

ADDENDUM 1

ADDENDUM DATE: Monday, November 19, 2018

PROJECT: Northgate Complex Renovation
1457 N. Fayetteville Street
Asheboro, NC 27203

OWNER: Randolph County
725 McDowell Rd
Asheboro, North Carolina 27205

ARCHITECT: Smith Sinnett Architecture, P.A.
4600 Lake Boone Trail, Suite 205
Raleigh, North Carolina 27607



BIDS DUE: **Tuesday, December 11th, 2018 at 3:00 p.m.** - UPDATED
Meeting Room A
Randolph County Office Building
725 McDowell Rd.
Asheboro, NC 27205

Please note, Project Documents, Addenda, and Plan Holders list are available at www.smithsinnett.com under the 'Documents' icon on the navigation bar.

Among other items, this Addendum addresses issues raised in the Pre-Bid Conference held on Thursday, November 15th at 10:00 a.m. Pre-Bid notes and sign in sheet of those that attended are attached.

This Addendum, applicable to the work designed below, shall be understood to be and is an addendum and shall be part of and included in the contract for the above referenced project. All General, Supplementary and Special Conditions, etc., as originally specified or as modified below shall apply to these items.

General

1. CHANGE: Sealed bids will be received and publicly opened at:
 - 3:00pm on Tuesday, December 11, 2018.
2. The last day for Questions will be Tuesday December 4, at 5pm.
3. The Last Addendum is scheduled to be issued Wednesday, December 5, by 12pm unless otherwise notified.
4. Refer to page 3 of this document for a list of all Addendum 1 attachments.

Specifications

5. **CLARIFICATION:** Section 012300 – Alternates:
 - a. Paragraph 3.1 Alternate No. 5; Sitework Upgrades. Add the following:
“Asphalt overlay to consist of hot-pour crack filler, as needed, and seal coat.”
6. **ADDITION:** Section 033000 – Cast-In-Place Concrete:
 - a. Paragraph 2.7.A.1, Add Manufacturer Tex-Trude and Product Xtreme Vapor Barrier 15 mil as an acceptable product subject to meeting or exceeding the requirements of the specification.
7. **ADDITION:** Section 071900 – Water Repellents:
 - a. Paragraph 2.2.A.1, Add Manufacturer MAPEI and Product Planiseal WR 100 as an acceptable product subject to meeting or exceeding the requirements of the specification.
8. **ADDITION:** Section 072619 – Topical Moisture Vapor Mitigation System:
 - a. Paragraph 2.1.A.1, Add Manufacturer MAPEI and Product Planiseal MB Moisture Barrier and Consolidating Epoxy Primer as an acceptable product subject to meeting or exceeding the requirements of the specification.
9. **ADDITION:** Section 072700 – Non-Permeable Air & Vapor Barrier:
 - a. Paragraph 2.1.A.1, Add Manufacturer Henry Company and Product Air-Bloc 16MR as an acceptable product subject to meeting or exceeding the requirements of the specification.
 - b. Paragraph 2.1.A.1, Add Manufacturer TK Products and Product AirMax 2102 NP an acceptable product subject to meeting or exceeding the requirements of the specification.
 - c. Paragraph 2.1.A.1, Add Manufacturer TK Products and Product AirMax 2103 NP WB as an acceptable product subject to meeting or exceeding the requirements of the specification.
10. **ADDITION:** Section 099100 –Painting:
 - a. Paragraph 2.3.A.1, Add Manufacturer W.R. Meadows, Inc. and Product Pentreat 244-100 as an acceptable product subject to meeting or exceeding the requirements of the specification.
11. **CLARIFICATION:** Section 283111 – Digital Addressable Fire Alarm System:
 - b. Part 2, Paragraph 2.B.1, Replace paragraph with the following:
“Manufacturers: Subject to compliance with requirements, provide products by the following: Edwards, Siemens, Fire-Lite, and Silent Knight by Honeywell, or approved equal.”
12. **ADDITION:** Section 333000 – Sanitary Sewerage Utilities:
 - a. Paragraph 2.1.B.1, Add Manufacturer United Gilsonite Laboratories (UGL) and Product Drylock FastPlug as an acceptable product subject to meeting or exceeding the requirements of the specification.

Drawings

13. **REVISION:** Sheet A4-01: Mop Sink Detail
 - a. Change “Tile Backsplash” to Stainless Steel Backsplash.
 - b. Add note “Provide stainless steel backsplash at all mop sink locations”.

