

A0.5

12/15/2021 5:55:35 PM

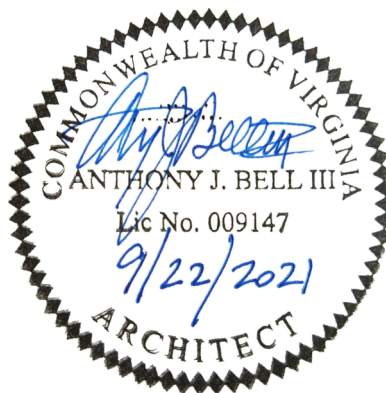
A
B
C
D
E
F
G
H
I
J

1 2 3 4 5 6 7 8 9 10

ADDENDUM
1

WALL/PARTITION TYPE GENERAL NOTES

- A. PLAN DIMENSIONS ARE TO FACE OF WALL OR PARTITION. WHERE APPLIED FINISHES OCCUR-SUCH AS CERAMIC TILE-DIMENSIONS ARE TO FACE OF APPLIED FINISH. FOR WAINSCOTS, FLOOR PLAN DIMENSIONS ARE TO FACE OF WAINSCOT MATERIAL. APPLIED FINISHES ARE NOT ALLOWED TO REDUCE CLEAR DIMENSIONS. "APPLIED FINISHES" IN THIS CASE DO NOT INCLUDE TRIM, BASE, AND ACOUSTIC WALL PANELS.
- B. EXTEND WALL/PARTITION ASSEMBLY COMPONENTS FULL HEIGHT OF ASSEMBLY.
- C. REFER TO STRUCTURAL DRAWINGS AND RELATED SPECIFICATIONS FOR SOLID MASONRY, GROUTING, AND REINFORCEMENT REQUIREMENTS INCLUDING BUT MAY NOT BE LIMITED TO:
- MASONRY WALLS/PARTITIONS
 - LINTELS
 - LINTEL BEARING CONDITIONS
 - BOND BEAMS
 - SHELF BEARING CONDITIONS
 - STRUCTURAL REINFORCING REQUIREMENTS
 - CHANGES IN WYTHE
- D. THE TERMS "WALL" AND "PARTITION" MAY BE USED INTERCHANGEABLY THROUGHOUT THE CONTRACT DOCUMENTS.
- E. PARTITIONS THAT DO NOT EXTEND TO UNDERSIDE OF DECK OR CAP ABOVE:
- EXTEND 4 INCHES MINIMUM ABOVE HIGHEST ADJACENT FINISH CEILING UNLESS INDICATED OTHERWISE.
- F. DO NOT CONNECT TIES, ANCHORS, OR REINFORCING TO SINGLE CANTILEVERED FIRE WALL OR BETWEEN DOUBLE FIRE WALLS.
- G. SEAL AROUND ALL PENETRATIONS.
- H. COMPLY WITH TERMINATION, WALL JOINT, AND MISCELLANEOUS DETAILS FOR THOSE CONDITIONS WHERE APPLICABLE. COMPLY WITH REFERENCED STANDARDS WHERE DETAILS ARE NOT IDENTIFIED IN THE DRAWINGS.
- I. WALL/PARTITION TYPES DO NOT ADDRESS WALL FINISHES. REFER TO FINISH SCHEDULE.
- J. FINISHED SPACES: PROVIDE CHASES AROUND ALL EXPOSED VERTICAL COMPONENTS, INCLUDING BUT NOT LIMITED TO: DUCTWORK, PIPING, AND CONDUIT, UNLESS COMPONENTS ARE SPECIFICALLY INDICATED TO REMAIN EXPOSED. IF NOT OTHERWISE INDICATED, PROVIDE 4" NOMINAL CMU CHASE CONSTRUCTION.
- HOLD CHASES TIGHT TO COMPONENTS ALLOWING FOR ACCESS, INSULATION, AND TOLERANCES.
 - EXTEND CHASES FROM FLOOR TO 4 INCHES MINIMUM ABOVE FINISH CEILING OR IF NO CEILING IS INDICATED, EXTEND CHASES TO UNDERSIDE OF FLOOR DECK, ROOF DECK, OR SOLID CAP ABOVE AND TERMINATE ACCORDINGLY.
- K. PROVIDE BACKER BOARD/UNIT OF SAME THICKNESS INDICATED IN LIEU OF GYPSUM BOARD PANEL AT PORTIONS OF WALLS/PARTITIONS TO RECEIVE TILE.



