

**ADDENDUM NUMBER 1
BID NUMBER: IFB 20-011**

Exterior Wall Repair – Sumner Academy

ISSUED: June 12, 2020

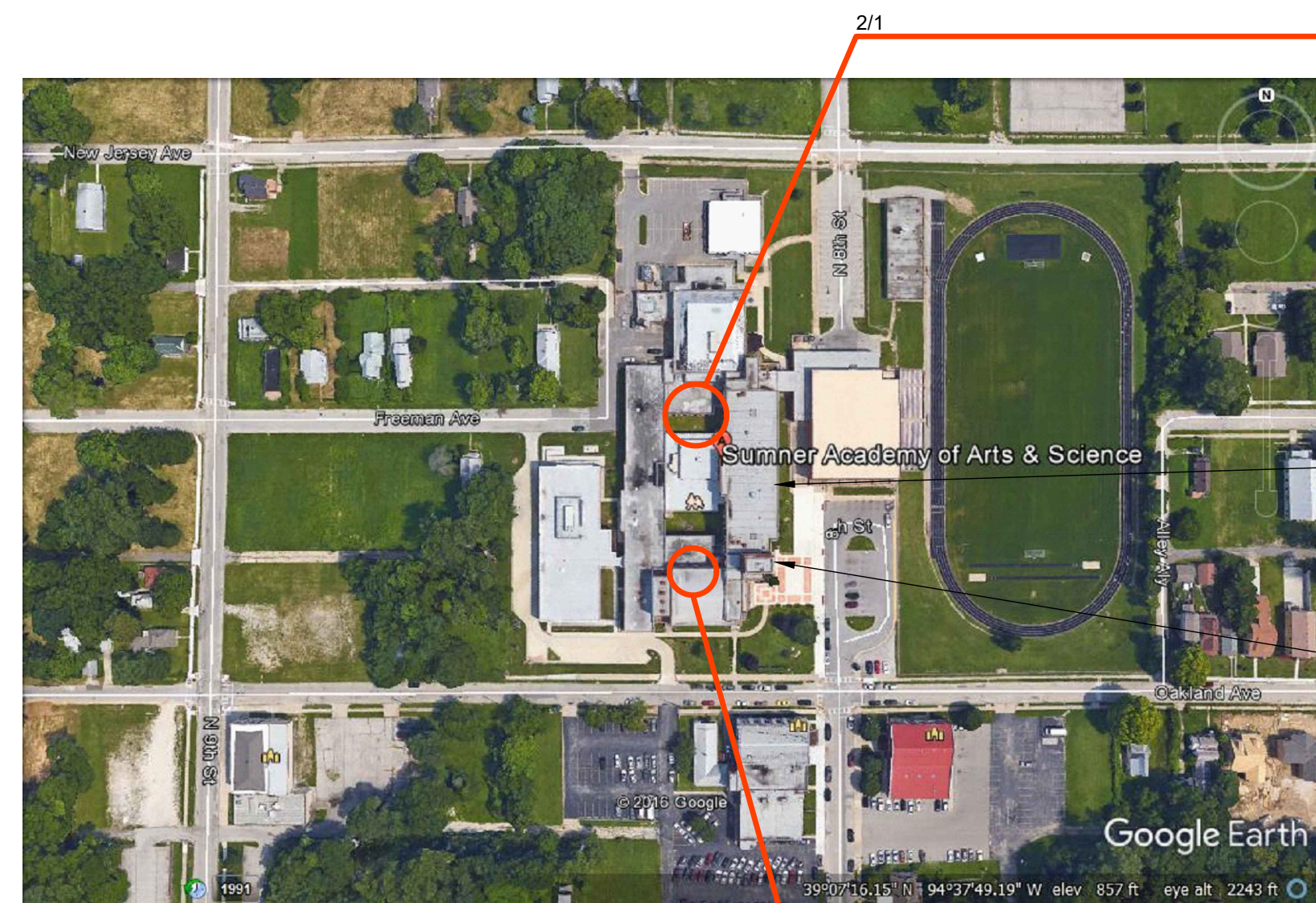
**PURCHASING DEPARTMENT
UNIFIED SCHOOL DISTRICT 500
2010 N. 59th STREET, ROOM 370
KANSAS CITY, KANSAS 66104
(913) 551-3200**

Note the following changes to the above-mentioned bid. This information is to be taken into consideration when responding to the original bid document.

- 1. Updated Drawings.** See Addendum 1, Attachment A and B (Pages 2 & 3 of 5) hereto.
- 2. Delete and Replace.** The Bid Form (Pages 61 & 62 of 63) in the original solicitation is here by deleted in its entirety and replaced with Addendum 1, Attachment C hereto. Bids should be submitted on this form.
- 3. No Other Changes:** No other changes or modifications intended by this Addendum. All other terms and conditions of the solicitation remain in effect.

WE HEREBY ACKNOWLEDGE AND UNDERSTAND THE ABOVE NOTED CHANGES TO THE ORIGINAL BID DOCUMENT AND AGREE TO FURNISH THE ITEMS ON WHICH PRICES ARE QUOTED IN ACCORDANCE WITH ALL TERMS AND CONDITIONS PREVIOUSLY LISTED AND ANY ATTACHED SPECIFICATIONS AND AMENDMENTS.