14. **Sheet A7-02:** Finish Floor Plan – Wing B has been updated to clarify the extents of Wall Tile 1.

End of Addendum 1

Attached:

Northgate_PreBid Sign-In.pdf (1 Page)
Northgate_PreBid Notes REVISED.pdf (4 Pages)
Architectural Drawing Sheet: A7-02

Northgate Complex Renovation

Date: November 15, 2018

Pre Bid Meeting

1457 N. Fayetteville Street, Asheboro, NC 27203

Smith Sinnett Architecture, P.A.

Name	Company	Email address	Phone Number
Walt Grayson	Bar Construction	Lsmith@barconstruction.com	336-274-2475
Doug Allen	Smith & Allen	doug@smithandallen.com	336-663-9381
Joy Wilkins	Muter Const	jwilkins@muterconstruction.com	919-404-8330
Eddie Watkins	Simcon	ewatkins@simcon.com	336-202-2690
Kevin Bowman	Learning Environments	kbowman@lecarolina.com	336-404-9791
Travis Langley	Lomax Construction	thangley@lomaxconstruction.com	336-992-7000
JOEY TROGDON	S. E. TROGDON & SONS	JOEFT@TRIAD.BIZ.AR.COM	336-625-2217
JOSE REYES	SSNE & SONS	Jose.Reyes@ssneusa.com	704-738-4727
Paul Parker	Narrod & Assoc	estimating@narrodandassoc.com	919-828-7782
Terry Lynch	Premier Services	Premierservice@Triadbiz.net	336-674-6038
JUSTIN GIBHARDT	FOURTH ELM	JGIBHARDT@FOURTHELM.COM	336-299-1929
Isaac Ellington	Ellington Contracting, Inc	isaac.econtracting@gmail.com	919-548-1132
JEREMY TILLEY	CHRISTMAN	jeremy.tilley@christmanco.com	336-416-7000
KEVIN WATTS	Pow Me Contracting Sys	KEVINWATTS@GMAIL.COM	336-552-8890
Chris Hoover	W.C. Construction Co.	chrish@wcconstructionco.com	336-721-3420
JASON KEPLER	Hm Kern	jsummers@hmkern.com	336-648-3213
RANDEL STANLEY	GARANCO INC.	JAKE.WHITE@GARANCO.COM	336-362-6753
John Rocan	JR MECHANICAL, LLC	JROCAN@JRMCHANICAL.COM	704-248-8338

Pre-Bid Conference Agenda

November 15, 2018 at 10:00 a.m.

NORTHGATE COMPLEX RENOVATION

Location: Northgate Complex
1457-1515 N. Fayetteville Street
Asheboro, NC 27203

Owner: Randolph County
725 McDowell Rd.
Asheboro, NC 27205

Architect: Smith Sinnett Architecture, P.A.
4600 Lake Boone Trail, Suite 205
Raleigh, NC 27607
Phone: (919) 781-8582
Fax: (919) 781-3979

On behalf of the Owner and Smith Sinnett Architecture, we would like to thank you for your interest and attendance at this Pre-Bid Conference.

I Bid:
Sealed Bids from Single Prime Contractors will be received and publicly opened at:
3:00 p.m. on Tuesday December 11, 2018
Meeting Room A
Randolph County Office Building
725 McDowell Rd.
Asheboro, NC 27205

II Bid Day Documents:

1. Proposal Form Pages 1 through 6.
2. Minority Business Participation Form and/or Affidavit.
 - a. Identification of HUB Certified / Minority Business Participation Form Required.
 - i. Name on Form must be the exact name as provided to the NC Office for HUB.
 - b. Affidavit A or Affidavit B.
3. Bid Bond (5%) or Certified Check (5%)
4. The County is requiring the use of a 2-envelope system for all bids. The first envelope should include the "Bid Guarantee" (copy of the bid bond), marked as such, and attached to the sealed envelope containing the bidder's proposal. The second bid envelope should be sealed, marked as "BID PROPOSAL" with the following information listed on the outside of the envelope:
 - a. Bidder's Name and Address
 - b. North Carolina Contractor's License Number
 - c. Name of Project
5. If awarded the Contract, the Bidder must provide an executed Performance Bond and Payment Bond for 100% of the Contract.
6. Certificates of Insurance and matching endorsement must meet the requirements indicated in the Specifications.
7. Acknowledgement of Addendums, Allowances, and Include Unit Prices
8. E-Verify Affidavit
9. Any bids that have qualifying notes or comments will be rejected.