KELLY DAY RENOVATIONS FS 5

563006
1750 S Hayes St, Arlington, VA 22202
Owner: Arlington County

PROJECT NO: 563006	
DATE: SEPTEMBER 22, 2021	
REVISIONS	
DATE	DESCRIPTION
12/15/21	ADDENDUM 1

WALL/PARTITION
TYPES, SCHEDULES, &
TERMINATIONS - FS5

A0.6

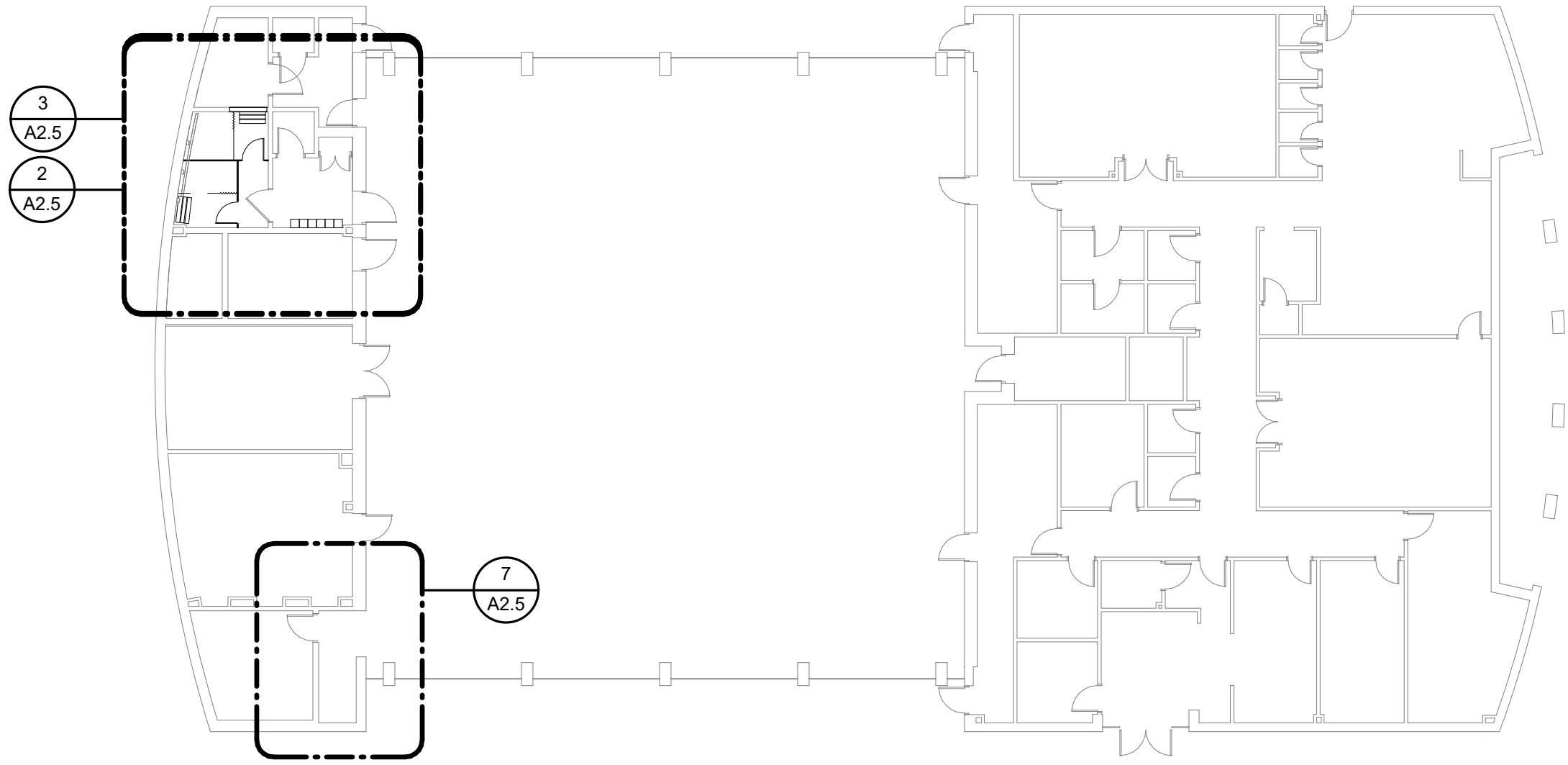