BY: _____ DATE: _____
TITLE: _____ PHONE: _____
FIRM _____



PHOTOGRAPH
NO SCALE

2/1
1

CLASSROOM WING LINTEL REPAIR ITEM 3 WORK SEE 2/2

BUILDING ENTRY MASONRY PINNING REPAIR ITEM 2 SEE 1/2

AUDITORIUM NORTH WALL REPAIR SEE PHOTOGRAPH NO. 2/1



PHOTOGRAPH
NO SCALE

2
1

REPLACE COPING-COPING STONE AND COPING STONE-MASONRY SEALANT (3) SIDES OF STONE



PHOTOGRAPH
NO SCALE

4
1

EXTEND REPAIR TO CORNER

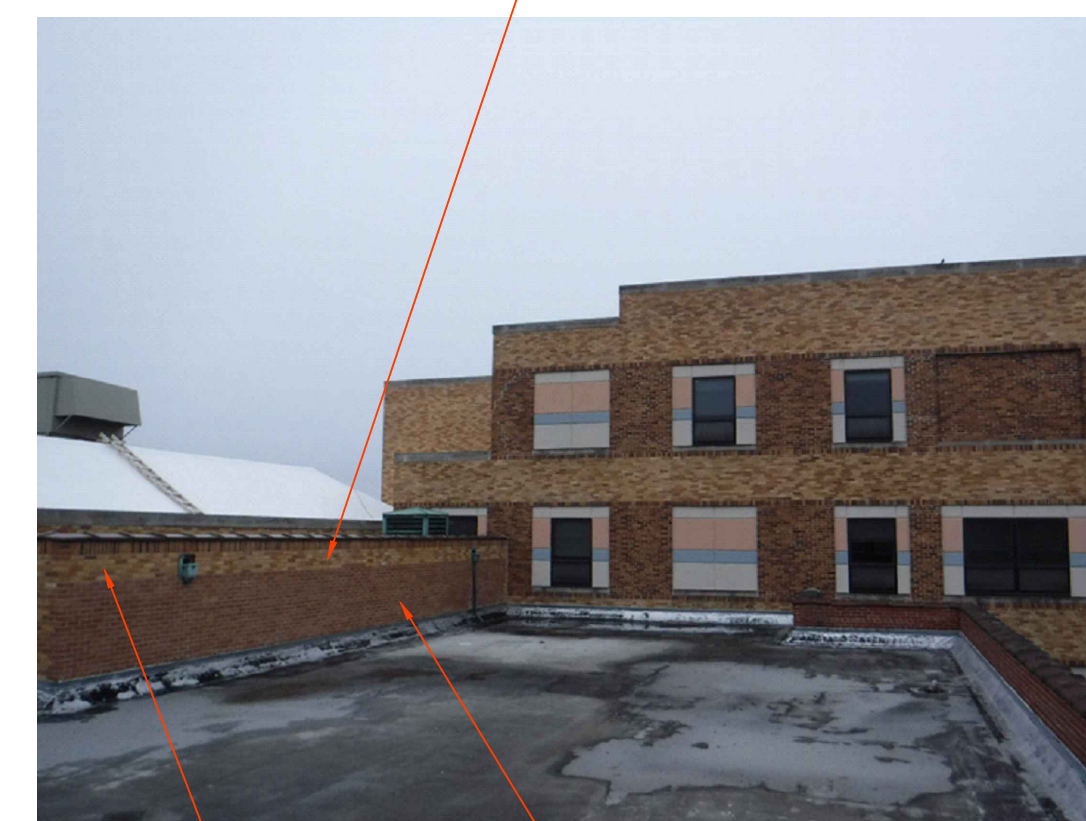
REPAIR ITEMS 7 & 8 TYPICAL (4) WALL OPENING HEADS



