

#### Addendum #1

Ridley Park Sports Complex Expansion – Softball Bleacher Package 2 Columbia, Tennessee Lose# 15219

#### NARRATIVE:

This addendum includes clarification of material requirements in Part 1, Products of the specifications as well as revised plans and engineering comments / responses dated August 26<sup>th</sup>, 2016.

Failure to acknowledge this addendum in the Bid Form may result in Bid being deemed non-responsive.

Where any original item is amended, voided or superseded hereby, the provision of such item not so specifically amended, voided or superseded shall remain in effect.

#### **CLARIFICATION:**

- 1. See the attached revised plans and response letter to engineering and codes comments.
- 2. Part 1 Products, subsection 2.02 Materials , A.8. states, "Welded understructure of any kind will not be accepted." Omit item A.8 in this section.
- 3. If welds are used, the bleacher must use a minimum 4" x 4" aluminum angle as specified in Part 1 Products, Section 2.02 Materials, Item A.2. or provide documentation that materials used have equivalent structural values from a structural engineer licensed in Tennessee.
- 4. Item 6. TIME IS OF THE ESSENCE: Revise this sentence: "It is expected that work be completed on this project by February 6<sup>th</sup>, 2017 after the NOTICE TO PROCEED is issued (October 17<sup>th</sup>, 2016.)"

NOTE: Receipt of this addendum should be acknowledged on the bid form.

#### **END OF ADDENDUM**



Membei

American Society of Landscape Architects

American Institute of Architects

American Society of Civil Engineers

American Planning Association August 26, 2016

Glenn Harper, P.E.
City Engineer
City of Columbia
700 North Garden Street
Columbia, TN 38401

Dear Mr. Harper:

Enclosed you will find our final construction plans for the Ridley Park Sports Complex Expansion Softball Bleacher – Package 2. Below you will find our response to Engineering and Codes comments to this set:

#### **GENERAL:**

1. Upon review of the site, Engineering confirmed there is no fire hydrant in the island west of the current restroom / concession building. Note mentioning that if any unknown utilities are encountered, the contractor must contact the owner or engineer upon finding them.

Sheet C0.01, General Notes, note 10 states "ALL DIMENSIONS, GRADES, AND UTILITY LOCATIONS SHOWN ON THESE PLANS WERE BASED ON SITE SURVEY PROVIDED BY OTHERS. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY CONSTRUCTION / PROJECT MANAGER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY CHANGES."

Sheet C0.02, note 1 states, "ALL EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE TO BE VERIFIED BY CONTRACTOR." Same note is repeated as note 6, Sheet C0.10

#### **CIVIL PLANS:**

- 1. Sheet C0.10 calls for two trees to be removed. Verify these trees are there. Through site photographs taken on 6/2/16, trees to be removed have been verified.
- 2. Sheet C2.01 Note 3 is in conflict with owner preference. Owner would prefer to stock pile material rather than have it removed off site.

Note has been removed. Refer to Sheet Co.01, Grading note 1. "TOPSOIL SHALL BE STORED ON SITE IN LOCATIONS APPROVED BY THE OWNERS REPRESENTATIVE AND OUTSIDE AREAS PRONE TO FLOODING. DRAINAGE SHALL ROUTE AROUND THESE TOPSOIL STOCKPILES FOR THE DURATION OF THE GRADING OPERATIONS. EROSION CONTROL MEASURES SHALL PREVENT LOSS OF TOPSOIL MATERIAL."



- 3. Sheet C4.00, Detail 3 Specify what size WWF is to be used.

  Detail 3, C4.00 has been revised to show "6X6 W2.9 x W2.9 WELDED WIRE FABRIC (WWF),...".
- 4. Sheet A-1F shows concrete different than what is shown in the layout plans. Make sure these sheets coordinate. Use the same size WWF as Detail 3/ C4.00.

Sheet A-1F has been revised to show existing concrete and only concrete work to be performed by contractor. WWF in details 2/F-1 and 3/F-1 have been revised to match.

Additional revisions made to plans include:

- 1. Sheet C0.10 Concrete area for electrical and data connection has been revised.
- 2. Sheet C0.10 Note and sheet references to notes 11 and 12 have been corrected.
- 3. Sheet C1.01 Note and sheet references to notes 7 and 8 have been corrected.
- 4. Sheet C1.01 Concrete area for electrical and data connection has been revised.
- 5. Detail 1/C4.00 Geotextile Fabric has been removed from table.

Sincerely,

April Grant, RLA Project Manager

LOSE & ASSOCIATES, INC.

Cc: Mackel Reagan, Director of Parks and Recreation

#### CONSTRUCTION DRAWINGS

# RIDLEY PARK SPORTS COMPLEX EXPANSION

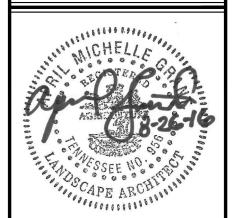
SOFTBALL BLEACHERS - PACKAGE 2

PREPARED FOR: CITY OF COLUMBIA

MAYOR - DEAN DICKEY **CITY MANAGER - TONY MASSEY** ASSISTANT CITY MANAGER - THAD JABLONSKI

PARKS & RECREATION DIRECTOR - MACKEL REAGAN ASSISTANT PARKS & RECREATION DIRECTOR - MERILEE MESCHEFSKE CITY ENGINEER - GLENN HARPER

Nashville, Tennessee 37208 (615) 242-0040





PLEX EXPANSION

PARK SPORTS COMPLEX SOFTBALL BLEACHERS - PACKA

PREPARED FOR: CITY OF COLUMBIA

DESCRIPTION

COVER

CHECKED BY CLC

C0.00

## PROPERTY INFORMATION

**OWNERS ADDRESS:** CITY, STATE, ZIP: COVER **GENERAL NOTES** ADDRESS: **EXISTING CONDITIONS** PARCEL ID:

GRADING & EROSION PREVENTION AND SEDIMENT CONTROL PLAN

ALTERNATE 10-ROW NON-ELEVATED BLEACHER SEATING PLAN

NON-ELEVATED MITERED GRANDSTAND SEATING PLAN

NON-ELEVATED MITERED GRANDSTAND FOUNDATION PLAN

ALTERNATE 10-ROW NON-ELEVATED BLEACHER END ELEVATION

SHEET INDEX

LAYOUT PLAN (DIMENSIONS & MATERIALS)

LANDSCAPE PLAN, NOTES & SCHEDULE

Sheet Number Sheet Title

DEMOLITION PLAN

SITE DETAILS

LAYOUT PLAN (JOINTS)

PRESSBOX SECTIONS

PRESSBOX DETAILS

PRESSBOX DETAILS

PRESSBOX DETAILS

PRESSBOX DETAILS

SITE ELECTRICAL PLAN

C0.00

C1.02

C4.00

A-1A

A-1

PB-1

PB-4

E1.00

**ELECTRICAL** 

LANDSCAPE

**BLEACHER** 

700 N. GARDEN ST. COLUMBIA, TN 38401 6148 TROTWOOD AVE. 060112 00200

### OWNER/DEVELOPER

CITY OF COLUMBIA **COLUMBIA PARKS & RECREATION DEPARTMENT** 821 WEST 9TH STREET COLUMBIA, TN 38401 (931) 388-8119

CONSULTANTS

**ELECTRICAL ENGINEER:** 

PARSONS ENGINEERING, INC.

4751 Trousdale Drive, Suite 202

Nashville, TN 37220

(615) 386-9396

CONTACT: ANTHONY PEZZI, P.E.

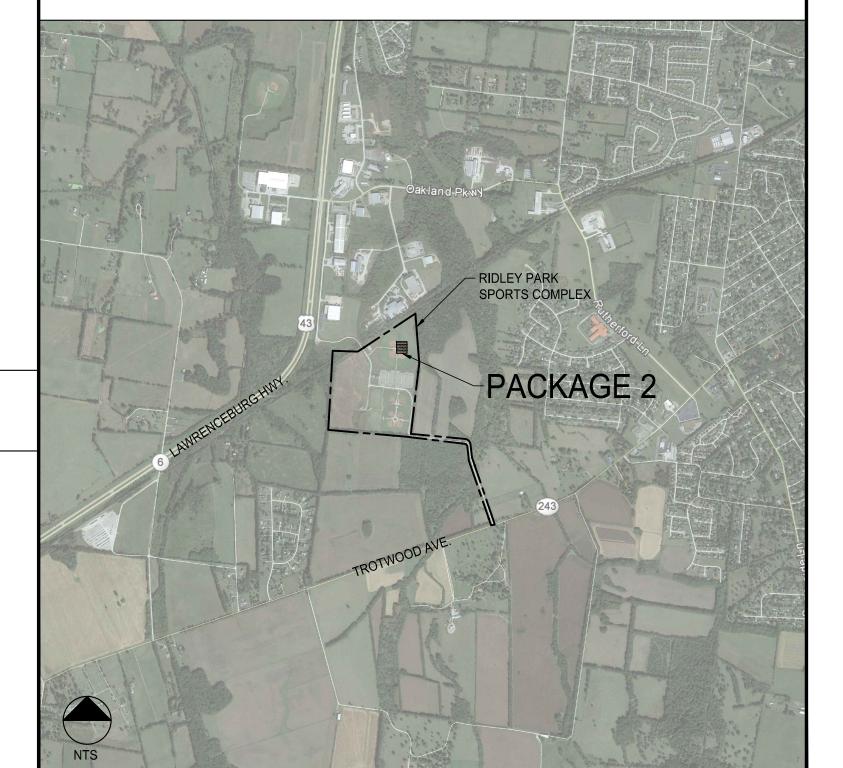
# DESIGNER

### LOSE & ASSOCIATES, INC

LANDSCAPE ARCHITECTURE/ARCHITECTURE/CIVIL **ENGINEERING/PLANNING** 

1314 5TH AVENUE NORTH, SUITE 200 NASHVILLE, TENNESSEE 37208 PHONE: 615-242-0040 CONTACT: CHRIS CAMP, ASLA, ccamp@loseassoc.com APRIL GRANT, RLA, agrant@loseassoc.com

## **LOCATION MAP**



## PROJECT CONTACTS

WATER SANITARY SEWER NATURAL GAS **ELECTRIC** TELEPHONE **CABLE** 

(931) 388-4833 **COLUMBIA POWER & WATER** COLUMBIA WASTEWATER TREATMENT SYSTEM (931) 560-1001 ATMOS ENERGY CORPORATION (931) 388-9136 **COLUMBIA POWER & WATER** (931) 388-4833 (931) 388-4833 **COLUMBIA POWER & WATER** (931) 388-4833 **COLUMBIA POWER & WATER** 

#### **GENERAL NOTES**

- THE CONTRACTOR IS TO CHECK AND VERIFY ALL MEASUREMENTS, DIMENSIONS, LEVELS, PLAN ELEVATIONS, INVERTS, ETC. BEFORE ORDERING MATERIALS AND PROCEEDING WITH THE WORK, AND IS TO BE RESPONSIBLE FOR THE SAME. REMEDIAL WORK RESULTING FROM LACK OF VERIFICATION WILL BE AT CONTRACTOR'S SOLE EXPENSE.
- 1. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE DAMAGE OR LOSS OF ANY REFERENCE POINTS AND HUBS DURING THE CONSTRUCTION OF HIS/HER WORK, AND SHALL BEAR THE COST OF REPLACING SAME.
- 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY. THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION/PROJECT MANAGER OF ANY DISCREPANCY BETWEEN SOILS REPORT AND
- 3. CARE SHALL BE TAKEN TO PROTECT ANY UTILITIES, TREES, ETC. WHICH ARE TO REMAIN AND NOT TO BE DISTURBED BY THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO SUCH PROPERTY
- 4. THE SITE SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR LOCATING IMPROVEMENTS PER THESE PLANS.
- 5. UPON RECEIPT OF POINT COORDINATE DATA, THE CONTRACTOR SHALL RUN AN INDEPENDENT VERTICAL CONTROL TRAVERSE TO CHECK BENCHMARKS AND A HORIZONTAL CONTROL TRAVERSE THROUGH GIVEN POINTS TO CONFIRM GEOMETRIC DATA AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION.
- 6. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THE PLAN ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
- PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS AND PAY ALL LEGAL FEES. HE/SHE SHALL ALSO COMPLY WITH ALL CITY, COUNTY AND STATE BUILDING LAWS, ORDINANCES OR REGULATIONS RELATING TO BUILDING SIDEWALKS, STREETS, WATER MAINS, SEWERS, BLASTING, PUBLIC STRUCTURES, ETC.
- 9. THE CONTRACTOR ACKNOWLEDGES AND AGREES THAT THE WORK IS ENTIRELY AT THE CONTRACTOR'S RISK UNTIL SITE IS ACCEPTED, AND THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR PROTECTION OF THE PROJECT AND PUBLIC SAFETY. THE CONTRACTOR WILL INDEMNIFY THE OWNER AND LOSE & ASSOCIATES, INC. FROM LIABILITY AT THE SITE THROUGHOUT THE CONSTRUCTION PROCESS.
- 10. ALL DIMENSIONS, GRADES, AND UTILITY LOCATIONS SHOWN ON THESE PLANS WERE BASED ON SITE SURVEY PROVIDED BY OTHERS. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY CONSTRUCTION/PROJECT MANAGER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO INFORMATION SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION
- HAS NOT BEEN GIVEN. 11. THE CONTRACTOR SHALL FURNISH, INSTALL AND MAINTAIN ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE WORK AND THE PUBLIC, INCLUDING BARRICADES, WARNING SIGNS, LIGHTS OR OTHER DEVICES SOLELY AT THE DETERMINATION OF THE
- CONTRACTOR. 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES, OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION OF THE WORK, WHETHER CAUSED BY THE CONTRACTOR, SUBCONTRACTORS, OR THE
- CARELESSNESS OF ANY OF THEIR EMPLOYEES. 13. ALL PAY ITEMS HAVE BEEN EXPLICITLY SET FORTH AS SUCH IN THE PROPOSAL, ALL OTHER ITEMS OF COST ARE TO BE INCLUDED IN THE PRICE OF THE ITEMS ACTUALLY BID
- 14. ALL WORK WITHIN THE RIGHTS OF WAY SHALL BE IN ACCORDANCE WITH THE GOVERNING JURISDICTION AND SPECIFICATIONS.
- 15. THE CONTRACTOR SHALL PROVIDE SUCH BRACING, SHEETING AND SHORING, BLASTING PROTECTION, WARNING LIGHTS AND BARRICADES, ETC. AS MAY BE NECESSARY FOR THE PROTECTION OF LIFE AND PROPERTY FOR EMPLOYEES AND THE GENERAL PUBLIC. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE SAFETY STATUTES AND RULES REQUIRING CERTAIN PROTECTIVE PERSONAL APPAREL SUCH AS HARD HATS, EAR PLUGS, EYE SHIELDS, PROTECTIVE SHOES, ETC. THE OWNER AND ENGINEER ASSUME NO RESPONSIBILITY OR LIABILITY FOR ACTIONS TAKEN BY THE CONTRACTOR WHICH ENDANGER LIFE OR PROPERTY.
- THE CONTRACTOR WILL, UPON BECOMING AWARE OF SUBSURFACE OR LATENT PHYSICAL CONDITIONS DIFFERING FROM THOSE DISCLOSED BY THE ORIGINAL SOIL EXPLORATION WORK, PROMPTLY NOTIFY THE OWNER VERBALLY TO PERMIT VERIFICATION OF THE CONDITIONS AND IN WRITING, AS TO THE NATURE OF THE DIFFERING CONDITIONS. NO CLAIM BY THE CONTRACTOR FOR ANY CONDITIONS DIFFERING FROM THOSE ANTICIPATED IN THE PLAN AND SPECIFICATIONS AND DISCLOSED BY THE SOIL STUDIES WILL BE ALLOWED UNLESS THE CONTRACTOR HAS SO NOTIFIED THE OWNER, VERBALLY AND IN WRITING AS REQUIRED ABOVE, OF SUCH DIFFERING CONDITIONS.
- 17. ANY FOREIGN ITEM FOUND DURING CONSTRUCTION IS THE PROPERTY OF THE LAND OWNER. THIS INCLUDES, BUT IS NOT LIMITED TO, PRECIOUS METALS, COINS, PAPER CURRENCY, ARTIFACTS AND ANTIQUITIES.
- 18. ALL SURPLUS EXCAVATION SHALL BE PLACED ON-SITE IN A LOCATION DESIGNATED BY
- 19. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS TO INSURE THAT THE NEW WORK SHALL FIT INTO THE EXISTING SITE IN THE MANNER INTENDED AND AS SHOWN ON THE DRAWINGS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO PERFORMING ANY WORK IN THE AREA INVOLVING DIFFERENCES. NOTIFICATION SHALL BE IN THE FORM OF A DRAWING OR SKETCH INDICATING FIELD MEASUREMENTS AND NOTES RELATING TO THE AREA.
- 20. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A NEAT AND ORDERLY CONDITION AT ALL TIMES. DAILY, AND MORE OFTEN IF NECESSARY, INSPECT & PICK UP ALL SCRAP, DEBRIS, & WASTE MATERIAL.
- 21. THE CONTRACTOR SHALL PROVIDE PROTECTION TO ALL FINISHED WORK. MAINTAIN SURFACES CLEAN, UNMARRED, AND SUITABLY PROTECTED UNTIL ACCEPTANCE BY
- 22. UPON COMPLETION OF PROJECT, CONTRACTOR SHALL CLEAN THE PAVED AREAS PRIOR TO REMOVAL OF TEMPORARY SEDIMENT CONTROLS, AS DIRECTED BY THE CITY AND/OR CONSTRUCTION/PROJECT MANAGER. IF POWER WASHING IS USED, NO SEDIMENT LADEN WATER SHALL BE WASHED INTO THE STORM SYSTEM. ALL SEDIMENT LADEN MATERIAL ON PAVEMENT OR WITHIN THE STORM SYSTEM SHALL BE COLLECTED AND REMOVED
- FROM THE SITE AT CONTRACTOR'S EXPENSE. 23. CONTRACTOR SHALL AT ALL TIMES ENSURE THAT SWPPP MEASURES PROTECTING EXISTING DRAINAGE FACILITIES BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY PHASE OF THE SITE CONSTRUCTION OR LAND ALTERATION.
- 24. THE CONTRACTOR SHALL COORDINATE ALL ROAD CLOSURES, EXCAVATIONS, ETC. WITH LOCAL JURISDICTIONS. ALL TEMPORARY LANE CLOSURES, EXCAVATIONS, BORINGS,
- TRAFFIC CONTROL, ETC. SHALL BE DONE IN COMPLIANCE WITH LOCAL REQUIREMENTS. 25. THE CONTRACTOR SHALL PERFORM ALL QUANTITY TAKEOFFS REQUIRED FOR BIDDING AND CONSTRUCTION OF THIS PROJECT. LOSE AND ASSOCIATES, INC. ACCEPTS NO RESPONSIBILITY NOR LIABILITY FOR QUANTITY TAKEOFFS PERFORMED FOR THIS

