FOR GENERAL NOTES, PLAN LEGEND, AND STRUCTURAL ABBREVIATIONS.
 3. REFER TO DRAWINGS S3.0.1 FOR TYPICAL FOUNDATION DETAILS AND SCHEDULES.
 4. FLOOR CONSTRUCTION SHALL BE 5" NORMAL WEIGHT CONCRETE SLAB ON GRADE REINFORCED WITH 6x6-W2.9xW2.9 WWF (AT 1" FROM TOP OF SLAB) OVER VAPOR BARRIER OVER 4" GRANULAR BASE COURSE, UNO.



5
FRAMING PLAN - FS #3 SHOWER
1/4" = 1'-0"



DATE	REVISIONS
12/15/21	ADDENDUM 1