MOSELEYARCHITECTS

5200 NORFOLK STREET, RICHMOND, VA 23230
PHONE (804) 784-7555 FAX (804) 355-5690

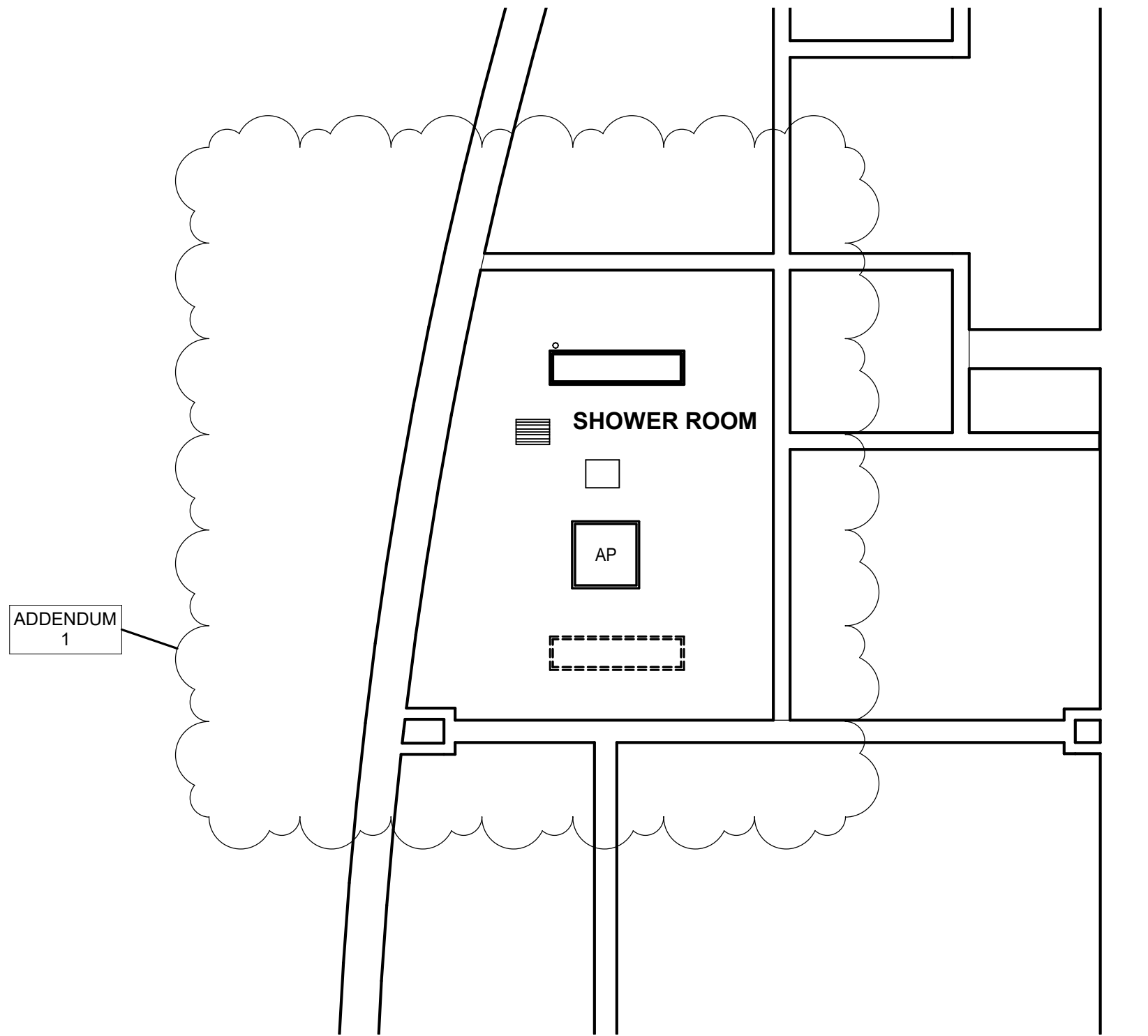
MOSELEYARCHITECTS.COM

FINISH SCHEDULE FS5											
Department	NUMBER	NAME	FLOOR	BASE	WALLS				WAINSCOT	CEILING	NOTES
FS5	501	SHOWER ROOM	ETR	PT	PT	PT	PT	PT	PT	PT	