Pre-Bid Conference Agenda**November 15, 2018 at 10:00 a.m.**

-
- III Bid Opening:
1. For mailed bids:
 - a. It's the contractor's responsibility to ensure the bid arrives prior to the bid opening time. If you wish to send your bid via US Mail, FedEx or UPS, please allow several days for delivery since the bid must be received (NOT postmarked) by the date and time stated in the solicitation.
 - b. Place the bid in a double envelope with "Sealed Bid Do Not Open" written on the envelope.
 - c. Sealed envelope will be held and unsealed at the bid opening time.
 - d. Project Name must be clearly marked on the outside of the sealed envelope.
 2. For delivered bids:
 - a. The bid opening location is:
Meeting Room A
Randolph County Office Building
725 McDowell Rd.
Asheboro, NC 27205
 - b. Plan to arrive min. 30 minutes in advance of the bid opening to allow time to locate the bid opening location and to find parking.
- IV Schedule:
1. No bid may be withdrawn after the scheduled closing time for the receipt of bids for a period of 60 days.
 2. Supplementary General Conditions:
 - a. Date of substantial completion: **365 consecutive calendar days** from anticipated Notice to Proceed.
 - b. Wing A: **270 consecutive calendar days** from Notice to Proceed.
 3. The intent is for the Randolph County Board of Commissioners to vote to approve at December 3 meeting.
- V Liquidated Damages:
1. Supplementary General Conditions:
 - a. **\$250.00 each calendar day** in excess of the stated completion time.
 - b. Wing A: **\$500.00 each calendar day** in excess of the stated completion time.
- VI Examination of Bid Documents:
1. All Bidders are expected to fully examine and familiarize themselves with the Drawings, Specifications and Existing Conditions. All Bidders should read the scopes of the bid package. Any questions or clarifications should be directed to the Architect. No allowances will be made after the bids are received for any oversight due to failure to examine the documents.
- VII Substitutions:
1. Substitutions or approvals of "Equals" will only be accepted if approved by the Architect in writing at least 10 days prior to the receipt of bids.
 - a. Request for substitutions will be received until November 19, 2018.
- VIII Technical Questions:
1. Technical questions shall be submitted to Architect as soon as possible by email or phone.
rcarmac@smithsinnett.com
(919) 781-8582
 2. Last day for Questions will be **Wednesday December 5**, at 12pm.

Pre-Bid Conference Agenda**November 15, 2018 at 10:00 a.m.**

The Last Addendum is scheduled to be issued **Wednesday December 5**, by 5pm unless otherwise needed.

IX Construction Documents:

1. Construction Documents may be ordered from:
Smith Sinnett Architecture
4600 Lake Boone Trail, Suite 205
Raleigh, NC 27607
919-781-8582
2. Electronic Copies of the Plans and Specifications are available upon request and with a completed Plan Request Form found at www.smithsinnett.com under the Documents Tab.

X Addenda:

1. Addenda will be emailed to everyone on the Architect's plan holders list that has requested access to the Construction Documents
2. Addenda can also be downloaded from: www.smithsinnett.com under the Documents Tab.
3. An addenda will be issued to address any questions raised today.
4. All Addendums will be issued by email. Verify that email security will allow emails from rcarmac@smithsinnett.com.

XI Bidders List:

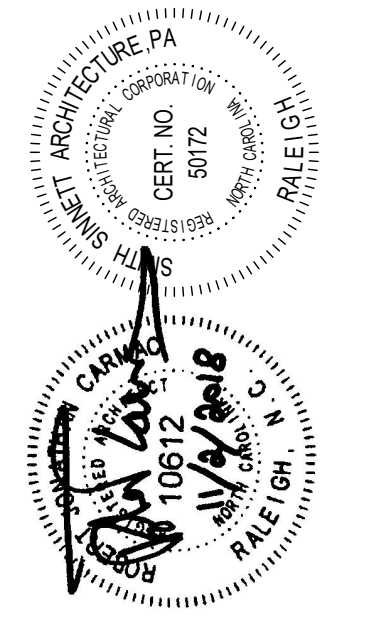
1. Bidders List can be downloaded from www.smithsinnett.com under the Documents Tab.