#### DEMOLITION

- 1. DEMOLITION INCLUDES THE FOLLOWING WITHIN THE PROPERTY LINES: 1.1. TRANSFER BENCHMARK CONTROL TO NEW LOCATIONS OUTSIDE THE DISTURBED AREA PRIOR TO COMMENCING DEMOLITION OPERATIONS (WHEN APPLICABLE).
- PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT OWNER'S PERSONNEL AND GENERAL PUBLIC FROM INJURY DUE TO DEMOLITION WORK.
- DEMOLITION AND REMOVAL OF SITE IMPROVEMENTS.
- DISCONNECTING, CAPPING OR SEALING, AND ABANDONING/REMOVING SITE UTILITIES IN PLACE (WHICHEVER IS APPLICABLE).

#### **DEMOLITION (CONT.)**

- 2. ALL DEMOLISHED MATERIALS (EXCLUDING FOREIGN ITEMS AS LISTED IN 'GENERAL') BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED BY THE OWNER'S REP. DISPOSE OF OFF THE OWNER'S PROPERTY AT NO ADDITIONAL COST.
- 3. ALL PAVEMENT, BASE COURSES, SIDEWALKS, CURBS, ETC., THAT ARE REMOVED SHALL BE REMOVED TO FULL DEPTH. ALL PAVEMENT, SIDEWALK, AND CURB SHALL BE SAW CUT IN ORDER TO OBTAIN NEAT LINES AND SMOOTH TRANSITIONS TO NEW SURFACES.
- 4. ALL ITEMS OF CONSTRUCTION REMAINING AND NOT SPECIFICALLY MENTIONED THAT INTERFERES WITH THE NEW CONSTRUCTION SHALL BE REMOVED AS DIRECTED BY THE OWNERS REPRESENTATIVE AT NO ADDITIONAL COST.
- 5. CONTRACTOR SHALL PROVIDE PROTECTION TO ALL STREETS, TREES, UTILITIES, AND STRUCTURES THAT ARE TO REMAIN. CONTRACTOR-CAUSED DAMAGE WILL BE REPAIRED TO LOCAL STANDARDS AT NO ADDITIONAL COST TO THE OWNER.
- 6. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
- 7. NO TREES ARE TO BE REMOVED AND/OR VEGETATION DISTURBED EXCEPT AS NECESSARY FOR DEMOLITION PURPOSES AND ONLY WITH PRIOR APPROVAL FROM THE OWNER'S REPRESENTATIVE.
- 8. OBTAIN APPROVED BORROW SOIL MATERIALS OFF-SITE.
- 9. STORAGE OR SALE OF REMOVED ITEMS OR MATERIALS ON-SITE WILL NOT BE PERMITTED. 10. DO NOT START DEMOLITION WORK UNTIL UTILITY DISCONNECTING AND SEALING HAVE BEEN COMPLETED AND VERIFIED IN WRITING.
- 11. REMOVE: REMOVE AND LEGALLY DISPOSE OF ITEMS EXCEPT THOSE INDICATED TO BE REINSTALLED, SALVAGED, OR TO REMAIN.
- 12. REMOVE, REINSTALL, AND RELOCATE: REMOVE ITEMS INDICATED; CLEAN, SERVICE, AND OTHERWISE PREPARE THEM FOR REUSE; STORE AND PROTECT AGAINST DAMAGE. REINSTALL ITEMS IN LOCATIONS INDICATED.
- 13. EXISTING TO REMAIN: PROTECT ITEMS INDICATED TO REMAIN AGAINST DAMAGE AND SOILING THROUGHOUT CONSTRUCTION. WHEN PERMITTED BY THE ENGINEER, ITEMS MAY BE REMOVED TO A SUITABLE, PROTECTED STORAGE LOCATION THROUGHOUT CONSTRUCTION AND THEN CLEANED AND REINSTALLED IN THEIR ORIGINAL LOCATIONS.
- 14. REGULATORY REQUIREMENTS: COMPLY WITH GOVERNING EPA NOTIFICATION REGULATIONS BEFORE STARTING DEMOLITION. COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
- 15. CONTRACTOR SHALL SCHEDULE DEMOLITION ACTIVITIES WITH THE CONSTRUCTION/PROJECT MANAGER INCLUDING THE FOLLOWING:
- 15.1. DETAILED SEQUENCE OF DEMOLITION AND REMOVAL WORK, INCLUSIVE OF STARTING AND ENDING DATES FOR EACH ACTIVITY.
- DATES FOR SHUTOFF, CAPPING, AND CONTINUATION OF UTILITY SERVICES.
- IDENTIFY AND ACCURATELY LOCATE UTILITIES AND OTHER SUBSURFACE STRUCTURAL, ELECTRICAL, OR MECHANICAL CONDITIONS.
- 16. MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE THROUGHOUT CONSTRUCTION OPERATIONS 16.1. DO NOT INTERRUPT EXISTING UTILITIES SERVING OCCUPIED OR OPERATING FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY ENGINEER AND AUTHORITIES
- EXISTING UTILITIES, AS ACCEPTABLE TO OWNER AND TO GOVERNING AUTHORITIES. 17. UTILITY REQUIREMENTS: LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF INDICATED UTILITY SERVICES SERVING THE SITE.
- 17.1. ARRANGE TO SHUT OFF AND CAP UTILITIES WITH UTILITY COMPANIES AND FOLLOW THEIR RESPECTIVE UTILITY KILL AND CAP POLICIES.

HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO

- 17.2. ALL EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE TO BE VERIFIED BY CONTRACTOR. LOSE & ASSOCIATES, INC. DOES NOT ACCEPT ANY RESPONSIBILITY FOR THE ACCURACY OF EXISTING UTILITIES INDICATED ON THE CONSTRUCTION DOCUMENTS. VERIFY LOCATION OF EXISTING UTILITIES AND EXERCISE EVERY PRECAUTION WHEN WORKING ON OR NEAR THESE AREAS TO AVOID DAMAGE TO THESE EXISTING FACILITIES. UTILITY LINES MAY BE ENCOUNTERED IN EXCAVATION THAT WERE NOT KNOWN OR SHOWN TO EXIST. SO CAUTION SHALL BE TAKEN IN ALL EXCAVATIONS, ACTIVE OR INACTIVE UTILITIES ENCOUNTERED BY THE CONTRACTOR SHALL BE HANDLED IN ACCORDANCE WITH THE REQUIREMENTS OR THE UTILITY COMPANIES.
- 18. CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN. ENSURE SAFE PASSAGE OF PEOPLE AROUND DEMOLITION AREA.
- 18.1. ERECT TEMPORARY PROTECTION, BARRICADES AS PER LOCAL GOVERNING
- AUTHORITIES. 18.2. PROTECT EXISTING SITE IMPROVEMENTS AND APPURTENANCES TO REMAIN.
- 19. EXPLOSIVES: USE OF EXPLOSIVES WILL NOT BE PERMITTED. 20. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON
- ADJACENT SURFACES AND AREAS. 21. CLEAN ADJACENT BUILDINGS AND IMPROVEMENT OF DUST, DIRT, AND DEBRIS CAUSED BY DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE
- START OF DEMOLITION. 22. DAMAGES: PROMPTLY REPAIR DAMAGES TO ADJACENT FACILITIES CAUSED BY DEMOLITION OPERATIONS AT THE CONTRACTORS COST.
- 23. GENERAL: PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE.
- 24. BURNING: DO NOT BURN DEMOLISHED MATERIALS. 25. CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS TO ENSURE MINIMUM
- INTERFERENCE WITH EXISTING FACILITIES. 25.1. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER ADJACENT OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM OWNER AND AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY GOVERNING REGULATIONS.
- 25.2. PROVIDE TEMPORARY FENCES, BARRICADES, COVERINGS OR OTHER PROTECTIONS TO PRESERVE EXISTING ITEMS INDICATED TO REMAIN AND TO PREVENT INJURY OR DAMAGE TO PERSONS OR PROPERTY. APPLY PROTECTIONS TO ADJACENT PROPERTIES AS REQUIRED.

#### **CLEARING & GRUBBING**

- 1. DO NOT EXCEED CLEARING AND GRUBBING LIMITS OF CONSTRUCTION LINES INDICATED ON THE PLANS.
- 2. ALL AREAS OUTSIDE THE LIMITS OF CONSTRUCTION SHALL NOT BE CROSSED BY HEAVY
- EQUIPMENT OR USED FOR STORING HEAVY EQUIPMENT OR MATERIALS.
- NO EQUIPMENT SHALL BE STORED UNDER THE DRIP LINE OF TREES TO REMAIN.
- 4. DO NOT FALL ANY TREES OR PUSH PILES OF DEBRIS AGAINST TREES TO REMAIN. REMOVE ALL STUMPS, ROCKS, ASPHALT & CONCRETE DEBRIS, ETC. WITHIN CLEARING
- LIMITS AND DISPOSE OFF SITE IN ACCORDANCE WITH LOCAL, STATE, & FEDERAL REGULATIONS.
- 6. CONTACT ALL UTILITY AUTHORITIES WHO HAVE LINES WITHIN THE CLEARING AND GRUBBING LIMITS BEFORE STARTING WORK.
- 7. ALL EROSION CONTROL SEDIMENT BARRIERS, SILT FENCES, AND TREE PROTECTION DEVICES SHALL BE INSTALLED PRIOR TO STARTING CLEARING AND GRUBBING
- 8. CONTRACTOR TO STAKE LIMITS OF CLEARING FOR REVIEW BY LOSE & ASSOCIATES, INC. PRIOR TO BEGINNING CLEARING OPERATIONS; TREES WITHIN GRADING LIMITS TO BE SAVED WILL BE IDENTIFIED BY THE OWNER'S REPRESENTATIVE. FIELD CHANGES TO GRADING PLANS SHALL BE MADE FOR SMOOTH TRANSITION OF GRADES AROUND ALL
- 9. SEE SPECIFICATIONS FOR TREE CLEARING REQUIREMENTS AND PENALTIES FOR
- DAMAGES TO TREES DESIGNATED TO REMAIN. 10. ALL CLEARING SHALL BE LIMITED TO AREAS TO BE GRADED WITHIN 14 CALENDAR DAYS PER STATE PERMITS.

#### **EXISTING UTILITIES**

- UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED BY THE OWNER, LOSE & ASSOCIATES, OR THEIR REPRESENTATIVES. BEFORE YOU DIG CALL 811 TO HAVE EXISTING UTILITIES
- 2. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE
- AND PRESERVE ANY UNDERGROUND UTILITIES TO REMAIN. 3. LOSE & ASSOCIATES, INC. ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF THE BASE SURVEY INFORMATION PROVIDED BY OTHERS.

#### DEVELOPMENT

- 1. NOTIFY OWNER AND LOSE & ASSOCIATES, INC. AT 50, 95, AND 100 PERCENT COMPLETION OF EVERY PHASE OF CONSTRUCTION
- 2. ALL BUFFERS AND TREE SAVE AREAS SHALL BE CLEARLY IDENTIFIED BY FLAGGING AND/OR FENCING PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE.
- 3. ALL CONSTRUCTION TO COMPLY WITH LOCAL/COUNTY ZONING AND CODES STANDARDS AND STATE OF TENNESSEE STORMWATER REGULATIONS.

#### GRADING

- TOPSOIL SHALL BE STORED ON SITE IN LOCATIONS APPROVED BY THE OWNERS. REPRESENTATIVE AND OUTSIDE AREAS PRONE TO FLOODING. DRAINAGE SHALL ROUTE AROUND THESE TOPSOIL STOCKPILES FOR THE DURATION OF THE GRADING OPERATIONS. EROSION CONTROL MEASURES SHALL PREVENT LOSS OF TOPSOIL MATERIAL.
- UNSUITABLE SOILS SHALL BE UNIFORMLY SPREAD ACROSS NON-STRUCTURAL FILL AREAS, COVERED WITH TOPSOIL, AND VEGETATED PER DRAWINGS.
- 3. FILL AREAS SHALL BE PROOF-ROLLED WITH RUBBER-TIRED EQUIPMENT WITH A MINIMUM WEIGHT OF FIFTEEN TONS PRIOR TO BEGINNING FILL OPERATION. AREAS WHICH ARE SOFT OR UNSTABLE SHALL BE UNDERCUT UNTIL STABLE SOILS ARE FOUND. RECOMPACTION OF THESE SOILS TO 98 PERCENT MAXIMUM DRY DENSITY (AS PER ASTM D698 STANDARD PROCTOR) WILL BE ALLOWED, UNDER THE DIRECTION OF A QUALIFIED
- 4. CUT AREA SHALL BE PROOF-ROLLED AFTER FINAL SUBGRADE IS ACHIEVED IN THE SAME MANNER AS FILLED AREAS. SOFT OR UNSTABLE SOILS SHALL BE SCARIFIED TO A DEPTH OF 12" AND RECOMPACTED TO 98 PERCENT MAXIMUM DRY DENSITY AS PER ASTM D698 (STANDARD PROCTOR).
- 5. CONFIRMATION OF ALL COMPACTION REQUIREMENTS SHALL BE CONFIRMED BY A QUALIFIED SOILS ENGINEER. SEE SPECIFICATION FOR SOIL COMPACTION RATES.
- 6. ALL FILL AREAS SHALL BE RAISED IN LIFTS NOT EXCEEDING 6 INCHES. 7. ALL AREAS WILL BE GRADED TO PROVIDE PROPER DRAINAGE AND PREVENT STANDING
- 8. ELEVATIONS SHOWN ON THE PLANS IS THE FINISH GRADE ELEVATION.
- GRADING SHALL BE SEQUENCED SO THAT BASE STONE IS PLACED WITHIN 14 CALENDAR DAYS OF ACHIEVING OPTIMUM SUBGRADE COMPACTION. 10. ALL GRADING OPERATIONS SHALL BE COMPLETED IN COMPLIANCE OF CITY, COUNTY, AND

#### STATE LAND DISTURBANCE PERMITS AS REQUIRED.

#### LAYOUT ALL LAYOUT MEASUREMENTS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

- COORDINATE POINTS SHOWN ARE TAKEN FROM BASE INFORMATION PROVIDED BY OTHERS. CONTRACTOR SHALL CROSS CHECK BETWEEN COORDINATE LAYOUT AND PLAN DIMENSIONS PRIOR TO COMMENCING WORK.
- 3. LOSE AND ASSOCIATES, INC., ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF THE BASE INFORMATION AS PROVIDED. CONTRACTOR IS TO VERIFY ALL BASE INFORMATION AS NECESSARY AND TO ADVISE THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO ANY
- LAYOUT WORK 4. ALL WORK SHALL BE COMPLETED TO THE LEVEL INDICATED BY THE SCOPE OF WORK LISTED IN THE BID DOCUMENTS
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF ALL DAMAGED AND/OR
- DISTURBED MONUMENTS, STAKES, ETC. 6. CONTRACTOR SHALL NOT SCALE DRAWINGS. CONTRACTOR SHALL USE DIMENSION,
- COORDINATES, AND OTHER INFORMATION PROVIDED ON LAYOUT PLANS. 7. CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION STAKING REQUIRED ON THE PROJECT. THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST BETWEEN EXISTING FACILITIES AND PROPOSED FACILITIES PRIOR TO BEGINNING CONSTRUCTION
- ACTIVITIES. CONTRACTOR SHALL NOTIFY LOSE & ASSOCIATES, INC. WITHIN 24 HOURS OF ANY LAYOUT DISCREPANCIES PRIOR TO PROCEEDING WITH WORK. ALL ADDITIONAL COSTS, INCLUDING BUT NOT LIMITED TO REMEDIAL CONSTRUCTION, ADDITIONAL SITE VISITS, OR ENGINEERING SERVICES AND FEES, ETC., INCURRED DUE TO THE FAILURE TO FOLLOW
- THIS PROCEDURE WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. 9. CONTRACTOR SHALL PROVIDE ADEQUATE LAYOUT INFORMATION TO DEMONSTRATE, TO THE MAXIMUM EXTENT PRACTICAL, THAT NO CONFLICTS BETWEEN VARIOUS TRADES
- 10. DRAINAGE STRUCTURES ARE SHOWN TO INDICATE CASTING TYPE AND LOCATION. CONTRACTOR SHALL STAKE PROPOSED PAVING, STRUCTURES, CURBS, ETC. TO ENSURE DRAINAGE STRUCTURES ARE PLACED TO AVOID CONFLICTS. DRAINAGE STRUCTURES ARE NOT DRAWN TO SCALE.

