

Addendum #1

Ridley Park Sports Complex Expansion – Softball Bleacher Package 2
Columbia, Tennessee
Lose# 15219

NARRATIVE:

This addendum includes clarification of material requirements in Part 1, Products of the specifications as well as revised plans and engineering comments / responses dated August 26th, 2016.

Failure to acknowledge this addendum in the Bid Form may result in Bid being deemed non-responsive.

Where any original item is amended, voided or superseded hereby, the provision of such item not so specifically amended, voided or superseded shall remain in effect.

CLARIFICATION:

1. See the attached revised plans and response letter to engineering and codes comments.
2. Part 1 Products, subsection 2.02 Materials , A.8. states, “Welded understructure of any kind will not be accepted.” Omit item A.8 in this section.
3. If welds are used, the bleacher must use a minimum 4” x 4” aluminum angle as specified in Part 1 Products, Section 2.02 Materials, Item A.2. or provide documentation that materials used have equivalent structural values from a structural engineer licensed in Tennessee.
4. Item 6. TIME IS OF THE ESSENCE: Revise this sentence: “It is expected that work be completed on this project by February 6th, 2017 after the NOTICE TO PROCEED is issued (October 17th, 2016.)”

NOTE: Receipt of this addendum should be acknowledged on the bid form.

END OF ADDENDUM

Member

American Society of
Landscape Architects

American Institute of
Architects

American Society of
Civil Engineers

American Planning
Association

August 26, 2016

Glenn Harper, P.E.
City Engineer
City of Columbia
700 North Garden Street
Columbia, TN 38401

Dear Mr. Harper:

Enclosed you will find our final construction plans for the Ridley Park Sports Complex Expansion Softball Bleacher – Package 2. Below you will find our response to Engineering and Codes comments to this set:

GENERAL:

1. Upon review of the site, Engineering confirmed there is no fire hydrant in the island west of the current restroom / concession building. Note mentioning that if any unknown utilities are encountered, the contractor must contact the owner or engineer upon finding them.

Sheet C0.01, General Notes, note 10 states "ALL DIMENSIONS, GRADES, AND UTILITY LOCATIONS SHOWN ON THESE PLANS WERE BASED ON SITE SURVEY PROVIDED BY OTHERS. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY CONSTRUCTION / PROJECT MANAGER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY CHANGES."

Sheet C0.02, note 1 states, "ALL EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE TO BE VERIFIED BY CONTRACTOR." Same note is repeated as note 6, Sheet C0.10

CIVIL PLANS:

1. Sheet C0.10 calls for two trees to be removed. Verify these trees are there.

Through site photographs taken on 6/2/16, trees to be removed have been verified.

2. Sheet C2.01 Note 3 is in conflict with owner preference. Owner would prefer to stock pile material rather than have it removed off site.

Note has been removed. Refer to Sheet C0.01, Grading note 1. "TOPSOIL SHALL BE STORED ON SITE IN LOCATIONS APPROVED BY THE OWNERS REPRESENTATIVE AND OUTSIDE AREAS PRONE TO FLOODING. DRAINAGE SHALL ROUTE AROUND THESE TOPSOIL STOCKPILES FOR THE DURATION OF THE GRADING OPERATIONS. EROSION CONTROL MEASURES SHALL PREVENT LOSS OF TOPSOIL MATERIAL."



3. Sheet C4.00, Detail 3 – Specify what size WWF is to be used.

Detail 3, C4.00 has been revised to show "6X6 W2.9 x W2.9 WELDED WIRE FABRIC (WWF),..."

4. Sheet A-1F shows concrete different than what is shown in the layout plans. Make sure these sheets coordinate. Use the same size WWF as Detail 3/ C4.00.

Sheet A-1F has been revised to show existing concrete and only concrete work to be performed by contractor. WWF in details 2/F-1 and 3/F-1 have been revised to match.

Additional revisions made to plans include:

1. Sheet C0.10 – Concrete area for electrical and data connection has been revised.
2. Sheet C0.10 – Note and sheet references to notes 11 and 12 have been corrected.
3. Sheet C1.01 – Note and sheet references to notes 7 and 8 have been corrected.
4. Sheet C1.01 – Concrete area for electrical and data connection has been revised.
5. Detail 1/C4.00 – Geotextile Fabric has been removed from table.

Sincerely,

April Grant, RLA
Project Manager
LOSE & ASSOCIATES, INC.

Cc: Mackel Reagan, Director of Parks and Recreation

RIDLEY PARK SPORTS COMPLEX EXPANSION

SOFTBALL BLEACHERS - PACKAGE 2

PREPARED FOR:
CITY OF COLUMBIA

MAYOR - DEAN DICKEY
CITY MANAGER - TONY MASSEY
ASSISTANT CITY MANAGER - THAD JABLONSKI

PARKS & RECREATION DIRECTOR - MACKEL REAGAN
ASSISTANT PARKS & RECREATION DIRECTOR - MERILEE MESCHEFSKE
CITY ENGINEER - GLENN HARPER



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SHEET INDEX	PROPERTY INFORMATION	OWNER/DEVELOPER	
<p>Sheet Number Sheet Title</p> <p>CIVIL</p> <p>C0.00 COVER</p> <p>C0.01 GENERAL NOTES</p> <p>C0.02 EXISTING CONDITIONS</p> <p>C0.10 DEMOLITION PLAN</p> <p>C1.01 LAYOUT PLAN (DIMENSIONS & MATERIALS)</p> <p>C1.02 LAYOUT PLAN (JOINTS)</p> <p>C2.01 GRADING & EROSION PREVENTION AND SEDIMENT CONTROL PLAN</p> <p>C4.00 SITE DETAILS</p> <p>LANDSCAPE</p> <p>L1.01 LANDSCAPE PLAN, NOTES & SCHEDULE</p> <p>BLEACHER</p> <p>A-1A ALTERNATE 10-ROW NON-ELEVATED BLEACHER SEATING PLAN</p> <p>A-2A ALTERNATE 10-ROW NON-ELEVATED BLEACHER END ELEVATION</p> <p>A-1 NON-ELEVATED MITERED GRANDSTAND SEATING PLAN</p> <p>A-1F NON-ELEVATED MITERED GRANDSTAND FOUNDATION PLAN</p> <p>A-2.2 PRESSBOX SECTIONS</p> <p>PB-1 PRESSBOX DETAILS</p> <p>PB-2 PRESSBOX DETAILS</p> <p>PB-3 PRESSBOX DETAILS</p> <p>PB-4 PRESSBOX DETAILS</p> <p>ELECTRICAL</p> <p>E1.00 SITE ELECTRICAL PLAN</p>	<p>OWNERS ADDRESS: 700 N. GARDEN ST. CITY, STATE, ZIP: COLUMBIA, TN 38401 ADDRESS: 6148 TROTWOOD AVE. PARCEL ID: 060112 00200</p>	<p>CITY OF COLUMBIA COLUMBIA PARKS & RECREATION DEPARTMENT 821 WEST 9TH STREET COLUMBIA, TN 38401 (931) 388-8119</p>	
		DESIGNER	CONSULTANTS
		<p>LOSE & ASSOCIATES, INC LANDSCAPE ARCHITECTURE/ARCHITECTURE/CIVIL ENGINEERING/PLANNING</p> <p>1314 5TH AVENUE NORTH, SUITE 200 NASHVILLE, TENNESSEE 37208 PHONE: 615-242-0040 CONTACT: CHRIS CAMP, ASLA, ccamp@loseassoc.com APRIL GRANT, RLA, agrant@loseassoc.com</p>	<p><u>ELECTRICAL ENGINEER:</u> PARSONS ENGINEERING, INC. 4751 Trousdale Drive, Suite 202 Nashville, TN 37220 (615) 386-9396 CONTACT: ANTHONY PEZZI, P.E.</p>
		LOCATION MAP	

RIDLEY PARK SPORTS COMPLEX EXPANSION
 SOFTBALL BLEACHERS - PACKAGE 2
 PREPARED FOR:
 CITY OF COLUMBIA
 TENNESSEE
 COLUMBIA

PROJECT CONTACTS

WATER	COLUMBIA POWER & WATER	(931) 388-4833
SANITARY SEWER	COLUMBIA WASTEWATER TREATMENT SYSTEM	(931) 560-1001
NATURAL GAS	ATMOS ENERGY CORPORATION	(931) 388-9136
ELECTRIC	COLUMBIA POWER & WATER	(931) 388-4833
TELEPHONE	COLUMBIA POWER & WATER	(931) 388-4833
CABLE	COLUMBIA POWER & WATER	(931) 388-4833

SUBMITTALS / REVISIONS		
NO.	DATE	DESCRIPTION
1	08/16	CITY COMMENTS

SHEET TITLE
COVER

PROJECT NO. 15219	DATE 08/19/2016
DRAWN BY AMG	SCALE N/A
CHECKED BY CLC	
SHEET NO.	

C0.00

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GENERAL NOTES

THE CONTRACTOR IS TO CHECK AND VERIFY ALL MEASUREMENTS, DIMENSIONS, LEVELS, PLAN ELEVATIONS, INVERTS, ETC. BEFORE ORDERING MATERIALS AND PROCEEDING WITH THE WORK... 1. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE DAMAGE OR LOSS OF ANY REFERENCE POINTS AND HUBS DURING THE CONSTRUCTION OF HIS/HER WORK, AND SHALL BEAR THE COST OF REPLACING SAME.

DEMOLITION (CONT.)

ALL DEMOLISHED MATERIALS (EXCLUDING FOREIGN ITEMS AS LISTED IN 'GENERAL') BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED BY THE OWNER'S REPRESENTATIVE... 1. DO NOT EXCEED CLEARING AND GRUBBING LIMITS OF CONSTRUCTION LINES INDICATED ON THE PLANS.

CLEARING & GRUBBING

1. DO NOT EXCEED CLEARING AND GRUBBING LIMITS OF CONSTRUCTION LINES INDICATED ON THE PLANS. 2. ALL AREAS OUTSIDE THE LIMITS OF CONSTRUCTION SHALL NOT BE CROSSED BY HEAVY EQUIPMENT OR USED FOR STORING HEAVY EQUIPMENT OR MATERIALS.

EXISTING UTILITIES

UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED BY THE OWNER, LOSE & ASSOCIATES, OR THEIR REPRESENTATIVES. BEFORE YOU DIG CALL 811 TO HAVE EXISTING UTILITIES MARKED.

DEVELOPMENT

NOTIFY OWNER AND LOSE & ASSOCIATES, INC. AT 50, 95, AND 100 PERCENT COMPLETION OF EVERY PHASE OF CONSTRUCTION... 1. TOPSOIL SHALL BE STORED ON SITE IN LOCATIONS APPROVED BY THE OWNERS REPRESENTATIVE AND OUTSIDE AREAS PRONE TO FLOODING.

LAYOUT

ALL LAYOUT MEASUREMENTS ARE TO CENTERLINE UNLESS OTHERWISE NOTED. 2. COORDINATE POINTS SHOWN ARE TAKEN FROM BASE INFORMATION PROVIDED BY OTHERS. CONTRACTOR SHALL CROSS CHECK BETWEEN COORDINATE LAYOUT AND PLAN DIMENSIONS PRIOR TO COMMENCING WORK.

ADA REQUIREMENTS

ALL CONSTRUCTION ACTIVITIES SHALL BE COMPLETED IN FULL COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT ("ADA") AND ARCHITECTURAL AND TRANSPORTATION BARRIERS COMPLIANCE BOARD, FEDERAL REGISTER 36 CFR PARTS 1190 AND 1191.

TREE PROTECTION / REMOVAL

EXISTING TREES ON-SITE TO BE REMOVED HAVE BEEN MARKED ON THE SITE PLANS WITH AN 'X'. ONLY THOSE MARKED TREES SHALL BE REMOVED. CONTRACTOR SHALL PROCEED WITH THE FOLLOWING FOR TREES TO BE REMOVED ONLY: 1.1. REMOVE THE TOP OF ALL TREES INCLUDING BRANCHES AND TRUNK IN AN ORGANIZED AND SAFE MANNER BEING CAREFUL NOT TO DAMAGE ANY TREES TO REMAIN OR OTHER SITE FEATURES.

TREE PROTECTION / REMOVAL (CONT.)

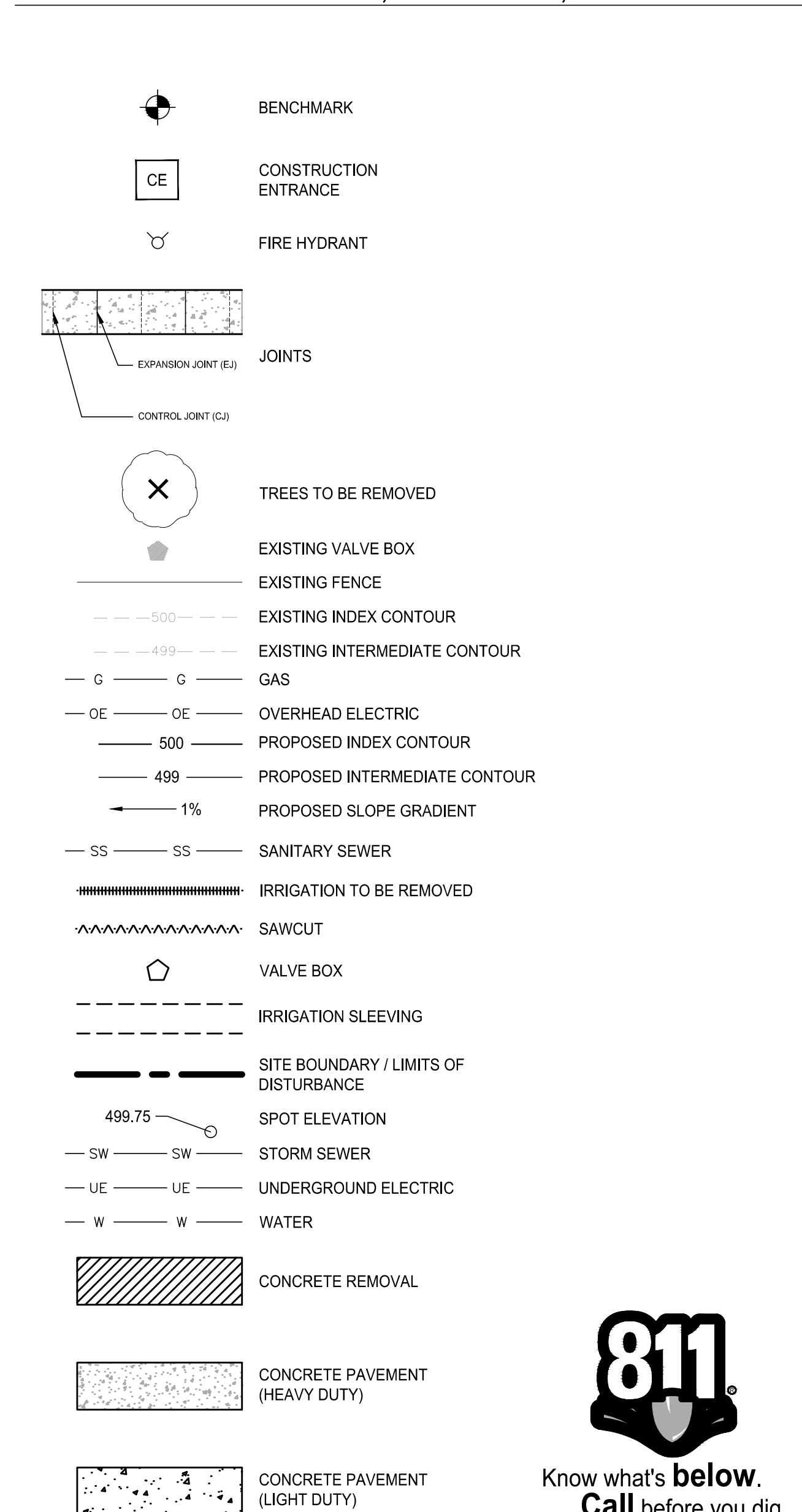
IN THE EVENT OF UTILITY LINE ADJUSTMENTS, ADDITIONS OR RELOCATIONS, THE CONTRACTOR SHALL WORK WITH THE UTILITY PROVIDER AND INSTALLER TO ROUTE THE UTILITY LINES OUTSIDE OF THE TREE PROTECTION ZONE.

ABBREVIATIONS

- ASPH - ASPHALT
@ - AT
- - BOTTOM OF CURB
BFP - BACKFLOW PREVENTER
BS - BOTTOM OF STEP
BW - BOTTOM OF WALL
CL - CENTERLINE
CJ - CONTROL JOINT
CO - COMPANY
CONT - CONTINUOUS
CY - CUBIC YARD
DIA - DIAMETER
DR - DRIVE
EJ - EXPANSION JOINT
ELEC - ELECTRIC
ELEH - ELEVATION
FV - FIRE HYDRANT
EX - EXISTING
FT - FEET
FL - FLOW LINE
GALV - GALVANIZED
HP - HIGH POINT
HT - HEIGHT
HW - HEADWALL
HYD - HYDRANT
ID - INSIDE DIAMETER
JUNC - JUNCTION
LOC - LIMITS OF CLEARANCE
LOD - LIMITS OF DISTURBANCE
LF - LINEAR FEET
LH - LUMBER
MAY - MAXIMUM
MIN - MINIMUM
MH - MANHOLE
MPH - MILES PER HOUR
NIC - NOT IN CONTRACT
NO - NUMBER
O.C. - ON CENTER
OD - OUTSIDE DIAMETER
PD - PERFORATED DRAIN
PL - PROPERTY LINE
POB - POINT OF BEGINNING
PP - POWER POLE
R - RADIUS
ROW - RIGHT OF WAY
SERV - SERVICE
SCH - SCHEDULE
SQ - SQUARE FEET
SF - SILT FENCE
SQ - SQUARE
SY - SQUARE YARD
SIG - SIGNAL
SPEC - SPECIFICATION(S)
STA - STATION
ST - STREET
T - TELEPHONE
TC - TOP OF CASTING
TOC - TOP OF CURB
TF - TOP OF FOOTING
TP - TOP OF PAVEMENT
TS - TOP OF STEP
TW - TOP OF WALL
TYP. - TYPICAL
VERT - VERTICAL
W - WATER
WS - WATER SERVICE
WW - WATER VALVE
WWF - WELDED WIRE FABRIC

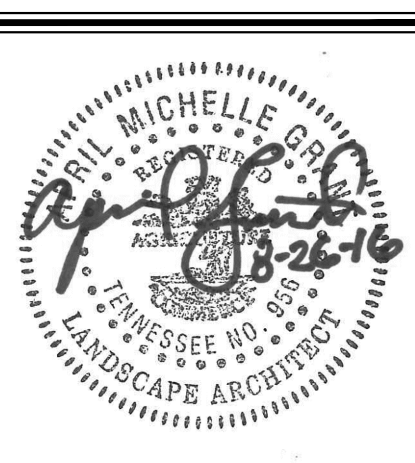
NOTE: THESE ABBREVIATIONS ARE GENERAL; INDIVIDUAL SHEETS MAY INCLUDE OTHERS.

COMMON CIVIL OBJECTS, LINETYPES, AND PATTERNS



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RIDLEY PARK SPORTS COMPLEX EXPANSION SOFTBALL BLEACHERS - PACKAGE 2 PREPARED FOR: CITY OF COLUMBIA TENNESSEE

Table with columns: NO., DATE, DESCRIPTION. Row 1: 1, 02/26/16, CITY COMMENTS.

SHEET TITLE: GENERAL NOTES

PROJECT NO. 15219, DATE 08/19/2016, DRAWN BY ANG, SCALE N/A, CHECKED BY CLC, CRC, SHEET NO. C0.01





LOBE & ASSOCIATES, INC.

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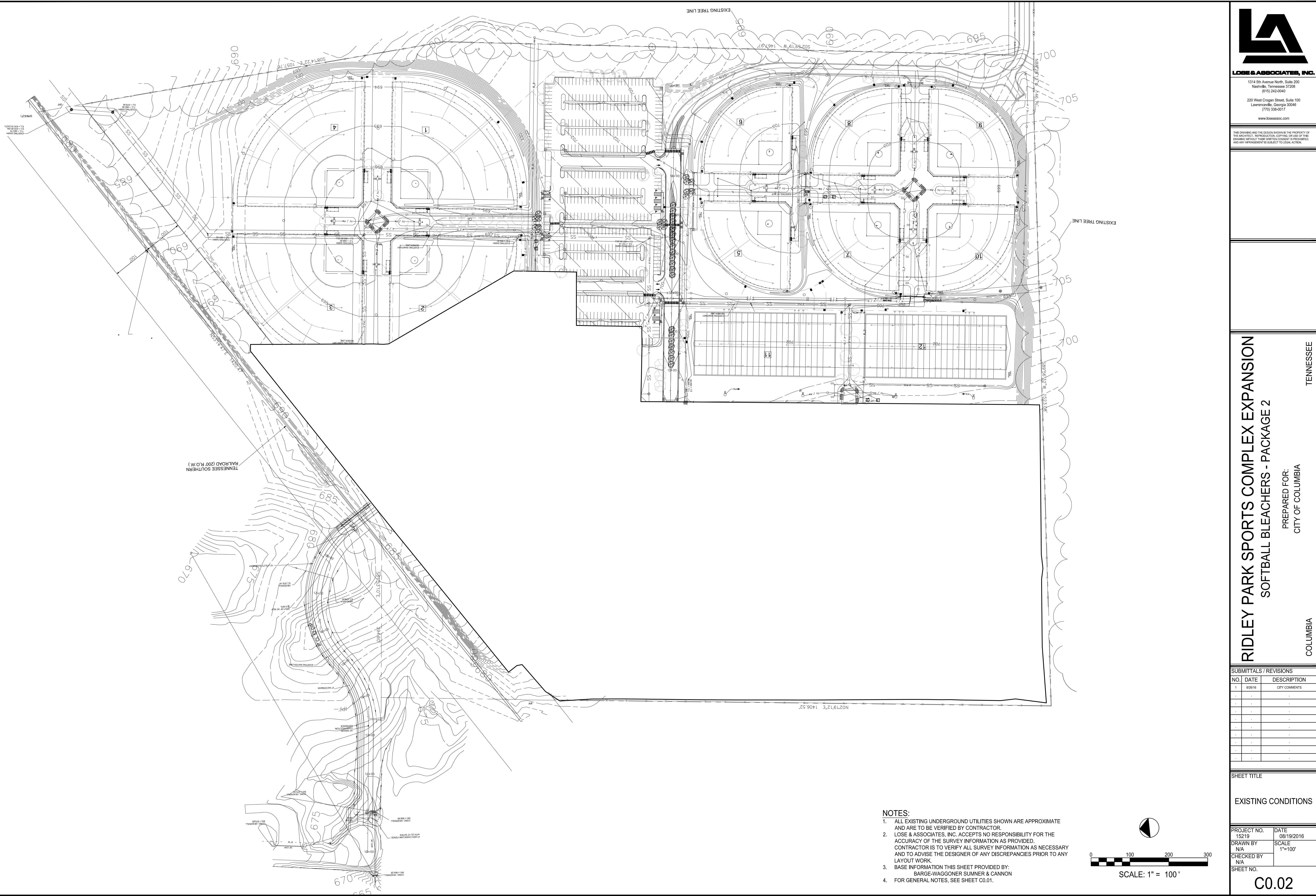
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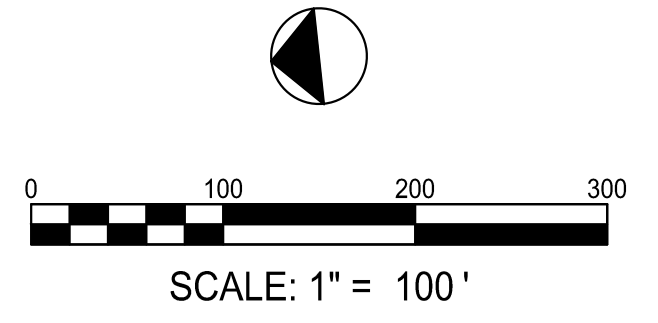
PREPARED FOR:
CITY OF COLUMBIA

TENNESSEE

COLUMBIA



- NOTES:**
- ALL EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE TO BE VERIFIED BY CONTRACTOR. LOBE & ASSOCIATES, INC. ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF THE SURVEY INFORMATION AS PROVIDED. CONTRACTOR IS TO VERIFY ALL SURVEY INFORMATION AS NECESSARY AND TO ADVISE THE DESIGNER OF ANY DISCREPANCIES PRIOR TO ANY LAYOUT WORK.
 - BASE INFORMATION THIS SHEET PROVIDED BY: BARGE-WAGGONER SUMNER & CANNON
 - FOR GENERAL NOTES, SEE SHEET C0.01.