XII Project Specifics:

1. Base Bid – General Scope
2. Alternates:
 - a. Alternate 1 – Owner Preferred Manufacturers
 - b. Alternate 2 – Probation & Parole Expansion Space Renovation
 - c. Alternate 3 – Wing B - Reroof
 - d. Alternate 4 – Wing A - Skylights
 - e. Alternate 5 – Sitework Upgrades
 - f. Alternate 6 – Sitework Seating area & Canopies
 - g. Alternate 7 – Wing A – Operable Partition Wall
 - h. Alternate 8 – Drive Canopy

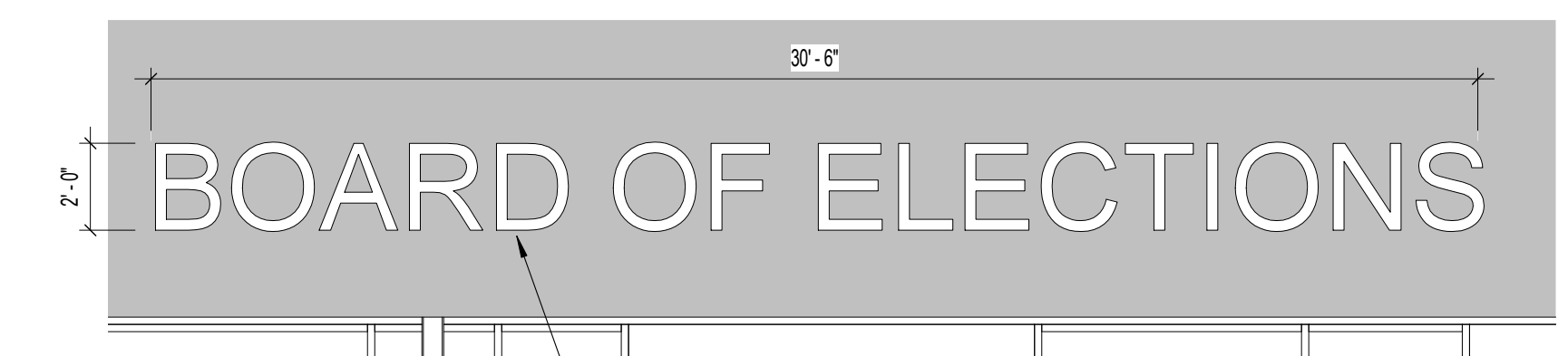
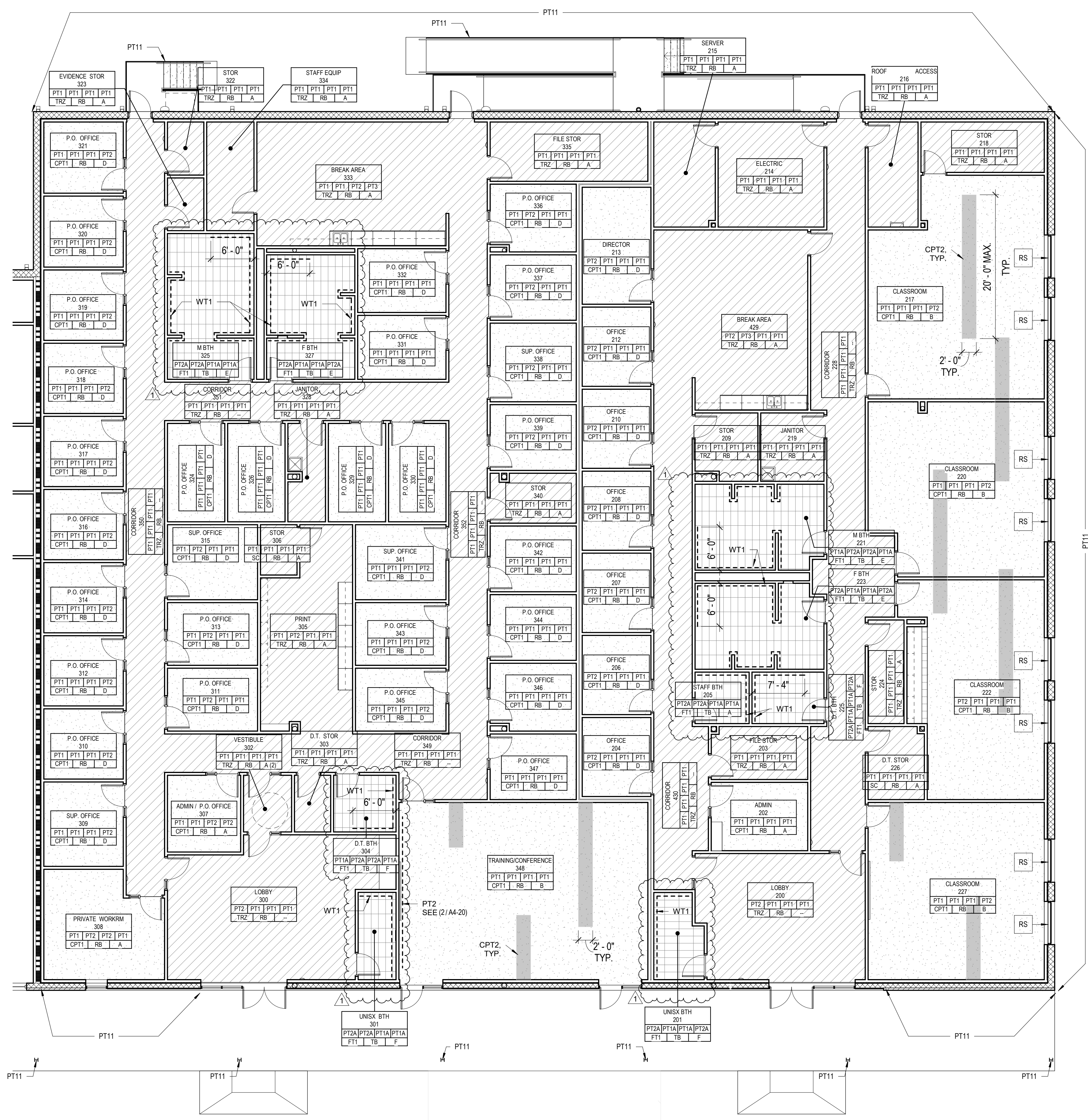
Pre-Bid Conference Agenda**November 15, 2018 at 10:00 a.m.**