#### ADA REQUIREMENTS

- 1. ALL CONSTRUCTION ACTIVITIES SHALL BE COMPLETED IN FULL COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT ("ADA") AND ARCHITECTURAL AND TRANSPORTATION BARRIERS COMPLIANCE BOARD, FEDERAL REGISTER 36 CFR PARTS 1190 AND 1191, ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES; ARCHITECTURAL BARRIERS ACT (ABA) ACCESSIBILITY GUIDELINES
- 2. CONTRACTOR TO COORDINATE ALL INSPECTIONS AS REQUIRED BY THE LOCAL ADA
- COMPLIANCE OFFICE. 3. AT ALL INTERSECTION OF TRAILS, SIDEWALKS, PLAZAS, AND OTHER INSTANCES WHERE 90 DEGREE TURNS CAN TAKE PLACE, THE MAX. SLOPE IN ALL DIRECTIONS IS 2 PERCENT.

#### TREE PROTECTION / REMOVAL

- 1. EXISTING TREES ON-SITE TO BE REMOVED HAVE BEEN MARKED ON THE SITE PLANS WITH AN "X". ONLY THOSE MARKED TREES SHALL BE REMOVED. CONTRACTOR SHALL PROCEED WITH THE FOLLOWING FOR TREES TO BE REMOVED ONLY:
- 1.1. REMOVE THE TOP OF ALL TREES INCLUDING BRANCHES AND TRUNK IN AN ORGANIZED AND SAFE MATTER BEING CAREFUL NOT TO DAMAGE ANY TREES TO
- REMAIN OR OTHER SITE FEATURES. 1.2. ALL STUMPS OF TREES BEING REMOVED SHALL BE COMPLETELY EXCAVATED AND REMOVED. ALL EXCAVATED HOLES, FROM REMOVAL OF TREE ROOTS, REMAINING ON-SITE SHALL BE REMEDIATED WITH ENGINEERED FILL AND COMPACTED TO MEET SPECIFICATIONS.
- 1.3. ALL TREE WASTE, INCLUDING LIMBS, BRANCHES, TRUNKS, ROOTS OR OTHER, SHALL BE COMPLETELY REMOVED FROM THE CONSTRUCTION SITE AND DISPOSED OF IN A
- 2. ALL TREES THAT HAVE NOT BEEN MARKED ON THESE PLANS WITH AN "X" SHALL BE PROTECTED ON SITE DURING CONSTRUCTION FROM ANY AND ALL DAMAGE. CONTRACTOR SHALL PROCEED WITH THE FOLLOWING FOR TREES TO BE PROTECTED
- 2.1. ALL PROTECTED TREES THAT ARE LOCATED NEAR OR WITHIN THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED BY TREE PROTECTION FENCING PER DETAILS.
- 2.2. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY PROTECTED TREES THAT ARE DAMAGED DURING CONSTRUCTION. 2.3. IF PROTECTED TREES ARE LOCATED WITHIN THE LIMITS OF CONSTRUCTION, THEY

MUST BE PROTECTED DURING SITE CONSTRUCTION.

- 2.4. IF GRADING, EXCAVATION OR PAVING IS SHOWN TO OCCUR NEAR THE PROTECTED TREE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTRACTING WITH A LOCAL TREE SURGEON FOR RECOMMENDATIONS ON TREE PROTECTION.
- 2.5. IF DISCREPANCIES OCCUR AND IT IS ANTICIPATED THAT THE PROTECTED TREES WILL BE DAMAGED DUE TO PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE DESIGNER IMMEDIATELY OF ANY CONFLICT.
- THE CONTRACTOR SHALL ALSO SUBMIT RECOMMENDATIONS TO THE DESIGNER FROM THE TREE SURGEON FOR PROTECTION MEASURES. CONTRACTOR SHALL BE RESPONSIBLE FOR IN-FIELD COORDINATION WITH THE DESIGNER TO RESOLVE ANY CONFLICTS THAT MAY ARISE DUE TO PROTECTED
- 2.8. IF THE CONTRACTOR LOCATES TREES IN THE FIELD THAT ARE NOT SHOWN ON THESE PLANS OR THAT ARE MISLOCATED, THE CONTRACTOR SHALL NOTIFY THE DESIGNER FOR REVIEW OF THE TREE AND ITS LOCATION.
- 2.9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH SUB-CONSULTANTS AND UTILITY PROVIDERS DURING CONSTRUCTION TO ENSURE THE PROTECTION OF THE TREES TO REMAIN.

#### TREE PROTECTION / REMOVAL (CONT.)

- 2.10. IN THE EVENT OF UTILITY LINE ADJUSTMENTS, ADDITIONS OR RELOCATIONS, THE CONTRACTOR SHALL WORK WITH THE UTILITY PROVIDER AND INSTALLER TO ROUTE THE UTILITY LINES OUTSIDE OF THE TREE PROTECTION ZONE. IF THIS IS NOT POSSIBLE, RECOMMENDATIONS MUST BE OBTAINED FROM A LOCAL TREE SURGEON FOR REMEDIATION OPTIONS.
- 2.11. CONTRACTOR MUST SUBMIT ALL REPORTS OR RECOMMENDATIONS FOR TREE PRUNING OR ALTERING TO THE LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO RENDERING SERVICES.

FL - FLOW LINE

GALV - GALVANIZED

HP - HIGH POINT

HW - HEADWALL

HYD - HYDRANT

ID - INSIDE DIAMETER

HT - HEIGHT

**ABBREVIATIONS** ASPH - ASPHALT NIC - NOT IN CONTRACT @ - AT NO - NUMBER BOC - BOTTOM OF CURB O.C. - ON CENTER BFP - BACKFLOW PREVENTER OD - OUTSIDE DIAMETER BS - BOTTOM OF STEP - PERFORATED DRAIN PDBW - BOTTOM OF WALL - PROPERTY LINE POB - POINT OF BEGINNING CENTERLINE - CONTROL JOINT PP - POWER POLE CO - COMPANY - RADIUS CONT - CONTINUOUS **ROW - RIGHT OF WAY** CY - CUBIC YARD SERV - SERVICE DIA - DIAMETER SCH - SCHEDULE DR - DRIVE SF - SQUARE FEET EJ - EXPANSION JOINT S.F. - SILT FENCE **ELEC - ELECTRIC** SQ - SQUARE **ELEV - ELEVATION**  SQARE YARD SY FH - FIRE HYDRANT SIG - SIGNAL EX - EXISTING SPEC - SPECIFICATION(S) FT - FEET STA - STATION

- STREET

- TELEPHONE

- TOP OF FOOTING

- TOP OF PAVEMENT

TC - TOP OF CASTING

TOC - TOP OF CURB

TS - TOP OF STEP

ST

TF

JUNC - JUNCTION TW - TOP OF WALL LOC - LIMITS OF CLEARANCE LOD - LIMITS OF DISTURBANCE LF - LINEAR FEET MAX - MAXIMUM MIN - MINIMUM MH - MANHOLE MPH - MILES PER HOUR

BVCS - BEGINNING OF VERTICAL CURVE STATION

EVCS - ENDING OF VERTICAL CURVE STATION

PVI - POINT OF VERTICAL INTERSECTION

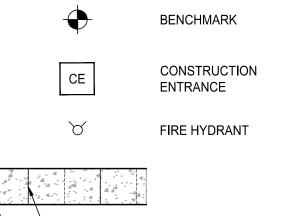
EVCE - ENDING OF VERTICAL CURVE ELEVATION

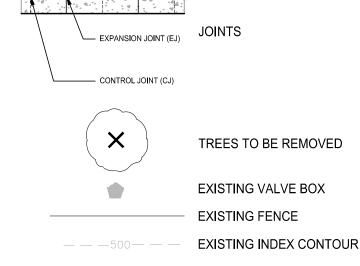
BVCE - BEGINNING OF VERTICAL CURVE ELEVATION

#### TYP. - TYPICAL VERT - VERTICAL W - WATER WS - WATER SERVICE WV - WATER VALVE WWF - WELDED WIRE FABRIC

NOTE: THESE ABBREVIATIONS ARE GENERAL; INDIVIDUAL SHEETS MAY INCLUDE OTHERS.

#### COMMON CIVIL OBJECTS, LINETYPES, AND PATTERNS





EXISTING INTERMEDIATE CONTOUR — G —— G —— GAS — OE — OE — OVERHEAD ELECTRIC ——— 500 ——— PROPOSED INDEX CONTOUR —— 499 — PROPOSED INTERMEDIATE CONTOUR PROPOSED SLOPE GRADIENT — SS — SANITARY SEWER 

VALVE BOX \_\_\_\_\_ IRRIGATION SLEEVING \_\_\_\_\_ SITE BOUNDARY / LIMITS OF DISTURBANCE SPOT ELEVATION — SW — SW — STORM SEWER — UE — UE — UNDERGROUND ELECTRIC — w —— w —— WATER

·^-^-^- SAWCUT



CONCRETE PAVEMENT

CONCRETE REMOVAL

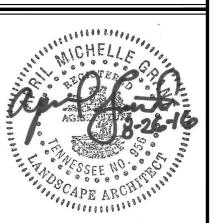


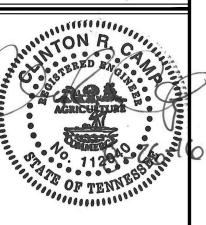


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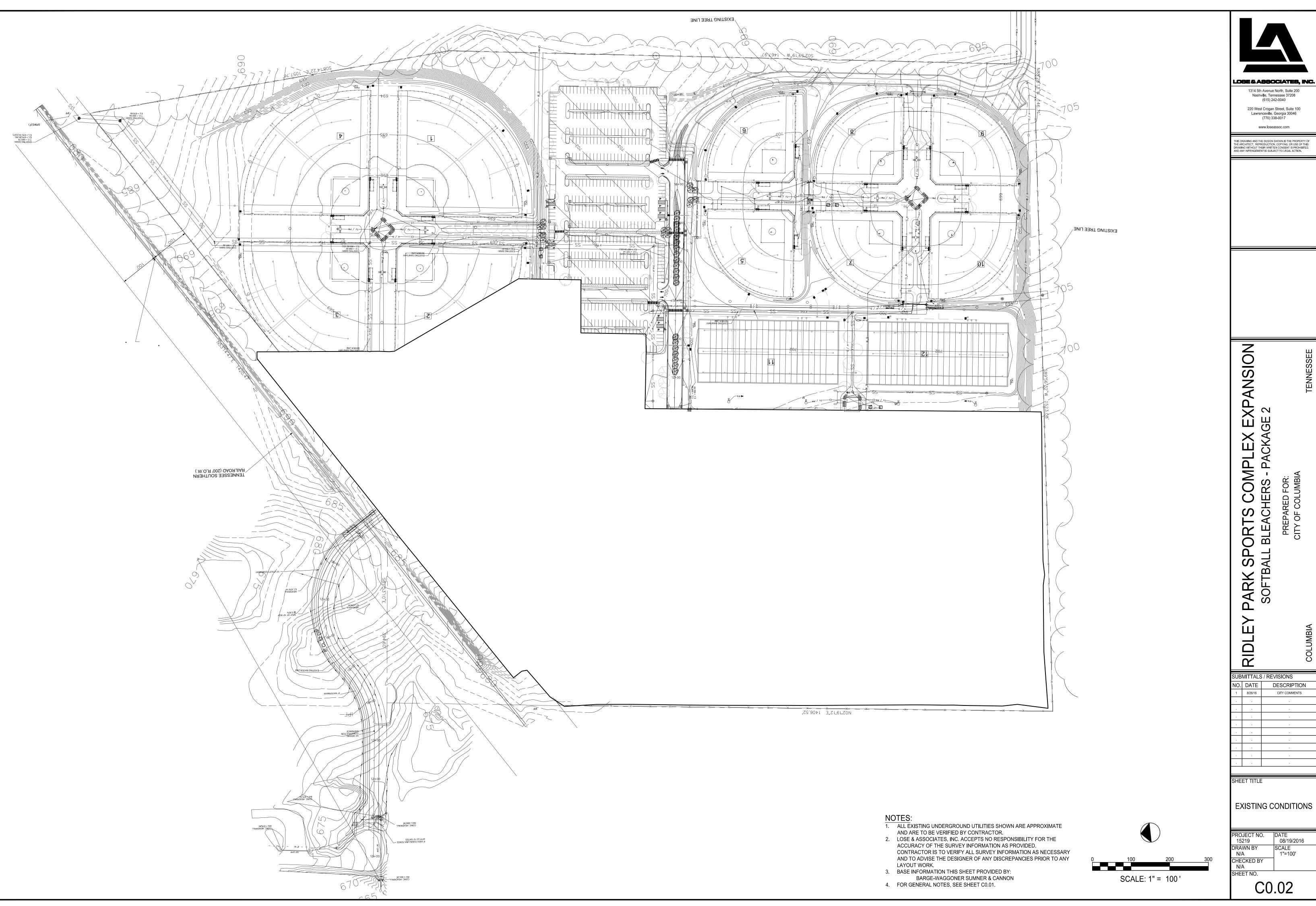
GENERAL NOTES

15219 DRAWN BY AMG CHECKED BY CLC, CRC

C0.01

SHEET NO.