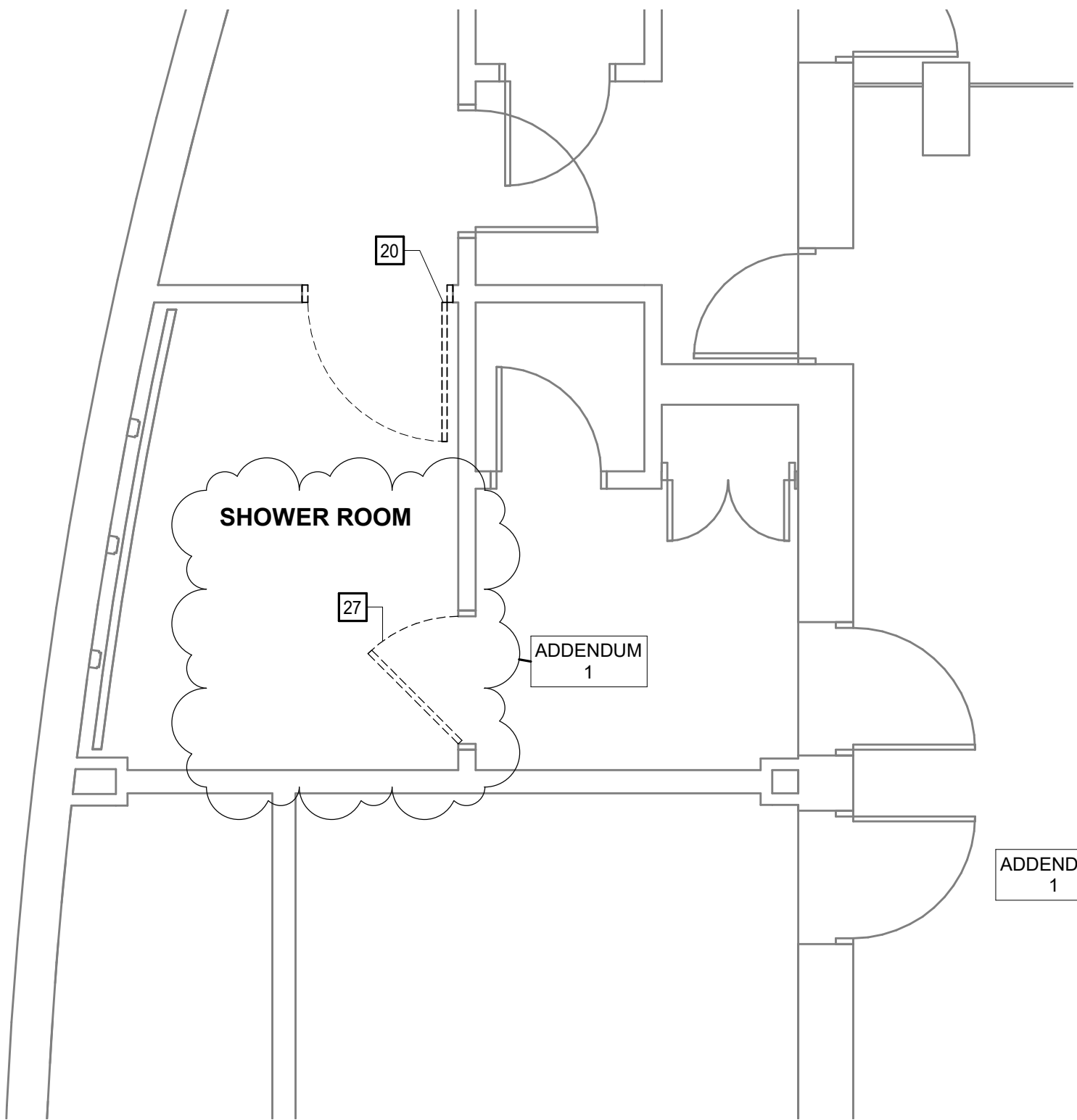
ADDENDUM
1



1 FS 5 KEY PLAN
1/16" = 1'-0"



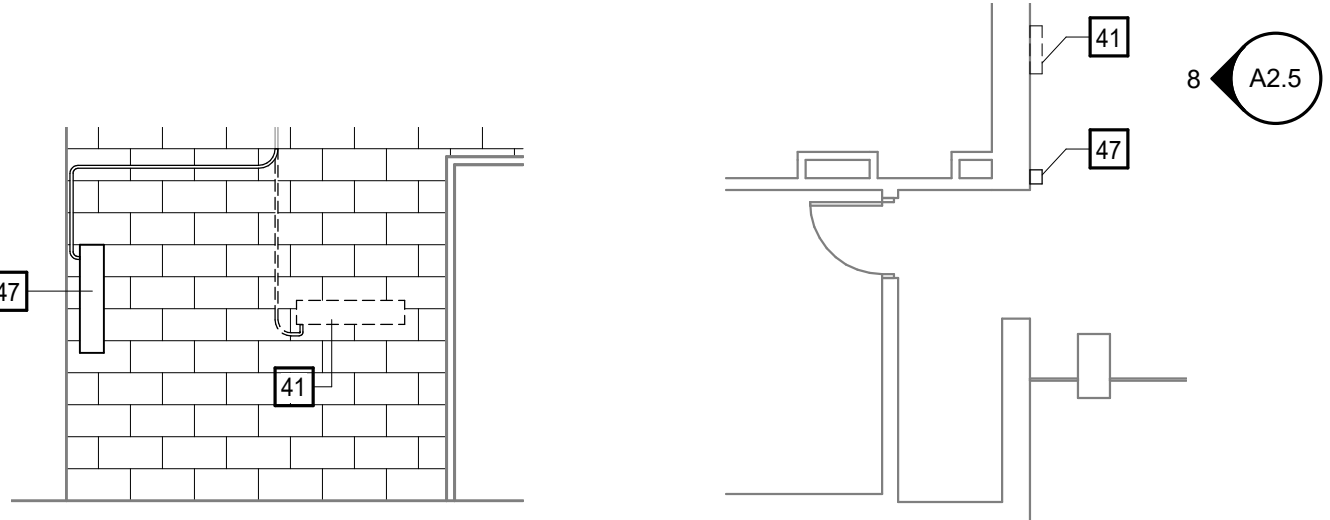
4 FS5 - RCP - DEMO
1/4" = 1'-0"