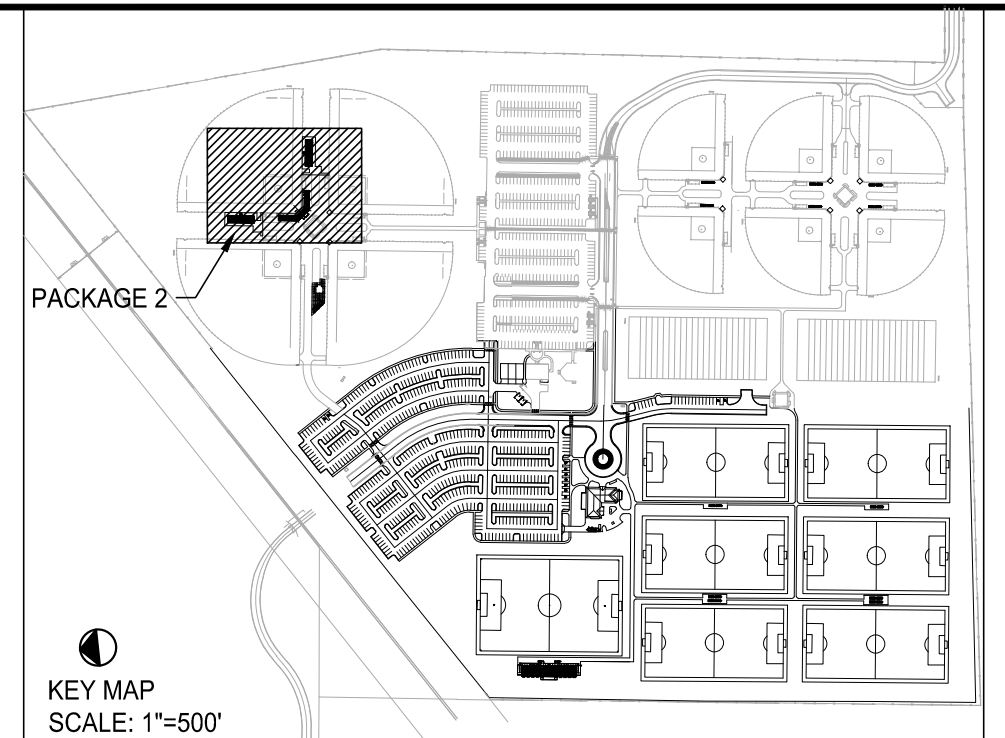
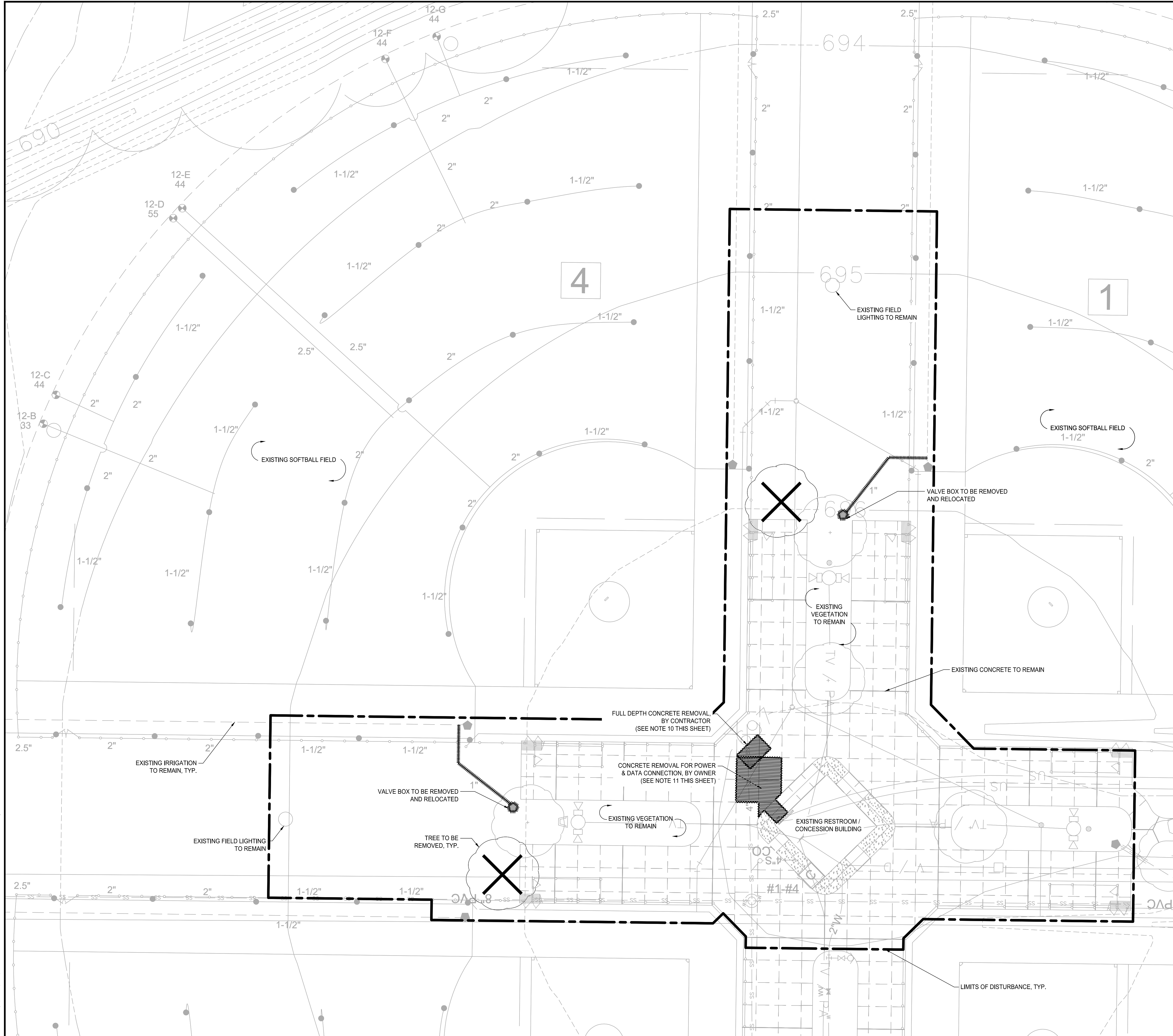
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1	CITY COMMENTS

SHEET TITLE
EXISTING CONDITIONS

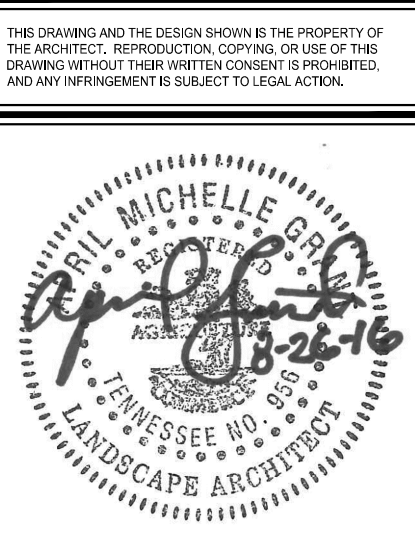
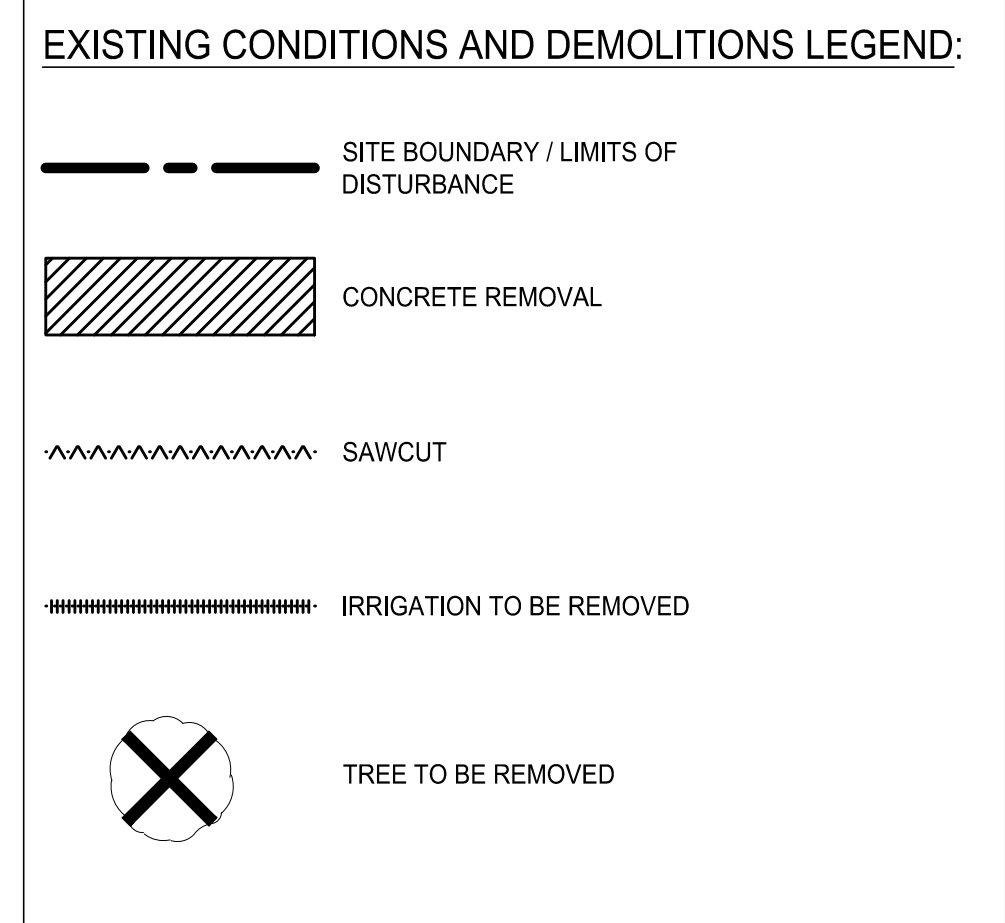
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DRAWN BY N/A	SCALE 1"=100'
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SHEET NO.	

C0.02

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- DEMOLITION NOTES:**
- SEE SHEET C0.01 FOR ADDITIONAL DEMOLITION NOTES.
 - CONTRACTOR TO COORDINATE WITH OWNER AND ARCHITECT ANY ADDITIONAL STORAGE LOCATIONS FOR CONSTRUCTION MATERIALS.
 - REMOVE AND CAP OFF ALL SITE UTILITIES AS REQUIRED.
 - ANY DAMAGES TO EXISTING ITEMS TO REMAIN SHALL BE REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
 - SITE BOUNDARY SHALL BE FENCED WITH STANDARD STAKED ORANGE CONSTRUCTION FENCING.
 - ALL EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE TO BE VERIFIED BY CONTRACTOR.
 - COORDINATE WITH OWNER'S REPRESENTATIVE AND PROVIDE MEASURES AS NECESSARY TO PROTECT EXISTING IRRIGATION TO REMAIN AND MAINTAIN IRRIGATION IN AREAS OUTSIDE THE LIMITS OF DISTURBANCE.
 - CONTRACTOR WILL MARK AREAS WHERE IRRIGATION CONTROL WIRE IS ENCOUNTERED DURING EXCAVATION. PHOTOGRAPH AREAS WHERE WIRE IS EXPOSED FOR FUTURE REFERENCE.
 - DEMOLITION ACTIVITIES MUST NOT DISRUPT COLUMBIA PARKS AND RECREATION EVENTS. COORDINATE DEMOLITION ACTIVITIES WITH OWNER'S PROGRAM MANAGER OR REPRESENTATIVE.
 - DEMOLITION, ENGINEERING, DESIGN AND INSTALLATION OF FOUNDATION AND SLAB FOR PRESSBOX TO BE COMPLETED BY THE CONTRACTOR.
 - CONFIRM FINAL ROUTING OF ELECTRICAL CONDUIT WITH ARCHITECT / OWNER PRIOR TO START OF DEMOLITION TO MINIMIZE IMPACT. ONLY REMOVE ENTIRE CONCRETE PANELS.



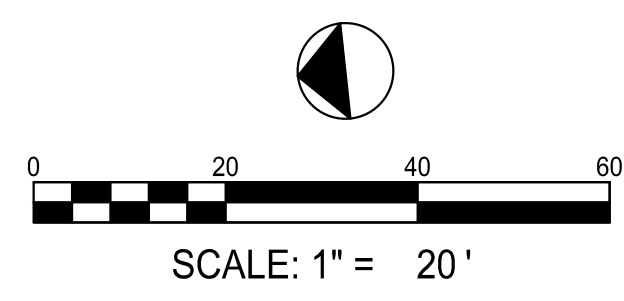
RIDLEY PARK SPORTS COMPLEX EXPANSION
SOFTBALL BLEACHERS - PACKAGE 2
 PREPARED FOR:
 CITY OF COLUMBIA
 TENNESSEE
 COLUMBIA

SUBMITTALS / REVISIONS

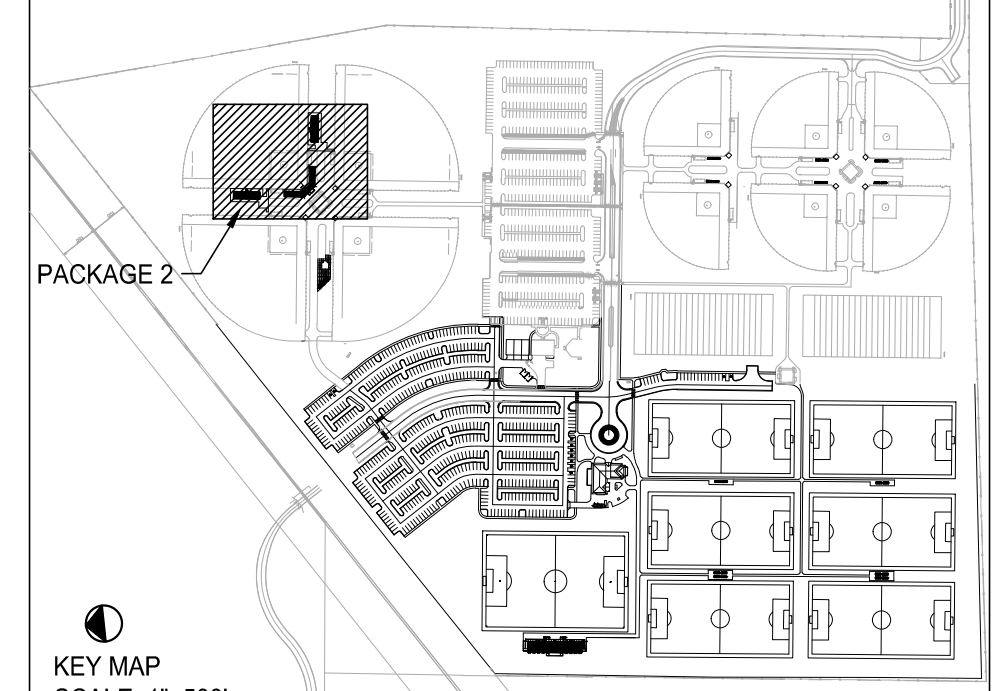
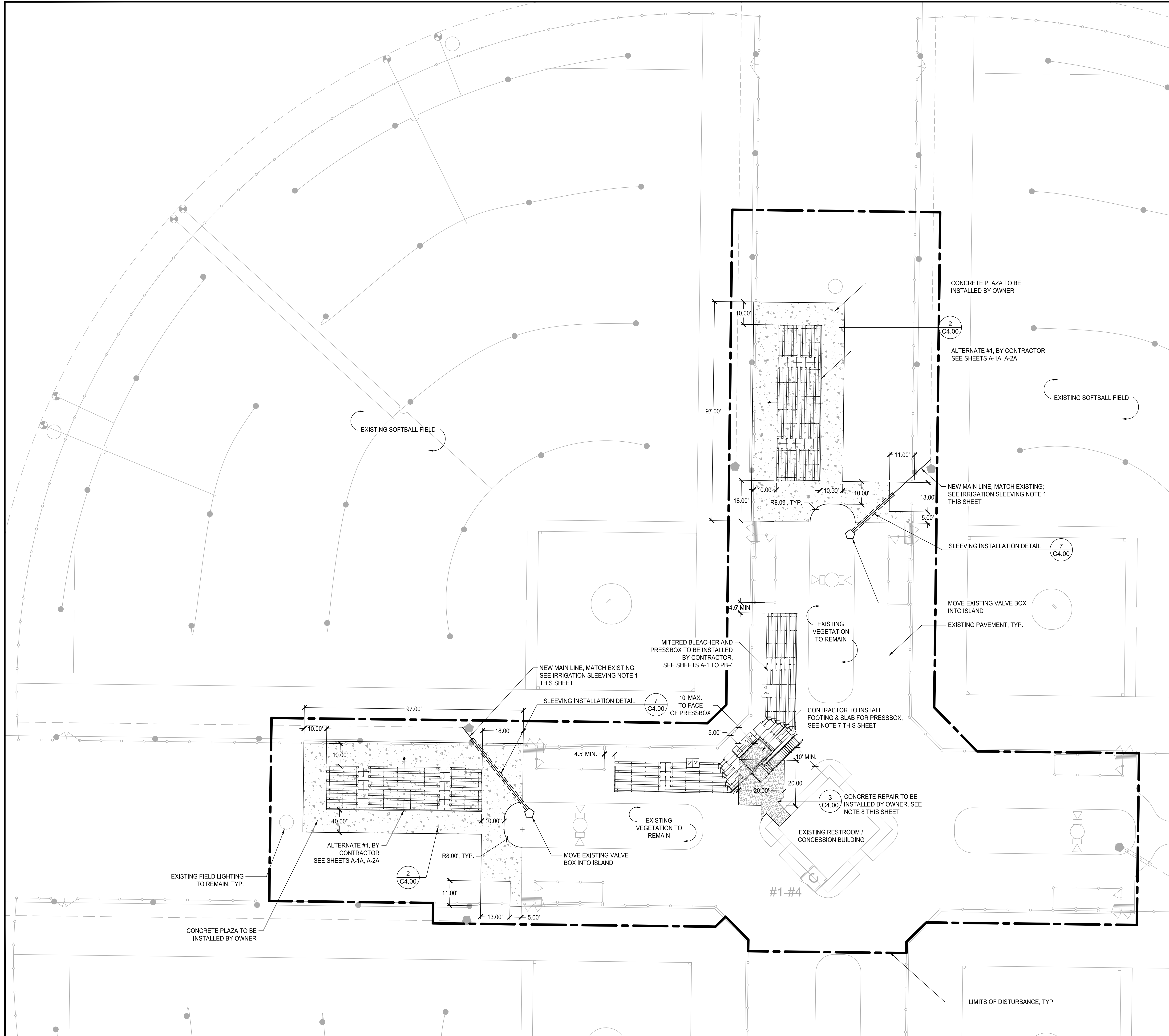
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1	8/26/16	CITY COMMENTS

SHEET TITLE
 DEMOLITION PLAN

PROJECT NO. 15219	DATE 08/19/2016
DRAWN BY ANG	SCALE 1"=20'
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SHEET NO.	



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- LAYOUT NOTES:**
- SEE SHEET C0.01 FOR GENERAL NOTES.
 - INSTALL JOINTS WHERE SHOWN TO ALIGN TO WALLS, BUILDINGS, RADII, ETC. EVENLY SPACE BETWEEN ELEMENTS AS SHOWN. PROVIDE EXPANSION JOINTS BETWEEN CONCRETE PAVEMENT AND VERTICAL ELEMENTS (WALL, CURBS, ETC.). ALL JOINTS TO BE STRAIGHT AND TRUE.
 - LAYOUT ALL CURVES SMOOTHLY WITH NO ABRUPT CHANGES AT TANGENT POINTS.
 - CONTRACTOR TO TAKE ALL PRECAUTIONS TO FIND AND AVOID SITE UTILITIES. ALL UTILITIES ARE NOT SHOWN ON DRAWING. EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. VERIFY LOCATIONS AND CONSIDER SUCH WHEN ESTIMATING.
 - ALL CONSTRUCTION AND MATERIALS SHALL COMPLY WITH TDOT'S STANDARDS FOR ROADWAY AND BRIDGE CONSTRUCTION, LATEST EDITION.
 - ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.
 - DEMOLITION, ENGINEERING, DESIGN AND INSTALLATION OF FOUNDATION AND SLAB FOR PRESSBOX TO BE COMPLETED BY THE CONTRACTOR.
 - COORDINATE LOCATION OF POWER AND DATA CONNECTIONS TO PRESSBOX WITH ARCHITECT / OWNER.

- IRRIGATION SLEEVING NOTES:**
- INSTALL NEW MAIN LINE AND PULL WIRES THROUGH NEW 3" SLEEVE UNDER CONCRETE.

LAYOUT LEGEND (MATERIALS)

	CONCRETE PAVEMENT (LIGHT DUTY)	2 C4.00
	CONCRETE PAVEMENT (HEAVY DUTY)	3 C4.00
	MITERED BLEACHER AND PRESSBOX	SHEETS A-1 - PB-4
	BLEACHER (ALTERNATE)	SHEETS A-1A - A-2A

RIDLEY PARK SPORTS COMPLEX EXPANSION
 SOFTBALL BLEACHERS - PACKAGE 2
 PREPARED FOR:
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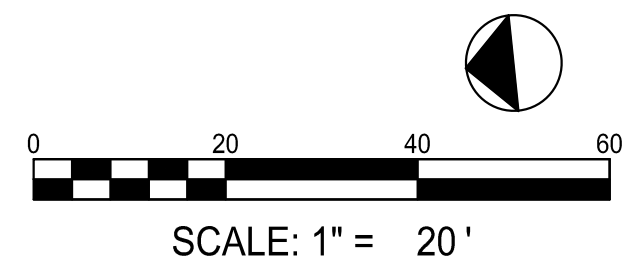
SUBMITTALS / REVISIONS

NO.	DATE	DESCRIPTION
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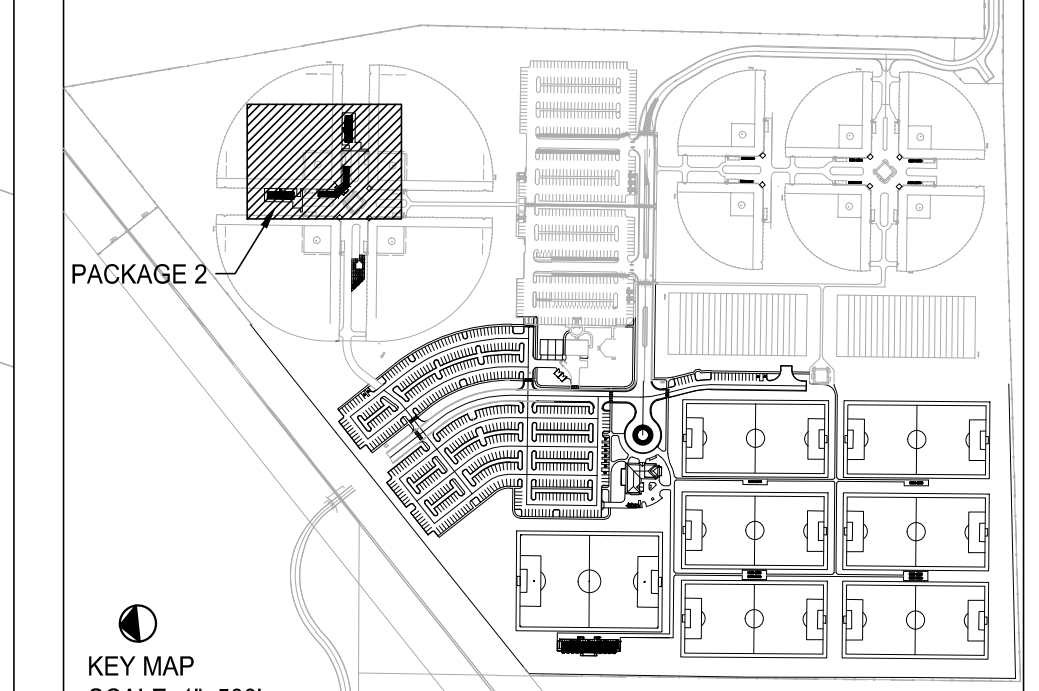
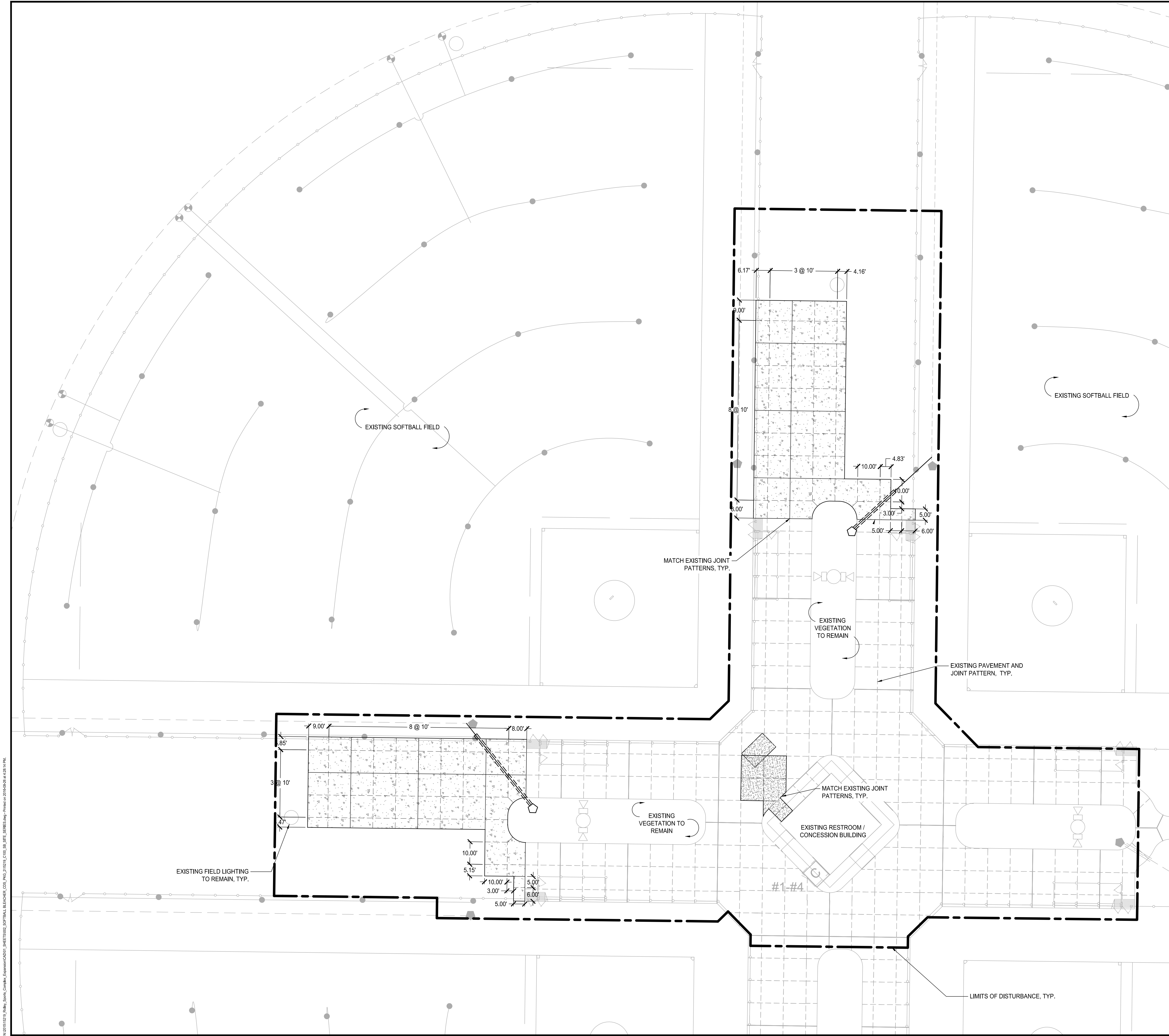
SHEET TITLE
LAYOUT PLAN (DIMENSIONS & MATERIALS)

PROJECT NO. 15219	DATE 08/19/2016
DRAWN BY AMG	SCALE 1"=20'
CHECKED BY CLC, CRC	SHEET NO.