08/19/2016



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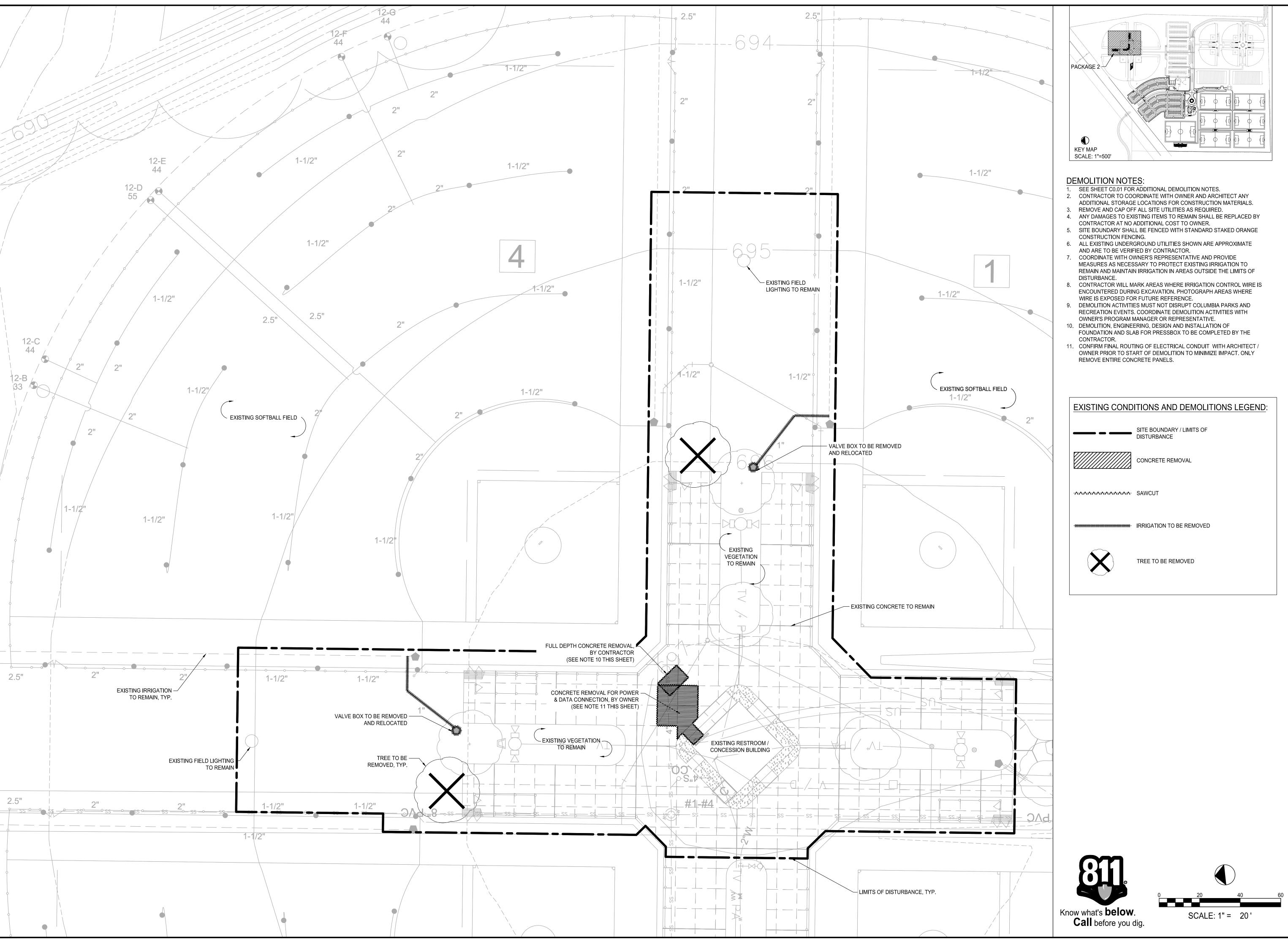
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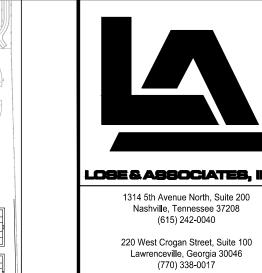
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EXISTING CONDITIONS

PROJECT NO. 15219 DATE 08/19/2016

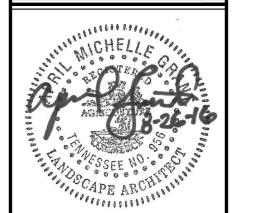
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EXPANSION GE 2 PARK SPORTS COMPLEX SOFTBALL BLEACHERS - PACKA

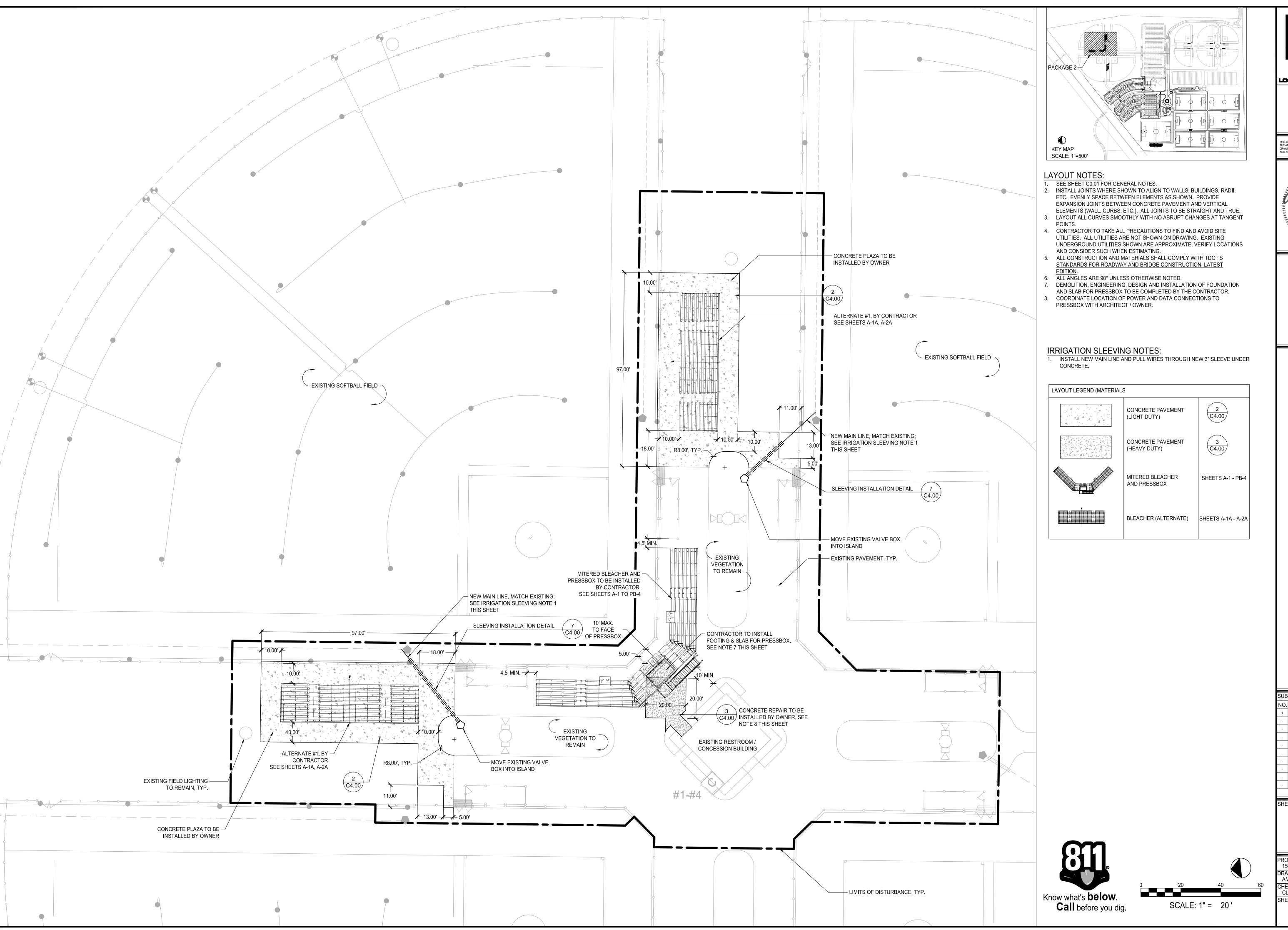
PREPARED FOR: CITY OF COLUMBIA

RIDLEY SUBMITTALS / REVISIONS NO. DATE DESCRIPTION CITY COMMENTS

**DEMOLITION PLAN** 

PROJECT NO. 15219 08/19/2016 DRAWN BY AMG CHECKED BY CLC, CRC SHEET NO.

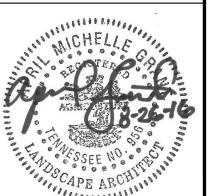
C0.10





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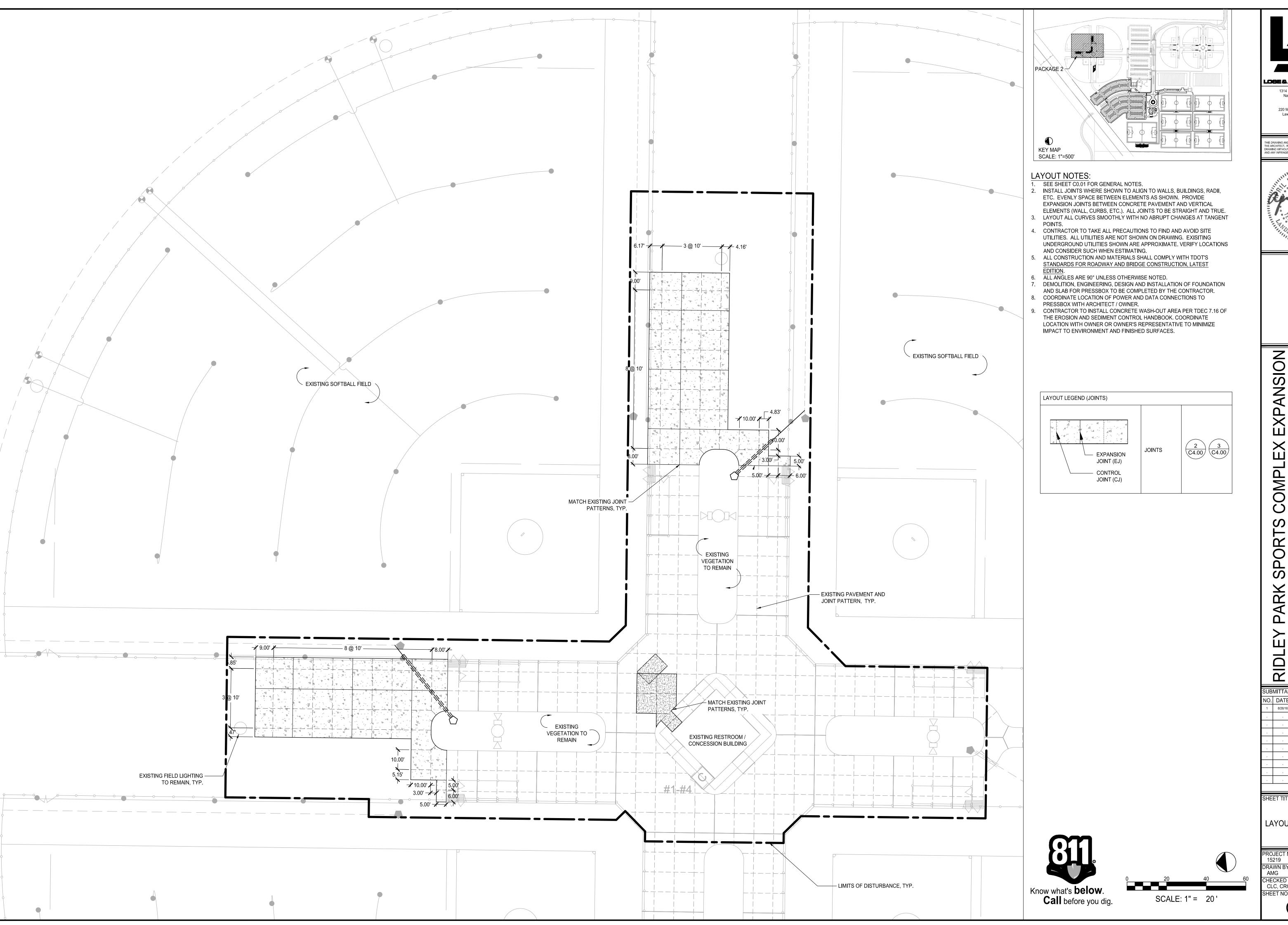
EXPANSION GE 2 PARK SPORTS COMPLE SOFTBALL BLEACHERS - PACK PREPARED FOR: CITY OF COLUMBIA

RIDLE SUBMITTALS / REVISIONS NO. DATE DESCRIPTION CITY COMMENTS

LAYOUT PLAN (DIMENSIONS & MATERIALS)

15219 08/19/2016 DRAWN BY AMG 1"=20' CHECKED BY CLC, CRC SHEET NO.

C1.01





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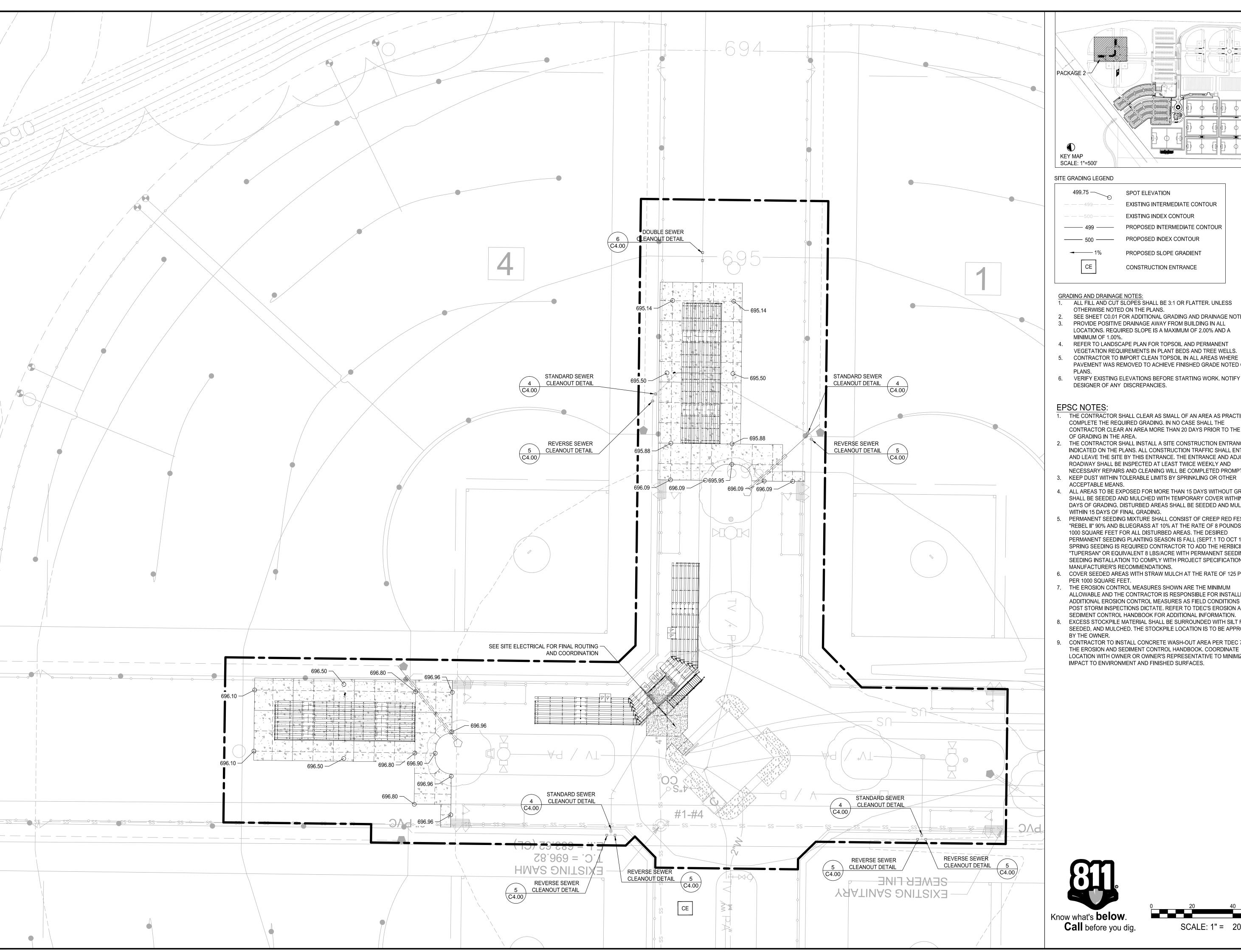
PARK SPORTS COMPLE SOFTBALL BLEACHERS - PACK PREPARED FOR: CITY OF COLUMBIA

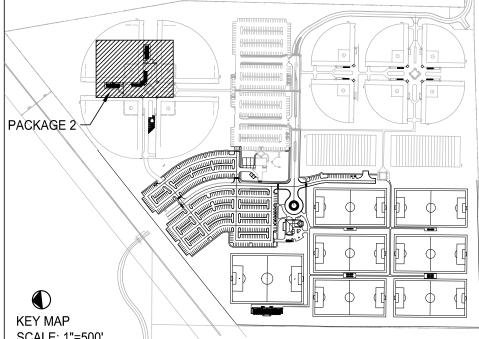
SUBMITTALS / REVISIONS NO. DATE DESCRIPTION CITY COMMENTS

LAYOUT PLAN (JOINTS)

ı		
	PROJECT NO. 15219	DATE 08/19/2016
	DRAWN BY AMG	SCALE 1"=20'
	CHECKED BY CLC, CRC	
	SHEET NO	

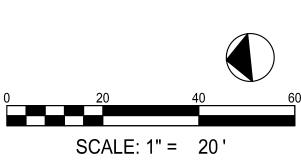
C1.02





499.75	SPOT ELEVATION
	EXISTING INTERMEDIATE CONTOUR
— — — 500— — —	EXISTING INDEX CONTOUR
———— 499 ———	PROPOSED INTERMEDIATE CONTOUR
500	PROPOSED INDEX CONTOUR
1%	PROPOSED SLOPE GRADIENT
CE	CONSTRUCTION ENTRANCE