PHOTOGRAPH
NO SCALE

5
1

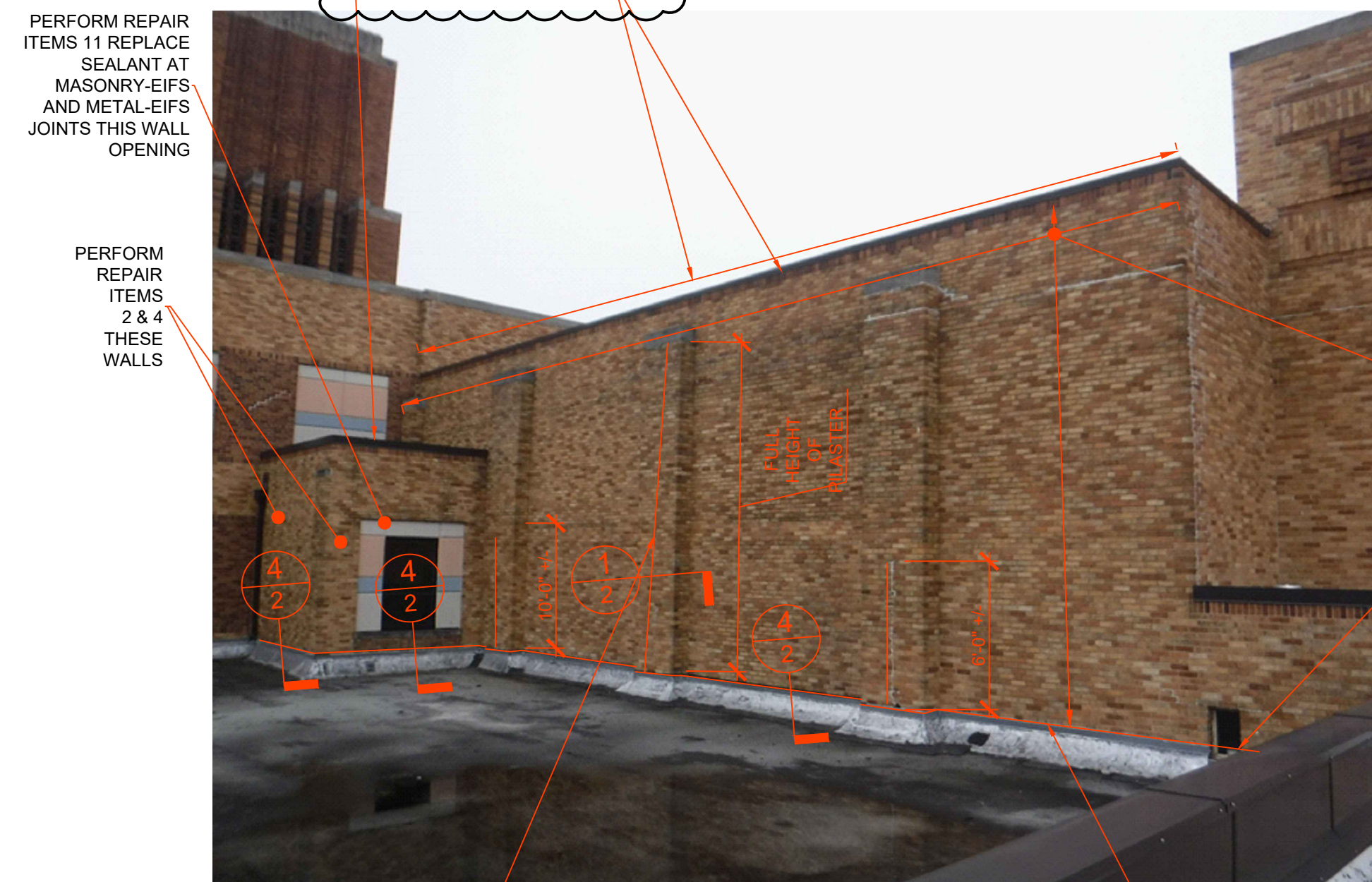
PHOTOGRAPH NOT TAKEN IN WORK AREA BUT IS SIMILAR TO COPING UNITS IN WORK AREA



PHOTOGRAPH
NO SCALE

6
1

REPAIR ITEM 6 HARVEST ORIGINAL BRICK TO REPLACE CRACKED BRICK FROM THIS WALL. REPLACE BRICK REMOVED WITH BRICK UNITS CLOSELY MATCHING COLOR AND DIMENSIONS OF THE NEWER BRICK BELOW THE ORIGINAL BRICK. PROVIDE TEMPORARY SUPPORT OF THE WALL MASONRY AS ORIGINAL BRICK REMOVAL PROCEEDS. DO NOT DAMAGE ROOF MEMBRANE OR CLAY COPING UNITS.



PHOTOGRAPH
NO SCALE

3
1

PERFORM REPAIR ITEMS 11 REPLACE SEALANT AT MASONRY-EIFS AND METAL-EIFS JOINTS THIS WALL OPENING

PERFORM REPAIR ITEMS 2 & 4 THESE WALLS

DENOTES APPROXIMATE EXTENT OF REPAIR ITEM 1 AND DETAIL 7/1 AT (3) PILASTERS

DENOTES EXTENT OF REPAIR ITEM 5 AT COPING STONES

EXTENT OF REPAIR ITEMS 2 & 4

EXTEND REPAIR ITEM 3 AND DETAIL 10/1 TO THE NORTH-SOUTH WALL

REPAIR ITEM 3 AND DETAIL 10/1 TYPICAL AROUND SILL OF MASONRY AND AROUND ALL SIDES OF PILASTERS

GENERAL NOTES

- These notes shall be read in conjunction with the Specifications and the Drawings. In the event of a conflict, notify the Engineer for clarification.
- Before executing anything herein shown, examine actual job conditions. Report any discrepancy, dimensional or otherwise, between Drawings and any other error, omission, or difficulty affecting the work to the Engineer for review prior to bidding. Field verify all dimensions and elevations shown on the Drawings prior to bidding.
- Any condition encountered in the existing structural system which is different from that indicated in Drawings or which might create a failure or hazard shall be brought to the immediate attention of the Engineer.
- The existing conditions indicated on the Drawings are based on surveys made by the consultant(s) as well as on material provided by the Owner and no claim is made as to its absolute completeness and/or accuracy.
- All details and sections are intended to be typical and shall be construed to apply to any similar situation elsewhere, except where a different detail is shown.
- The photographs provided may not be a completely accurate depiction of existing building conditions and configurations. Field verify existing building conditions and configurations prior to bidding, notify Engineer of discrepancies for review.
- Remove and reinstall to match preconstruction conditions all ancillary items that may impede the Work (i.e. downspouts, conduit, signs, and other similar items) that may be present. Extend the repair to natural break points such as corners, vertical and horizontal joints, change of materials/finishes and similar conditions.
- Provide structural steel with the following types and grades: angles ASTM A 36.
- Galvanizing: For those items indicated for galvanizing, apply zinc-coating by the hot-dip process compliance with the following requirements: ASTM A 123.