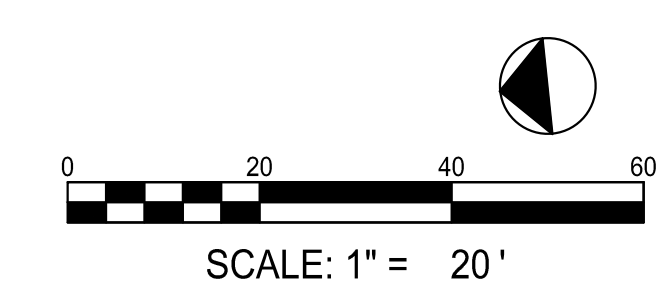
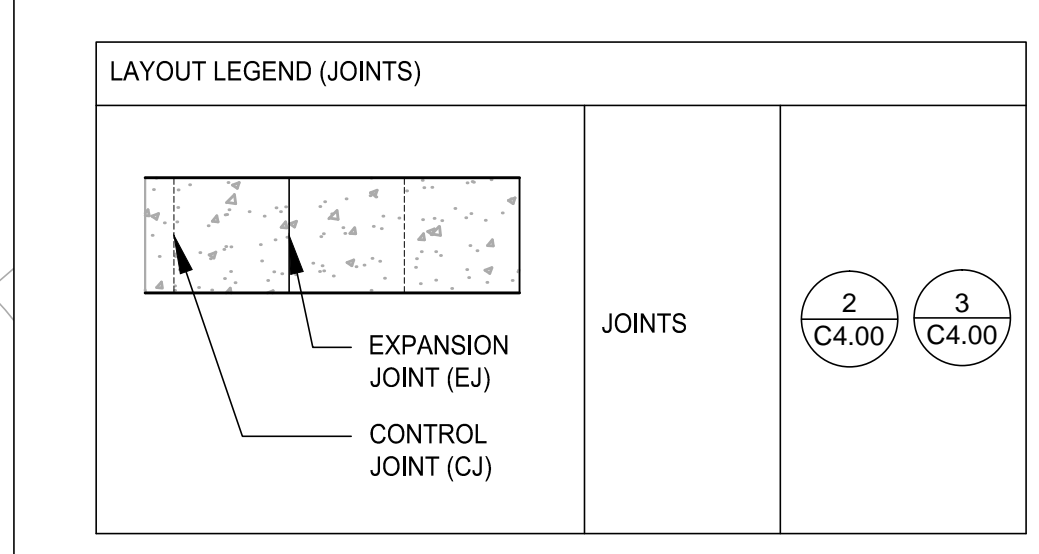
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 PLOT DATE: 8/19/16_16.dwg



- LAYOUT NOTES:**
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 - DEMOLITION, ENGINEERING, DESIGN AND INSTALLATION OF FOUNDATION AND SLAB FOR PRESSBOX TO BE COMPLETED BY THE CONTRACTOR. COORDINATE LOCATION OF POWER AND DATA CONNECTIONS TO PRESSBOX WITH ARCHITECT / OWNER.
 - CONTRACTOR TO INSTALL CONCRETE WASH-OUT AREA PER TDEC 7.16 OF THE EROSION AND SEDIMENT CONTROL HANDBOOK. COORDINATE LOCATION WITH OWNER OR OWNER'S REPRESENTATIVE TO MINIMIZE IMPACT TO ENVIRONMENT AND FINISHED SURFACES.



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RIDLEY PARK SPORTS COMPLEX EXPANSION
SOFTBALL BLEACHERS - PACKAGE 2
 PREPARED FOR:
 CITY OF COLUMBIA
 TENNESSEE
 COLUMBIA

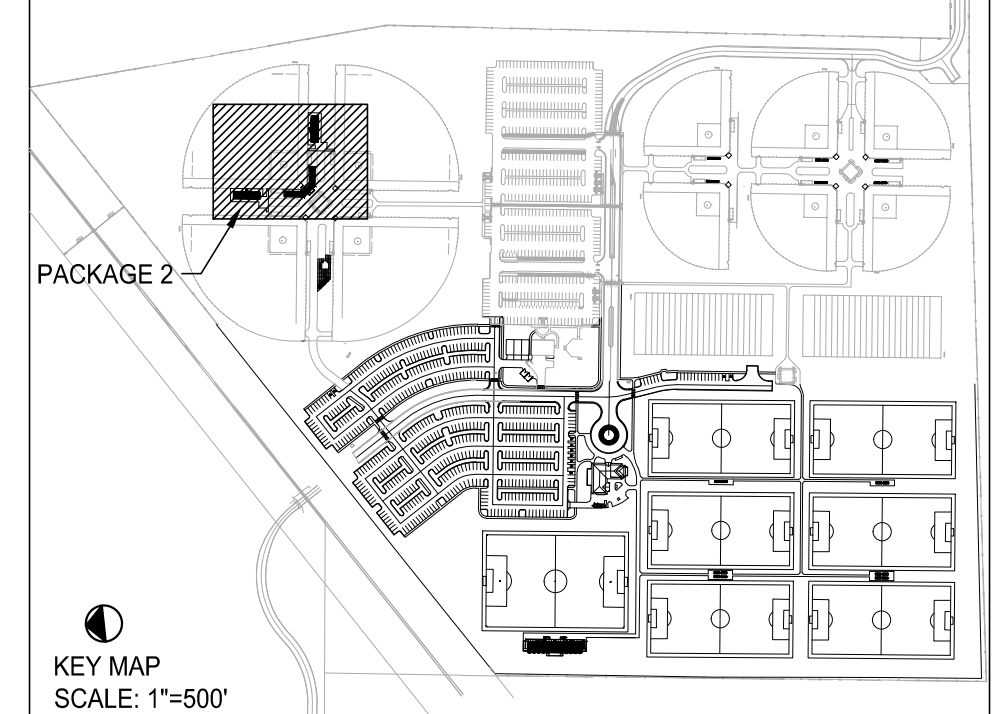
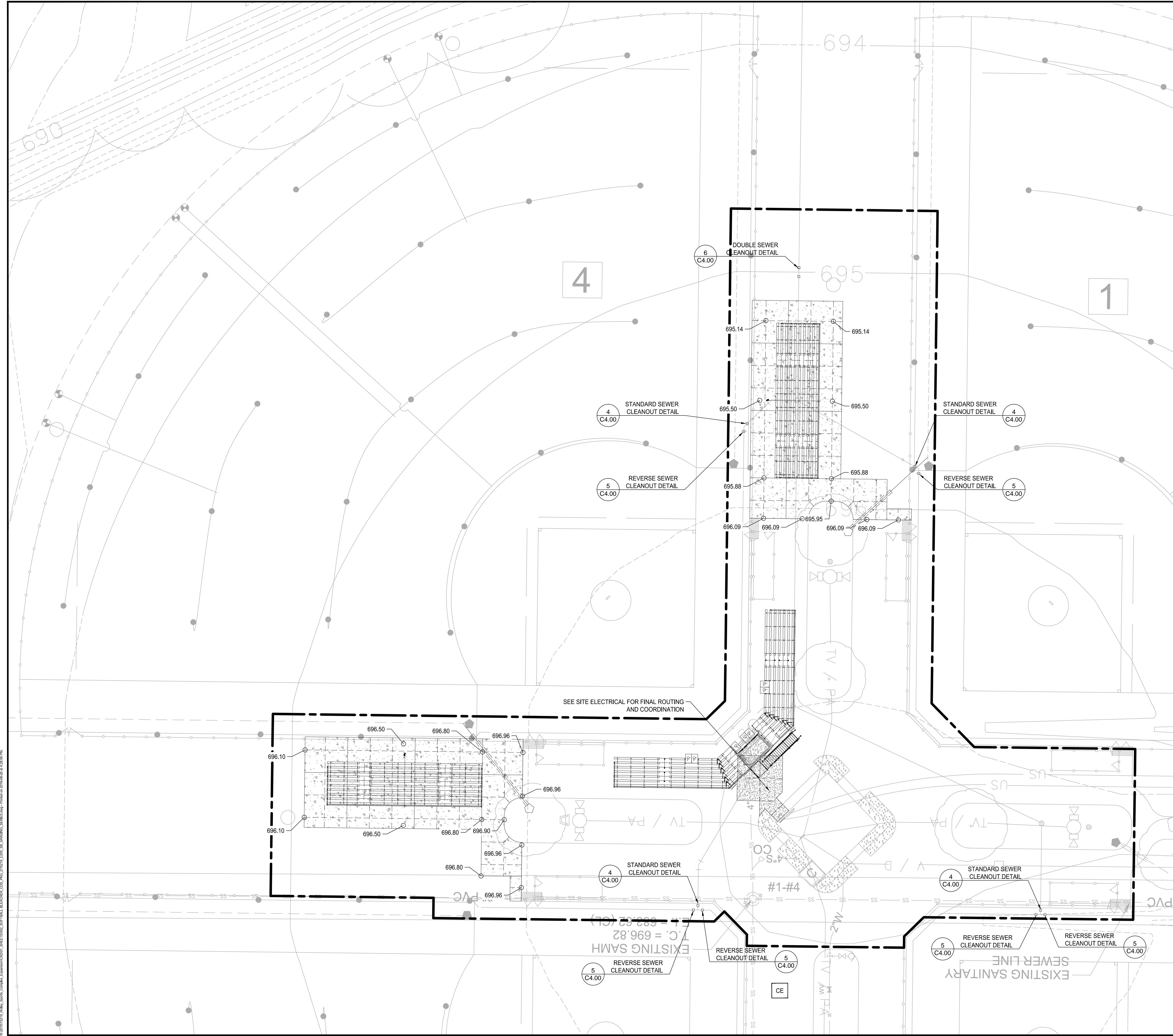
SUBMITTALS / REVISIONS	
NO.	DESCRIPTION
1	8/26/16 CITY COMMENTS

SHEET TITLE

LAYOUT PLAN (JOINTS)

PROJECT NO. 15219	DATE 08/19/2016
DRAWN BY ANG	SCALE 1"=20'
CHECKED BY CLC, CRC	SHEET NO.

C1.02



SITE GRADING LEGEND

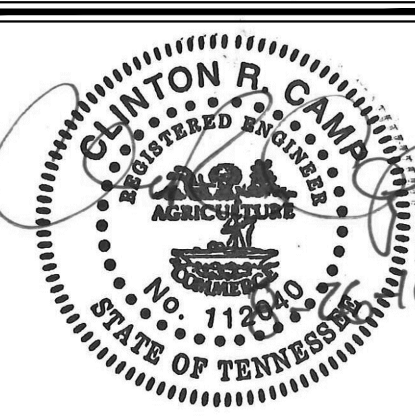
499.75	SPOT ELEVATION
499	EXISTING INTERMEDIATE CONTOUR
500	EXISTING INDEX CONTOUR
499	PROPOSED INTERMEDIATE CONTOUR
500	PROPOSED INDEX CONTOUR
1%	PROPOSED SLOPE GRADIENT
CE	CONSTRUCTION ENTRANCE

- GRADING AND DRAINAGE NOTES:**
- ALL FILL AND CUT SLOPES SHALL BE 3:1 OR FLATTER, UNLESS OTHERWISE NOTED ON THE PLANS.
 - SEE SHEET C0.01 FOR ADDITIONAL GRADING AND DRAINAGE NOTES.
 - PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING IN ALL LOCATIONS. REQUIRED SLOPE IS A MAXIMUM OF 2.00% AND A MINIMUM OF 1.00%.
 - REFER TO LANDSCAPE PLAN FOR TOPSOIL AND PERMANENT VEGETATION REQUIREMENTS IN PLANT BEDS AND TREE WELLS.
 - CONTRACTOR TO IMPORT CLEAN TOPSOIL IN ALL AREAS WHERE PAVEMENT WAS REMOVED TO ACHIEVE FINISHED GRADE NOTED ON PLANS.
 - VERIFY EXISTING ELEVATIONS BEFORE STARTING WORK. NOTIFY DESIGNER OF ANY DISCREPANCIES.

- EPSC NOTES:**
- THE CONTRACTOR SHALL CLEAR AS SMALL OF AN AREA AS PRACTICAL TO COMPLETE THE REQUIRED GRADING. IN NO CASE SHALL THE CONTRACTOR CLEAR AN AREA MORE THAN 20 DAYS PRIOR TO THE START OF GRADING IN THE AREA.
 - THE CONTRACTOR SHALL INSTALL A SITE CONSTRUCTION ENTRANCE AS INDICATED ON THE PLANS. ALL CONSTRUCTION TRAFFIC SHALL ENTER AND LEAVE THE SITE BY THIS ENTRANCE. THE ENTRANCE AND ADJOINING ROADWAY SHALL BE INSPECTED AT LEAST TWICE WEEKLY AND NECESSARY REPAIRS AND CLEANING WILL BE COMPLETED PROMPTLY. KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
 - ALL AREAS TO BE EXPOSED FOR MORE THAN 15 DAYS WITHOUT GRADING SHALL BE SEEDED AND MULCHED WITH TEMPORARY COVER WITHIN 7 DAYS OF GRADING. DISTURBED AREAS SHALL BE SEEDED AND MULCHED WITHIN 15 DAYS OF FINAL GRADING.
 - PERMANENT SEEDING MIXTURE SHALL CONSIST OF CREEP RED FESCUE "REBEL II" 90% AND BLUEGRASS AT 10% AT THE RATE OF 8 POUNDS PER 1000 SQUARE FEET FOR ALL DISTURBED AREAS. THE DESIRED PERMANENT SEEDING PLANTING SEASON IS FALL (SEPT. 1 TO OCT 15). IF SPRING SEEDING IS REQUIRED CONTRACTOR TO ADD THE HERBICIDE "TUPERSAN" OR EQUIVALENT 8 LBS/ACRE WITH PERMANENT SEEDING. ALL SEEDING INSTALLATION TO COMPLY WITH PROJECT SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS.
 - COVER SEEDED AREAS WITH STRAW MULCH AT THE RATE OF 125 POUNDS PER 1000 SQUARE FEET.
 - THE EROSION CONTROL MEASURES SHOWN ARE THE MINIMUM ALLOWABLE AND THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING ADDITIONAL EROSION CONTROL MEASURES AS FIELD CONDITIONS AND POST STORM INSPECTIONS DICTATE. REFER TO TDEC'S EROSION AND SEDIMENT CONTROL HANDBOOK FOR ADDITIONAL INFORMATION.
 - EXCESS STOCKPILE MATERIAL SHALL BE SURROUNDED WITH SILT FENCE, SEEDED, AND MULCHED. THE STOCKPILE LOCATION IS TO BE APPROVED BY THE OWNER.
 - CONTRACTOR TO INSTALL CONCRETE WASH-OUT AREA PER TDEC 7.16 OF THE EROSION AND SEDIMENT CONTROL HANDBOOK. COORDINATE LOCATION WITH OWNER OR OWNER'S REPRESENTATIVE TO MINIMIZE IMPACT TO ENVIRONMENT AND FINISHED SURFACES.

LOBE & ASSOCIATES, INC.
 1314 5th Avenue North, Suite 200
 Nashville, Tennessee 37208
 (615) 242-0040
 220 West Crogan Street, Suite 100
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RIDLEY PARK SPORTS COMPLEX EXPANSION
SOFTBALL BLEACHERS - PACKAGE 2

TENNESSEE
 COLUMBIA

PREPARED FOR:
 CITY OF COLUMBIA

SUBMITTALS / REVISIONS

NO.	DATE	DESCRIPTION
1	8/26/16	CITY COMMENTS

SHEET TITLE
 GRADING & EROSION PREVENTION AND SEDIMENT CONTROL PLAN

PROJECT NO. 15219	DATE 08/19/2016
DRAWN BY CRC	SCALE 1"=20'
CHECKED BY CRC	
SHEET NO.	

C2.01

811
 Know what's below.
 Call before you dig.

SCALE: 1" = 20'

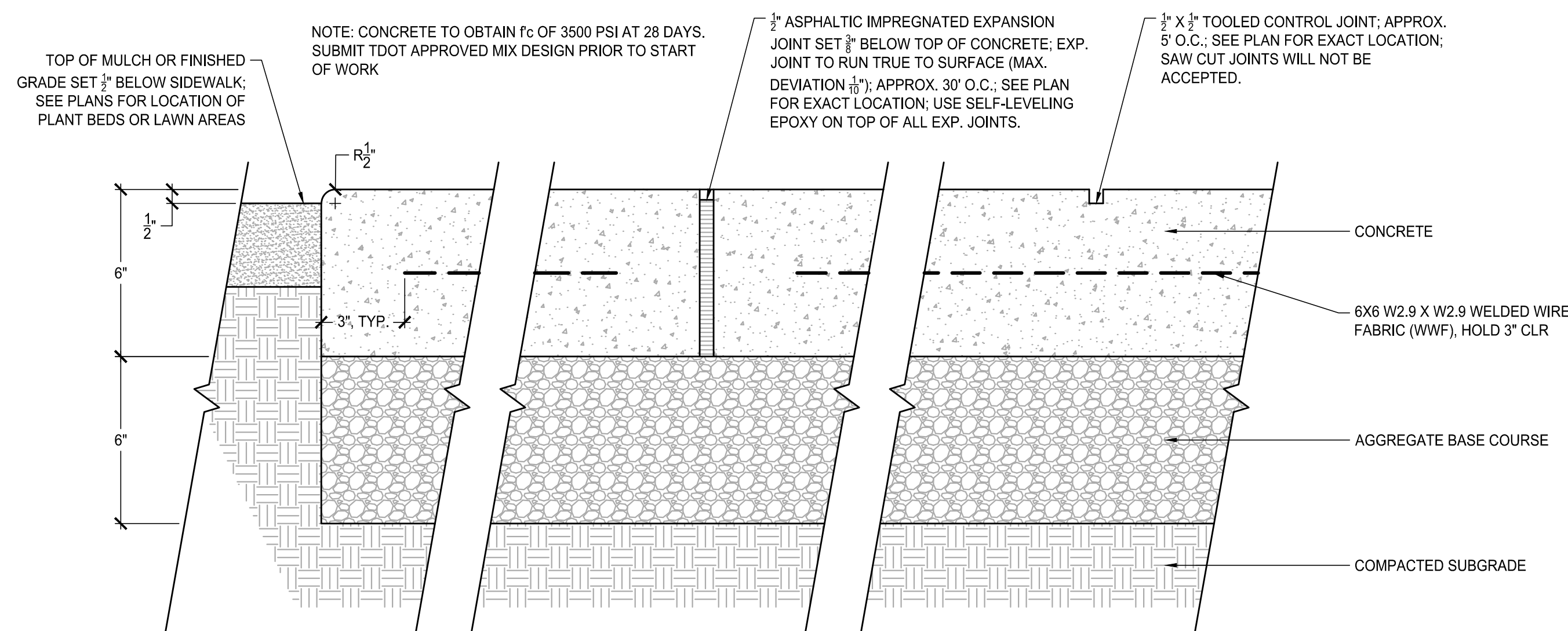
N:\2016\15219_Ridley_Park_Sports_Complex_Expansion\2016_08_26\DRAWING\811RBL.dwg - Plotted on 2016/08/26 at 4:28:06 PM

HARDSCAPE MATERIALS TABLE				
ITEM	SPECIFICATION	REINFORCEMENT	FINISH	COLOR
CONCRETE	TDOT CLASS A	---	BROOM	MATCH EXISTING
AGGREGATE BASE COURSE	CLEAN #57 STONE	---	---	---
COMPACTED SUBGRADE	95% STANDARD PROCTOR	---	---	---

- NOTES:
- CONTRACTOR SHALL INSTALL ALL HARDSCAPE MATERIALS PER TDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2015 EDITION.
 - TABLE PROVIDED FOR REFERENCE PURPOSES ONLY. IF DISCREPANCIES EXIST BETWEEN TABLE ITEMS AND TDOT SPECIFICATIONS, CONTRACTOR SHALL NOTIFY THE PROJECT MANAGER WITHIN 24 HOURS.
 - CONCRETE TO BE 3500 PSI @ 28 DAYS.