- ALL FILL AND CUT SLOPES SHALL BE 3:1 OR FLATTER. UNLESS
- SEE SHEET C0.01 FOR ADDITIONAL GRADING AND DRAINAGE NOTES. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING IN ALL LOCATIONS. REQUIRED SLOPE IS A MAXIMUM OF 2.00% AND A
- REFER TO LANDSCAPE PLAN FOR TOPSOIL AND PERMANENT
- VEGETATION REQUIREMENTS IN PLANT BEDS AND TREE WELLS.
- PAVEMENT WAS REMOVED TO ACHIEVE FINISHED GRADE NOTED ON
- 6. VERIFY EXISTING ELEVATIONS BEFORE STARTING WORK. NOTIFY DESIGNER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL CLEAR AS SMALL OF AN AREA AS PRACTICAL TO COMPLETE THE REQUIRED GRADING. IN NO CASE SHALL THE CONTRACTOR CLEAR AN AREA MORE THAN 20 DAYS PRIOR TO THE START
- THE CONTRACTOR SHALL INSTALL A SITE CONSTRUCTION ENTRANCE AS INDICATED ON THE PLANS. ALL CONSTRUCTION TRAFFIC SHALL ENTER AND LEAVE THE SITE BY THIS ENTRANCE. THE ENTRANCE AND ADJOINING ROADWAY SHALL BE INSPECTED AT LEAST TWICE WEEKLY AND NECESSARY REPAIRS AND CLEANING WILL BE COMPLETED PROMPTLY.
- 3. KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER
- 4. ALL AREAS TO BE EXPOSED FOR MORE THAN 15 DAYS WITHOUT GRADING SHALL BE SEEDED AND MULCHED WITH TEMPORARY COVER WITHIN 7 DAYS OF GRADING. DISTURBED AREAS SHALL BE SEEDED AND MULCHED
- 5. PERMANENT SEEDING MIXTURE SHALL CONSIST OF CREEP RED FESCUE "REBEL II" 90% AND BLUEGRASS AT 10% AT THE RATE OF 8 POUNDS PER 1000 SQUARE FEET FOR ALL DISTURBED AREAS. THE DESIRED PERMANENT SEEDING PLANTING SEASON IS FALL (SEPT.1 TO OCT 15). IF SPRING SEEDING IS REQUIRED CONTRACTOR TO ADD THE HERBICIDE "TUPERSAN" OR EQUIVALENT 8 LBS/ACRE WITH PERMANENT SEEDING. ALL SEEDING INSTALLATION TO COMPLY WITH PROJECT SPECIFICATIONS AND
- 6. COVER SEEDED AREAS WITH STRAW MULCH AT THE RATE OF 125 POUNDS
- 7. THE EROSION CONTROL MEASURES SHOWN ARE THE MINIMUM ALLOWABLE AND THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING ADDITIONAL EROSION CONTROL MEASURES AS FIELD CONDITIONS AND POST STORM INSPECTIONS DICTATE. REFER TO TDEC'S EROSION AND SEDIMENT CONTROL HANDBOOK FOR ADDITIONAL INFORMATION.
- 8. EXCESS STOCKPILE MATERIAL SHALL BE SURROUNDED WITH SILT FENCE, SEEDED, AND MULCHED. THE STOCKPILE LOCATION IS TO BE APPROVED
- 9. CONTRACTOR TO INSTALL CONCRETE WASH-OUT AREA PER TDEC 7.16 OF THE EROSION AND SEDIMENT CONTROL HANDBOOK. COORDINATE LOCATION WITH OWNER OR OWNER'S REPRESENTATIVE TO MINIMIZE IMPACT TO ENVIRONMENT AND FINISHED SURFACES.

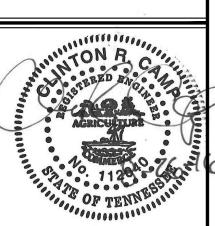




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EXPANSION GE 2

PARK SPORTS COMPLE SOFTBALL BLEACHERS - PACK PREPARED FOR: CITY OF COLUMBIA

RIDLE SUBMITTALS / REVISIONS NO. DATE DESCRIPTION CITY COMMENTS

**GRADING & EROSION** PREVENTION AND SEDIMENT CONTROL PLAN

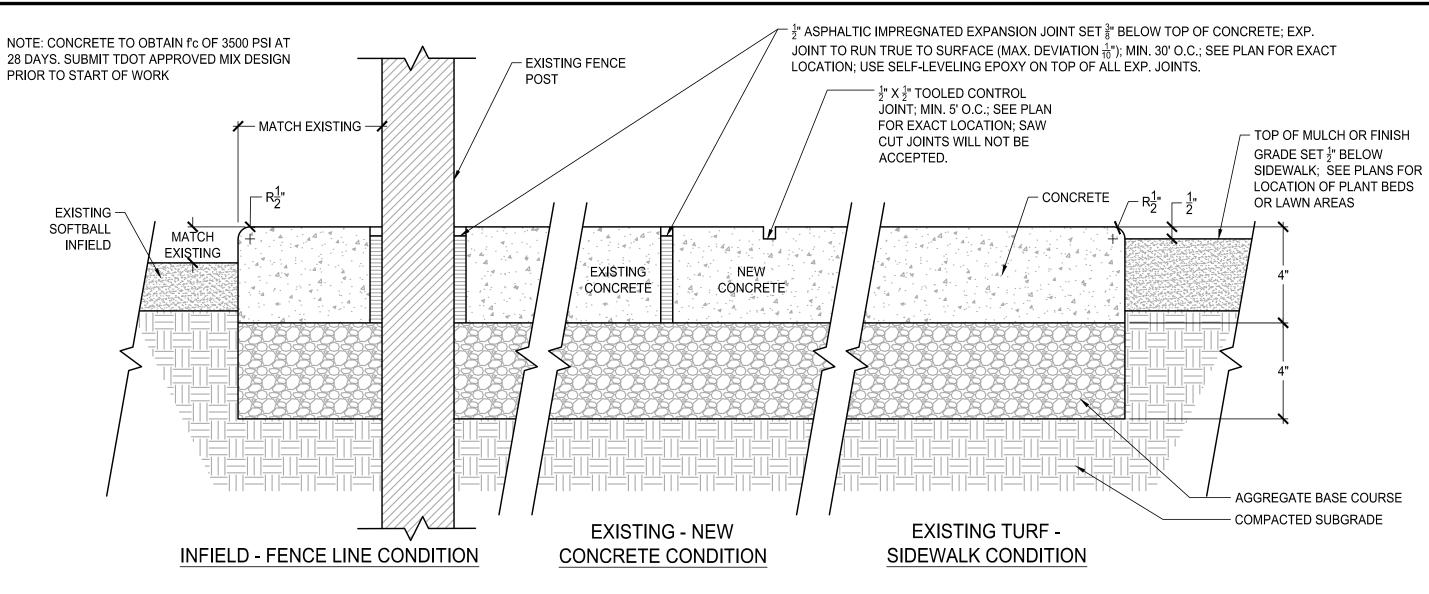
15219 08/19/2016 DRAWN BY CRC 1"=20' CHECKED BY CRC SHEET NO.

C2.01

					_ <u>N</u>		
HARDSCAPE MATERIALS TABLE							
ITEM	SPECIFICATION	REINFORCEMENT	FINISH	COLOR			
CONCRETE	TDOT CLASS A		BROOM	MATCH EXISTING	2		
AGGREGATE BASE COURSE	CLEAN #57 STONE						
COMPACTED SUBGRADE	95% STANDARD PROCTOR						

1. CONTRACTOR SHALL INSTALL ALL HARDSCAPE MATERIALS PER TDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2015 EDITION.

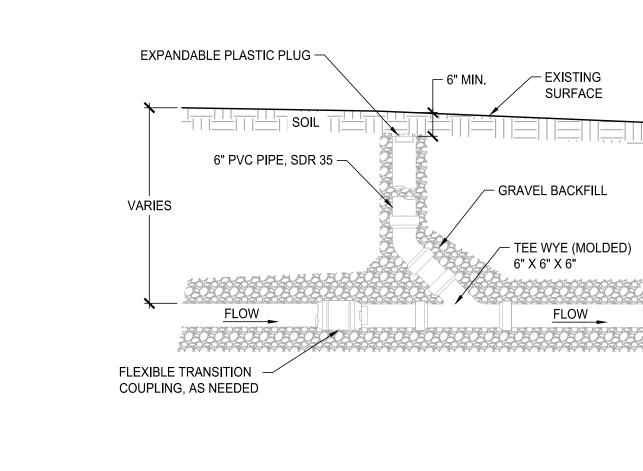
2. TABLE PROVIDED FOR REFERENCE PURPOSES ONLY. IF DISCREPANCIES EXIST BETWEEN TABLE ITEMS AND TDOT SPECIFICATIONS, CONTRACTOR SHALL NOTIFY THE PROJECT MANAGER WITHIN 24 HOURS. 3. CONCRETE TO BE 3500 PSI @ 28 DAYS.

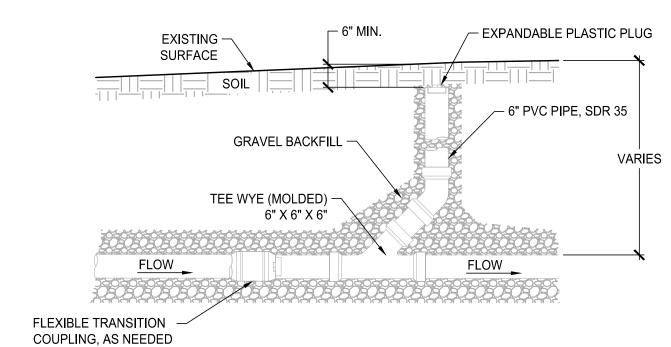




#### CONCRETE PAVEMENT (LIGHT DUTY)

SCALE: NTS





### STANDARD SEWER CLEANOUT DETAIL

#### REVERSE SEWER CLEANOUT DETAIL

EXPANSION GE 2 PARK SPORTS COMPLE SOFTBALL BLEACHERS - PACK RIDLE

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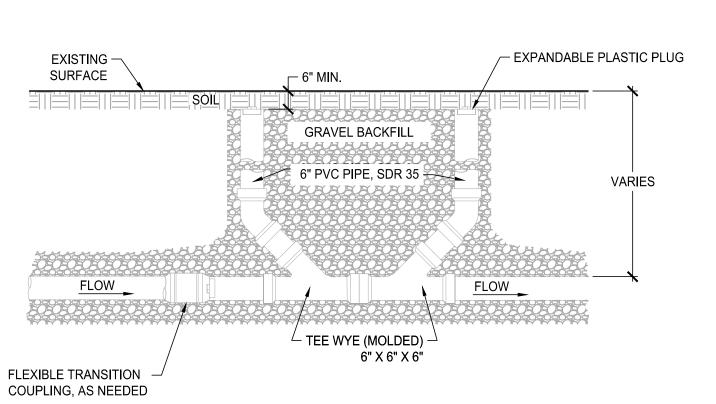
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SUBMITTALS / REVISIONS								
NO.	DATE	DESCRIPTION						
1	8/26/16	CITY COMMENTS						
	·							
	·							

SITE DETAILS

	DATE
15219	08/19/2016
DRAWN BY	SCALE
AMG	AS SHOWN
CHECKED BY	
CLC	
SHEET NO.	

C4.00



HARDSCAPE MATERIALS TABLE

OF WORK

← 3", TYP. 🖈

**CONCRETE PAVEMENT (HEAVY DUTY)** 

TOP OF MULCH OR FINISHED -

SEE PLANS FOR LOCATION OF

PLANT BEDS OR LAWN AREAS

GRADE SET <sup>1</sup>/<sub>2</sub>" BELOW SIDEWALK;

SCALE: NTS

NOTE: CONCRETE TO OBTAIN f'c OF 3500 PSI AT 28 DAYS.

SUBMIT TDOT APPROVED MIX DESIGN PRIOR TO START

 $-\frac{1}{2}$ " ASPHALTIC IMPREGNATED EXPANSION

JOINT TO RUN TRUE TO SURFACE (MAX.

EPOXY ON TOP OF ALL EXP. JOINTS.

DEVIATION  $\frac{1}{10}$ "); APPROX. 30' O.C.; SEE PLAN

FOR EXACT LOCATION; USE SELF-LEVELING

JOINT SET  $\frac{3}{8}$ " BELOW TOP OF CONCRETE; EXP.

DOUBLE SEWER CLEANOUT DETAIL

ALL SLEEVES TO EXTEND 2' BEYOND BACK OF CURB ON EACH END.

• ALL SLEEVES UNDER SIDEWALKS SHALL BE SCH 40 PVC OR STRONGER. SLEEVES UNDER DRIVEWAYS,

 $\sqrt{\frac{1}{2}}$ " X  $\frac{1}{2}$ " TOOLED CONTROL JOINT; APPROX.

SAW CUT JOINTS WILL NOT BE

ACCEPTED.

5' O.C.; SEE PLAN FOR EXACT LOCATION;

- CONCRETE

- 6X6 W2.9 X W2.9 WELDED WIRE

FABRIC (WWF), HOLD 3" CLR

- AGGREGATE BASE COURSE

- COMPACTED SUBGRADE

ROADWAYS OR PAVED PARKING SHALL BE SCH 80 PVC.

• SLEEVES SHALL BE INSTALLED UNDER ALL PROPOSED PAVEMENT AREAS.

 STUB UP SLEEVE PIPE ABOVE GROUND SURFACE AND CAP. NO 90° OR 45° COUPLINGS TO BE USED ON SLEEVES.

 SLEEVES MUST BE STRAIGHT TO ALLOW PIPE TO BE INSERTED BY IRRIGATION CONTRACTOR CONTRACTOR SHALL LOCATE SLEEVES AS NECESSARY TO ACCOMMODATE EXISTING VEGETATION,

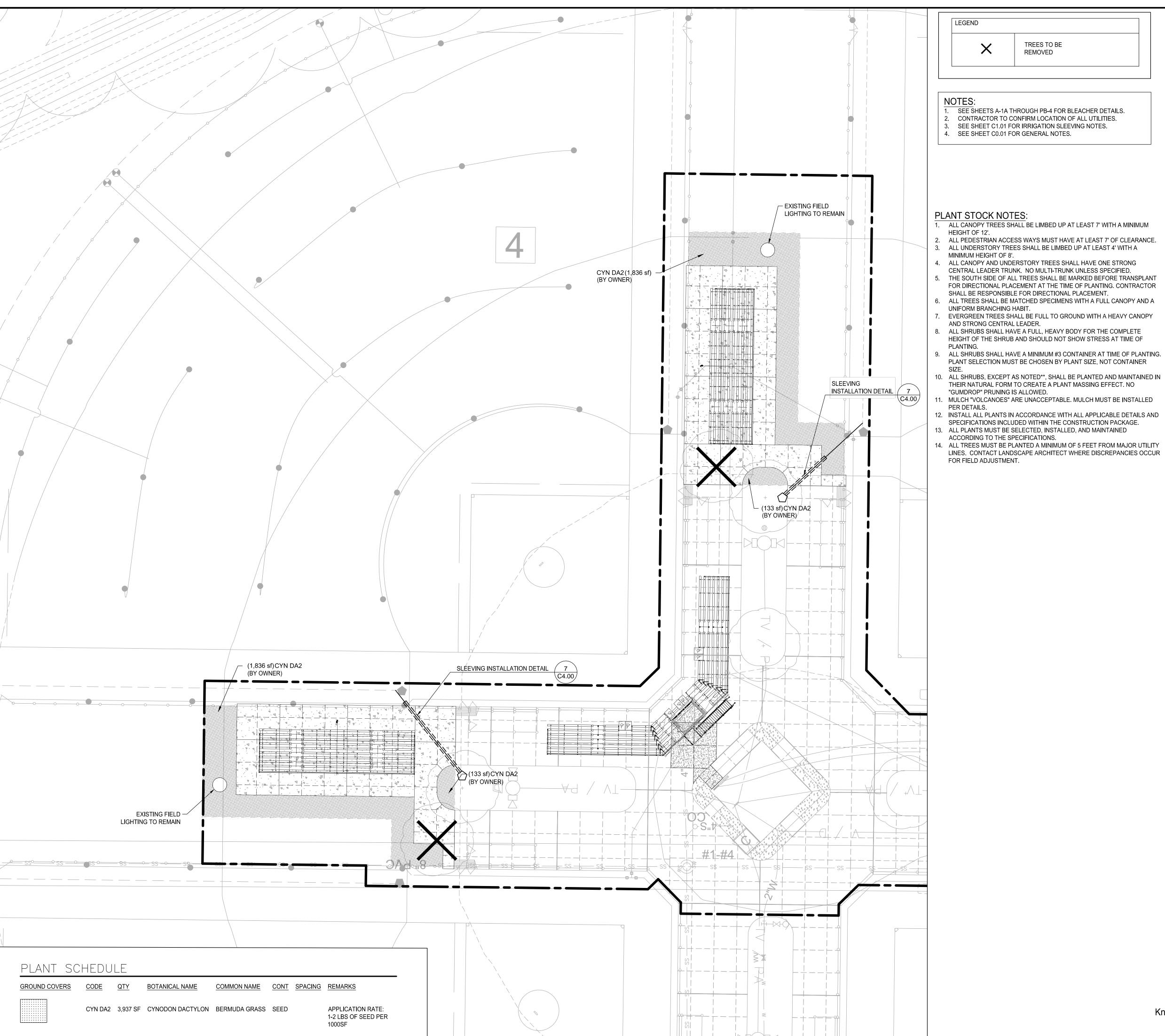
UTILITIES, OR OTHER EXISTING CONDITIONS. IF ROAD CROSSINGS ARE DESIGNATED AS BEING BORE LOCATIONS, THE BORE MUST BE AMPLE SIZE TO

ACCOMMODATE THE SIZE SLEEVE SPECIFIED.

SLEEVES NOT INSTALLED AT PROPER DEPTH WILL BE REINSTALLED TO CONFORM TO DETAIL.