Base Bid Repair Item	Section	Description
1	045211 and 099121	Auditorium North Wall Pilaster Corroding Metal Column Repair. Provide the following: remove brick masonry to expose the metal column within the masonry, abrasive blast clean and coat all exposed metal within the wall, replace masonry removed.
2	045211 and 079201	Auditorium North Wall Water Repellent. Provide the following: masonry cleaning and water repellent application.
3	045211 and 079201	Auditorium north wall sill through-wall flashing installation. Provide the following: masonry removal; through-wall flashing; metal flashing and counterflashing; sealant; and masonry replacement.
4	045211	Selective Auditorium North Wall Repointing. Provide the following: mark deteriorated (friable, cracked, missing, weathered mortar) masonry head and bed joints for Engineer and approval to replace the mortar; repoint mortar joints approved for mortar replacement.
5	079201	Coping Stone-To-Stone Sealant Replacement. Provide the following: replace all coping-to-coping stone sealant all (3) sides of stone units.
6	045211	Brick harvesting. Provide the following: remove existing brick from wall to replace cracked/damaged brick at Repair Items 1, 3, and 7 locations, replace brick masonry removed with units closely matching newer brick color and dimensions.
7	045211 and 079201	North Light Court Through-Wall Flashing Installation. Provide the following: masonry removal; through-wall flashing; sealant; masonry replacement.
8	045211 and 079201	North Light Court Lintel Replacement. Provide the following at Engineer designated lintels; lintel replacement.
9	045211	Selective North Light Court Wall Repointing. Provide the following: mark deteriorated (friable, cracked, missing, weathered mortar) masonry head and bed joints for Engineer and approval to replace the mortar; repoint mortar joints approved for mortar replacement.
10	071902	North Light Court Water Repellent. Provide the following: masonry cleaning and water repellent application.
11	079201	Replace Sealant. Provide the following at masonry-EIFS and metal-EIFS joints: carefully remove existing sealant; clean substrates (do not damage EIFS substrate); backer rod/bond break tape; and sealant

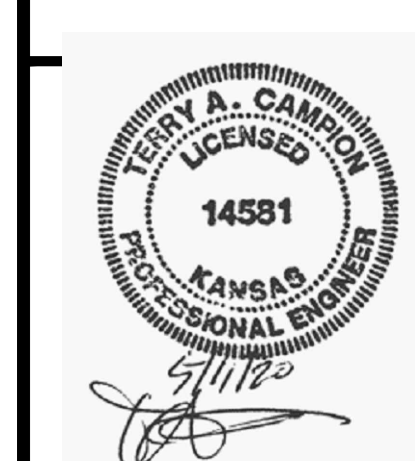
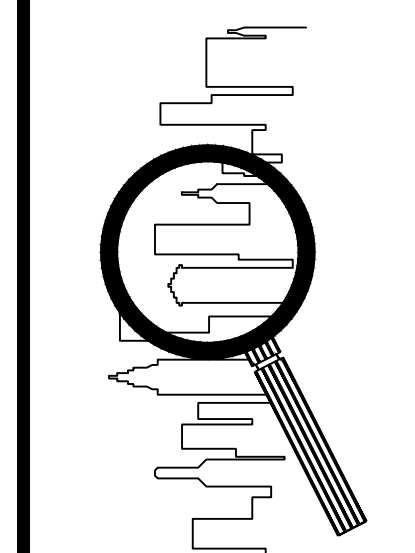
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FILENAME:

REVISIONS:

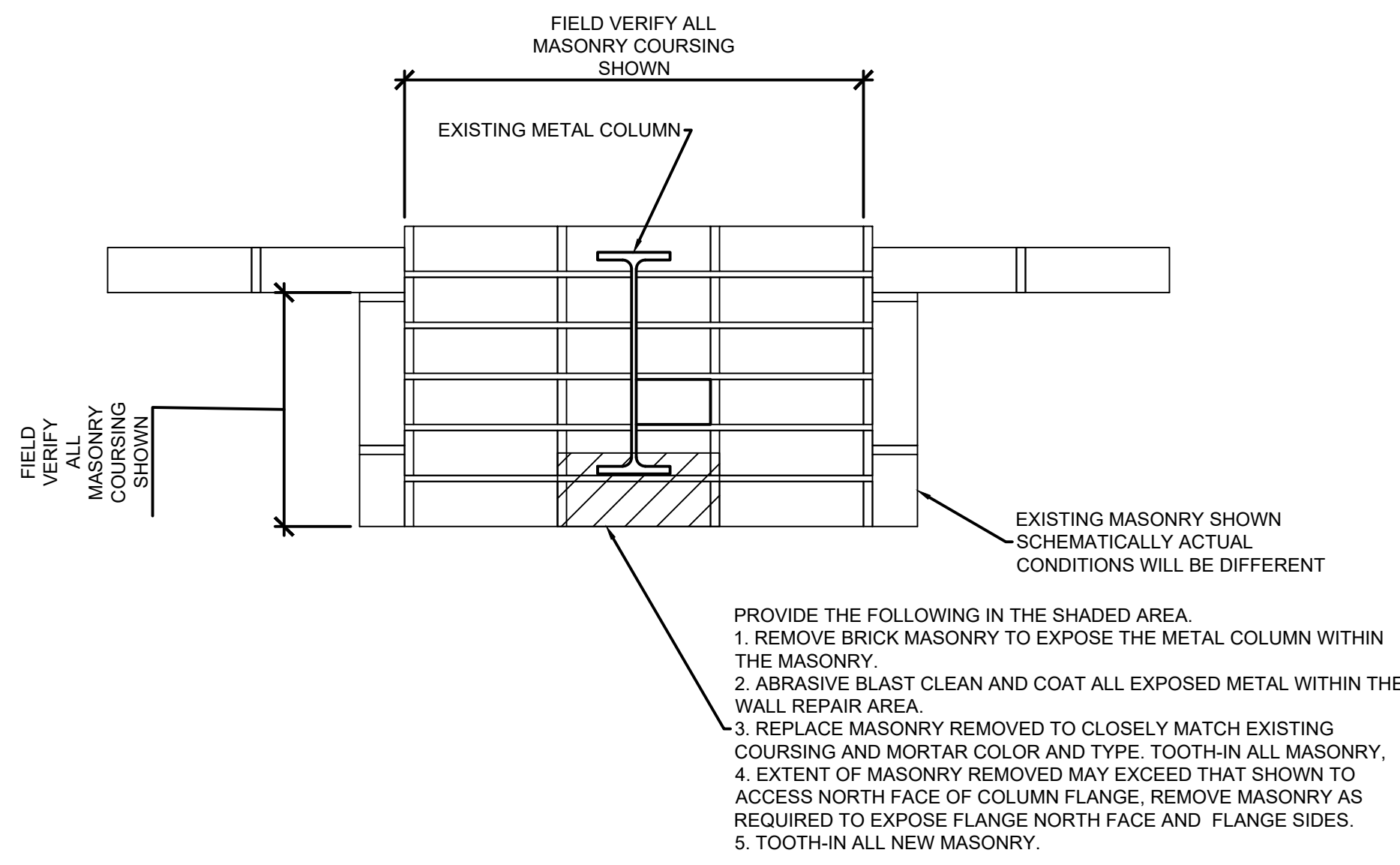
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SHEET NO.:

Engineering Diagnostics
300 East 39th Street
Kansas City, Missouri 64111
(816) 509-9847

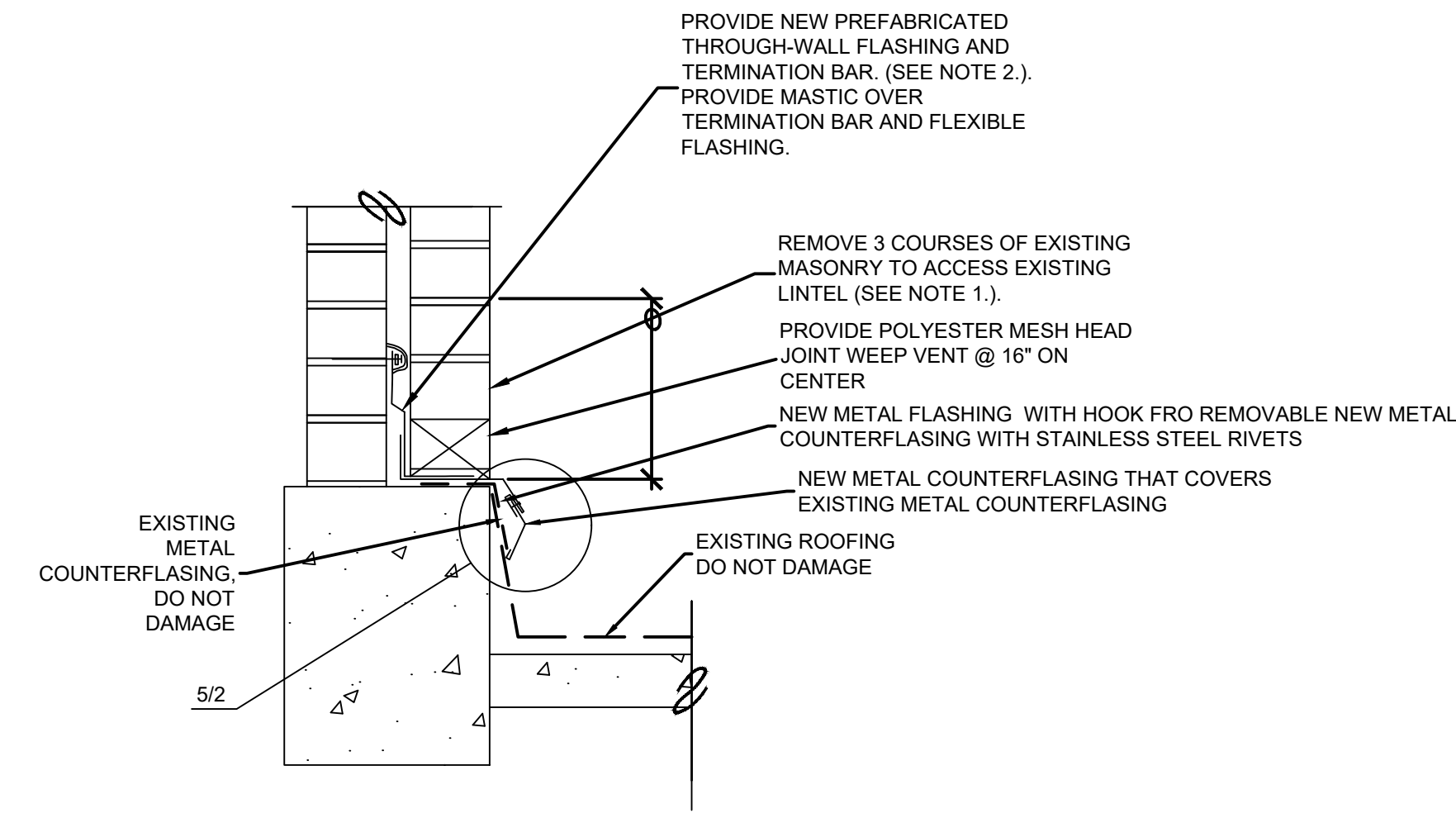


Kansas City, Kansas Public Schools
Summer Academy Exterior Wall Repair
Kansas City, Kansas
Missouri Professional Corporation 1543
Engineering Diagnostics Project Number: C31-4165-K02