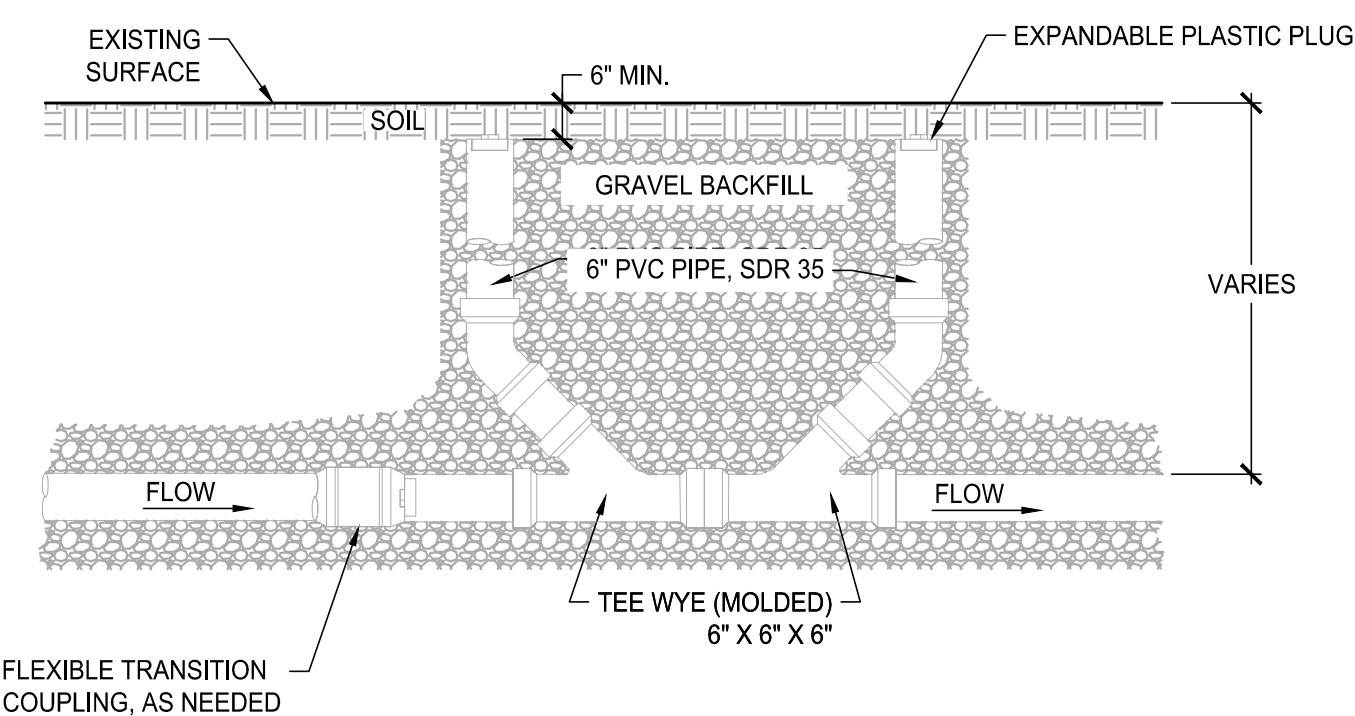
1 HARDSCAPE MATERIALS TABLE

SCALE: NTS



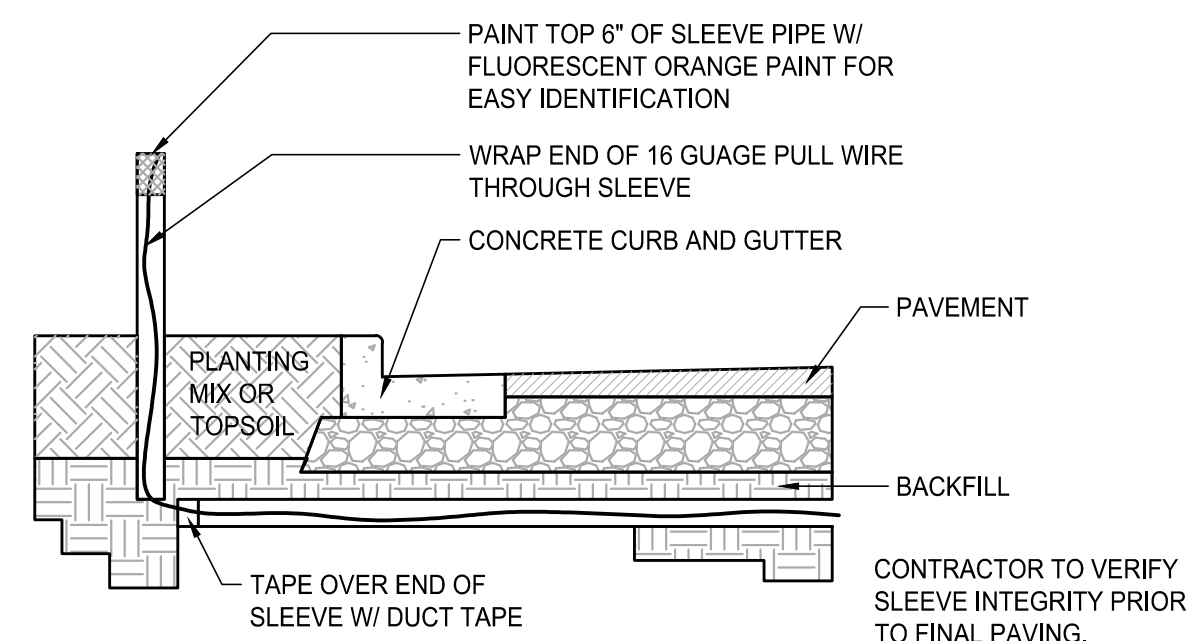
3 CONCRETE PAVEMENT (HEAVY DUTY)

SCALE: NTS



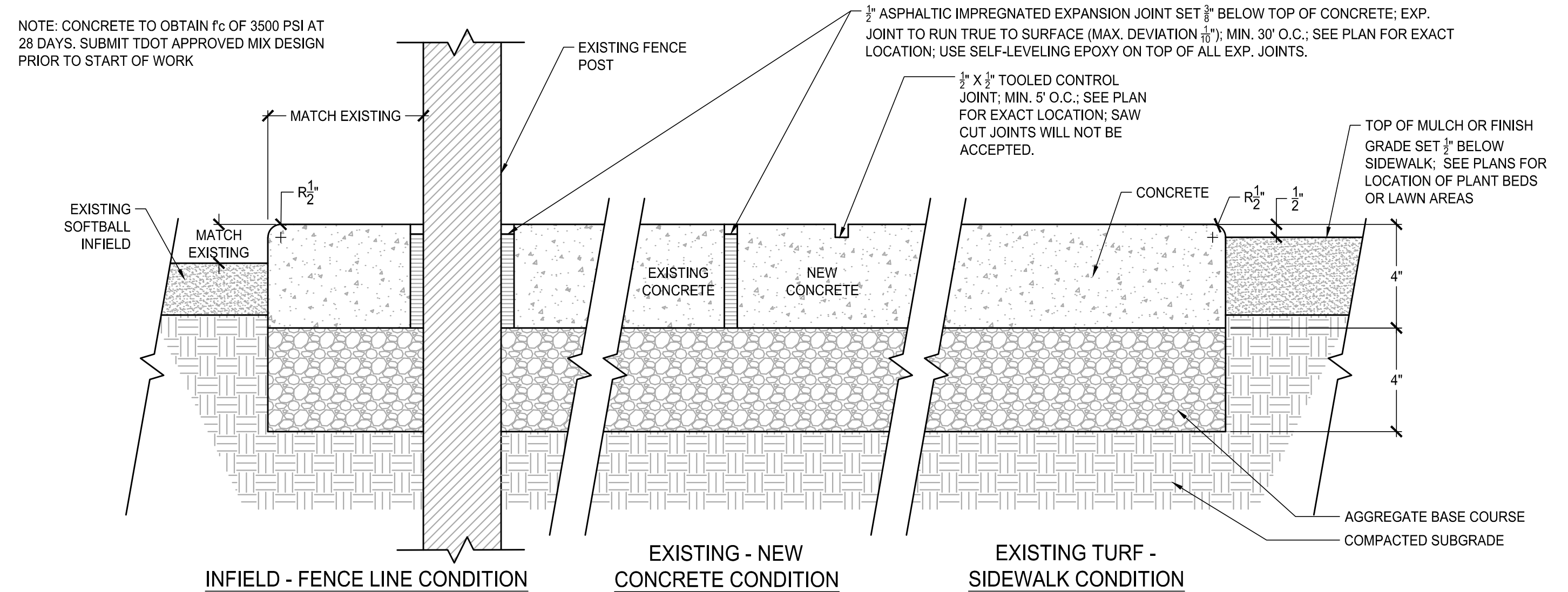
6 DOUBLE SEWER CLEANOUT DETAIL

SCALE: NTS



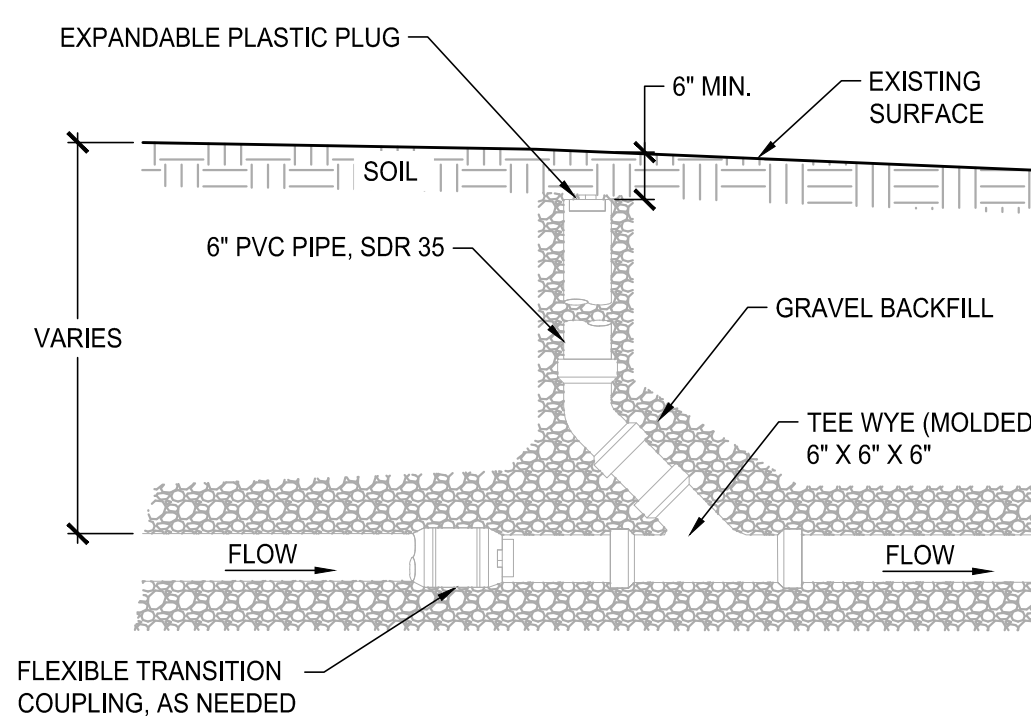
7 SLEEVING INSTALLATION DETAIL

SCALE: NTS



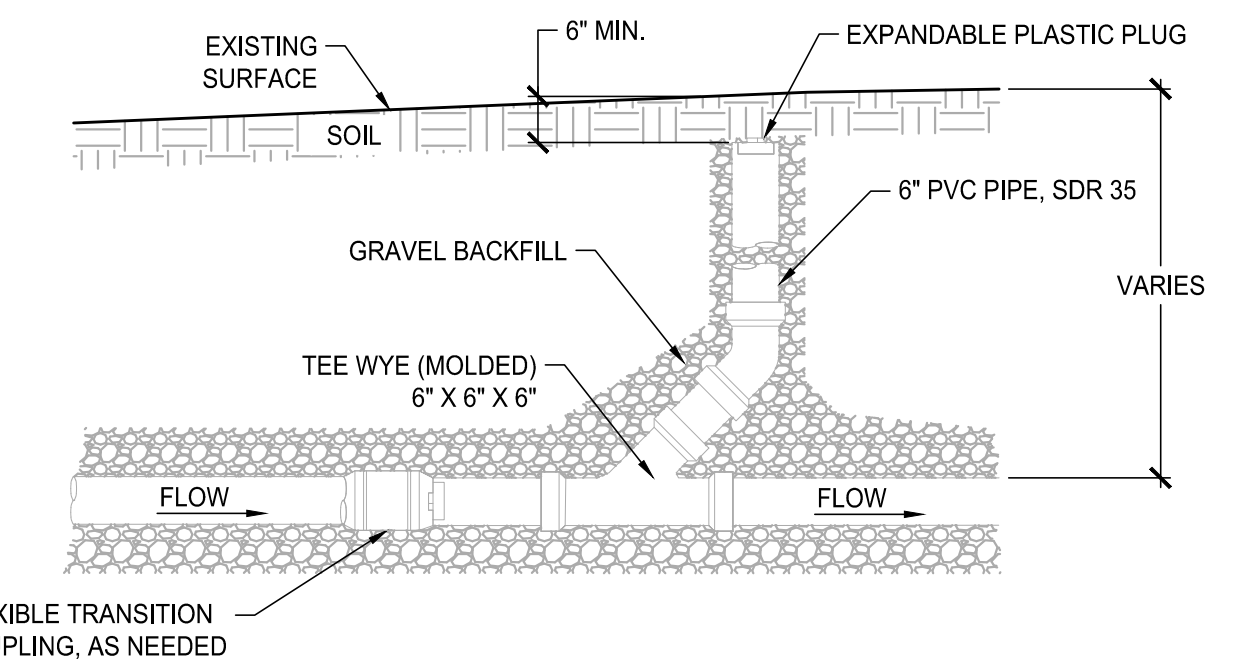
2 CONCRETE PAVEMENT (LIGHT DUTY)

SCALE: NTS



4 STANDARD SEWER CLEANOUT DETAIL

SCALE: NTS



5 REVERSE SEWER CLEANOUT DETAIL

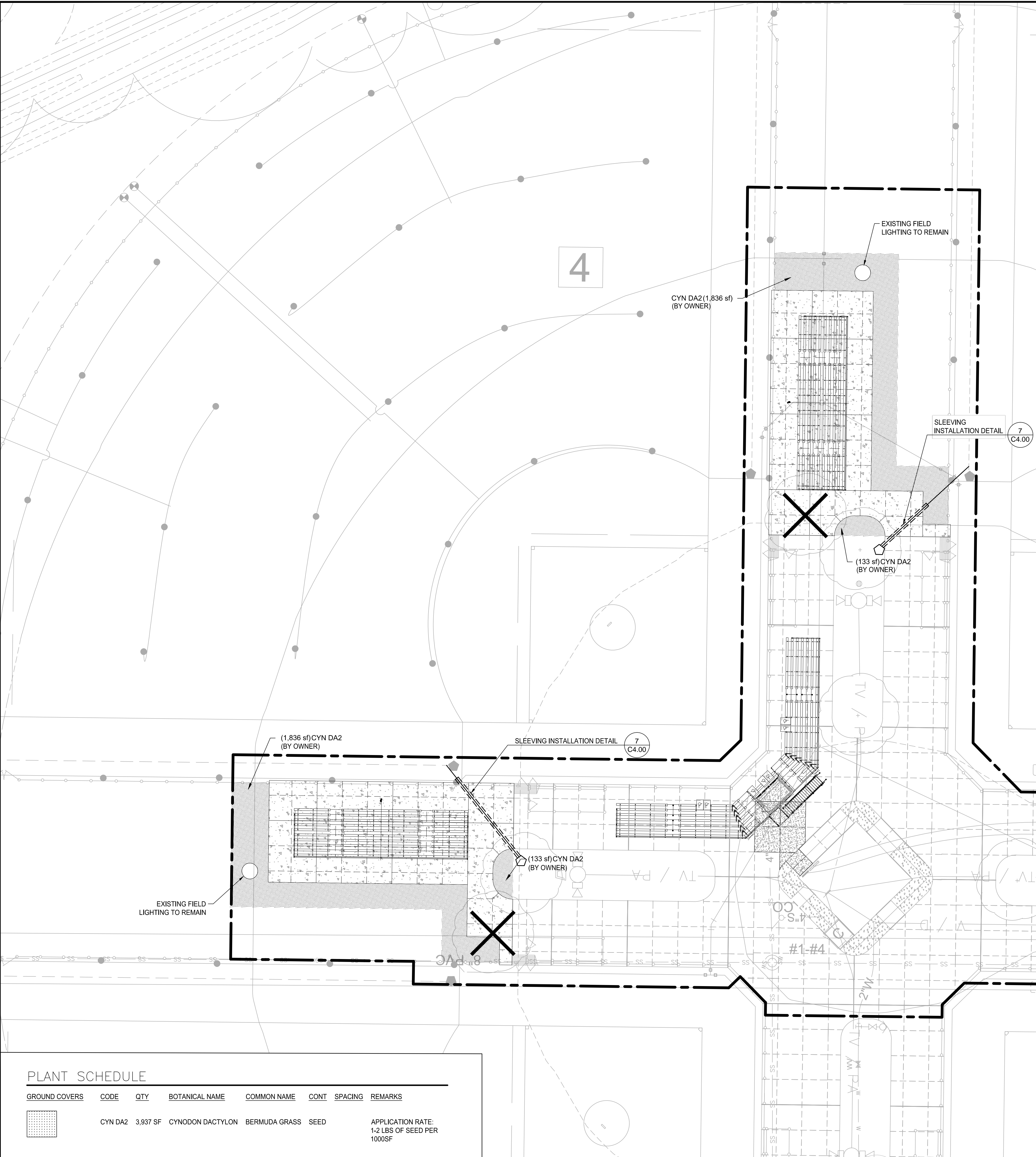
SCALE: NTS

SUBMITTALS / REVISIONS		
NO.	DATE	DESCRIPTION
1	8/26/16	CITY COMMENTS

SHEET TITLE

SITE DETAILS

PROJECT NO. 15219	DATE 08/19/2016
DRAWN BY ANG	SCALE AS SHOWN
CHECKED BY CLC	
SHEET NO. C4.00	

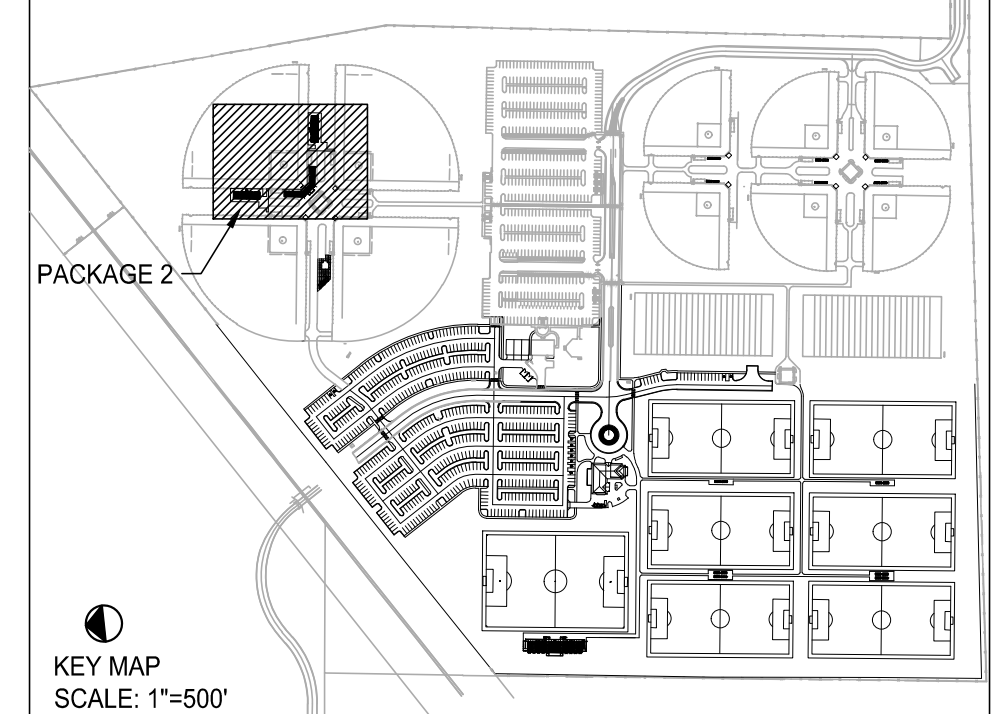


LEGEND

✕ TREES TO BE REMOVED

NOTES:

- SEE SHEETS A-1A THROUGH PB-4 FOR BLEACHER DETAILS.
- CONTRACTOR TO CONFIRM LOCATION OF ALL UTILITIES.
- SEE SHEET C1.01 FOR IRRIGATION SLEEVING NOTES.
- SEE SHEET C0.01 FOR GENERAL NOTES.



PLANT STOCK NOTES:

- ALL CANOPY TREES SHALL BE LIMBED UP AT LEAST 7' WITH A MINIMUM HEIGHT OF 12'.
- ALL PEDESTRIAN ACCESSWAYS MUST HAVE AT LEAST 7' OF CLEARANCE.
- ALL UNDERSTORY TREES SHALL BE LIMBED UP AT LEAST 4' WITH A MINIMUM HEIGHT OF 8'.
- ALL CANOPY AND UNDERSTORY TREES SHALL HAVE ONE STRONG CENTRAL LEADER TRUNK. NO MULTI-TRUNK UNLESS SPECIFIED. THE SOUTH SIDE OF ALL TREES SHALL BE MARKED BEFORE TRANSPLANT FOR DIRECTIONAL PLACEMENT AT THE TIME OF PLANTING. CONTRACTOR SHALL BE RESPONSIBLE FOR DIRECTIONAL PLACEMENT.
- ALL TREES SHALL BE MATCHED SPECIMENS WITH A FULL CANOPY AND A UNIFORM BRANCHING HABIT.
- EVERGREEN TREES SHALL BE FULL TO GROUND WITH A HEAVY CANOPY AND STRONG CENTRAL LEADER.
- ALL SHRUBS SHALL HAVE A FULL, HEAVY BODY FOR THE COMPLETE HEIGHT OF THE SHRUB AND SHOULD NOT SHOW STRESS AT TIME OF PLANTING.
- ALL SHRUBS SHALL HAVE A MINIMUM #3 CONTAINER AT TIME OF PLANTING. PLANT SELECTION MUST BE CHOSEN BY PLANT SIZE, NOT CONTAINER SIZE.
- ALL SHRUBS, EXCEPT AS NOTED**, SHALL BE PLANTED AND MAINTAINED IN THEIR NATURAL FORM TO CREATE A PLANT MASSING EFFECT. NO "GUMDROP" PRUNING IS ALLOWED.
- MULCH "VOLCANOES" ARE UNACCEPTABLE. MULCH MUST BE INSTALLED PER DETAILS.
- INSTALL ALL PLANTS IN ACCORDANCE WITH ALL APPLICABLE DETAILS AND SPECIFICATIONS INCLUDED WITHIN THE CONSTRUCTION PACKAGE.
- ALL PLANTS MUST BE SELECTED, INSTALLED, AND MAINTAINED ACCORDING TO THE SPECIFICATIONS.
- ALL TREES MUST BE PLANTED A MINIMUM OF 5 FEET FROM MAJOR UTILITY LINES. CONTACT LANDSCAPE ARCHITECT WHERE DISCREPANCIES OCCUR FOR FIELD ADJUSTMENT.

GENERAL NOTES:

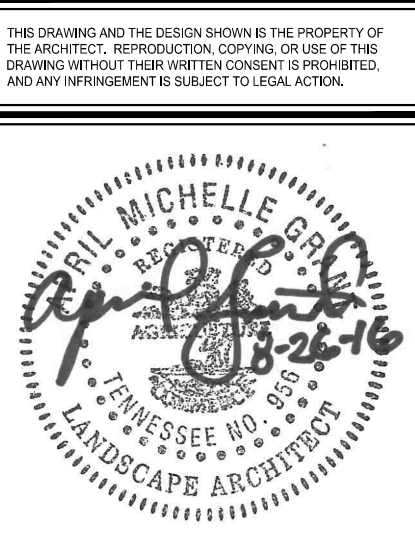
- UNDERGROUND UTILITIES:
 - UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED BY THE OWNER, LANDSCAPE ARCHITECT, OR THEIR REPRESENTATIVES. BEFORE YOU DIG, CALL TENNESSEE ONE CALL SYSTEM-1-800-361-1111.
 - THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES TO REMAIN.
- THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS TO INSURE THAT THE NEW WORK SHALL FIT INTO THE EXISTING SITE IN THE MANNER INTENDED AND AS SHOWN ON THE DRAWINGS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO PERFORMING ANY WORK IN THE AREA INVOLVING DIFFERENCES. NOTIFICATION SHALL BE IN THE FORM OF A DRAWING OR SKETCH INDICATING FIELD MEASUREMENTS AND NOTES RELATING TO THE AREA.

LANDSCAPE NOTES:

- PLANTING BEDS AND PLANT LOCATIONS SHALL BE STAKED BY THE LANDSCAPE CONTRACTOR. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER OR THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION OF THE PLANTS.
- PLANTING BEDS SHALL BE CLEARED OF ALL GRASS AND WEEDS PRIOR TO INSTALLATION OF PLANTS, INCLUDING SPRAYING "ROUND-UP" OR APPROVED SUBSTITUTE TO KILL ACTIVELY GROWING PLANTS. PLANT BEDS SHALL BE PREPARED AS CALLED FOR IN THE SPECIFICATIONS AND DETAILS.
- ALL OTHER DISTURBED AREAS ARE TO BE SEEDED OR SODDED AS PER THE PLANS. ADDITIONAL SEEDING OR SODDING, IF REQUIRED, WILL BE AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE. SEE EROSION CONTROL SHEET FOR SEEDING.
- PLANTING BEDS SHALL HAVE A THREE (3) INCH SHREDDED HARDWOOD BARK MULCH OVER THE ENTIRE BED, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- PRIOR TO PLANTING, ALL PLANTED AREAS SHALL BE TREATED WITH A WATER-SOLUBLE HERBICIDE FOR THE NON-SELECTIVE CONTROL OF ANNUAL AND PERENNIAL WEEDS PRIOR TO PLANTING.
- ALL TREE AND SHRUB PLANTING PITS SHALL BE BACKFILLED WITH A PLANTING SOIL MIXTURE OF ONE (1) PART ORIGINAL SOIL AND ONE (1) PART TOPSOIL, THOROUGHLY MIXED. SAMPLE OF MIXTURE TO BE APPROVED IN WRITING BY OWNER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- PLANT GROUNDCOVER & ANNUAL BEDS IN SAME MIXTURE AS SHRUBS. AFTER PLANTING & MULCHING, WATER AREAS TO POINT OF SATURATION. LANDSCAPE CONTRACTOR IS TO PROVIDE SOIL TEST RESULTS AND PROPOSED FERTILIZER APPLICATION RATES TO THE OWNER OR OWNER'S REPRESENTATIVE FOR APPROVAL.
- ALL PLANT MATERIAL IS TO BE NURSERY GROWN AND TO COMPLY WITH AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60. 1-2004) OR LATEST EDITION. PLANTS NOT IN COMPLIANCE WILL BE REJECTED AND REPLACED WITH PLANTS THAT MEET THE STANDARDS.
- SPRAY TREES AND SHRUBS WITH AN ANTI-DESICCANT IF FOLIAGE IS PRESENT.
- EVERGREEN TREES AND SHRUBS SHALL BE PLANTED IN THE SAME MANNER AS DECIDUOUS MATERIAL IS PLANTED. DO NOT PRUNE ANY PLANT MATERIAL UNTIL IT HAS BEEN INSPECTED AND ACCEPTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- ALL LANDSCAPE MATERIAL SHALL BE APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE BEFORE INSTALLATION. MATERIALS MAY BE VIEWED AT LANDSCAPE CONTRACTOR'S HOLDING SITE OR AT THIS SITE. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE OF THE AVAILABILITY OF THE MATERIALS TO BE INSPECTED.
- ALL MATERIALS INSPECTED ON THE SITE AND FOUND TO BE UNACCEPTABLE SHALL BE REMOVED FROM THE SITE ON THE DAY OF INSPECTION.
- FIELD CHANGES MUST BE APPROVED IN WRITING BY THE OWNER OR OWNER'S REPRESENTATIVE.
- EXISTING PLANT MATERIAL IS TO BE EVALUATED BY THE LANDSCAPE ARCHITECT FOR POSSIBLE RELOCATION ON SITE. THE LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT FORTY-EIGHT (48) HOURS BEFORE BEGINNING WORK.
- ALL PLANT MATERIAL SHALL BE SUPPLIED BY APPROPRIATE SOURCES TO PREVENT UNDUE STRESS OR PROLONGED ACCLIMATIZATION WHICH WOULD INHIBIT PLANT GROWTH.
- LANDSCAPE CONTRACTOR IS TO VERIFY PLANT QUANTITIES SHOWN ON PLAN AND IN PLANT LIST. IF DISCREPANCIES OCCUR, LANDSCAPE CONTRACTOR IS TO CONTACT LANDSCAPE ARCHITECT IMMEDIATELY. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE.
- EVERGREEN TREES TO BE A MINIMUM OF 6' IN HEIGHT AT TIME OF PLANTING - DECIDUOUS TREES TO BE 2" DBH MIN AT TIME OF PLANTING. SEE PLANT LIST FOR LARGER MATERIAL REQUIRED.
- MULTI-TRUNK PLANT MATERIAL SHALL BE ONE PLANT GROWN FROM SINGLE SEEDLING. NO CLUMP MULTI-PLANT STOCK WILL BE ACCEPTED.
- IF IN THE OPINION OF THE LANDSCAPE ARCHITECT, THE CENTRAL LEADER OF ANY TREE HAS BEEN CUT IN THE HISTORY OF THE PLANT'S GROWTH, THE MATERIAL SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER. THE DECISION OF THE LANDSCAPE ARCHITECT WILL BE FINAL.