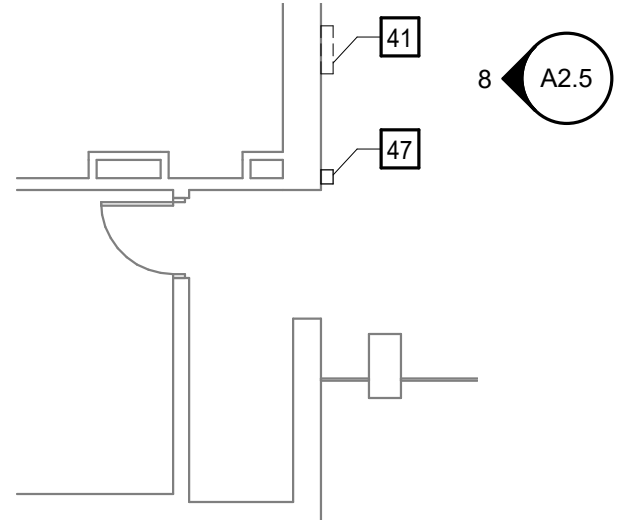
3 FS5 - PLAN - DEMO
1/4" = 1'-0"



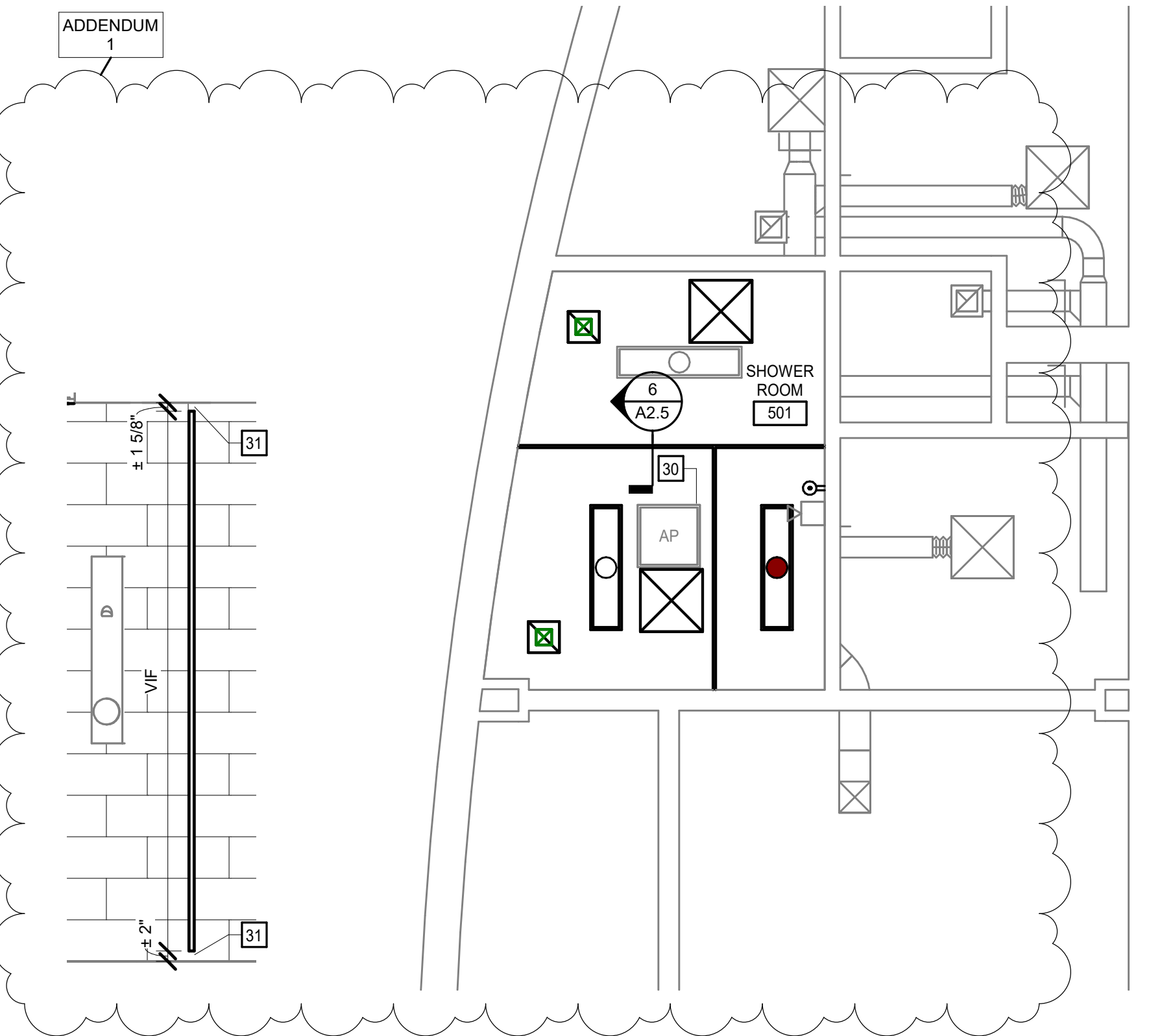
RELOCATE HOSE REEL SOLENOID SWITCH ASSEMBLY