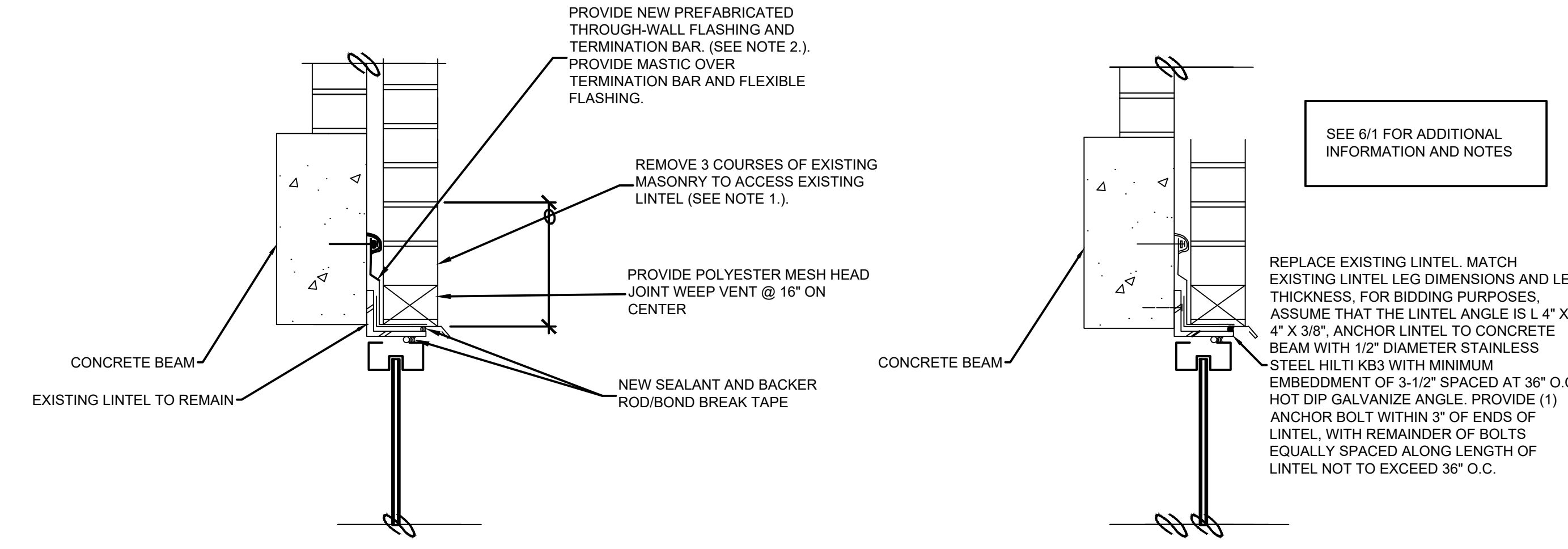
SECTION THROUGH LINTEL 1
NOT TO SCALE REPAIR ITEM 1

- PROVIDE THE FOLLOWING IN THE SHADED AREA.
1. REMOVE BRICK MASONRY TO EXPOSE THE METAL COLUMN WITHIN THE MASONRY.
 2. ABRASIVE BLAST CLEAN AND COAT ALL EXPOSED METAL WITHIN THE WALL REPAIR AREA.
 3. REPLACE MASONRY REMOVED TO CLOSELY MATCH EXISTING COURSING AND MORTAR COLOR AND TYPE. TOOTH-IN ALL MASONRY.
 4. EXTENT OF MASONRY REMOVED MAY EXCEED THAT SHOWN TO ACCESS NORTH FACE OF COLUMN FLANGE. REMOVE MASONRY AS REQUIRED TO EXPOSE FLANGE NORTH FACE AND FLANGE SIDES.
 5. TOOTH-IN ALL NEW MASONRY.