PLANT SCHEDULE

GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	REMARKS
[Pattern]	CYN DA2	3,937 SF	CYNODON DACTYLON	BERMUDA GRASS	SEED		APPLICATION RATE: 1-2 LBS OF SEED PER 1000SF



SUBMITTALS / REVISIONS

NO.	DATE	DESCRIPTION
1	8/26/16	CITY COMMENTS

SHEET TITLE

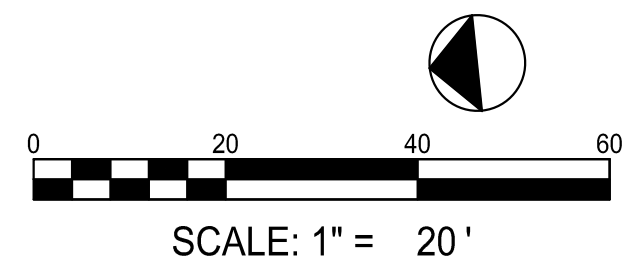
LANDSCAPE PLAN, NOTES & SCHEDULE

PROJECT NO. 15219 **DATE** 08/19/2016

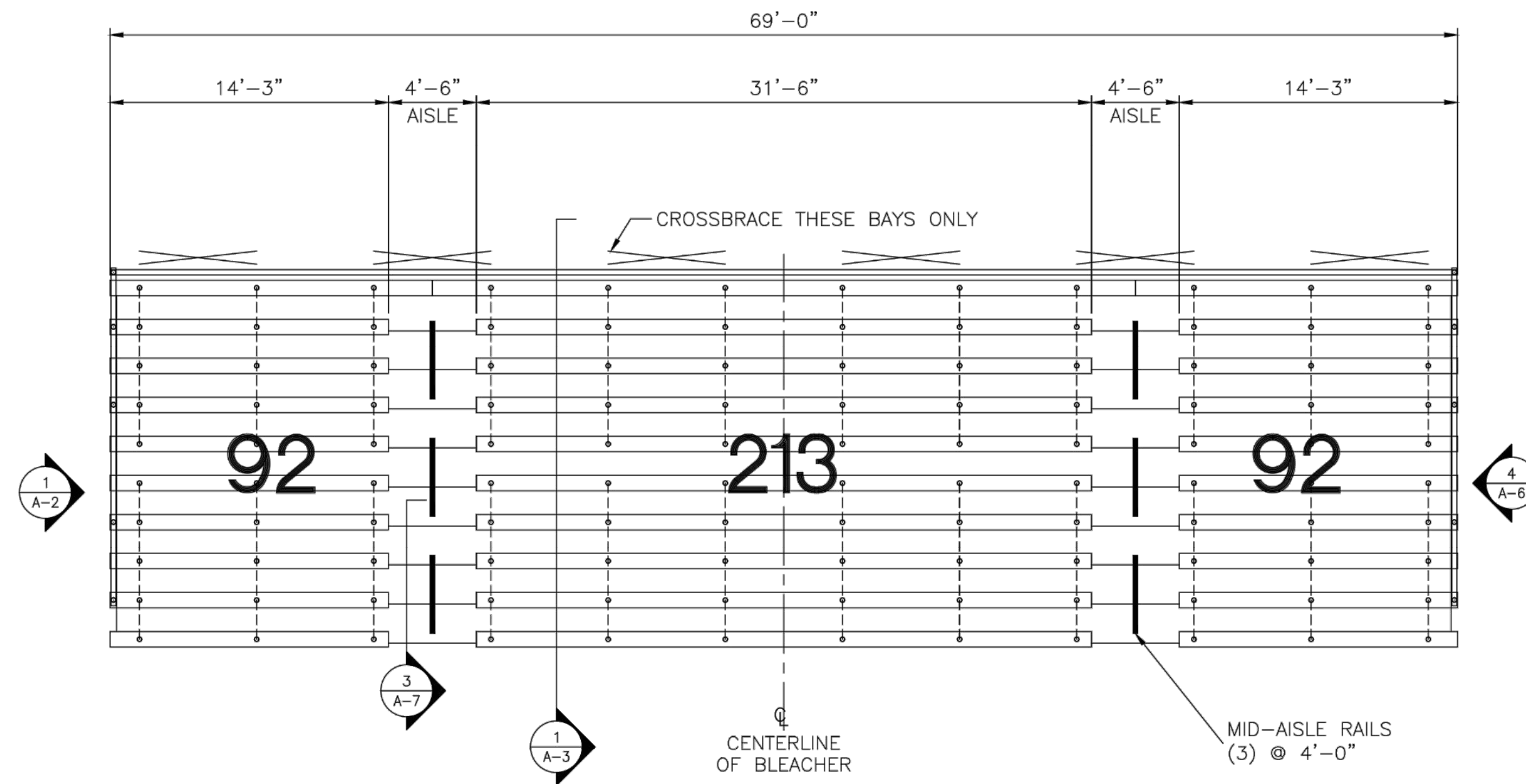
DRAWN BY ANG **SCALE** 1"=20'

CHECKED BY CLC

SHEET NO. L1.01



N:\2016\15219_Ridley_Park_Sports_Complex_Expansion\02016_LANDSCAPE_BLEACHERS.dwg, PLOT: 2/25/16 1:10 PM, 18" LANDSCAPE_BLEACHERS.ctb, PLOT: 2/25/16 1:10 PM



SEATING PLAN
3/16"=1'-0"

10 ROWS, 0" ELEVATION
8 /24 RISE/RUN
DECK SYSTEM - CLOSED/SEMI-CLOSED DECK
BENCH SEATING CAPACITY 397
CHAIR SEATING CAPACITY 0
WHEELCHAIR SEATING CAPACITY 0
COMPANION SEATING CAPACITY 0
TOTAL SEATING CAPACITY 397

NOTES:
1. SHEET PROVIDED FOR BIDDING ONLY. SEAL ARCHITECTURAL AND ENGINEERING DRAWING TO BE PROVIDED AS PART OF SHOP DRAWING PROCESS.
2. CONTRACTOR TO OBTAIN BUILDING PERMIT FROM THE CITY OF COLUMBIA.
3. BLEACHERS AND PRESSBOX TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.

PROJECT NAME:
STANDARD SPP
10RNE69CD-SC

DANT CLAYTON CORPORATION
1500 Bernheim Lane
Louisville, KY 40210
Telephone (502) 634-3626
WWW.DANTCLAYTON.COM

REV. NO.	DATE	DESCRIPTION	INITIALS	ECO NUMBER
A				
B				
C				
D				
E				

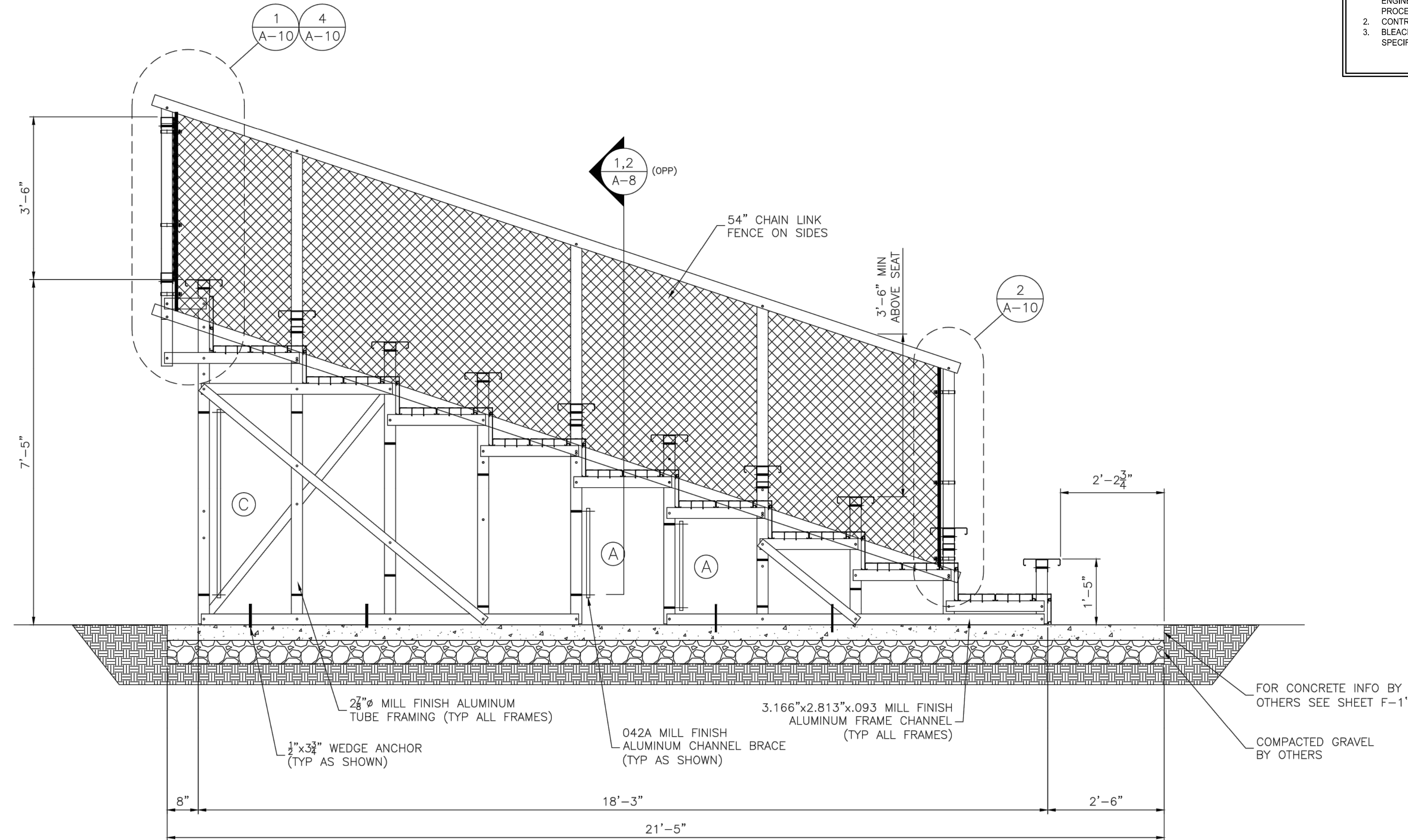
SHEET NUMBER
A-1A
PART NUMBER
0155784
0155784

NO.	DESCRIPTION	DATE	BY	CHKD.	DATE
1	AS NOTED				

CROSSBRACE

A. CROSSBRACE = 77 1/8"	15968
B. CROSSBRACE = 81 5/8"	15970
C. CROSSBRACE = 88"	15971
D. CROSSBRACE = 103 1/8"	15972
E. CROSSBRACE = 111 1/8"	15973
F. CROSSBRACE = 121 3/16"	21960
G. CROSSBRACE = 94 7/16"	15969
H. STRINGER BRACE = 73 1/4"	10498
J. CROSSBRACE = 48 3/4"	15967
K. CROSSBRACE = 75"	37425
L. CROSSBRACE = 75"	37425

- NOTES:
1. SHEET PROVIDED FOR BIDDING ONLY. SEAL ARCHITECTURAL AND ENGINEERING DRAWING TO BE PROVIDED AS PART OF SHOP DRAWING PROCESS.
 2. CONTRACTOR TO OBTAIN BUILDING PERMIT FROM THE CITY OF COLUMBIA.
 3. BLEACHERS AND PRESSBOX TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.



1 END ELEVATION 3/4"=1'-0"

PROJECT NAME:
STANDARD SPP
10 ROW NON-ELEVATED

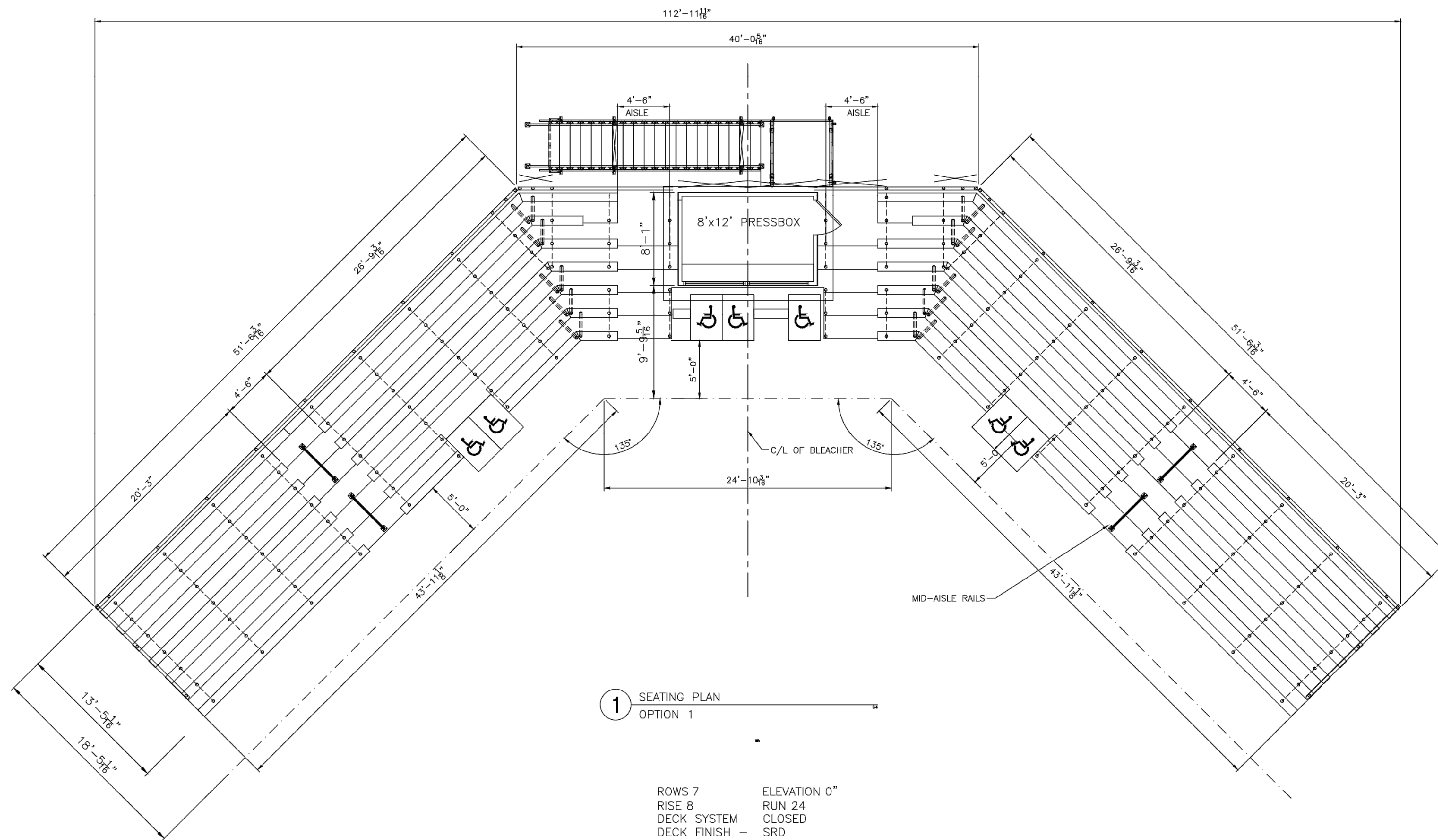
DANT CLAYTON CORPORATION
1500 Bernheim Lane
Louisville, KY 40210
Telephone (502) 634-3626
WWW.DANTCLAYTON.COM

REV. NO.	DATE	DESCRIPTION	INITIALS	EQO NUMBER
A	1/1/13	REMOVED MIDDLE RAIL	MLS	7020
B				
C				
D				
E				

SHEET NUMBER
A-2A

PART NUMBER
0156593
0156593

NO.	DATE	BY	CHKD.	APP'D.	REVISION
1					AS NOTED



1 SEATING PLAN
OPTION 1

ROWS 7	ELEVATION 0"
RISE 8	RUN 24
DECK SYSTEM - CLOSED	
DECK FINISH - SRD	
BENCH SEATING CAPACITY	426
CHAIR SEATING CAPACITY	0
WHEELCHAIR SEATING CAPACITY	7
COMPANION SEATING CAPACITY	3
TOTAL SEATING CAPACITY	436

- NOTES:
1. SHEET PROVIDED FOR BIDDING ONLY. SEAL ARCHITECTURAL AND ENGINEERING DRAWING TO BE PROVIDED AS PART OF SHOP DRAWING PROCESS.
 2. CONTRACTOR TO OBTAIN BUILDING PERMIT FROM THE CITY OF COLUMBIA.
 3. BLEACHERS AND PRESSBOX TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.

DESIGN NOTES:

DESIGNED SEATING LAYOUT IS DANT-CLAYTON'S INTERPRETATION OF THE EGRESS FACTORS AND ACCESSIBILITY REQUIREMENTS PRESCRIBED IN THE 2012 INTERNATIONAL BUILDING CODE (IBC) FOR OUTDOOR, OPEN-AIR, SMOKE-PROTECTED ASSEMBLY SEATING WITH NON-COMBUSTIBLE CONSTRUCTION.
USE GROUP A-5, CONSTRUCTION TYPE IIB.

IT IS THE CUSTOMER'S RESPONSIBILITY TO VERIFY THAT THESE DRAWINGS SATISFY LOCAL AND FEDERAL REGULATIONS. IT IS RECOMMENDED THAT THESE DRAWINGS BE REVIEWED AND APPROVED BY THE LOCAL AUTHORITIES HAVING JURISDICTION PRIOR TO FINAL DESIGN. REVISIONS MAY RESULT IN CONTRACT CHANGE.

THIS DRAWING IS FOR PROPOSAL AND PRELIMINARY PURPOSES ONLY.
"NOT FOR CONSTRUCTION".

PROJECT NAME:
RIDLEY PARK SOFTBALL
COLUMBIA, TN
32188.1

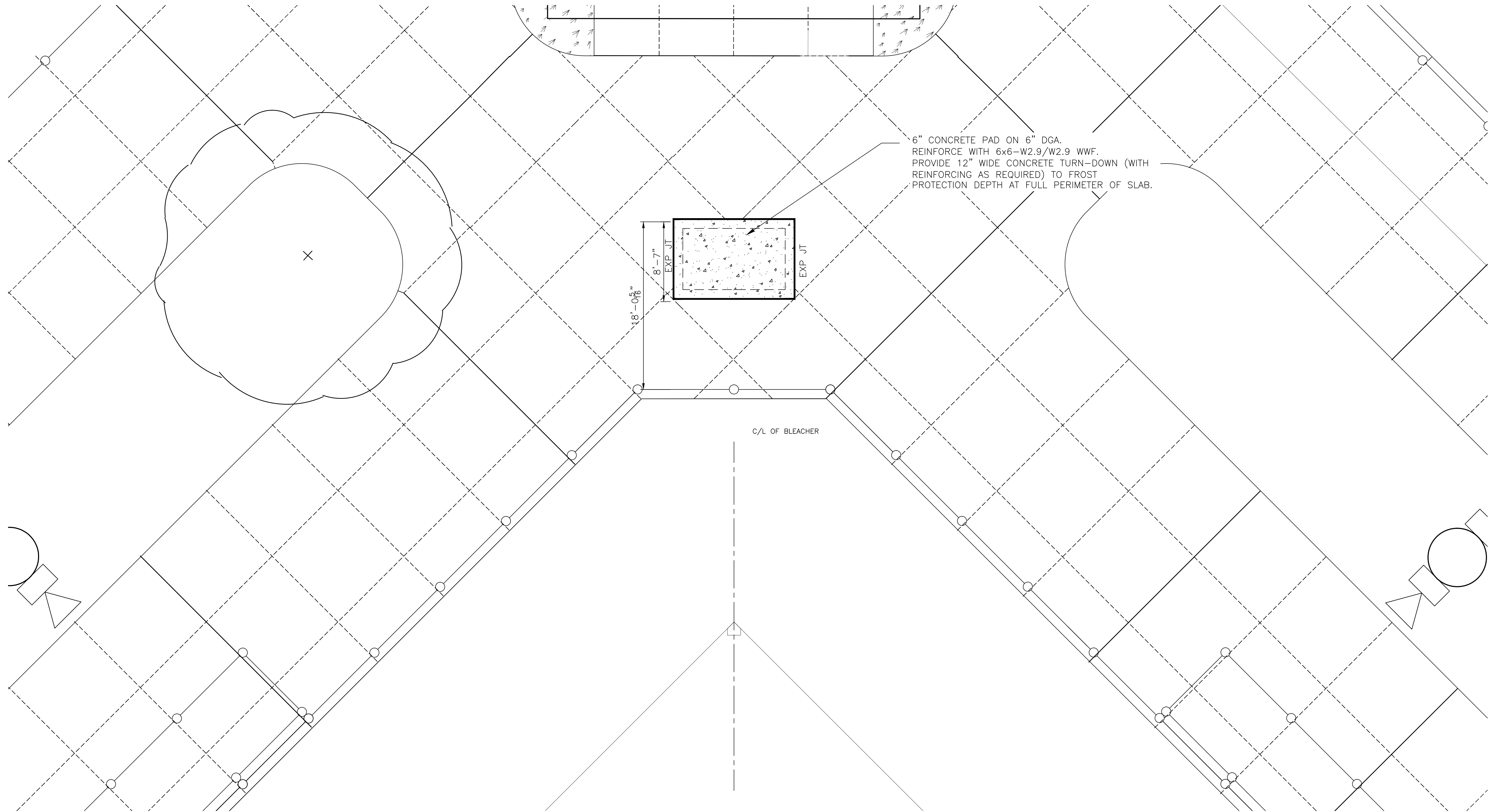
DANT CLAYTON CORPORATION
1500 Bernheim Lane
Louisville, KY 40201-7408
Telephone (502) 634-3626
WWW.DANTCLAYTON.COM

REV. NO.	DATE	DESCRIPTION	INITIALS	ECO NUMBER
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B				
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SHEET NUMBER
A-1