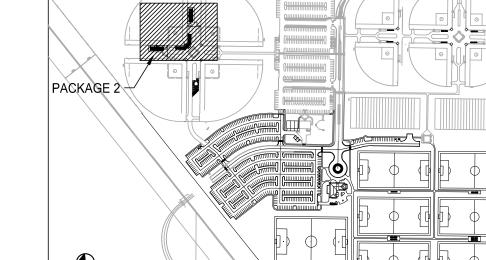
PAINT TOP 6" OF SLEEVE PIPE W/ FLUORESCENT ORANGE PAINT FOR EASY IDENTIFICATION WRAP END OF 16 GUAGE PULL WIRE THROUGH SLEEVE - CONCRETE CURB AND GUTTER - PAVEMENT PLANTING MIX OR TOPSOIL — BACKFILL CONTRACTOR TO VERIFY TAPE OVER END OF SLEEVE INTEGRITY PRIOR SLEEVE W/ DUCT TAPE TO FINAL PAVING.

SLEEVING INSTALLATION DETAIL



TREES TO BE REMOVED

- SEE SHEETS A-1A THROUGH PB-4 FOR BLEACHER DETAILS. 2. CONTRACTOR TO CONFIRM LOCATION OF ALL UTILITIES.
- SEE SHEET C1.01 FOR IRRIGATION SLEEVING NOTES.



#### **GENERAL NOTES:**

1. UNDERGROUND UTILITIES:

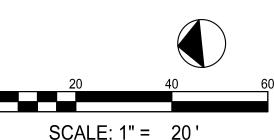
KEY MAP SCALE: 1"=500'

- 1.1. UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED BY THE OWNER, LANDSCAPE ARCHITECT, OR THEIR REPRESENTATIVES. BEFORE YOU DIG, CALL TENNESSEE ONE CALL SYSTEM--1-800-351-1111.
- THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES TO REMAIN.
- THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS TO INSURE THAT THE NEW WORK SHALL FIT INTO THE EXISTING SITE IN THE MANNER INTENDED AND AS SHOWN ON THE DRAWINGS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO PERFORMING ANY WORK IN THE AREA INVOLVING DIFFERENCES. NOTIFICATION SHALL BE IN THE FORM OF A DRAWING OR SKETCH INDICATION FIELD MEASUREMENTS AND NOTES RELATING TO THE AREA.

#### LANDSCAPE NOTES:

- PLANTING BEDS AND PLANT LOCATIONS SHALL BE STAKED BY THE LANDSCAPE CONTRACTOR. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER OR THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION OF THE PLANTS.
- PLANTING BEDS SHALL BE CLEARED OF ALL GRASS AND WEEDS PRIOR TO INSTALLATION OF PLANTS, INCLUDING SPRAYING "ROUND-UP" OR APPROVED SUBSTITUTE TO KILL ACTIVELY GROWING PLANTS. PLANT BEDS SHALL BE PREPARED AS CALLED FOR IN THE SPECIFICATIONS AND
- ALL OTHER DISTURBED AREAS ARE TO BE SEEDED OR SODDED AS PER THE PLANS. ADDITIONAL SEEDING OR SODDING, IF REQUIRED, WILL BE AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE. SEE EROSION CONTROL SHEET FOR SEEDING. 4. PLANTING BEDS SHALL HAVE A THREE (3) INCH SHREDDED HARDWOOD
- BARK MULCH OVER THE ENTIRE BED, UNLESS OTHERWISE NOTED ON THE 5. PRIOR TO PLANTING, ALL PLANTED AREAS SHALL BE TREATED WITH A
- WATER-SOLUBLE HERBICIDE FOR THE NON-SELECTIVE CONTROL OF ANNUAL AND PERENNIAL WEEDS PRIOR TO PLANTING.
- 6. ALL TREE AND SHRUB PLANTING PITS SHALL BE BACKFILLED WITH A PLANTING SOIL MIXTURE OF ONE (1) PART ORIGINAL SOIL AND ONE (1) PART TOPSOIL, THOROUGHLY MIXED. SAMPLE OF MIXTURE TO BE APPROVED IN WRITING BY OWNER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- 7. PLANT GROUNDCOVER & ANNUAL BEDS IN SAME MIXTURE AS SHRUBS.
- AFTER PLANTING & MULCHING, WATER AREAS TO POINT OF SATURATION. 8. ALL PLANTED AREAS ARE TO BE FERTILIZED WITH GRANULAR FERTILIZER. LANDSCAPE CONTRACTOR IS TO PROVIDE SOIL TEST RESULTS AND PROPOSED FERTILIZER APPLICATION RATES TO THE OWNER OR OWNER'S REPRESENTATIVE FOR APPROVAL.
- 9. ALL PLANT MATERIAL IS TO BE NURSERY GROWN AND TO COMPLY WITH AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60. 1-2004) OR LATEST EDITION. PLANTS NOT IN COMPLIANCE WILL BE REJECTED AND REPLACED WITH PLANTS THAT MEET THE STANDARDS.
- 10. SPRAY TREES AND SHRUBS WITH AN ANTI-DESICCANT IF FOLIAGE IS
- 11. EVERGREEN TREES AND SHRUBS SHALL BE PLANTED IN THE SAME MANNER AS DECIDUOUS MATERIAL IS PLANTED.
- 12. DO NOT PRUNE ANY PLANT MATERIAL UNTIL IT HAS BEEN INSPECTED AND ACCEPTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- 13. ALL LANDSCAPE MATERIAL SHALL BE APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE BEFORE INSTALLATION. MATERIALS MAY BE VIEWED AT LANDSCAPE CONTRACTOR'S HOLDING SITE OR AT THIS SITE. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE OF THE AVAILABILITY OF THE MATERIALS TO BE INSPECTED.
- 14. ALL MATERIALS INSPECTED ON THE SITE AND FOUND TO BE UNACCEPTABLE SHALL BE REMOVED FROM THE SITE ON THE DAY OF INSPECTION.
- 15. FIELD CHANGES MUST BE APPROVED IN WRITING BY THE OWNER OR OWNER'S REPRESENTATIVE.
- 16. EXISTING PLANT MATERIAL IS TO BE EVALUATED BY THE LANDSCAPE ARCHITECT FOR POSSIBLE RELOCATION ON SITE. THE LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT FORTY-EIGHT (48) HOURS BEFORE BEGINNING WORK.
- 17. ALL PLANT MATERIAL SHALL BE SUPPLIED BY APPROPRIATE SOURCES TO PREVENT UNDUE STRESS OR PROLONGED ACCLIMATIZATION WHICH WOULD INHIBIT PLANT GROWTH.
- 18. LANDSCAPE CONTRACTOR IS TO VERIFY PLANT QUANTITIES SHOWN ON PLAN AND IN PLANT LIST. IF DISCREPANCIES OCCUR, LANDSCAPE CONTRACTOR IS TO CONTACT LANDSCAPE ARCHITECT IMMEDIATELY.
- QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE. 19. EVERGREEN TREES TO BE A MINIMUM OF 6' IN HEIGHT AT TIME OF PLANTING - DECIDUOUS TREES TO BE 2" DBH MIN AT TIME OF PLANTING. SEE PLANT LIST FOR LARGER MATERIAL REQUIRED.
- 20. MULTI-TRUNK PLANT MATERIAL SHALL BE ONE PLANT GROWN FROM SINGLE SEEDLING. NO CLUMP MULTI-PLANT STOCK WILL BE ACCEPTED.
- 21. IF IN THE OPINION OF THE LANDSCAPE ARCHITECT, THE CENTRAL LEADER OF ANY TREE HAS BEEN CUT IN THE HISTORY OF THE PLANT'S GROWTH, THE MATERIAL SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER. THE DECISION OF THE LANDSCAPE ARCHITECT WILL BE FINAL.





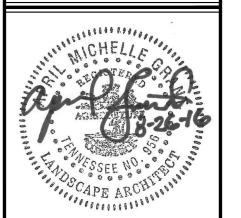
SCALE: 1" = 20'

LOBE & ASSOCIATES, INC. 1314 5th Avenue North, Suite 200 Nashville, Tennessee 37208 (615) 242-0040

220 West Crogan Street, Suite 100 (770) 338-0017

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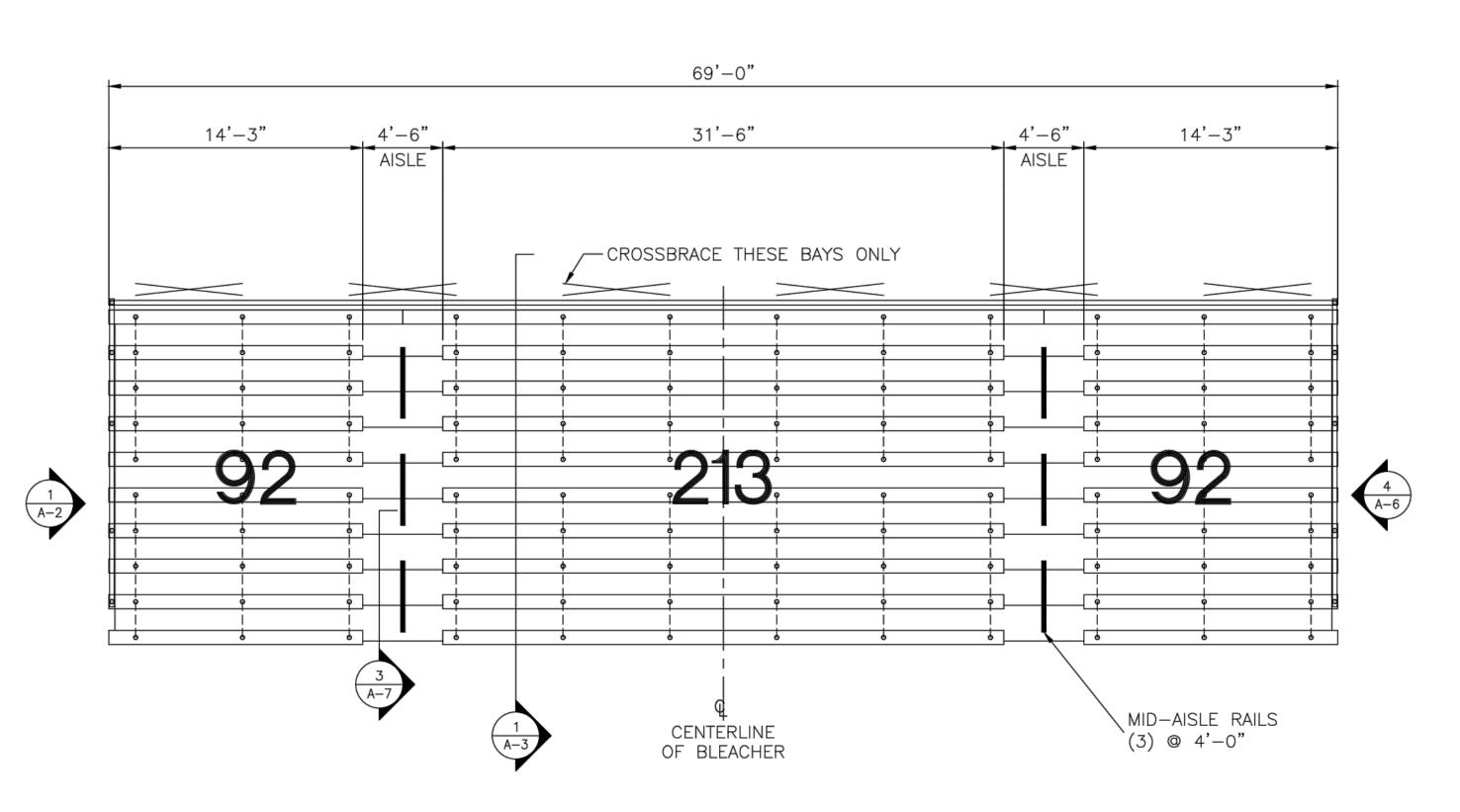
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RD UBMITTALS / REVISIONS IO. DATE DESCRIPTION CITY COMMENTS

LANDSCAPE PLAN, **NOTES & SCHEDULE** 

15219 08/19/2016 RAWN BY AMG CHECKED BY CLC SHEET NO.



# SEATING PLAN 3/16"=1'-0"

10 ROWS, 0" ELEVATION

8 /24 RISE/RUN

DECK SYSTEM — CLOSED/SEMI—CLOSED DECK

BENCH SEATING CAPACITY 397

CHAIR SEATING CAPACITY 0

WHEELCHAIR SEATING CAPACITY 0

COMPANION SEATING CAPACITY 0

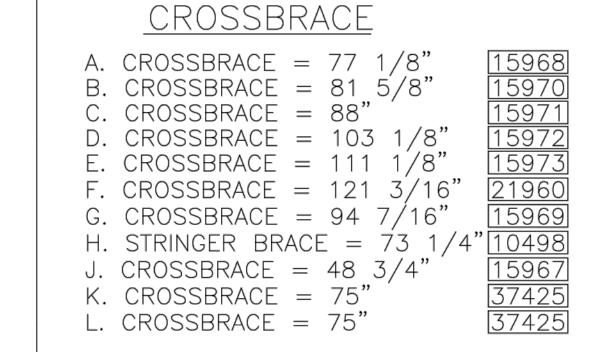
TOTAL SEATING CAPACITY 397

#### NOTES:

- SHEET PROVIDED FOR BIDDING ONLY. SEAL ARCHITECTURAL AND ENGINEERING DRAWING TO BE PROVIDED AS PART OF SHOP DRAWING
- CONTRACTOR TO OBTAIN BUILDING PERMIT FROM THE CITY OF COLUMBIA.
   BLEACHERS AND PRESSBOX TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.

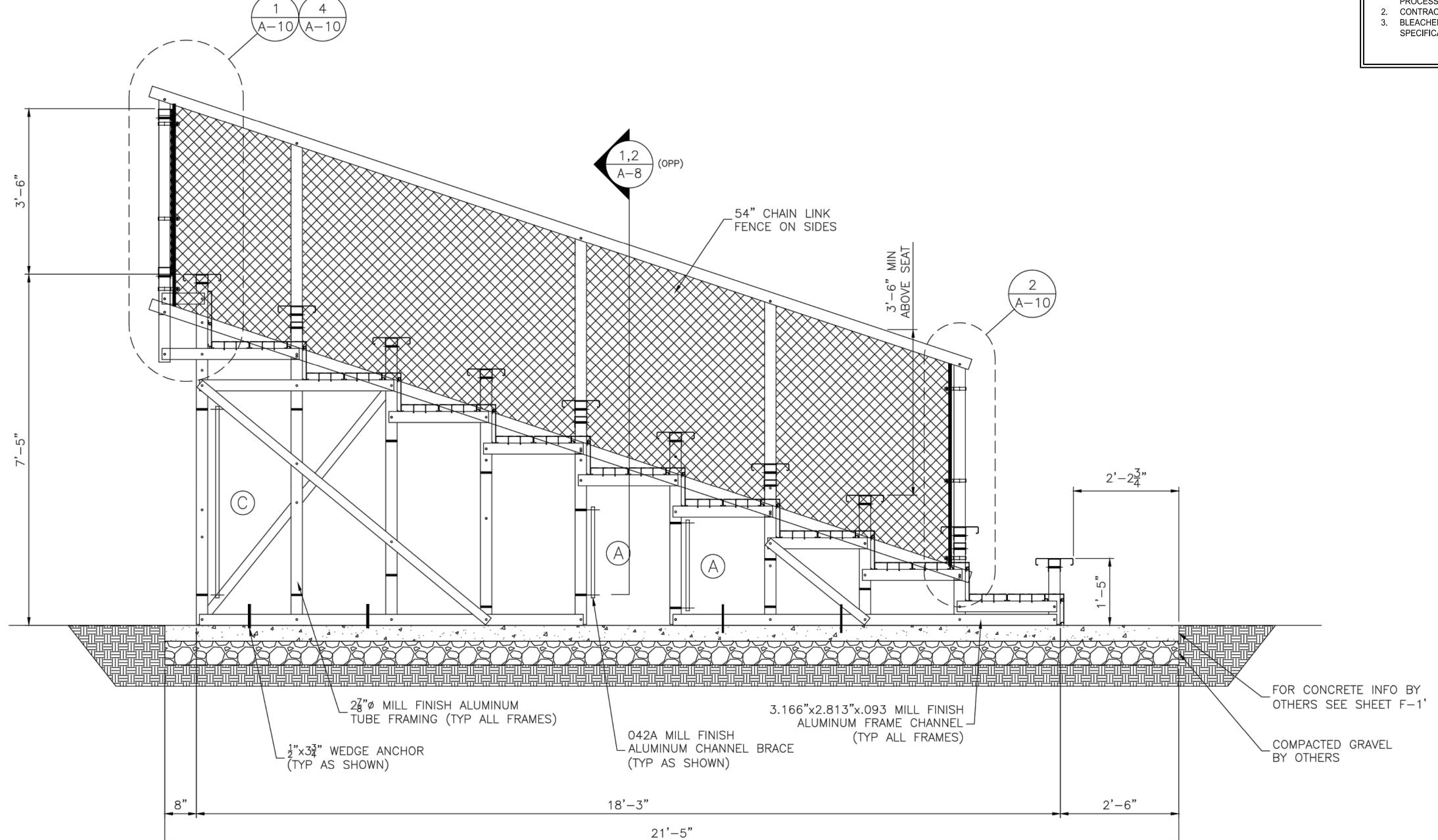
SPP 10RNE69CD STANDARD SHEET NUMBER A-1A

PART NUMBER



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   BLEACHERS AND PRESSBOX TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.