-
3. Allowances:
 - a. Allowance No. UP/A-1 – Undercut/Replacement in Open
 - i. Quantity: 500 cu. yds
 - b. Allowance No. UP/A-2 – Undercut/Replacement in Trenches
 - i. Quantity: 25 cu. yds
 - c. Allowance No. UP/A-3 – Utility Trench Rock Excavation/Replacement
 - i. Quantity: 10 cu. yds.
 - d. Allowance No. UP/A-4 – Woven Geo-Textile Fabric
 - i. Quantity: 1,000 sq yds.
 - e. Allowance No. UP/A-5 – Topical Moisture Vapor Mitigation System
 - i. Quantity: 15,000 sqft
 - f. Allowance No. UP/A-6 – Abrasive Blast Floor Preparation
 - i. Quantity: 15,000 sqft
 - g. Allowance No. UP/A-7 – Floor Leveling Compound
 - i. Quantity: 10,000 sqft
 - h. Allowance No. A-8 – Exterior Signage and Specialty Signage
 - i. Lump Sum: \$10,000
 - i. Allowance No. A-9 – Building Security System
 - i. Lump Sum: \$25,000
 - j. Allowance No. A-10 – Access Control System
 - i. Lump Sum: \$45,000
 - k. Allowance No. A-11 – Fiber Connectivity
 - i. Lump Sum: \$20,000
 - l. Allowance No. A-12 – Data Wiring and Devices
 - i. Lump Sum: \$60,000
 - m. Allowance No. A-13 – HVAC Building Automation Systems
 - i. Lump Sum: \$45,000
 - n. Allowance No. A-14 – Contingency
 - i. Lump Sum: \$150,000
 4. Unit Prices
 - a. Unit Price UP/A-1 – Undercut/Replacement in Open
 - b. Unit Price UP/A-2 – Undercut/Replacement in Trenches
 - c. Unit Price UP/A-3 – Utility Trench Rock Excavation/Replacement
 - d. Unit Price UP/A-4 – Woven Geo-Textile Fabric
 - e. Unit Price UP/A-5 – Topical Moisture Vapor Mitigation System
 - f. Unit Price UP/A-6 – Abrasive Blast Floor Preparation
 - g. Unit Price UP/A-7 – Floor Leveling Compound
- XIII Open Meeting for Preferred Alternates:
1. Owner Preferred Manufacturer:
 - a. Door Hardware Locks, Latches and Access Control Locks: Manufacturer – US Locks (Grade 2)
- XIV Description of Project Scope:

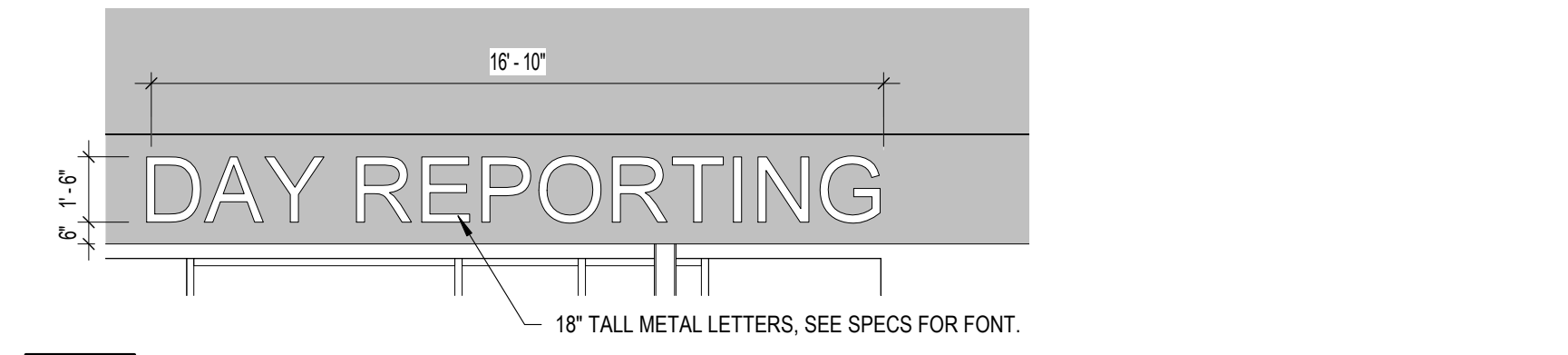


FINISH LEGEND	
WALL FINISHES BASED ON PLAN LOCATION	INDICATES ACCENT PAINT OR WALL TILE
ROOM NAME ROOM NUMBER	INDICATES WALL TO RECEIVE LEVEL 5 GWB FINISH
WALL FINISH	FLOOR FINISH
PT1 INTERIOR FIELD PAINT 1 PT1A INTERIOR FIELD EPOXY PAINT 1 PT2 INTERIOR FIELD EPOXY PAINT 2 PT2A INTERIOR FIELD EPOXY PAINT 2 PT3 INTERIOR ACCENT PAINT 3 - FEATURE WALL PT4 EXTERIOR PAINT - CAUTION / STRIPING PT10 INTERIOR CEILING PAINT PT11 EXTERIOR PAINT	SC SEALED CONCRETE STC1 STAINED CONCRETE 1 STC2 STAINED CONCRETE 2 TRZ TERRAZZO (REFINISHED) FT1 FLOOR TILE 1 CPT1 CARPET TILE 1 CPT2 CARPET TILE 2
WT1 WALL TILE 1 (SEE ELEVATIONS FOR HEIGHT) WT2 WALL TILE 2 WT3 WALL TILE 3	SURFACE FINISH
WB RUBBER BASE TB TILE COVE BASE	PL1 PLASTIC LAMINATE 1 - CASEWORK PL2 PLASTIC LAMINATE 2 - COUNTERTOP U.O.N. PL3 PLASTIC LAMINATE 3 - DESK VENEER PL4 PLASTIC LAMINATE 4 - DESK BASELINER
NOTE: ALL TILE WALL COVE TO MATCH FLOOR FINISH	WINDOW TREATMENT RS ROLLER SHADE ASSEMBLY