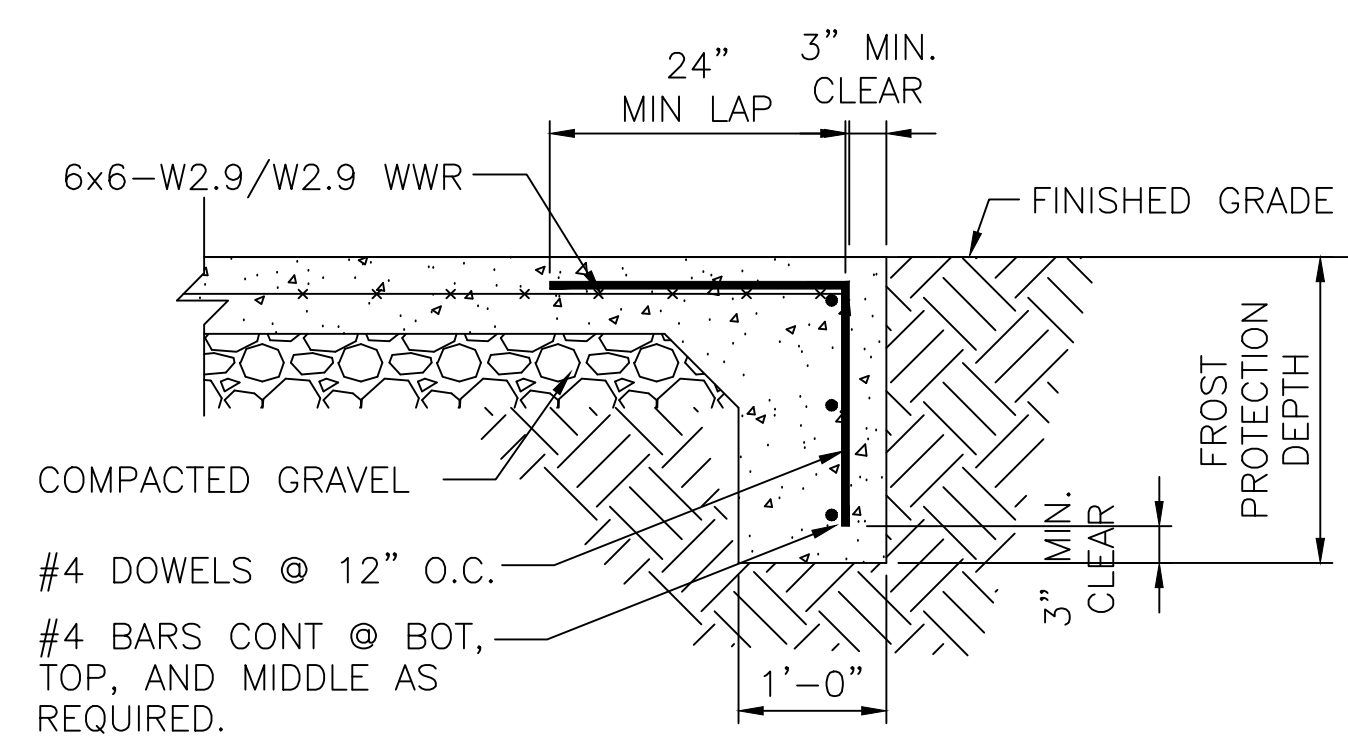
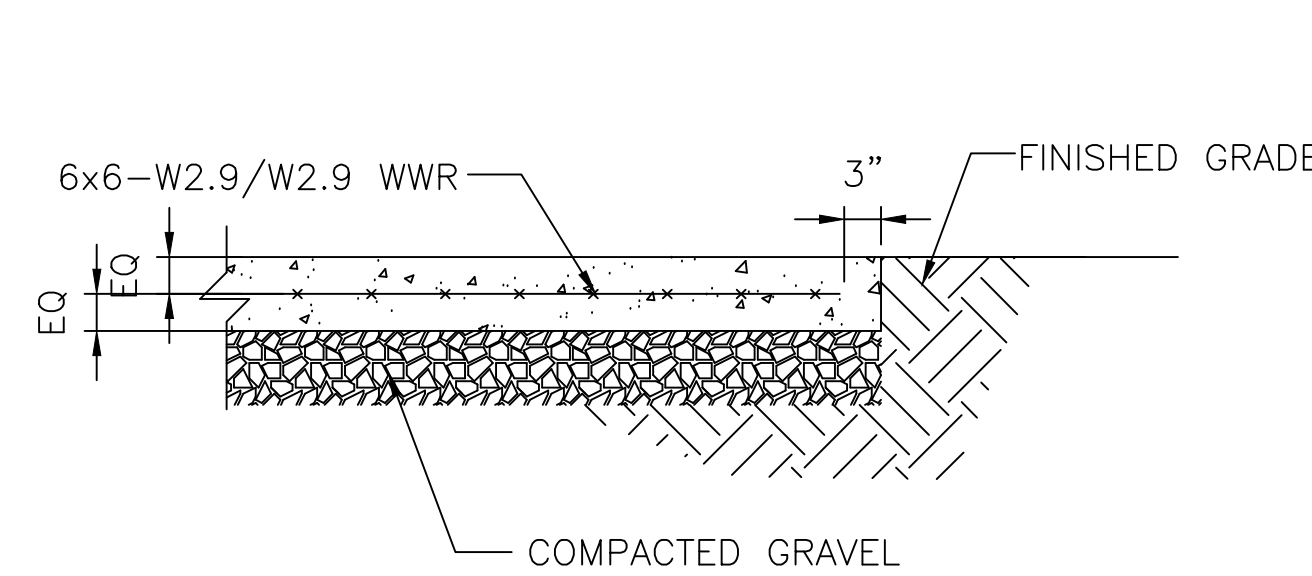
PART NUMBER
0236403
236403

PROJECT NO.	04-0000	DATE	8/2/2016
ISSUE NO.	01	SCALE	AS SHOWN
DESIGNER	ALS	CHECKED	ALS
DRAWN	ALS	DATE	7/6/16
CLASS	57-0-0	PROJECT	Closed Deck
REVISIONS			



6" CONCRETE PAD ON 6" DGA.
 REINFORCE WITH 6x6-W2.9/W2.9 WWF.
 PROVIDE 12" WIDE CONCRETE TURN-DOWN (WITH
 REINFORCING AS REQUIRED) TO FROST
 PROTECTION DEPTH AT FULL PERIMETER OF SLAB.

1 FOUNDATION PLAN
 OPTION 1



2 SECTION OF SLAB
 ON GRADE

3 SECTION OF SLAB
 @ PRESS-BOX & TURN-DOWN

NOTE:

THE LAYOUT SHOWN INDICATES OVERALL MINIMUM DIMENSIONS OF CONCRETE REQUIRED TO SUPPORT PRODUCT PROVIDED BY DANT CLAYTON CORP. THE LAYOUT IDENTIFIES SUGGESTED LOCATIONS FOR EXPANSION AND CONTROL JOINTS SUCH THAT THEY DO NOT ALIGN DIRECTLY BELOW FRAME LOCATIONS.

DANT-CLAYTON DOES NOT ASSUME ANY RESPONSIBILITY FOR CONCRETE INSTALLATION PROVIDE BY OTHERS NOT CONTRACTED WITH DANT CLAYTON.

IT IS THE RESPONSIBILITY OF THE CONCRETE INSTALLER, SUB-CONTRACTORS, CONTRACTORS, OR OWNER TO VERIFY AVAILABILITY OF SPACE FOR REQUIRED CLEARANCES AND EXISTING SITE CONDITIONS.

ANY FLAWS IN WORKMANSHIP OR DEFECTS SHALL BE THE RESPONSIBILITY OF THE CONCRETE INSTALLER..

PROJECT NAME:
 RIDLEY PARK SOFTBALL
 COLUMBIA, TN
 32188.1

DANT CLAYTON CORPORATION
 1500 Bernheim Lane
 Louisville, KY 40201-7408
 Telephone (502) 634-3626
 WWW.DANTCLAYTON.COM

REV. NO.	DATE	DESCRIPTION	INITIALS	ECCO NUMBER
A	7/06/16	revised	WJW	FD
B				
C				
D				
E				

SY. NO.	DATE	THROUGH	BY	STATUS	REVISIONS
1	6/2/2016	BWILLINGER	ALS	Stand	0
2					
3					
4					
5					
6					
7					

SHEET NUMBER	A-1F
PART NUMBER	0236403
	236403

CROSSBRACE			
A. CROSSBRACE	77 1/8"	15968	
B. CROSSBRACE	81 5/8"	15970	
C. CROSSBRACE	88"	15971	
D. CROSSBRACE	103 1/8"	15972	

TYPICAL GUARDRAIL CONSTRUCTION
 CONSISTS OF:
 -3.116" x 2.8125" x .093" ANODIZED ALUMINUM HORIZONTAL RAIL CHANNELS,
 -2 7/8" Ø ALUMINUM VERTICAL POSTS,
 -CHAIN LINK FENCE FABRIC (SEE SPECS.)

NOTES:
 1. SHEET PROVIDED FOR BIDDING ONLY. SEAL ARCHITECTURAL AND ENGINEERING DRAWING TO BE PROVIDED AS PART OF SHOP DRAWING PROCESS.
 2. CONTRACTOR TO OBTAIN BUILDING PERMIT FROM THE CITY OF COLUMBIA.
 3. BLEACHERS AND PRESSBOX TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.

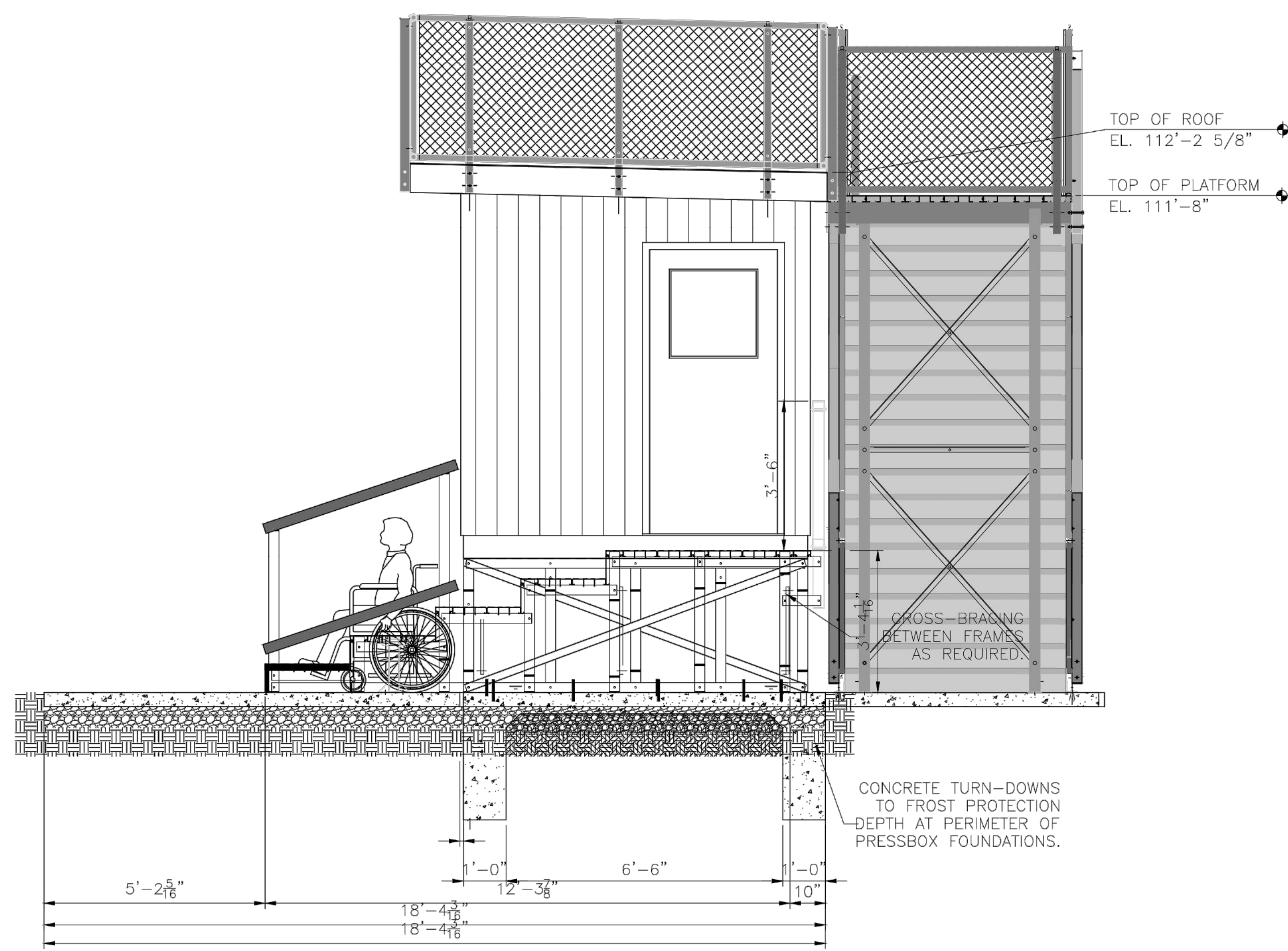
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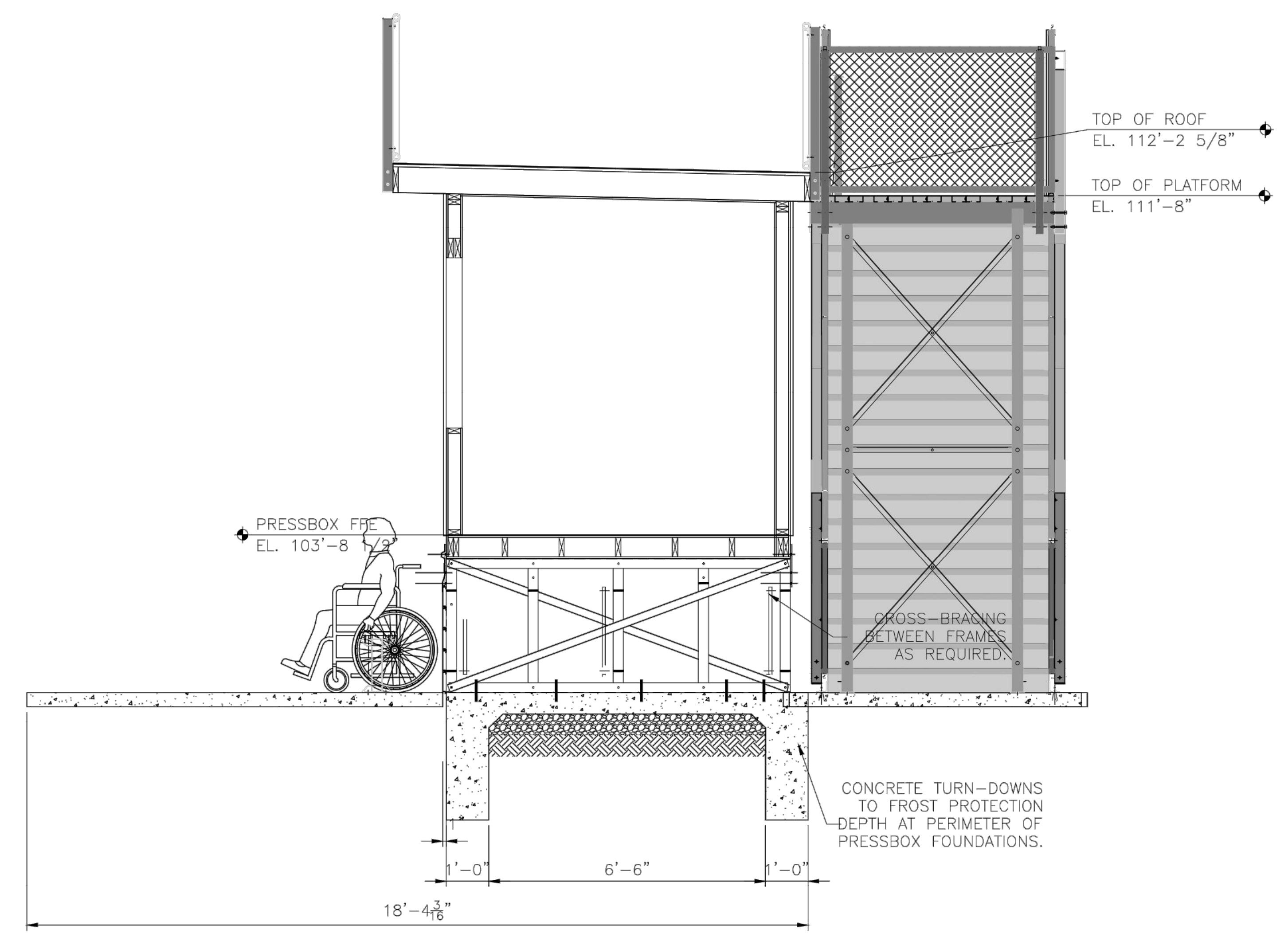
REV. NO.	DATE	DESCRIPTION	INITIALS	ECO. NUMBER
A	7/6/16	REVISED TO REMOVE MITER	WJW	NA
B				
C				
D				
E				

DATE	6/2/2016	SCALE	1	DRAWN BY	BWILLINGER	CHECKED BY	ALS	INCHES	7	FEET	A-2	SECTION	Stand	0	CONSTRUCTION	ENCLOSURE	8.0000	24.0000
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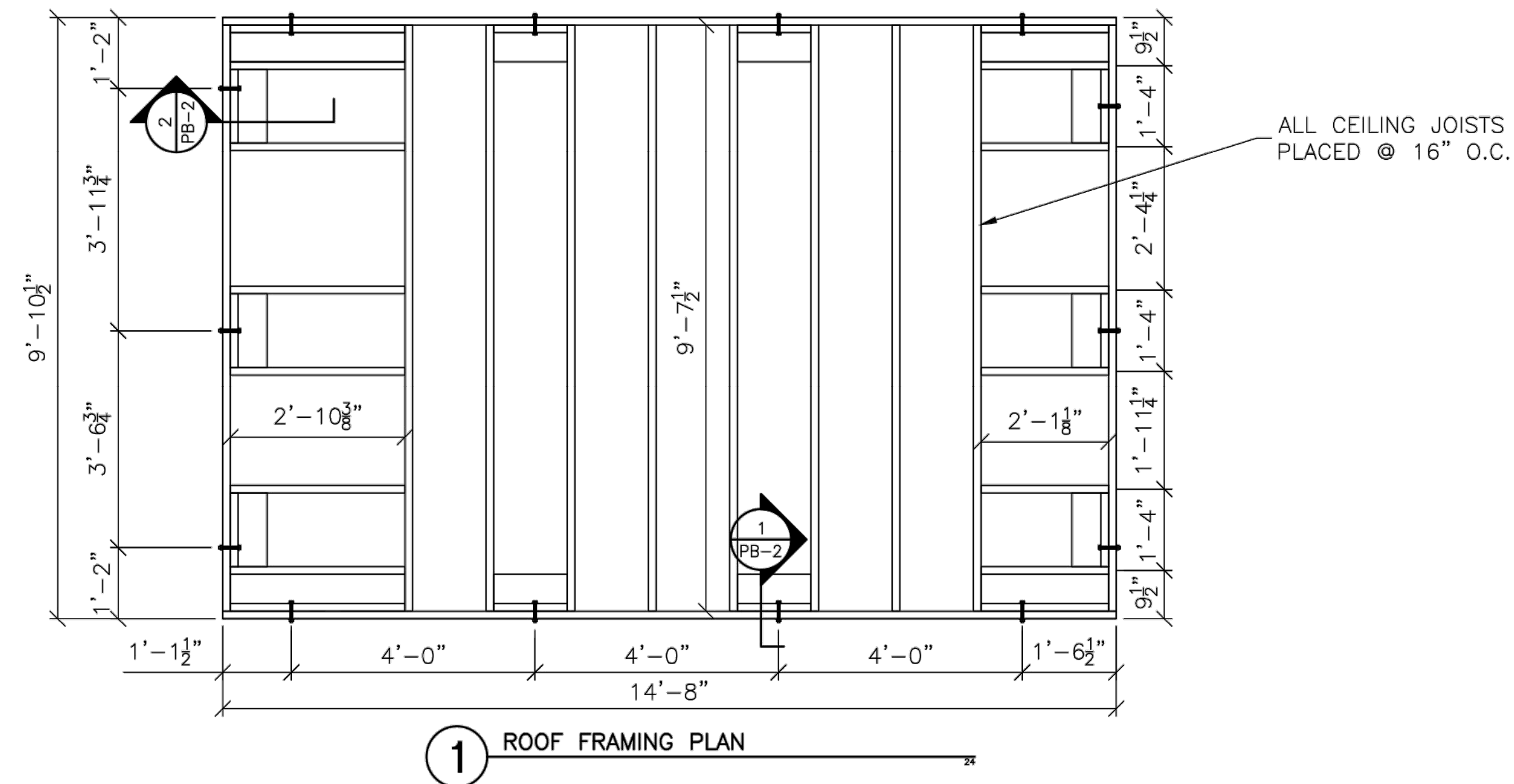
SHEET NUMBER	A-2.2
PART NUMBER	0236479
	236479



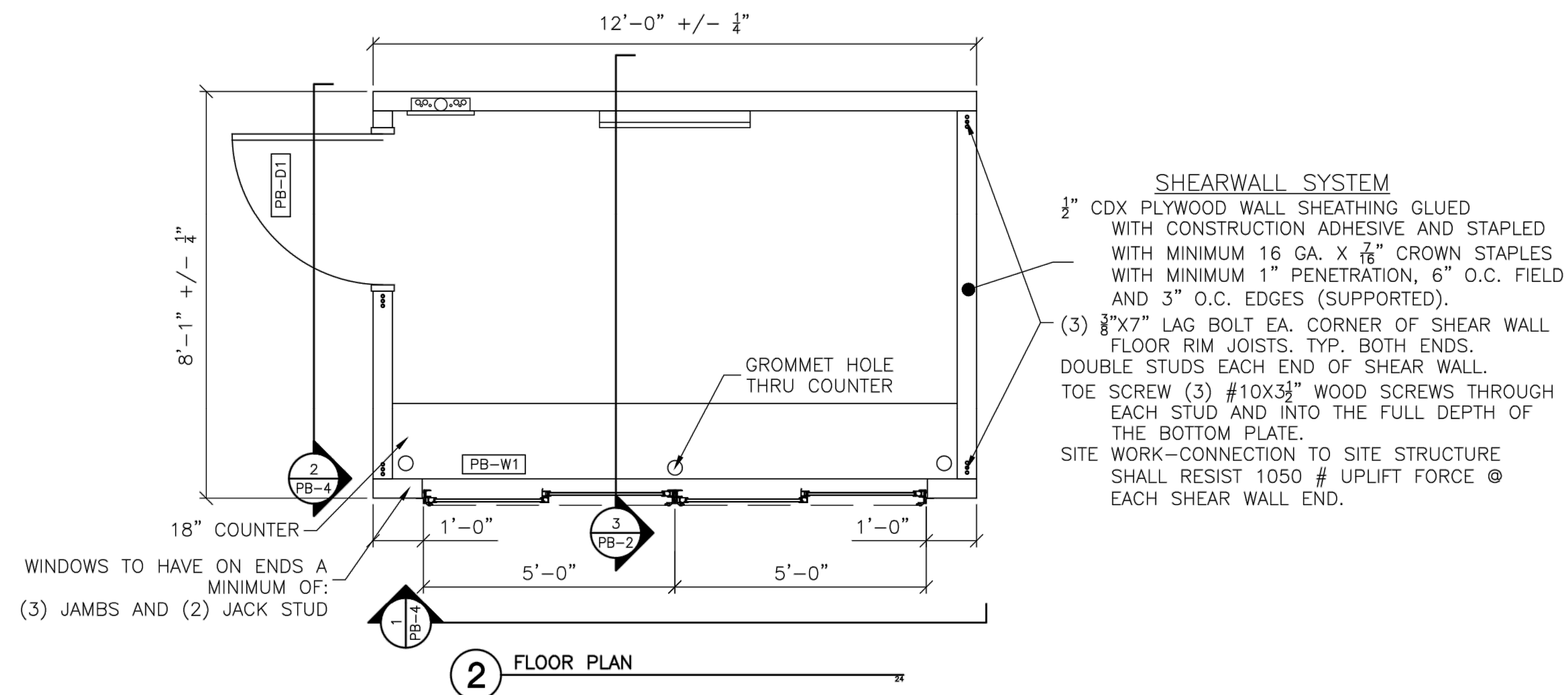
2 SECTION OF LANDING AT PRESSBOX
 OPTION 1