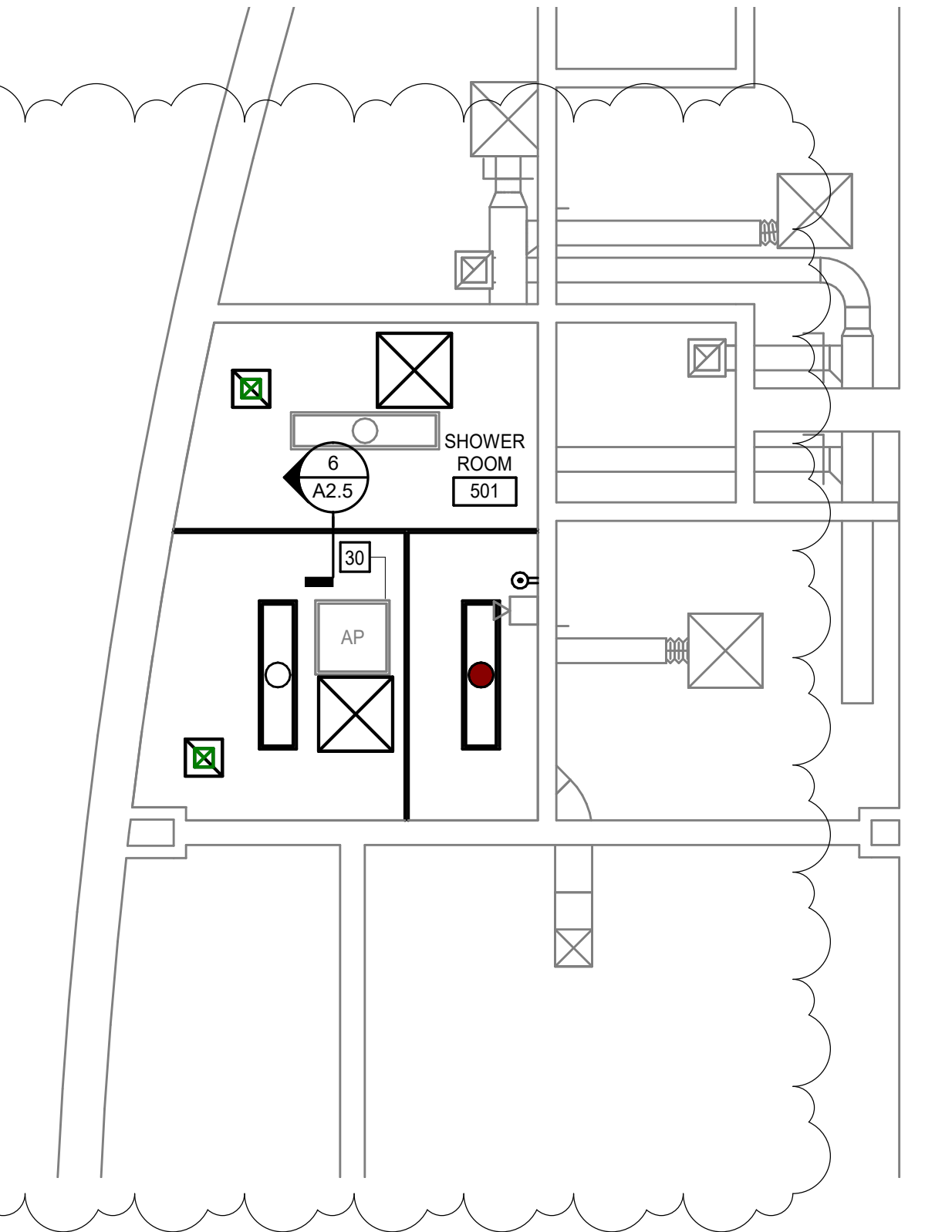
8 ELEVATION
1/4" = 1'-0"