SECTION THROUGH SILL 4
NOT TO SCALE REPAIR ITEM 4

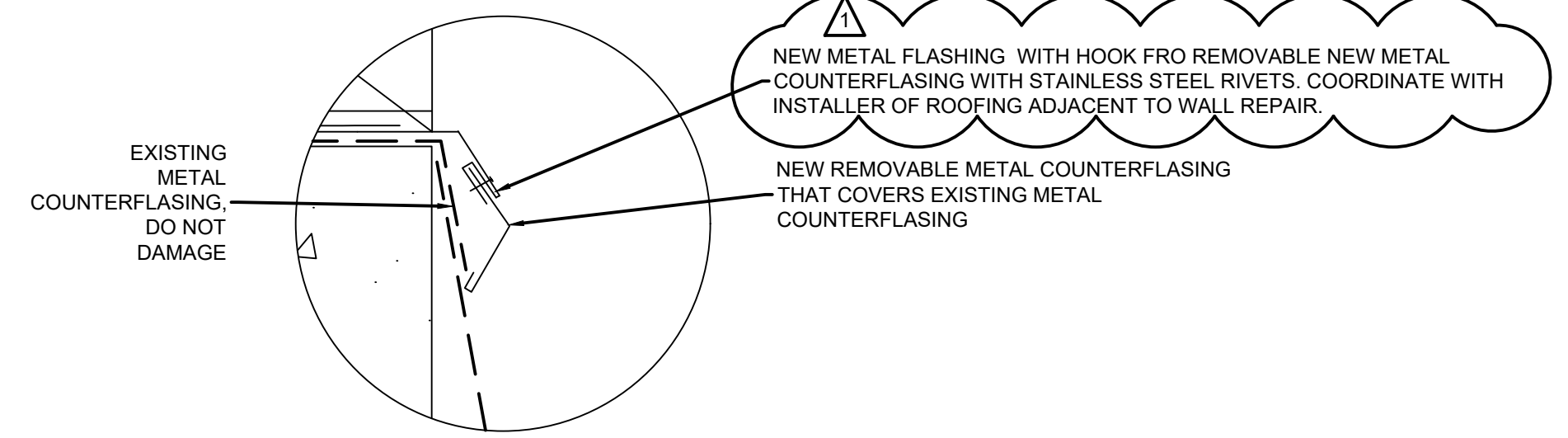
- REPAIR ITEM 4 NOTES
1. MAINTAIN STABILITY OF THE EXISTING BRICK ABOVE BRICK LINTEL REMOVAL AREAS AT ALL TIMES. PROVIDE TEMPORARY STEEL ANGLES OR OTHER MEANS TO SUPPORT EXISTING MASONRY. PROVIDE NEW BRICK AND MORTAR MASONRY TO CLOSELY MATCH THE EXISTING BRICK AND MORTAR COLOR, TEXTURE, BOND PATTERN, AND TYPE OF MORTAR JOINT. PROVIDE NEW BRICK AND MORTAR MASONRY SO THAT NEW MASONRY IS REASONABLY INDISTINGUISHABLE FROM THE EXISTING MASONRY WHEN VIEWED IN INDIRECT LIGHT FROM A DISTANCE OF AT LEAST 20 FEET.
 2. INSTALL NEW PREFABRICATED FLASHING ACCORDING TO THE MANUFACTURER'S DIRECTIONS. ADHERE FLASHING TO CLEANED SURFACES ONLY. REMOVE DUST, WAX, OIL AND OTHER MATERIALS THAT MAY IMPAIR THE FLASHING ADHESION. ANCHOR TERMINATION BAR TO EXISTING CONCRETE OR MASONRY WITH STAINLESS STEEL CONCRETE 1/4" SCREWS AT 8" ON CENTER. PROVIDE PREFABRICATED END DAMS WHERE NEW THROUGH-WALL FLASHING TERMINATES AT JAMBS.



SECTION THROUGH LINTEL 2
NOT TO SCALE REPAIR ITEM 2

SECTION THROUGH LINTEL 3
NOT TO SCALE REPAIR ITEM 3

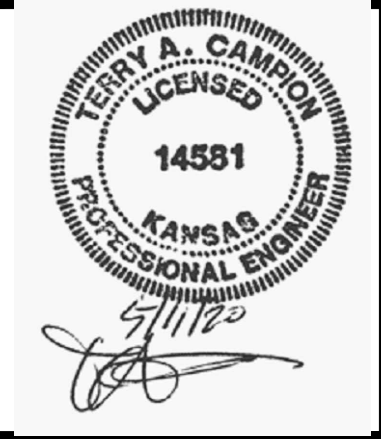
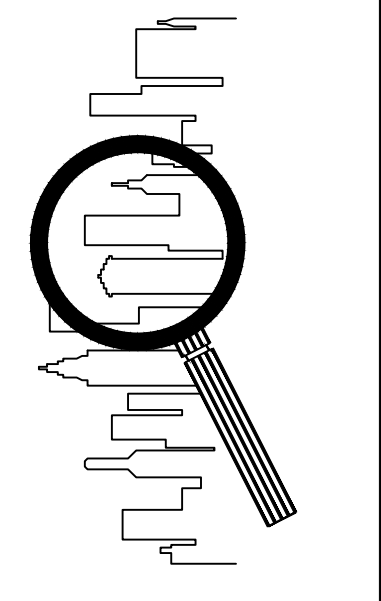
- REPAIR ITEM 2 AND 3 NOTES
1. MAINTAIN STABILITY OF THE EXISTING BRICK ABOVE BRICK LINTEL REMOVAL AREAS AT ALL TIMES. PROVIDE TEMPORARY STEEL ANGLES OR OTHER MEANS TO SUPPORT EXISTING MASONRY. PROVIDE NEW BRICK AND MORTAR MASONRY TO CLOSELY MATCH THE EXISTING BRICK AND MORTAR COLOR, TEXTURE, BOND PATTERN, AND TYPE OF MORTAR JOINT. PROVIDE NEW BRICK AND MORTAR MASONRY SO THAT NEW MASONRY IS REASONABLY INDISTINGUISHABLE FROM THE EXISTING MASONRY WHEN VIEWED IN INDIRECT LIGHT FROM A DISTANCE OF AT LEAST 20 FEET.
 2. INSTALL NEW PREFABRICATED FLASHING ACCORDING TO THE MANUFACTURER'S DIRECTIONS. ADHERE FLASHING TO CLEANED SURFACES ONLY. REMOVE DUST, WAX, OIL AND OTHER MATERIALS THAT MAY IMPAIR THE FLASHING ADHESION. ANCHOR TERMINATION BAR TO EXISTING CONCRETE OR MASONRY WITH STAINLESS STEEL CONCRETE 1/4" SCREWS AT 8" ON CENTER. PROVIDE PREFABRICATED END DAMS WHERE NEW THROUGH-WALL FLASHING TERMINATES AT JAMBS.
 3. MASONRY WALL SHOWN, LINTEL AT WINDOW HEAD SIMILAR.