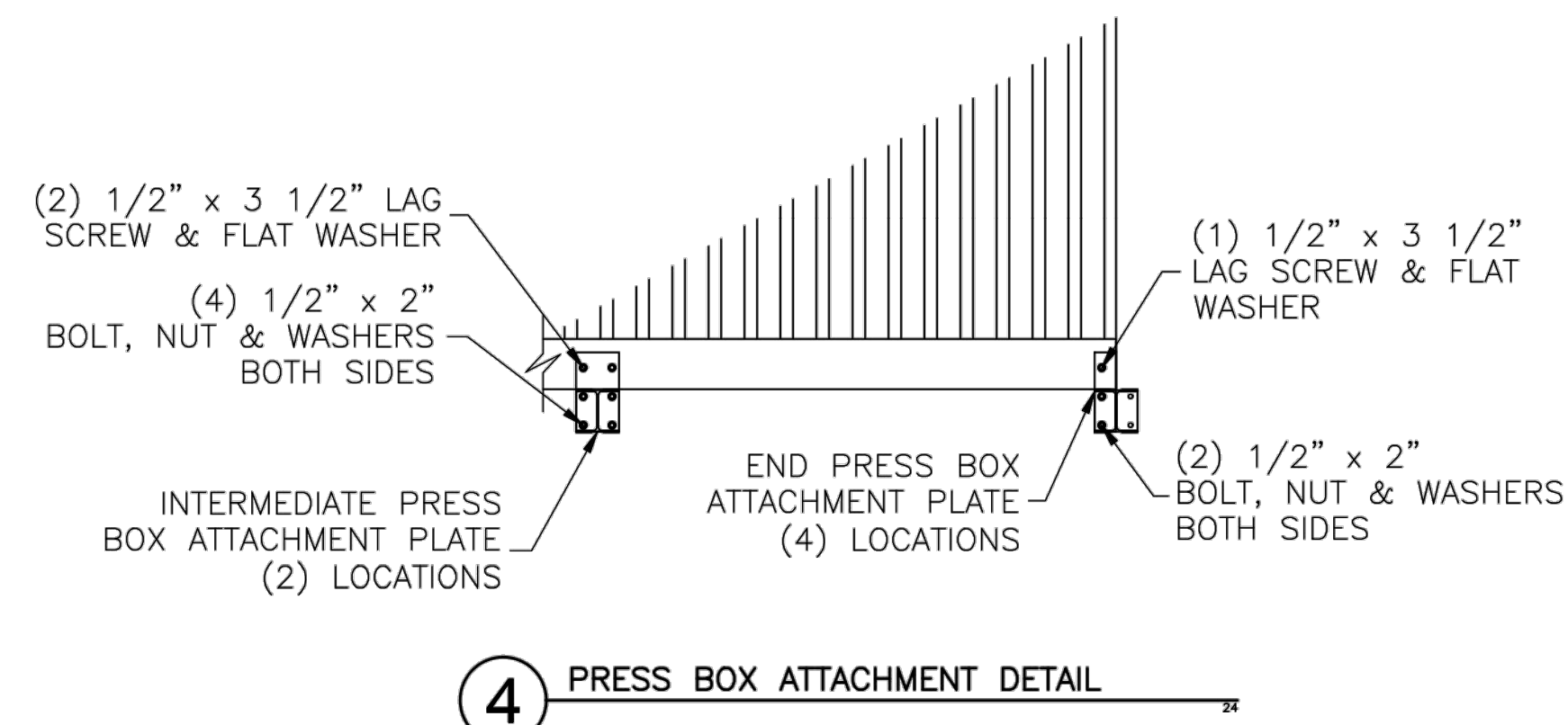
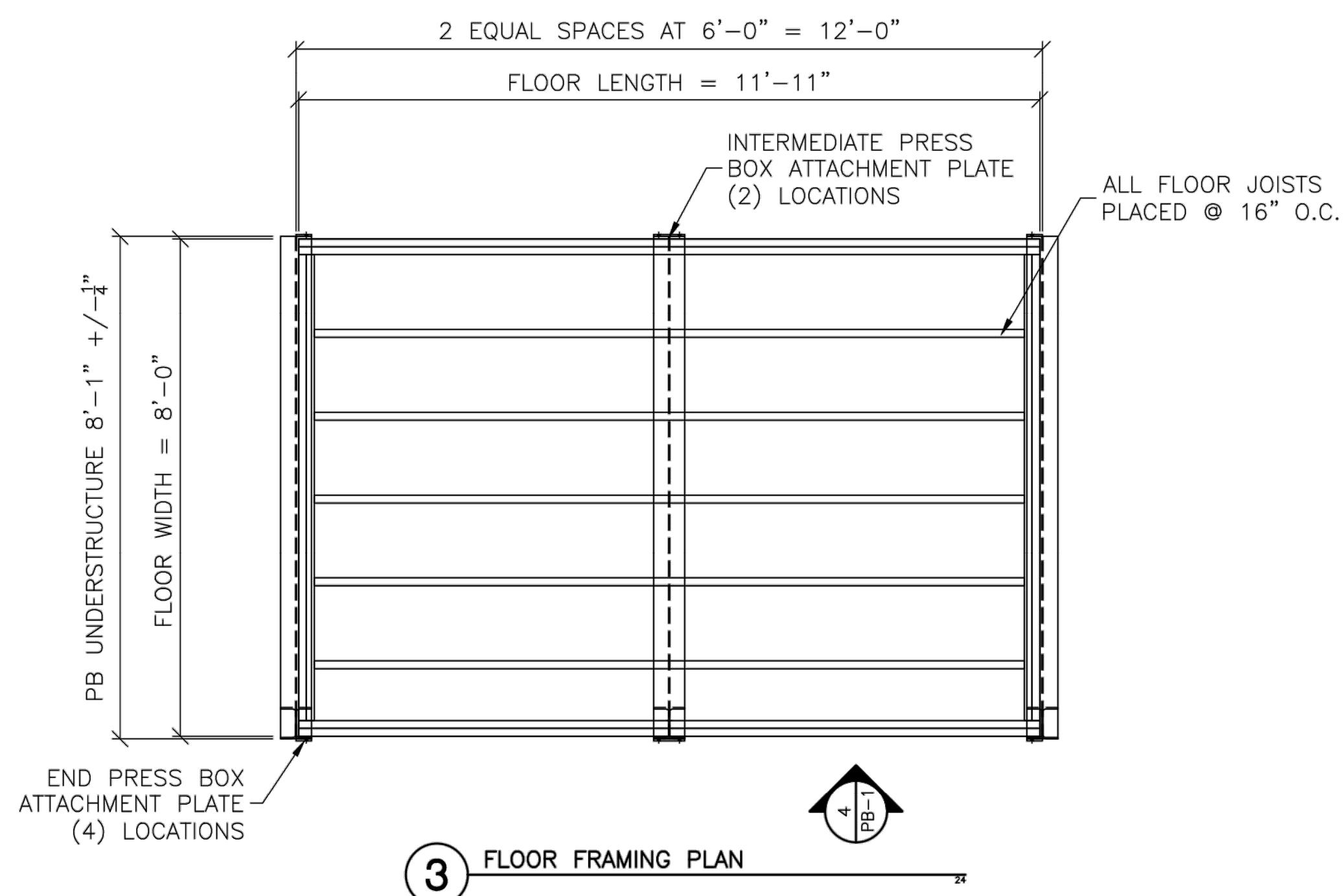
1 SECTION THRU PRESSBOX
 OPTION 1



ALL CEILING JOISTS
PLACED @ 16" O.C.



SHEARWALL SYSTEM
 (1) 1/2" CDX PLYWOOD WALL SHEATHING GLUED WITH CONSTRUCTION ADHESIVE AND STAPLED WITH MINIMUM 16 GA. X 7/16" CROWN STAPLES WITH MINIMUM 1" PENETRATION, 6" O.C. FIELD AND 3" O.C. EDGES (SUPPORTED).
 (2) 3/8"x7" LAG BOLT EA. CORNER OF SHEAR WALL FLOOR RIM JOISTS. TYP. BOTH ENDS. DOUBLE STUDS EACH END OF SHEAR WALL.
 (3) TOE SCREW (3) #10X3 1/2" WOOD SCREWS THROUGH EACH STUD AND INTO THE FULL DEPTH OF THE BOTTOM PLATE.
 (4) SITE WORK-CONNECTION TO SITE STRUCTURE SHALL RESIST 1050 # UPLIFT FORCE @ EACH SHEAR WALL END.



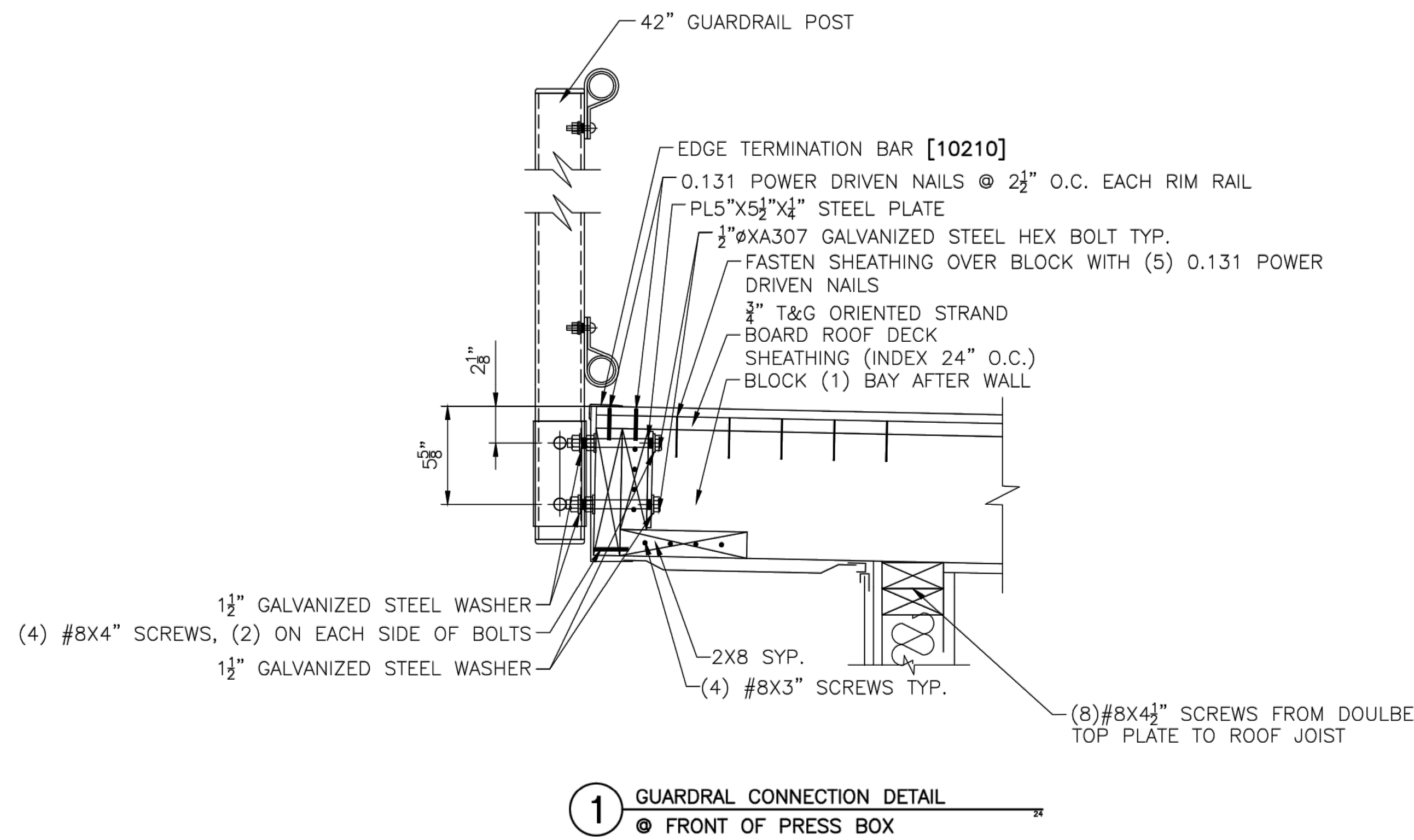
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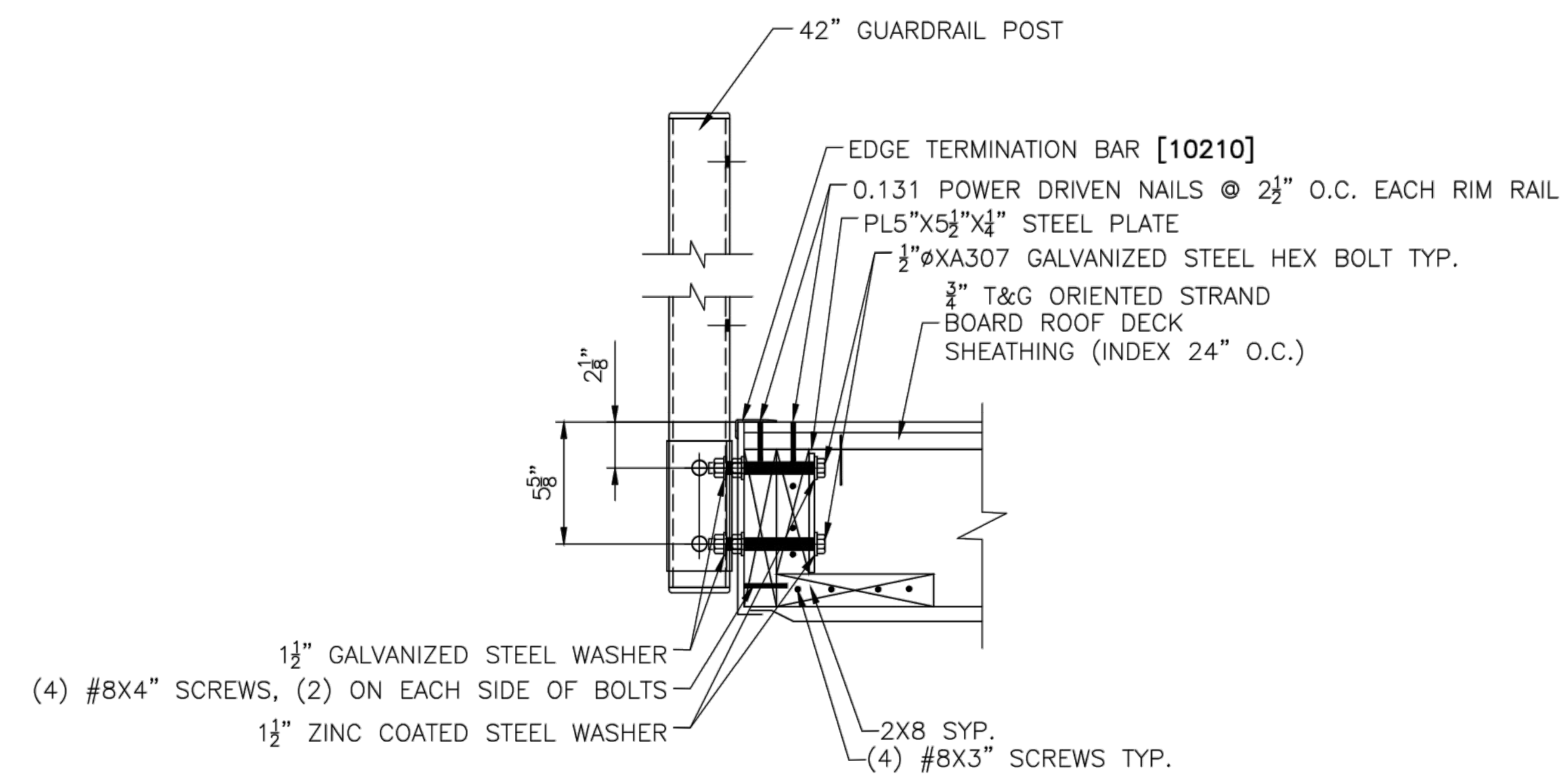
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REV. NO.	DATE	DESCRIPTION	INITIALS	ECO NUMBER
A				
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D				
E				

SHEET NUMBER
PB-1
 PART NUMBER
 0237748
 2 3 7 7 4 8



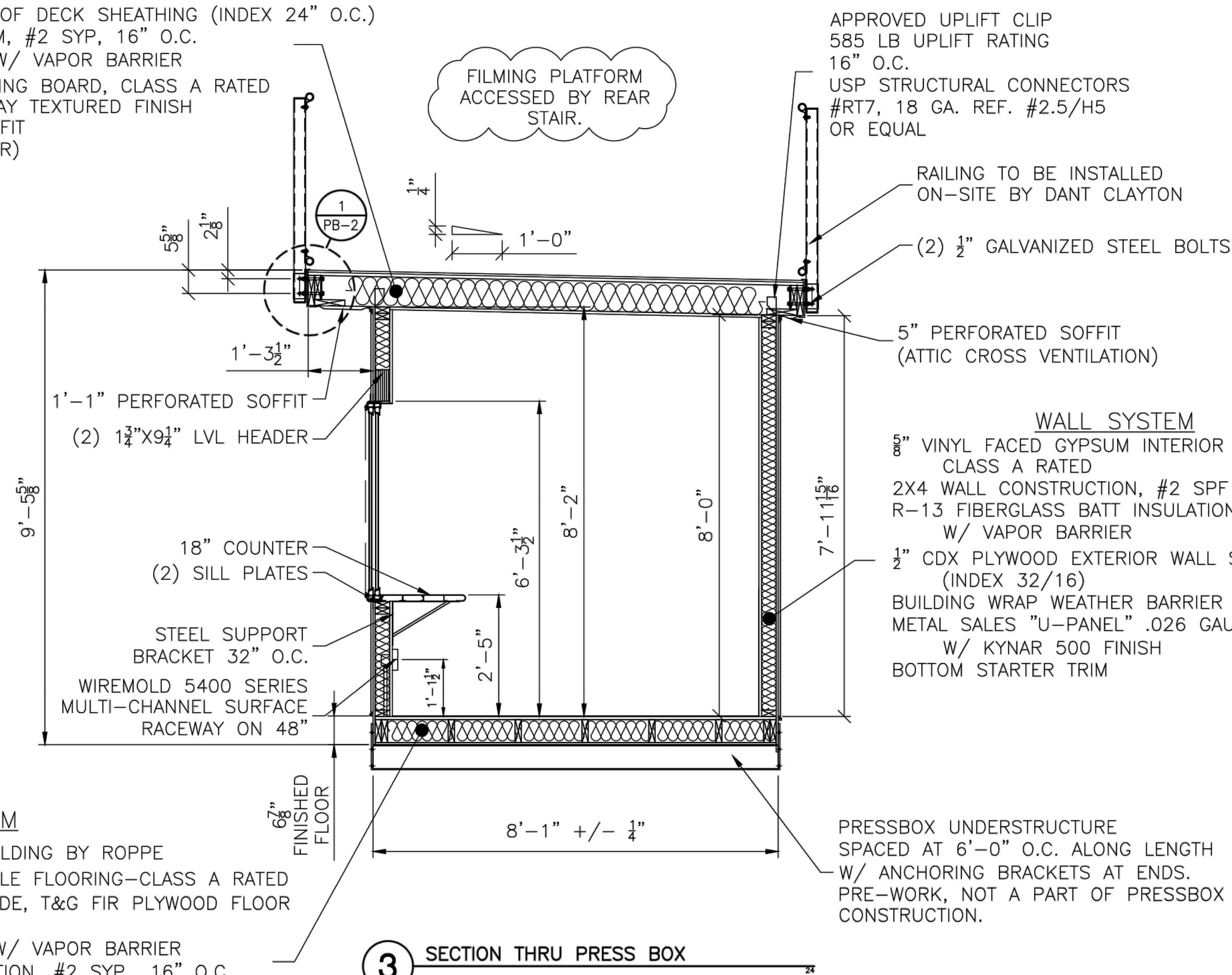
1 GUARDRAL CONNECTION DETAIL
 Ⓢ FRONT OF PRESS BOX



2 GUARDRAL CONNECTION DETAIL
 Ⓢ SIDES OF PRESSBOX

ROOFING SYSTEM

- DECKING .060 POLYESTER REINFORCED SKID AND SPIKE RESISTANT PVC MEMBRANE FULLY ADHERED
- 3/4" T&G ORIENTED STRAND BOARD ROOF DECK SHEATHING (INDEX 24" O.C.)
- 2X8 TRANSVERSE ROOF JOIST SYSTEM, #2 SYP, 16" O.C.
- R-19 FIBERGLASS BATT INSULATION W/ VAPOR BARRIER
- 5/8" TYPE-X FIRE RATED GYPSUM CEILING BOARD, CLASS A RATED -TAPED AND BEDDED WITH SPRAY TEXTURED FINISH MASTIC FASCIA AND PERFORATED SOFFIT (CONTINUOUS AROUND PERIMETER)



3 SECTION THRU PRESS BOX

FLOORING SYSTEM

- 4" THERMOPLASTIC RUBBER BASE MOLDING BY ROPPE
- 1/8" ARMSTRONG VINYL COMPOSITION TILE FLOORING-CLASS A RATED
- 3/4" STURDIFLOOR, UNDERLAYMENT GRADE, T&G FIR PLYWOOD FLOOR DECKING (INDEX 24" O.C.)
- R-19 FIBERGLASS BATT INSULATION W/ VAPOR BARRIER
- 2X6 LONGITUDINAL FLOOR CONSTRUCTION, #2 SYP, 16" O.C. (SPLICED 16'-0" O.C. AND STAGGERED)
- 1/2" PLYWOOD UNDERBELLY (INDEX 32/16) W/ CONTINUOUS VENT 96" O.C. (MIN. 2) (PAINTED INDUSTRIAL GRADE ASPHALT BASED BLACK)

WALL SYSTEM

- 5/8" VINYL FACED GYPSUM INTERIOR WALL PANELS CLASS A RATED
- 2X4 WALL CONSTRUCTION, #2 SPF OR BETTER, 16" O.C.
- R-13 FIBERGLASS BATT INSULATION W/ VAPOR BARRIER
- 1/2" CDX PLYWOOD EXTERIOR WALL SHEATHING (INDEX 32/16)
- BUILDING WRAP WEATHER BARRIER
- METAL SALES "U-PANEL" .026 GAUGE RIBBED STEEL PANELS W/ KYNAR 500 FINISH
- BOTTOM STARTER TRIM

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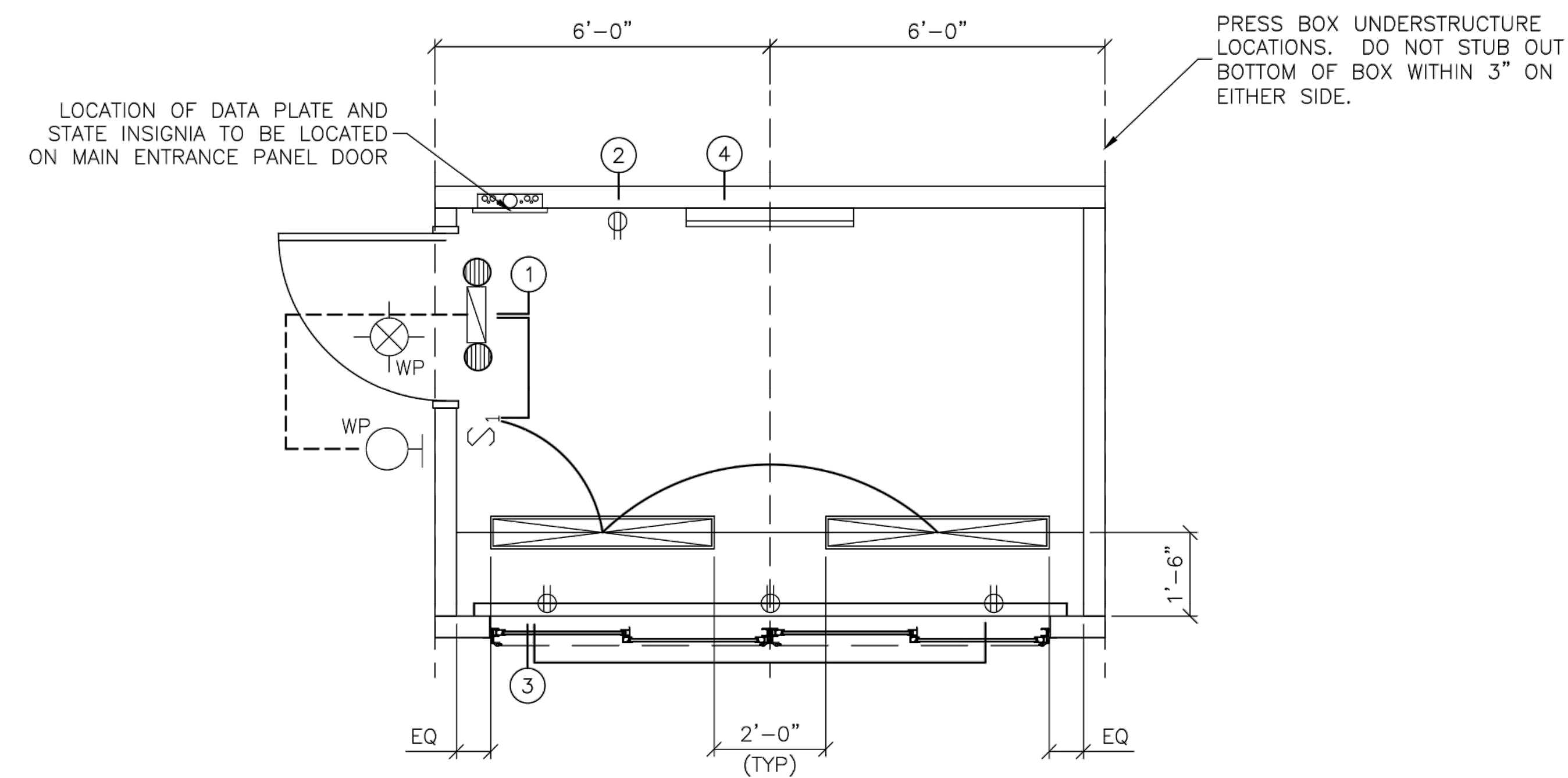
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REV. NO.	DATE	DESCRIPTION	INITIALS	ECO NUMBER
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B				
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D				
E				

SHEET NUMBER
PB-2
 PART NUMBER
 0237748
 * 2 3 7 7 4 8 *

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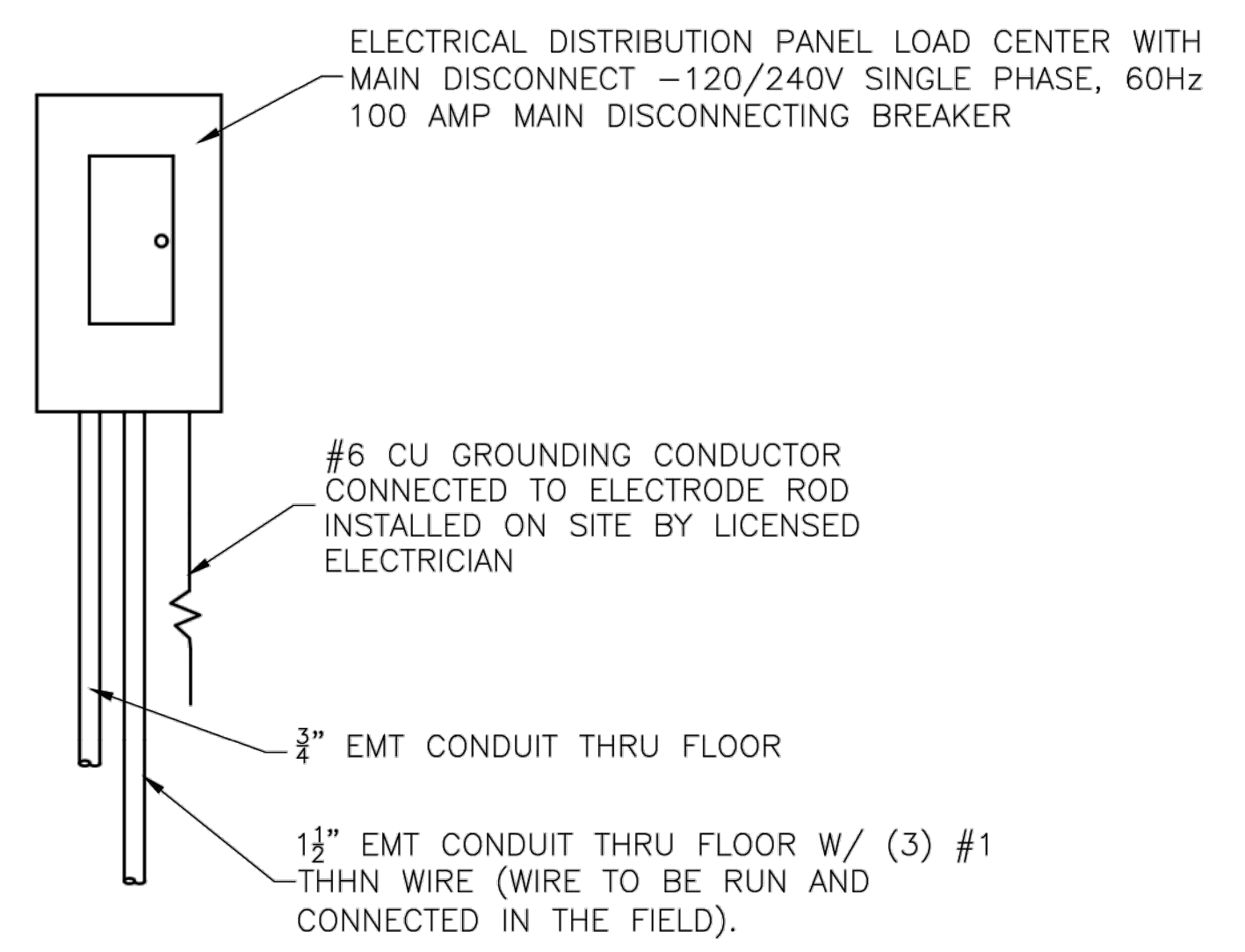
ELECTRICAL PLAN
 SCALE: 1/2"=1'-0"

ELECTRICAL STUBS TO BE COORDINATED WITH ARCHITECT/OWNER PRIOR TO INSTALLATION.