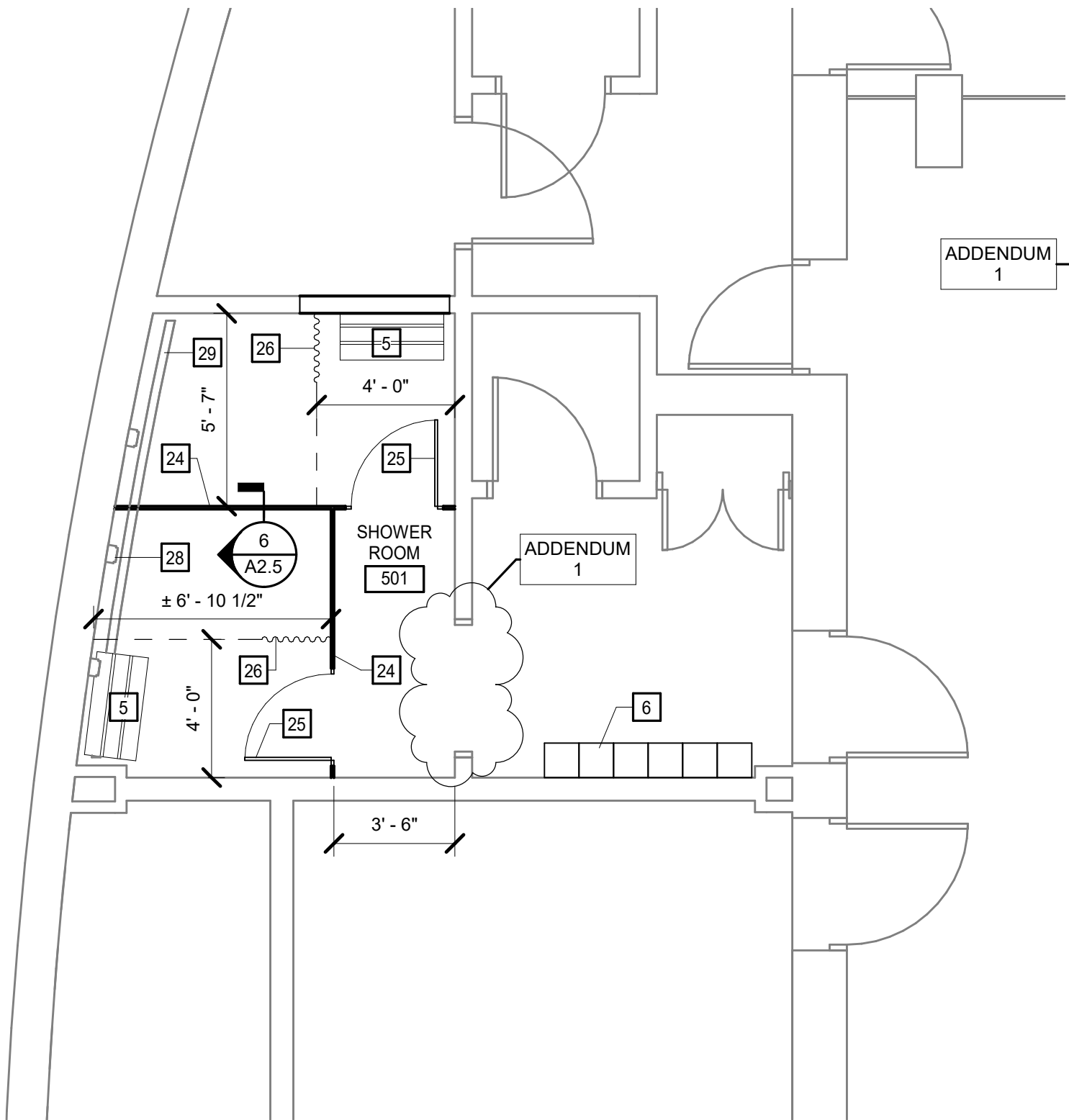
7 APPARATUS BAY PLAN
1/8" = 1'-0"