1 END ELEVATION

3/4"=1'-0"

SHEET NUMBER

A-2A

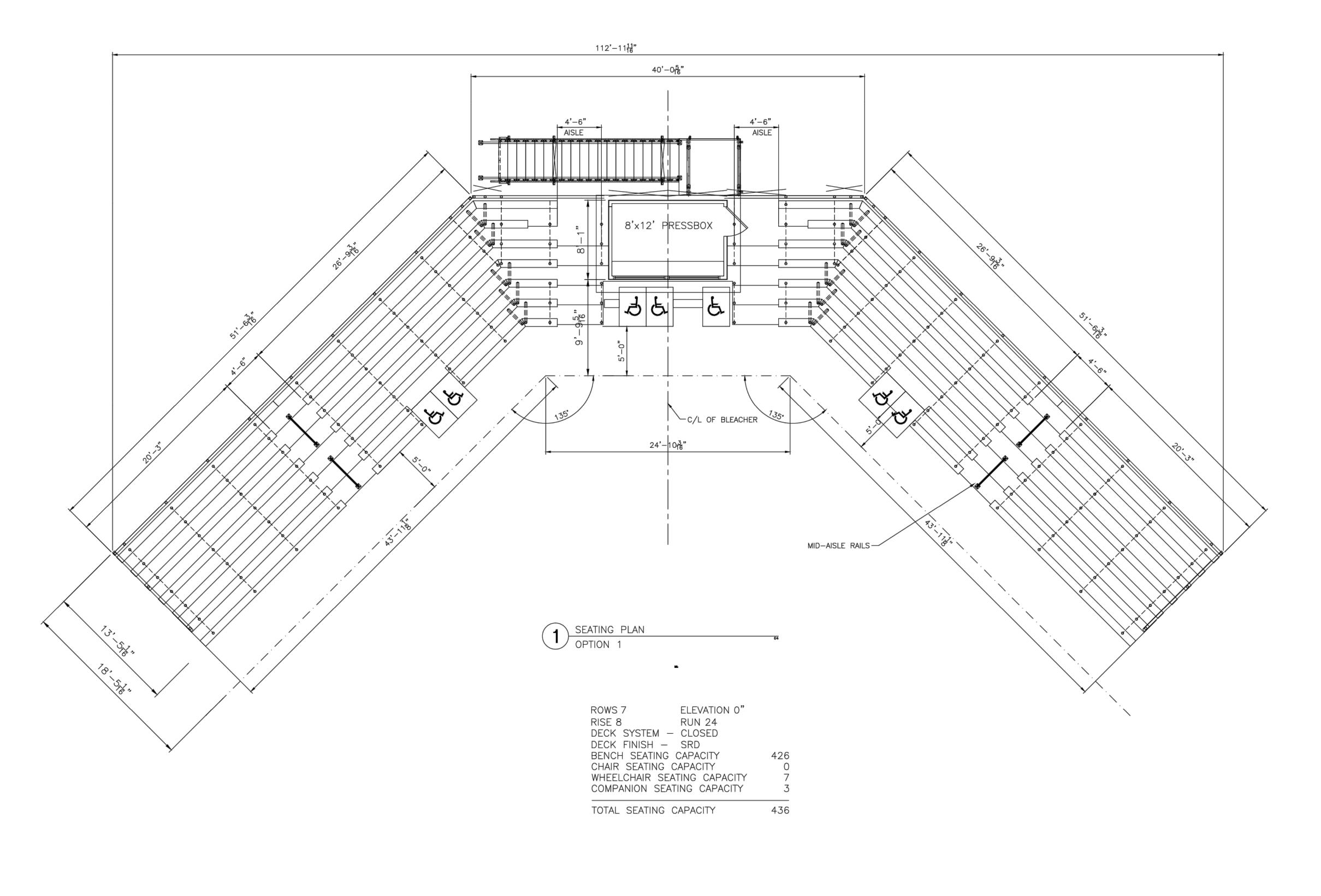
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0156593

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STANDARD

NO N



- 1. SHEET PROVIDED FOR BIDDING ONLY. SEAL ARCHITECTURAL AND ENGINEERING DRAWING TO BE PROVIDED AS PART OF SHOP DRAWING
- 2. CONTRACTOR TO OBTAIN BUILDING PERMIT FROM THE CITY OF COLUMBIA. 3. BLEACHERS AND PRESSBOX TO BE INSTALLED PER MANUFACTURERS
- SPECIFICATIONS.

DESIGN NOTES:

DESIGNED SEATING LAYOUT IS DANT-CLAYTON'S INTERPRETATION OF THE EGRESS FACTORS AND ACCESSIBILITY REQUIREMENTS PRESCRIBED IN THE 2012 INTERNATIONAL BUILDING CODE (IBC) FOR OUTDOOR, OPEN-AIR, SMOKE-PROTECTED ASSEMBLY SEATING WITH NON-COMBUSTIBLE CONSTRUCTION.

USE GROUP A-5, CONSTRUCTION TYPE IIB.

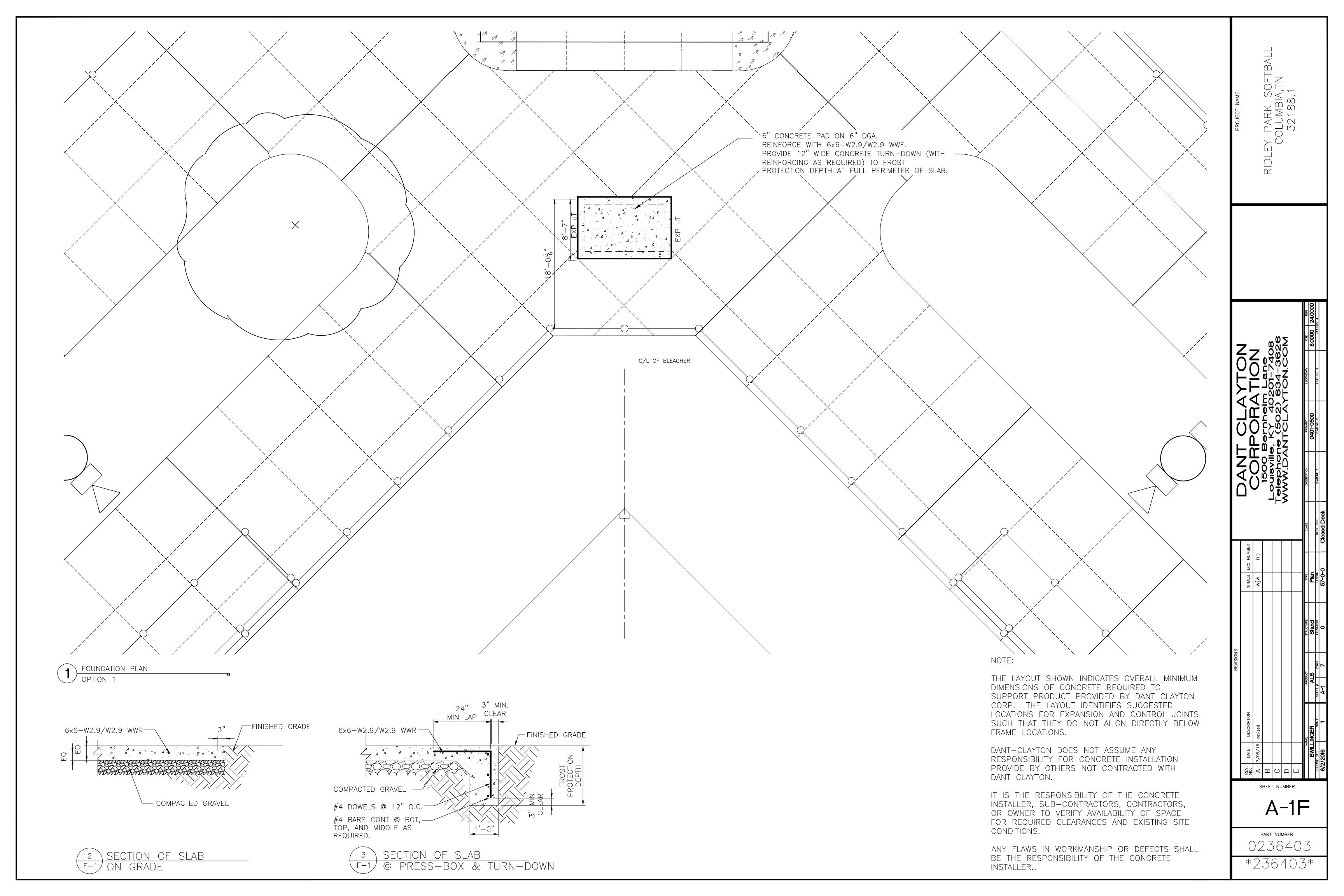
IT IS THE CUSTOMER'S RESPONSIBILITY TO VERIFY THAT THESE DRAWINGS SATISFY LOCAL AND FEDERAL REGULATIONS. IT IS RECOMMENDED THAT THESE DRAWINGS BE REVIEWED AND APPROVED BY THE LOCAL AUTHORITIES HAVING JURISDICTION PRIOR TO FINAL DESIGN. REVISIONS MAY RESULT IN CONTRACT CHANGE.

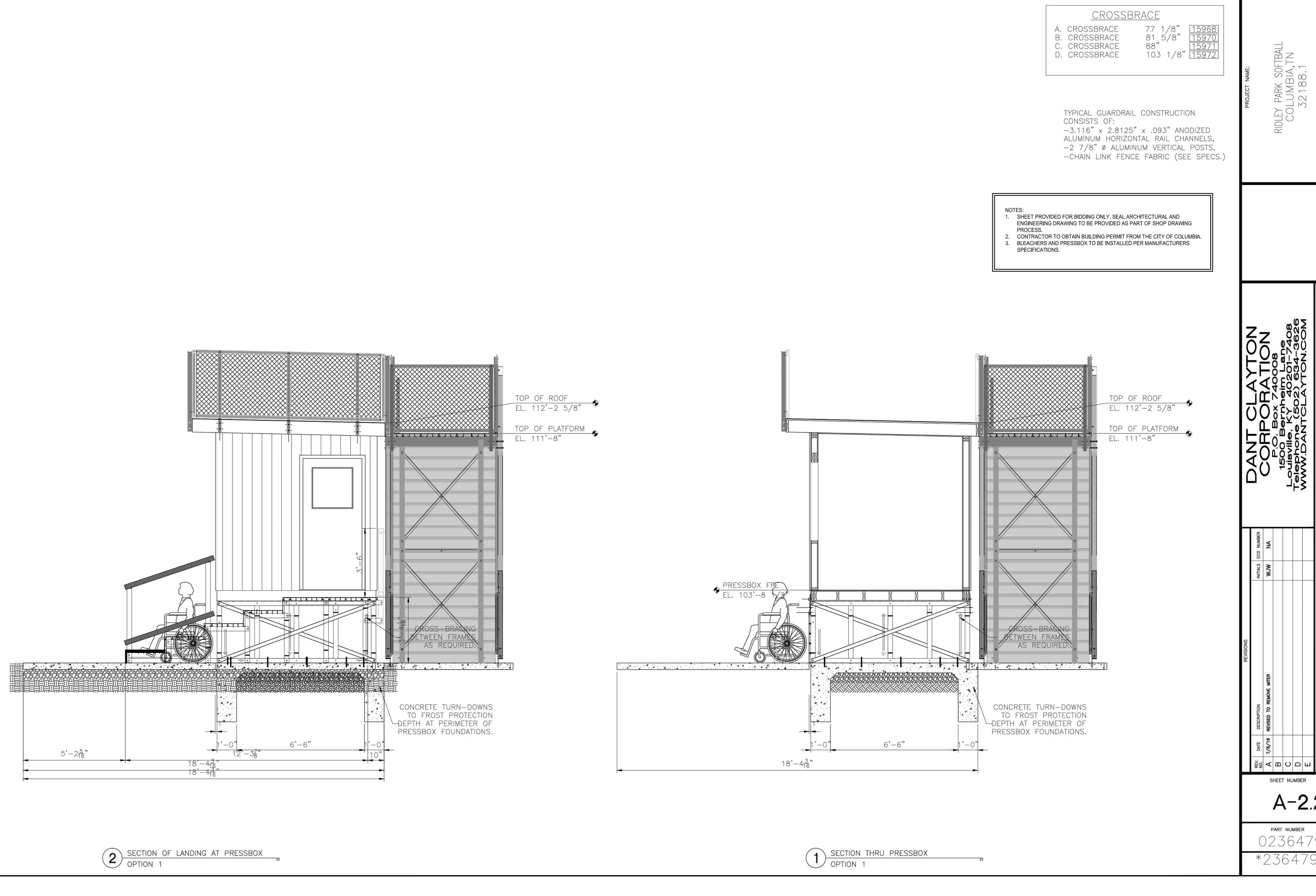
THIS DRAWING IS FOR PROPOSAL AND PRELIMINARY PURPOSES ONLY. "NOT FOR CONSTRUCTION".