- NOTES:
 1) THE UTILITY METER BASE & FEEDER SYSTEM TO BE PROVIDED BY OTHERS ON SITE, UNDER THE AUTHORITY OF THE LOCAL JURISDICTIONS.
 2) CONNECTION OF ELECTRICAL SERVICE TO BE PERFORMED BY A LICENSED ELECTRICIAN. (BY OTHERS)
 3) ALL NUMBERS ON ELECTRICAL CIRCUITS DESIGNATE FEED SIDE OF CIRCUIT.
 4) ALL BRANCH CIRCUIT WIRING TO BE ENCASED IN THIN WALL EMT CONDUIT--MIN 12 THHN WIRE

No	AMP	VOLT	WIRE	DESCRIPTION	WATTS
1	20	120	12 THHN	GENERAL LIGHTING	420
2	20	120	12 THHN	GENERAL RECEPITS	180
3	20	120	12 THHN	PLUG STRIPS	1,440
4	20	240	12 THHN	BASEBOARD HEATER	1,000
					3,040

12 AMPS @ 240 VOLTS



PANEL ELEVATION
 SCALE: NTS

SYMBOL	DESCRIPTION
	LITHONIA #M-232-PC1S-120-GEB (2) 4' TUBE FLUORESCENT LIGHT WITH PARABOLIC DIFFUSERS (30 WATT)
	ELECTRICAL DISTRIBUTION LOAD CENTER W/ MAIN DISCONNECT-120/240V. SINGLE PHASE, 100 AMP CAPACITY, SQ. 'D' #Q0124M100 W/ (1) 1 1/2" CONDUIT THRU FLOOR--100 AMP CAPACITY W/ (1) 3/4" CONDUIT THRU FLOOR
	PASS & SEYMOUR #870 SPEC. GRADE, GROUNDING TYPE, SWITCH
	LITHONIA #ECR SW3R120 EMERGENCY COMBINATION EXIT/FLOOD LIGHT W/ MINIMUM 90 MIN. BATTERY BACK-UP (WALL MOUNT)
	PASS & SEYMOUR CR20 SPEC. GRADE, GROUNDING TYPE, RECEPT UP 18" UNLESS NOTED OTHERWISE
	WIREMOLD #5400 SERIES ELECTRIC PLUG STRIPS W/ RECEPITS AND COMMUNICATION JACK COVERS 48" O.C. AND (1) 3/4" CONDUIT THRU FLOOR AT EACH END (2) TOTAL--UP 14"
	180-DEGREE WHITE OUTDOOR LED MOTION SECURITY LIGHT W/ DUSK TO DAWN SENSOR #DFI-5982-WH WALL MOUNTED ABOVE THE CENTER OF THE DOOR.
	LITHONIA #ELAN-NX-0806 REMOTE EMERGENCY LIGHT HEAD
	HVAC - Zoneline #AZ64H09D 3.4 KW electric wall mount heat pump unit.

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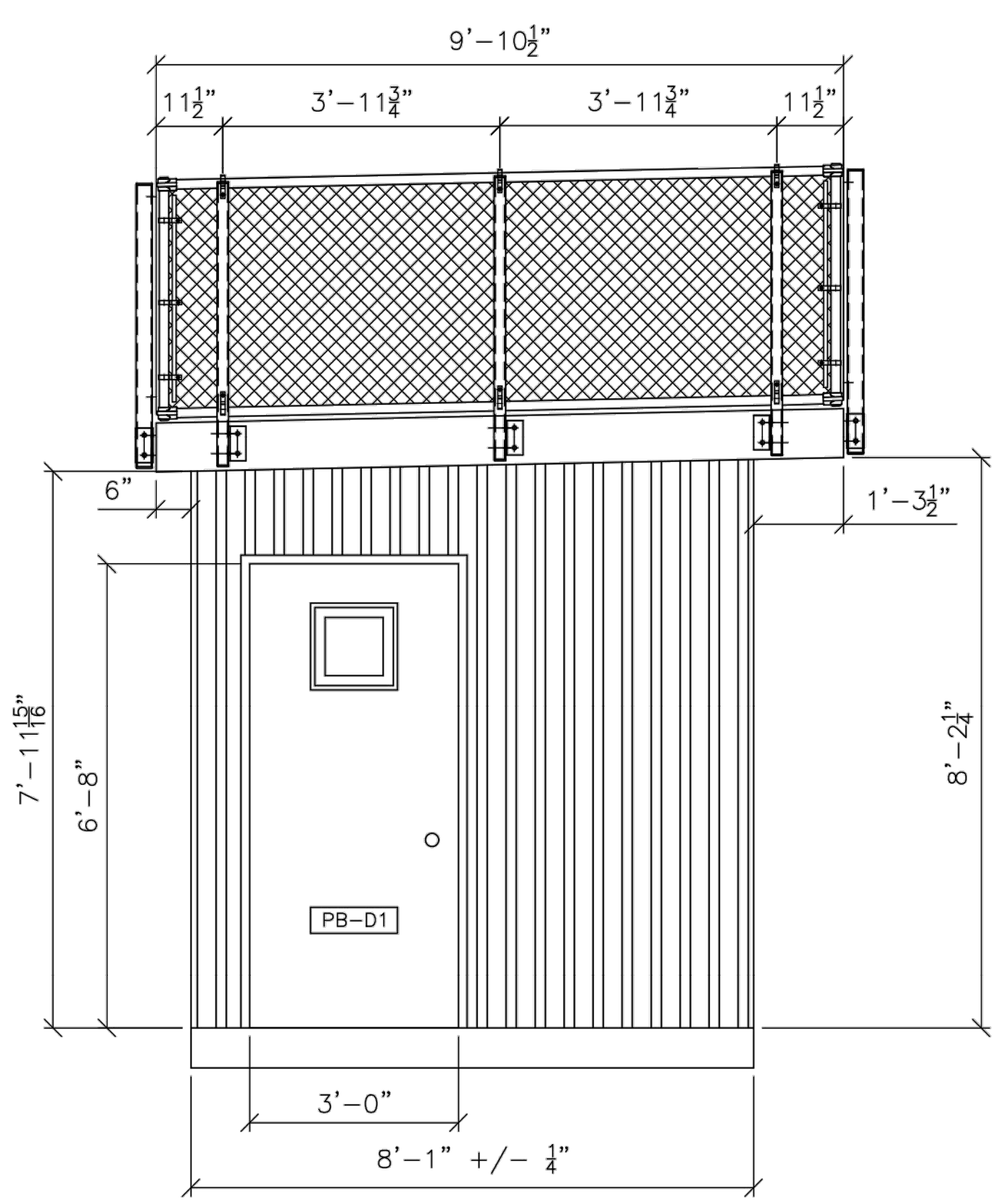
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SHEET NUMBER
PB-3
 PART NUMBER
 0237748
 * 2 3 7 7 4 8 *

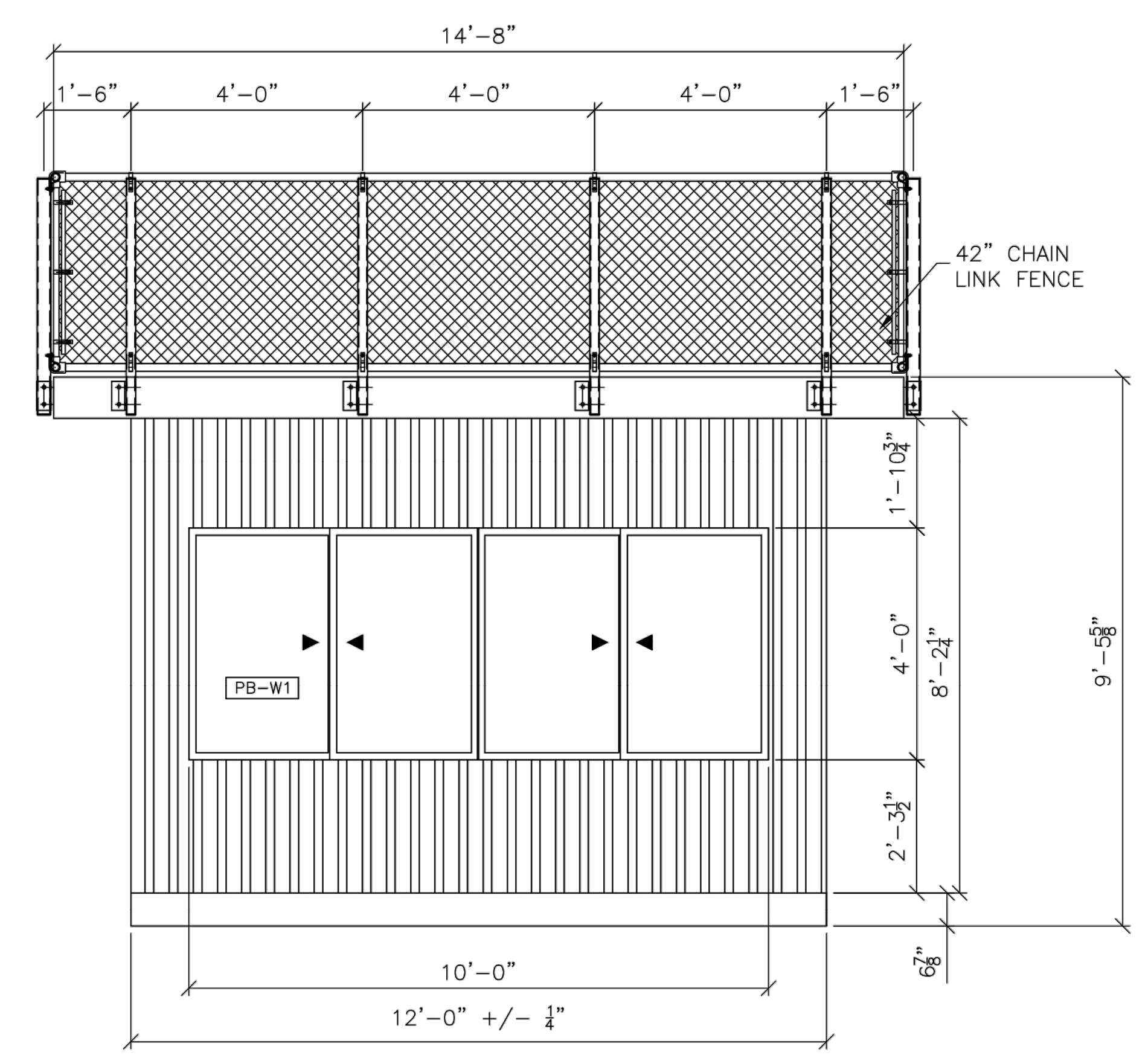
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FILMING PLATFORM
 ACCESSED BY REAR
 STAIR.



2 SIDE ELEVATION
 ● PRESS BOX



1 FRONT ELEVATION
 ● PRESS BOX

DOOR SCHEDULE

KEY	DOOR				FRAME		FIRE RATING
	WIDTH	HEIGHT	THICKNESS	TYPE	MATERIAL	MATERIAL	
PB-D1	3'-0"	6'-8"	0'-1 3/4"	3	STEEL	WOOD	

PB-D1 - INSULATED VINYL-FACED STEEL CLAD W/ WOOD JAMBS; 16" INSULATED/TEMPERED LITE, ALUMINUM THRESHOLD, VINYL WEATHER STOPS, STAINLESS STEEL HINGES AND HEAVY-DUTY RETENTION CHAINS. DOORS EQUIPPED WITH COMMERCIAL LEVER-HANDLED KEYED LOCKSETS.

*NOTE - DOORS INSTALLED PER MANUFACTURERS INSTALLATION DETAILS

WINDOW SCHEDULE

KEY	WIDTH	HEIGHT	TYPE	FRAME	U-FACTOR	SHGC
PB-W1	10'-0"	4'-0"	DOUBLE SLIDER	VINYL	.34	.27

PB-W1 - SOFT-LITE "BARRINGTON DSL7 HS", DOUBLE HORIZONTAL SLIDER WINDOWS W/ EXTRUDED VINYL FRAMES, AAMA STRUCTURAL RATING, W/ 3/4" INSULATED LOW-E, ARGON FILLED TEMPERED GLASS W/ REMOVABLE INSECT SCREENS. NATURAL LIGHT ALLOWED = 40 SQ/FT, VENTABLE AREA = 20 SQ/FT

*NOTE - GLAZING DESIGN PRESSURE = 22 PSF MINIMUM
 WINDOWS INSTALLED PER MANUFACTURERS INSTALLATION DETAILS

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REV. NO.	DATE	DESCRIPTION	INITIALS	ECO NUMBER
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SHEET NUMBER
PB-4
 PART NUMBER
 0237748
 AS NOTED



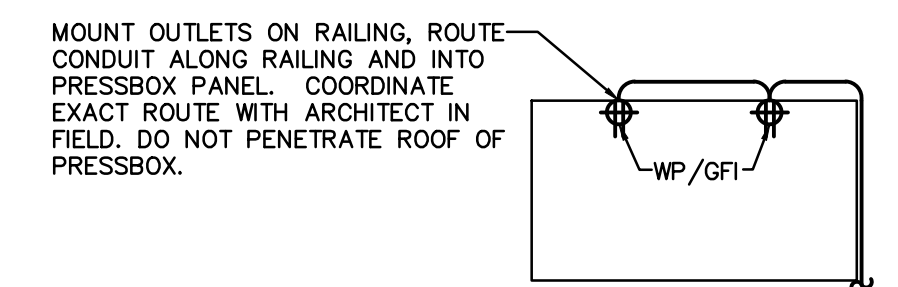
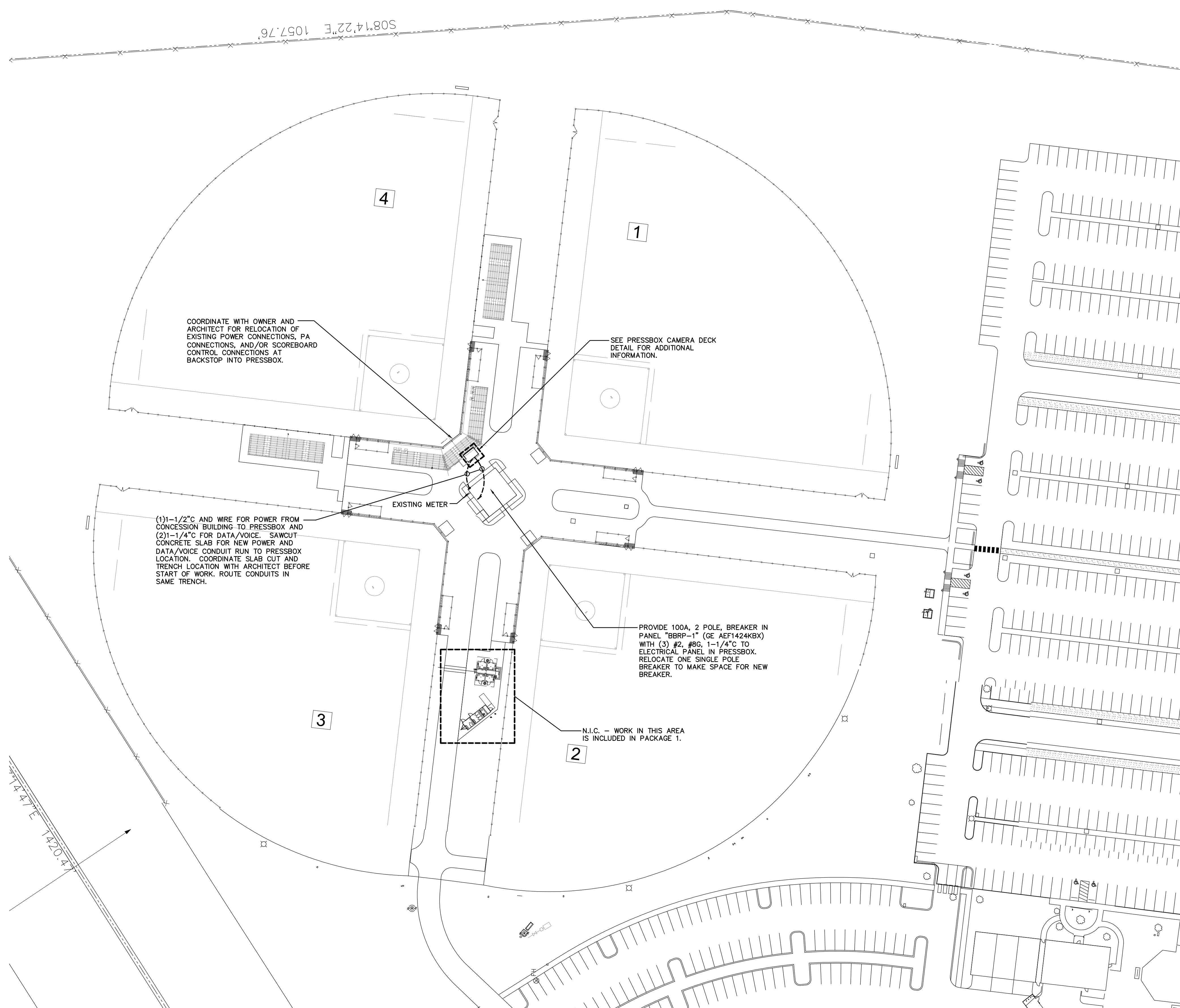
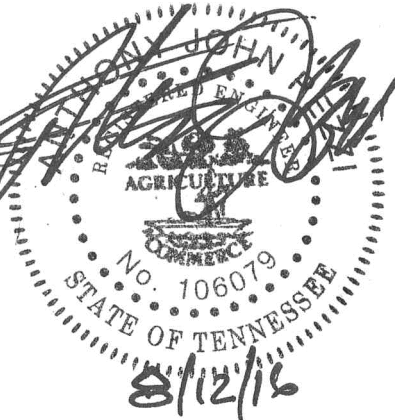
LOBE & ASSOCIATES, INC.

1314 5th Avenue North, Suite 200
Nashville, Tennessee 37208
(615) 242-0040

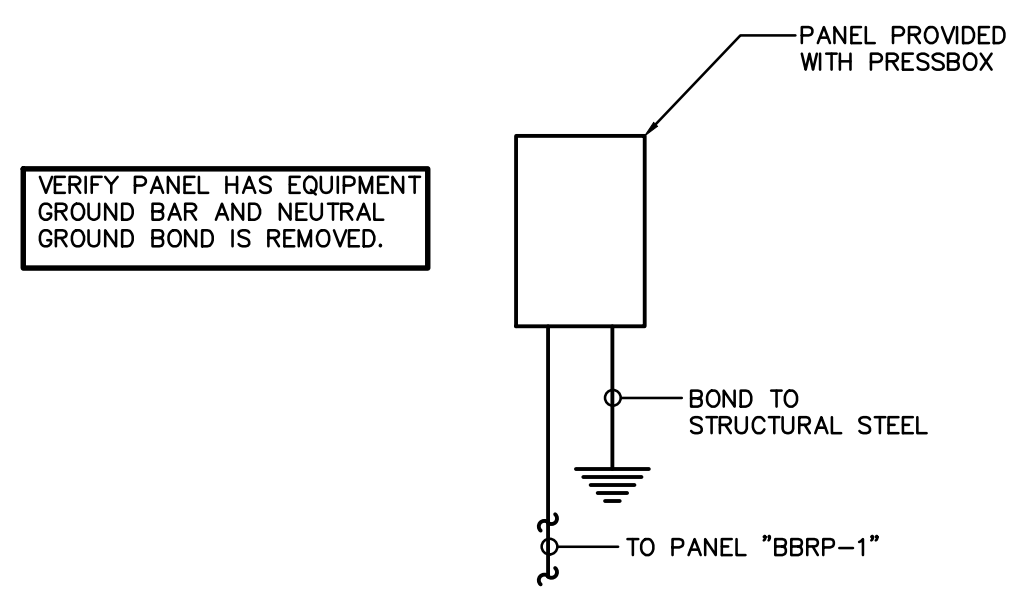
220 West Oregon Street, Suite 100
Lawrenceville, Georgia 30046
(770) 338-0017

www.lobesoc.com

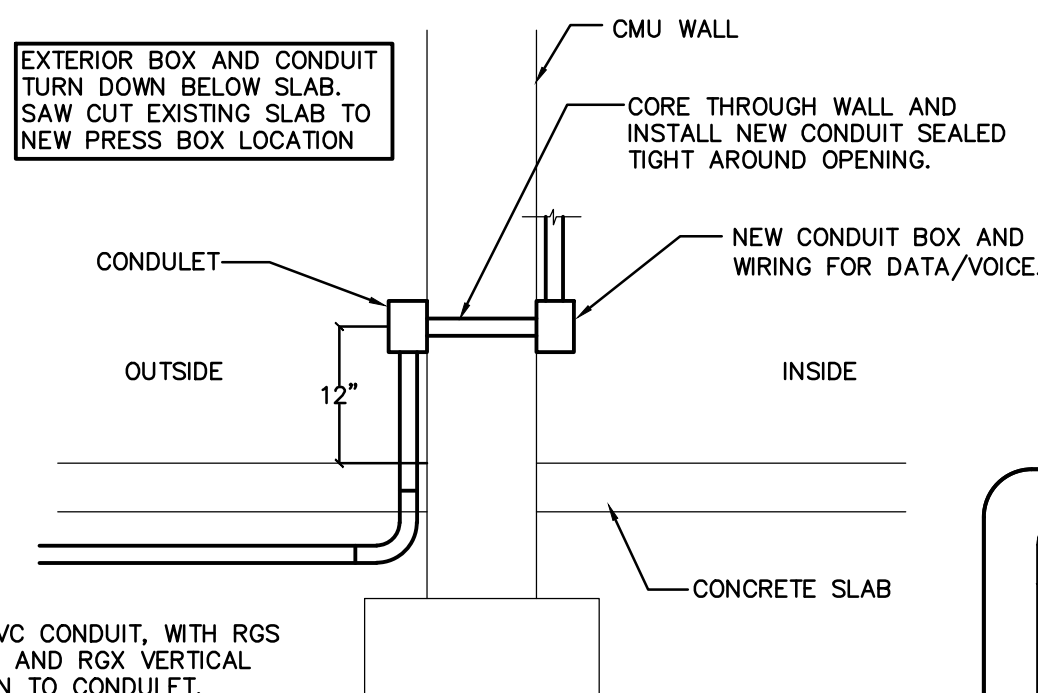
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PRESSBOX CAMERA DECK DETAIL
NO SCALE



ELECTRICAL RISER DIAGRAM - PRESSBOX
NO SCALE
NOTE: COPPER CONDUCTORS UNLESS NOTED OTHERWISE



DATA & POWER THRU EXTERIOR WALL DETAIL
SCALE: NONE

SITE ELECTRICAL PLAN
SCALE: 50' = 1'-0"

RIDLEY PARK SPORTS COMPLEX EXPANSION
SOFTBALL BLEACHERS - PACKAGE 2

PREPARED FOR:
CITY OF COLUMBIA

TENNESSEE

COLUMBIA

REVISIONS		
NO.	DATE	COMMENTS

SHEET TITLE

SITE ELECTRICAL PLAN

PROJECT NO. 15219	DATE 08/11/2016
DRAWN BY JKM	SCALE AS SHOWN
CHECKED BY AJP	SHEET NO.

E1.0