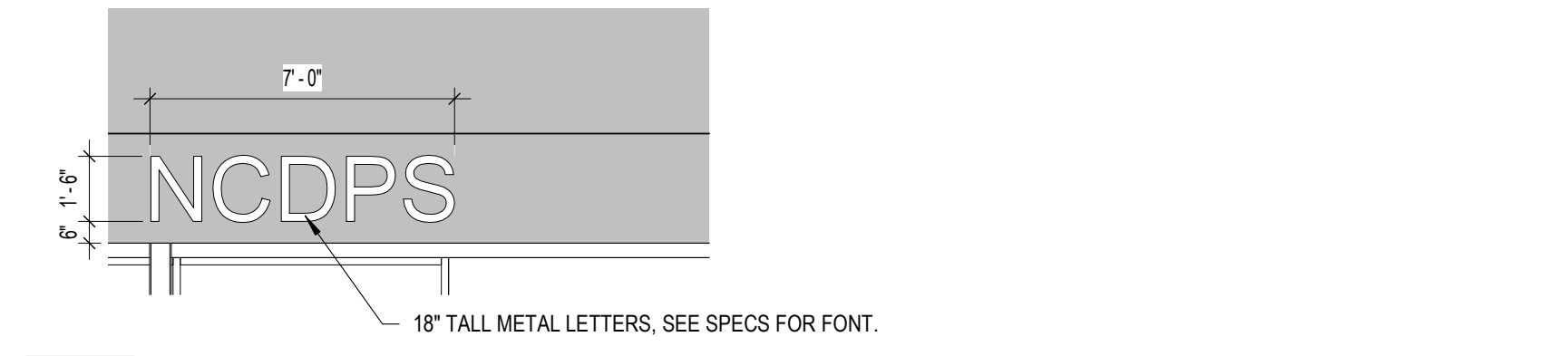
- GENERAL FINISH NOTES:**
- ALL GWB CEILINGS AND BULKHEADS TO BE PT-1, U.O.N.
 - FINISH MATERIALS SUBMITTED AS EQUALS TO THE BASIS OF DESIGN WILL BE APPROVED OR REJECTED BASED ON COLOR INTEGRITY AND TACTILE CHARACTERISTICS IN ADDITION TO TECHNICAL SPECIFICATIONS.
 - ROOMS THAT HAVE MILLWORK WITH MORE THAN THREE LAMINATE COLORS. EXACT LOCATION OF EACH TYPE TO BE DETERMINED DURING SHOP DRAWING PHASE.
 - FINISHES ARE CONTINGENT ON FINAL OWNER AND ARCHITECT APPROVAL.
 - SEE INTERIOR ELEVATIONS (A4-#, A4-#, & A4-#) FOR WALL PAINT LOCATIONS.
 - METAL FINISHING STRIPS TO BE USED ON ALL VERTICAL OUTSIDE EDGES & CORNERS OF WALL TILE.
 - FINISHED-EDGE TILE TO BE USED AT TOP COURSE OF WALL TILE.
 - ALL WALLS TO BE PAINTED WITH PT3 CHALKBOARD PAINT TO RECEIVE A LEVEL 5 GWB FINISH.
 - GC TO ENSURE LEVEL FLOOR FINISH AT ALL TILE TRANSITIONS.
 - PT2A TO BE USED ON ALL RESTROOM WALLS ABOVE AND ADJACENT TO WALL TILE.



2 SIGNAGE ELEVATION
A7-02 1/4" = 1'-0"



3 SIGNAGE ELEVATION
A7-02 1/4" = 1'-0"

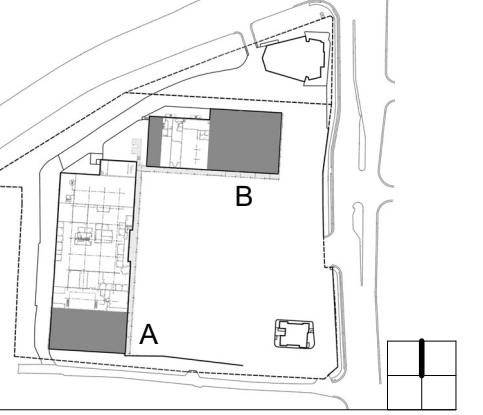


4 SIGNAGE ELEVATION
A7-02 1/4" = 1'-0"

1 FINISH FLOOR PLAN - WING B
A7-02 1/8" = 1'-0"

RANDOLPH COUNTY
NORTHGATE COMPLEX RENOVATION
1457 - 1515 N. Fayetteville Street Asheville, NC

ID	DATE	DESCRIPTION
1	11/19/2018	ADDENDUM 1



DRAWN BY: CT/JBS
CHECKED BY: RC
FINISH PLAN - WING B