SILL DETAIL 5
NOT TO SCALE REPAIR ITEM 4

SEE 6/1 FOR ADDITIONAL INFORMATION AND NOTES

REPLACE EXISTING LINTEL. MATCH EXISTING LINTEL LEG DIMENSIONS AND LEG THICKNESS. FOR BIDDING PURPOSES, ASSUME THAT THE LINTEL ANGLE IS L 4" X 4" X 3/8". ANCHOR LINTEL TO CONCRETE BEAM WITH 1/2" DIAMETER STAINLESS STEEL HILTI KB3 WITH MINIMUM EMBEDMENT OF 3-1/2" SPACED AT 36" O.C. HOT DIP GALVANIZE ANGLE. PROVIDE (1) ANCHOR BOLT WITHIN 3" OF ENDS OF LINTEL, WITH REMAINDER OF BOLTS EQUALLY SPACED ALONG LENGTH OF LINTEL NOT TO EXCEED 36" O.C.



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REVISIONS	DATE
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SHEET NO.

ADDENDUM 1 – ATTACHMENT C

BID FORM

By signing this bid form, the vendor certifies the forms being offered meets or exceeds all requirements and conditions of the bid, special provisions and specifications. In compliance with the above and subject to all the conditions hereof, the undersigned offers and agrees to furnish all items upon which prices are quoted, at the price set opposite each item.

The undersigned certifies that no Federal, State, County or Municipal tax is included in the above quoted prices and that none will be added. Public schools are TAX EXEMPT. Exemption certificates will be provided upon request.

Bid Form – All Work	
Base Bid – (to include all labor, materials and other costs)	\$
Bid Value Written Out	
Number of Days After Receipt of Order to Start Project	Days
Number of Days to Complete Project	Days

The Lump Sum written out immediately above governs this Bid. For comparative purposes and as the basis for future add/deduct negotiations, also list individual prices for the following work items. The total of these items must equal the Lump Sum above, and should accurately reflect the apportionment of the Bid, including overhead, profit, and taxes.

Where given, use the quantities provided for bidding; if provided quantities are later determined to be inaccurate, an equitable adjustment will be made in the Contract Price by multiplying Bidder's unit rate price times the actual quantity performed; no other pricing will be considered for changes in the Contract Price. If a quantity is not provided, Bidder shall make an independent study to estimate the actual quantity; no Change Order will be considered to correct inaccurate quantities estimated by Bidder.

Repair Item	Base Bid - Descriptions	Unit	Unit Price	Quantity	Extended Price
1	Auditorium North Wall Pilaster Corroding Metal Column Repair	Lump Sum	\$	NA	\$
2	Auditorium North Wall and North Light Court Water Repellent.	Lump Sum	\$	NA	\$
3	Auditorium north wall sill through-wall flashing installation.	Lump Sum	\$	NA	\$
4	Selective Auditorium North Wall Repointing.	Sq. Ft. ¹	\$ <small>Per Sq. Ft.</small>	100 Sq. Ft.	\$
5	<i>Intentionally Omitted (See Addendum 1)</i>				
6	Brick harvesting	Each Brick	\$ <small>Per Brick</small>	1,000 Bricks	\$
7	North Light Court Through-Wall Flashing Installation.	Lump Sum	\$	NA	\$
8	North Light Court Lintel Replacement.	Linear Foot	\$	35 Lin. Ft.	\$
9	Selective North Light Court Wall Repointing.	Sq. Ft. ¹	\$ <small>Per Sq. Ft.</small>	100 Sq. Ft.	\$
10	North Light Court Water Repellent.	Lump Sum	\$	NA	\$
11	Replace Sealant.	Lump Sum	\$	NA	\$

Repair Item	Base Bid - Descriptions	Unit	Unit Price	Quantity	Extended Price
12	Construction Performance and Payment bonds	Lump Sum	\$	Lump Sum	\$

1. Linear feet of repointing will be converted to a square foot quantity using the ratio of 5.5 linear feet equals 1 square foot.

Designations	If Yes, Please Identify Certified Designation	
MBE/WBE/Other Certification Is your firm certified MBE/WBE or Other? <div style="text-align: right;">(Circle One)>></div>	Yes / No	

WE HEREBY AGREE TO FURNISH THE ITEMS ON WHICH PRICES ARE QUOTED ABOVE IN ACCORDANCE WITH ALL TERMS AND CONDITIONS PREVIOUSLY LISTED AND ANY ATTACHED SPECIFICATIONS.

BY:	_____	DATE	_____
TITLE:	_____	FIRM:	_____
PHONE:	_____	EMAIL:	_____