6 SECTION
1/2" = 1'-0"



5 FS5 - RCP - NEW
1/4" = 1'-0"



2 FS 5 - PLAN - NEW
1/4" = 1'-0"

FLOOR PLAN KEYNOTES

REPRESENTED BY [A]
APPLIES TO DRAWINGS A2.2 - A2.9

- 1 SALVAGE WASHER AND DRYER. TURN OVER TO THE OWNER.
- 2 REMOVE BENCH.
- 3 REMOVE SINK.
- 4 STACKED WASHER/DRYER UNIT. APPLIANCE FURNISHED BY THE OWNER. CONTRACTOR SHALL PROVIDE THE NECESSARY HOOKUPS AND INSTALL THE APPLIANCE.
- 5 FURNITURE NIC.
- 6 12"x12"x72" METAL GYM LOCKER PROVIDED BY OWNER.
- 7 EXISTING EXTRACTOR TO REMAIN.
- 8 EXISTING DRYING CABINET TO REMAIN.
- 9 REMOVE CEILING AND ALL HOSTED ELEMENTS, INCLUDING LIGHT FIXTURES, MECHANICAL DIFFUSERS, FIRE ALARMS, SMOKE DETECTORS, ETC.
- 10 MATCH HEIGHT OF ACOUSTIC CEILING WITH ADJACENT EXISTING CEILING.
- 11 PROVIDE 3/4" THICK STAINED WOOD SILL. PROVIDE POLYURETHANE COAT.
- 12 PROVIDE 3/4"x5" STAINED WOOD WALL BASE. PROVIDE POLYURETHANE COAT.
- 13 5/8" GYPSUM BOARD.
- 14 3 5/8" CFSF.
- 15 8" NOMINAL CMU.
- 16 RELOCATED AIR COMPRESSOR.
- 17 SALVAGE EXISTING AIR COMPRESSOR FOR RELOCATION. IF THERE ARE VIBRATION PADS AT THE FEET OF THE COMPRESSOR, REINSTALL THE PADS AT THE NEW LOCATION.
- 18 6" NOMINAL CMU.
- 19 4" NOMINAL CMU.
- 20 INFILL OPENING. MATCH ADJACENT CONSTRUCTION AND FINISH UNO.
- 21 SALVAGE DOOR AND FRAME.
- 22 REMOVE RAILING AT THIS SIDE OF RAMP.
- 23 REMOVE PORTION OF WALL AS NECESSARY TO PROVIDE OPENING.
- 24 SS TOILET PARTITION.
- 25 2'-6"x7'-0" SS TOILET STALL DOOR.
- 26 PROVIDE SHOWER ROD AND CURTAIN.
- 27 SALVAGE DOOR. FRAME SHALL REMAIN. REMOVE STRIKE AND PROVIDE STEEL OR ALUMINUM CLOSURE PLATE. PAINT TO MATCH FRAME COLOR.
- 28 EXISTING SHOWER CONTROLS TO REMAIN. TYPICAL THIS FIRE STATION.
- 29 EXISTING LINEAR DRAIN TO REMAIN.
- 30 EXISTING ACCESS PANEL AT CEILING.
- 31 PROVIDE GAP AT TOP AND BOTTOM OF PARTITION. DO NOT BLOCK AIRFLOW.
- 32 REMOVE HALF WALL.
- 33 EXISTING PIPING TO REMAIN.
- 34 ALIGN CMU CHASE WITH EXISTING CONSTRUCTION.
- 35 GROUTED COLLAR JOINT.
- 36 ALIGN DOOR FRAME WITH EXISTING OPENING.
- 37 SALVAGE EXISTING DRYING CABINET FOR RELOCATION. REMOVE RAISED CONCRETE PAD.
- 38 INSTALL SALVAGED DRYING CABINET AT THIS LOCATION. POUR CONCRETE BASE FOR CABINET. MATCH EXISTING BASE DIMENSIONS.
- 39 REMOVE FINISH FLOORING. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL DEMOLITION SCOPE.
- 40 GEAR GRID NIC. SHOWN FOR COORDINATION PURPOSES WITH THE OWNER.
- 41 SALVAGE EXISTING HOSE REEL SOLENOID SWITCH ASSEMBLY.
- 42 PROVIDE FROSTING FILM AT INTERIOR SIDE OF GLAZING.
- 43 PROVIDE CONCRETE SILL AT BASE OF DOOR OPENING.
- 44 PROVIDE METAL THRESHOLD TO STRADDLE THE FINISH FLOOR AND THE CONCRETE SILL.
- 45 SALVAGE STORAGE HOOKS AND RELOCATE TO ADJACENT WALL. COORDINATE WITH OWNER TO DETERMINE PRECISE LOCATION.
- 46 REMOVE EXISTING BENCH AND SHELF.
- 47 INSTALL SALVAGED HOSE REEL SOLENOID SWITCH ASSEMBLY. ORIENT SWITCH ASSEMBLY VERTICALLY. EXTEND AND MODIFY CONDUIT AS REQUIRED AND TEST SWITCHES FOR PROPER OPERATION.
- 48 1 1/2" CIRCULAR GALVANIZED STEEL HANDRAIL.
- 49 CONTINUE HANDRAIL TO FLOOR. EMBED IN CONCRETE. TYPICAL.
- 50 REMOVE CASEWORK AND SHELF.
- 51 PAINT CMU WITHIN RECESSED AREA.

DEMOLITION PLAN LEGEND

APPLIES TO DRAWINGS A2.2 - A2.9

- EXISTING PARTITION/ WALL/ ITEM TO REMAIN
- REMOVE EXISTING PARTITION/WALL/ITEM
- REMOVE EXISTING WINDOW ASSEMBLY AND FRAMING, INCLUDING ANCHORS
- SALVAGE EXISTING DOOR AND FRAME ASSEMBLY INCLUDING DOOR HARDWARE. IF FRAME DAMAGED DURING SALVAGING, DISCARD.
- REMOVE EXISTING PLUMBING FIXTURE. REFER TO PLUMBING DEMOLITION PLAN FOR ADDITIONAL INFORMATION.

FLOOR PLAN GENERAL NOTES

- A. UNLESS NOTED OTHERWISE, PAINT ALL NEW WALLS AND ALL EXISTING WALLS IN ROOMS INCLUDED IN THE WORK SCOPE.
- B. PAINT ALL EXISTING DOOR FRAMES WHERE THE DOOR HAS BEEN SALVAGED OR REMOVED.
- C. REFER TO STRUCTURAL DOCUMENTS FOR SLAB REMOVAL.

PROJECT ADDRESS: 1750 S Hayes St, Arlington, VA 22202