PROJECT NAME:			RIDLEY PARK SOFTBALL	NT AIMMILION		72.00.1				
_	7_		Q	26	Σ		RISE RUN	8.0000 24.0000	FEATURE 4	
			Lane	634-362	10N.00		SECONDARY		FEATURE 3	
7	על טנט טנט	フェアフェダ	1500 Bernheim Lane	(502)	YA JOTA		PRIMARY	0401-0500	FEATURE 2	
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REVISIONS							PRODUCT	ALS	SHEET # ROWS	A-1 7
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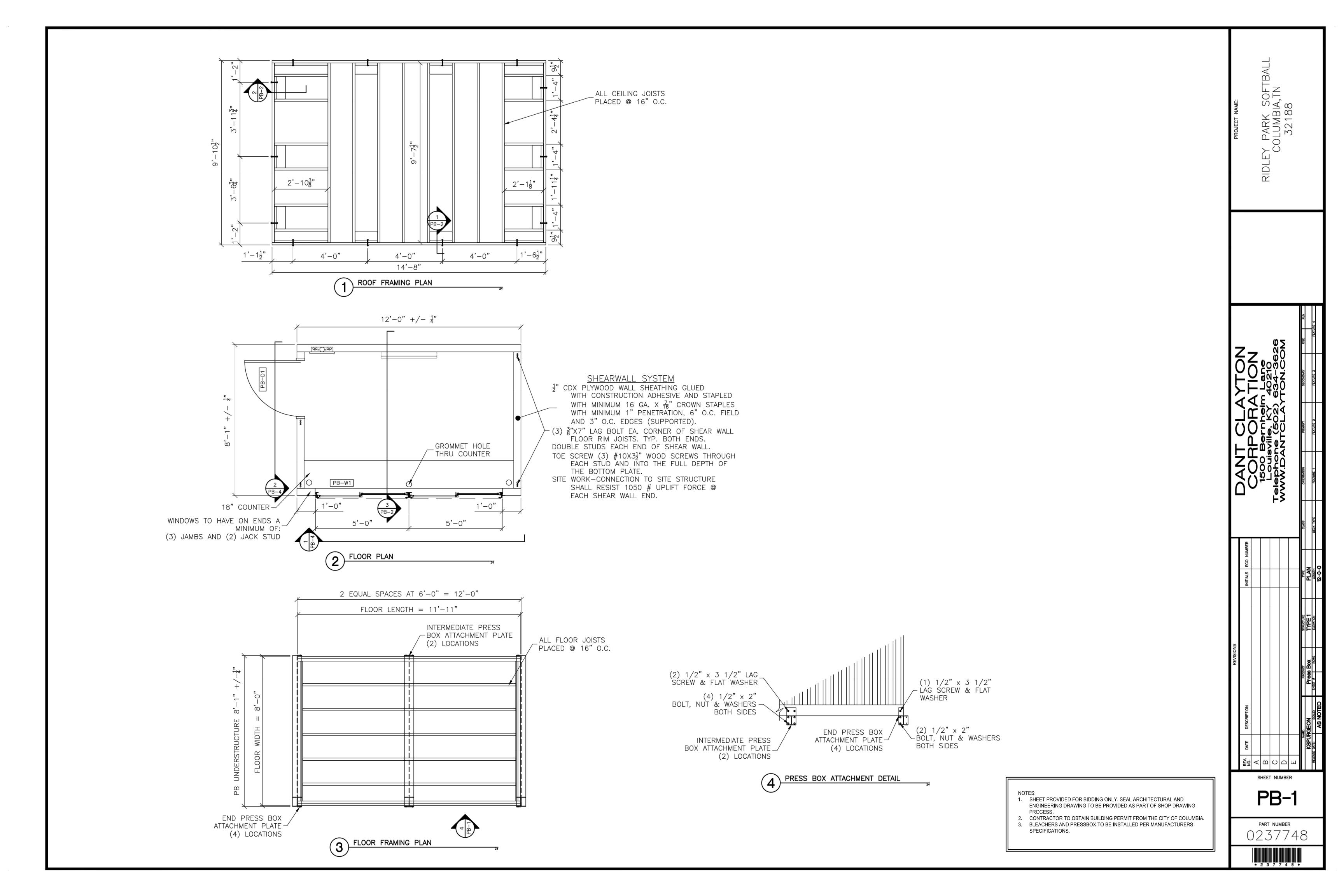
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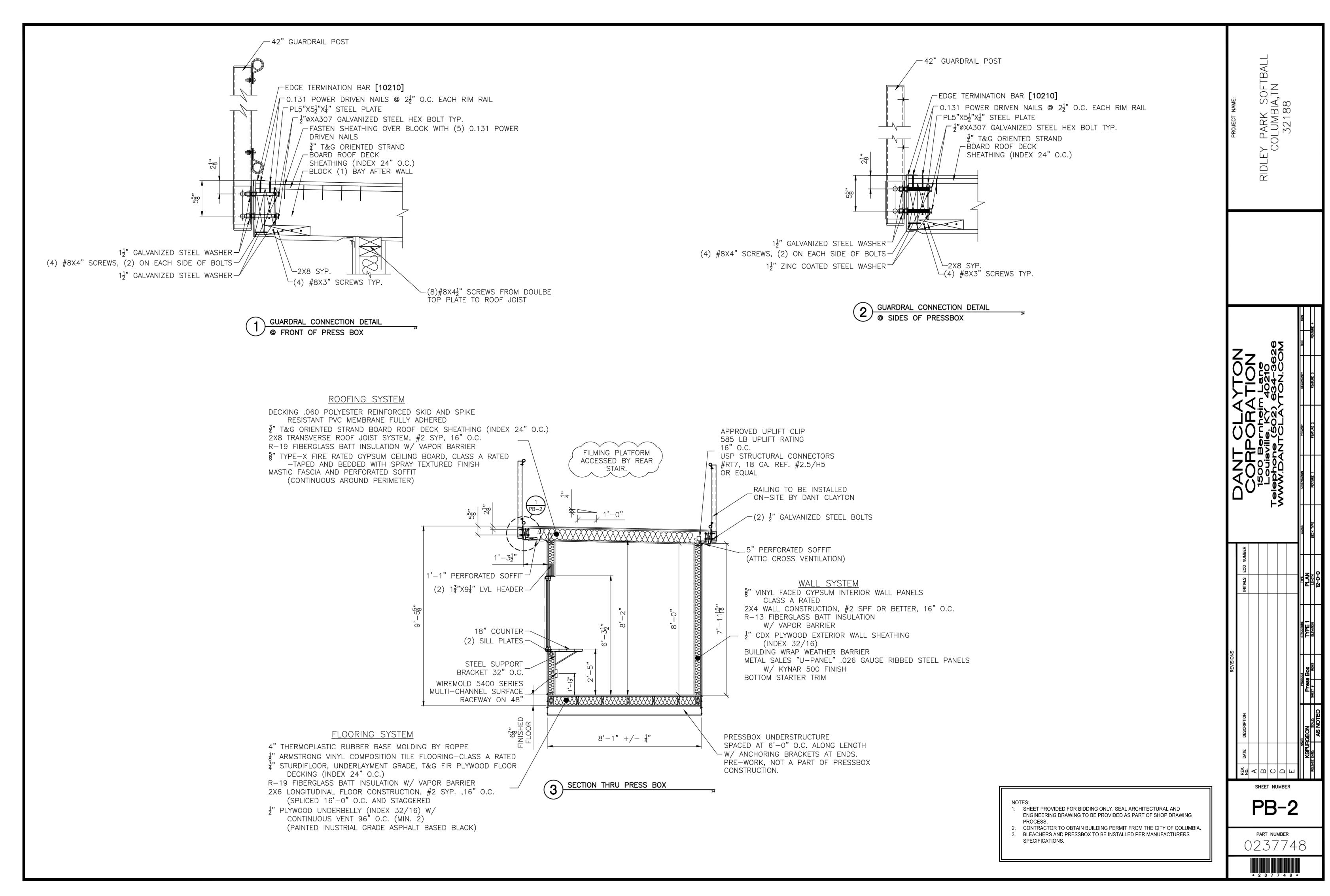




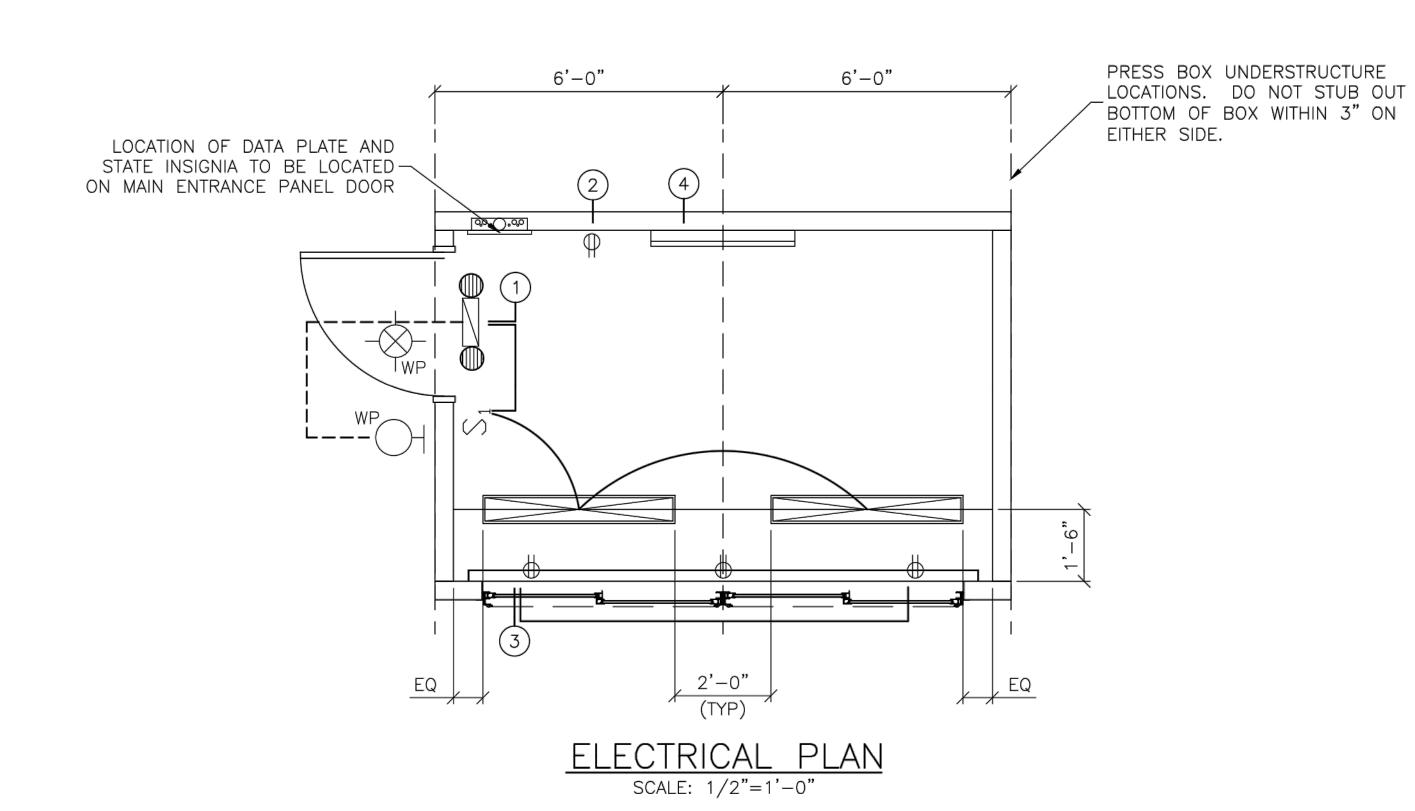
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PART NUMBER 0236479





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- CONTRACTOR TO OBTAIN BUILDING PERMIT FROM THE CITY OF COLUMBIA. BLEACHERS AND PRESSBOX TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.

RIDLEY PARK SOFTBALL COLUMBIA,TN 32188

NOTES:

1) THE UTILITY METER BASE & FEEDER SYSTEM TO BE PROVIDED BY OTHERS ON SITE, UNDER THE AUTHORITY OF THE LOCAL JURISDICTIONS.

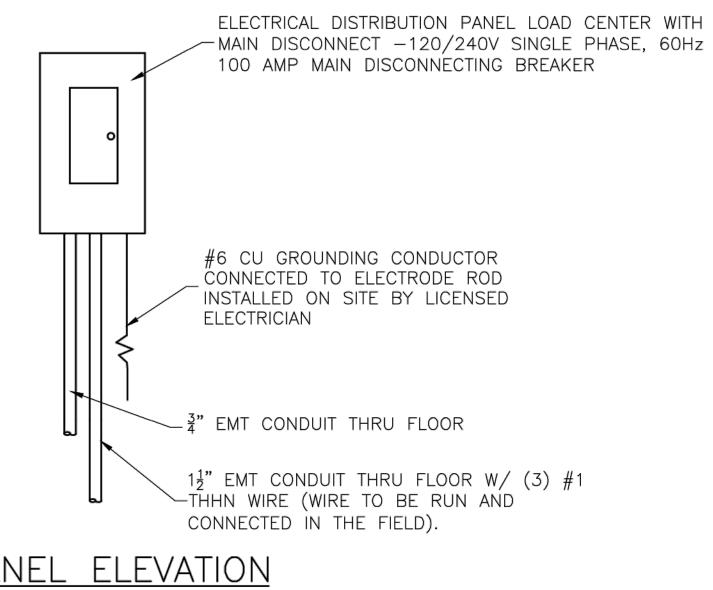
ELECTRICAL STUBS TO BE COORDINATED WITH

ARCHITECT/OWNER PRIOR TO INSTALLATION.

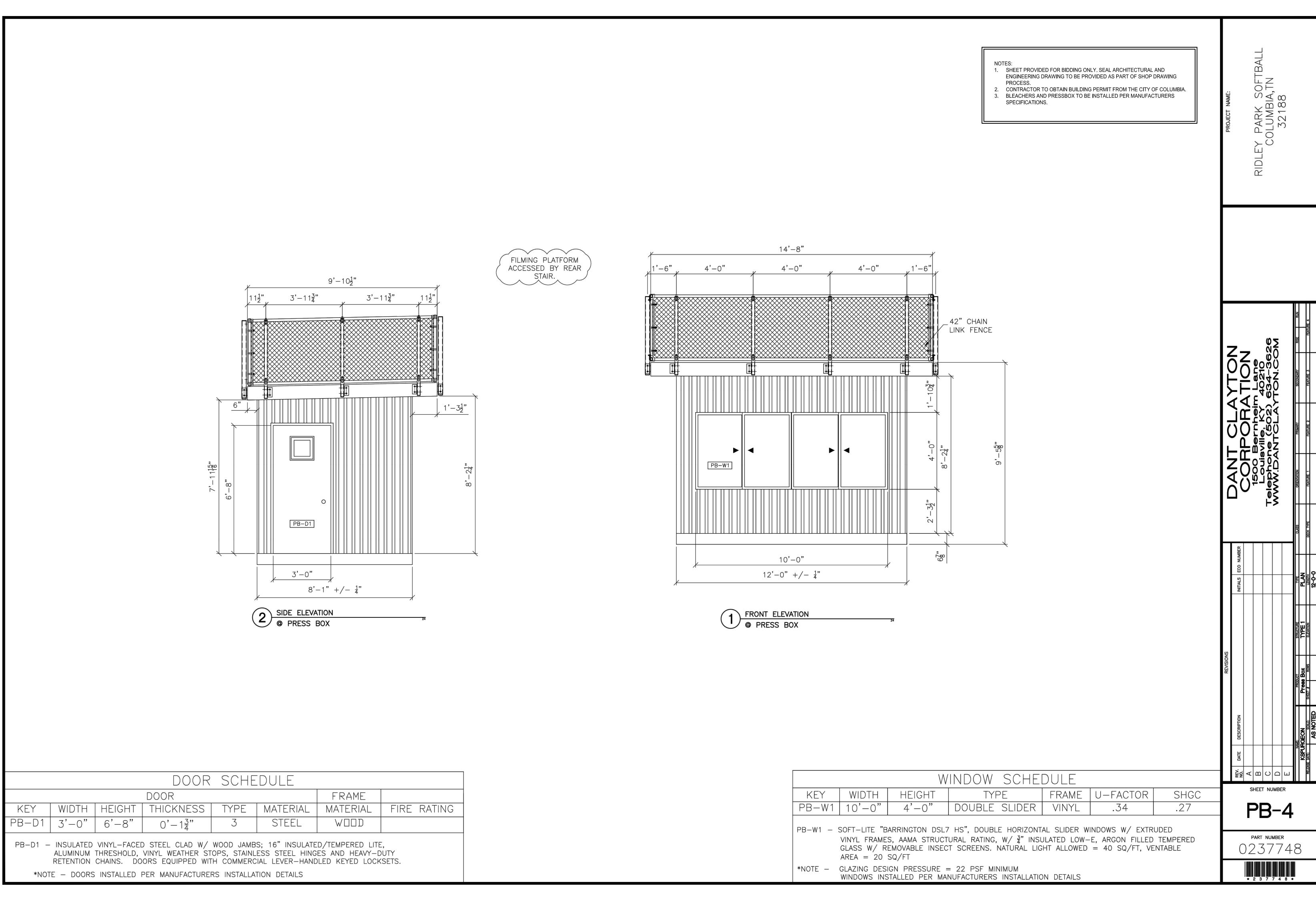
- 2) CONNECTION OF ELECTRICAL SERVICE TO BE PERFORMED BY A LICENSED ELECTRICIAN. (BY OTHERS)
- 3) ALL NUMBERS ON ELECTRICAL CIRCUITS DESIGNATE FEED SIDE OF CIRCUIT.
- 4) ALL BRANCH CIRCUIT WIRING TO BE ENCASED IN THIN WALL EMT CONDUIT-MIN 12 THHN WIRE

	No	AMP	VOLT	WIRE	DESCRIPTION	WATTS
	1	20	120	12 THHN	GENERAL LIGHTING	420
ŀ	2	20	120	12 THHN	GENERAL RECEPTS	180
Ì	3	20	120	12 THHN	PLUG STRIPS	1,440
	4	20	240	12 THHN	BASEBOARD HEATER	1,000
						3,040

12 AMPS @ 240 VOLTS



SYMBOL	DESCRIPTION	L			CLASS
	LITHONIA #M-232-PC1S-120-GEB (2) 4' TUBE FLUORESCENT LIGHT WITH PARABOLIC DIFFUSERS (30 WATT)		ALS ECO NUMBER		TYPE TAN
<u>[∞, (), ∞</u> ]	ELECTRICAL DISTRIBUTION LOAD CENTER W/ MAIN DISCONNECT-120/240V.  SINGLE PHASE, 100 AMP CAPACITY, SQ. 'D' #Q0124M100  W/ (1) 1 1/2" CONDUIT THRU FLOOR100 AMP CAPACITY  W/ (1) 3/4" CONDUIT THRU FLOOR		LINI		
$S_1$	PASS & SEYMOUR #870 SPEC. GRADE, GROUNDING TYPE, SWITCH				STRUCTUE
	LITHONIA #ECR SW3R120 EMERGENCY COMBINATION EXIT/FLOOD LIGHT W/ MINIMUM 90 MIN. BATTERY BACK-UP (WALL MOUNT)	REVISIONS			RODUCT
Φ	PASS & SEYMOUR CR20 SPEC. GRADE, GROUNDING TYPE, RECEPT GFI WHERE NOTED UP 18" UNLESS NOTED OTHERWISE		NOIT		
	WIREMOLD #5400 SERIES ELECTRIC PLUG STRIPS W/ RECEPTS AND COMMUNICATION JACK COVERS 48" O.C. AND (1) 3/4" CONDUIT THRU FLOOR AT EACH END (2) TOTAL—UP 14"		DATE DESCRIPTION		NAME:
-WP	180-DEGREE WHITE OUTDOOR LED MOTION SECURITY LIGHT W/ DUSK TO DAWN SENSOR #DFI-5982-WH WALL MOUNTED ABOVE THE CENTER OF THE DOOR.	SHEET NUMBER		SHEET NUMBER	
H WP	LITHONIA #ELAN-NX-0806 REMOTE EMERGENCY LIGHT HEAD			PB-	
	HVAC - Zoneline #AZ64H09D 3.4 KW electric wall mount heat pump unit.		0237748		
	1.17.10 Londino // Lo il 1005 ol i 1017 diodilo Wali Modife Node pamp anie.			* 2 3 7 7 4	4 8 *



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