

Aztec Business Incubator Building Improvements
BID # 2018-646

Addendum #1
January 29, 2018



NOTICE TO BIDDERS

The following corrections, revisions, additions, and/or information for the above referenced project and shall be incorporated into the Plans, Specifications, and/or Contract Documents for the project as described below. The corrections, revisions, additions, and/or information shall henceforth be regarded as an integral part of the project, carrying the same weight and force as original sections of the plans, specifications, and/or contract documents.

Ensure that you indicate receipt of this Addendum on your Bid.

BIDS DUE: Monday, February 5, 2018, 3:00 PM

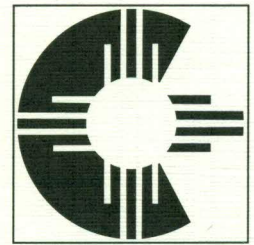
Additional city specification to Sheet A1.1, note #37 (as amended)

Digital Keyboard Lock, Trilogy ETPDN V99 (installed)
AL-IM2-80211 Wifi Gateway (mounted, city will run cabling and complete connection with network)

Addendum to bid documents, attached includes Sheet A1.1, note change #37 and addition of note #44; Sheet A2.1 change to note #16

End Addendum #1

Issued 1/29/2017
Kathy Lamb
Finance Director



City of Aztec
Addendum to Bid Documents
Building At 119 South Church Av.
Aztec, New Mexico

1. Sheet A1.1: Change Note #37 to read: Remove existing Exterior Metal Door. Install new Hollow Metal Door Frame. Install new 3'-0" wide Insulated Metal Door with Panic Hardware and Closer.
2. Sheet A1.1: Add Note #44 to read: Exiting Guardrail. See Detail Sheet A4.1 For Additional Horizontal Members.
3. Sheet A2.1: Change Note # 16 to read: New 3'-0" Wide 20 Minute Door with Closer and Panic Hardware.

Notes - Floor Plan 5

1. 5'-0" Diameter Handicap Turning Circle.
2. 30" x 48" Accessible Space For Lavatory.
3. Existing Exterior Concrete Block Wall.
4. Existing Interior Wall.
5. Existing Column.
6. Existing Stairs.
7. Existing Landing.
8. Existing Window.
9. Existing 3'-0" Wide Entrance Door. Install Panic Hardware And Closer.
10. Remove Existing Wall.
11. Remove Existing Screen Wall.
12. Remove Existing Exterior Door.
13. Existing Wood Frame Wall. Remove Sheetrock On Restroom Side Of Wall And Install New $\frac{5}{8}$ " Sheetrock To Match New Wall And Wall Finish. Install Blocking For Grab Bars And Lavatory.
14. New 2x4 Wood Stud Wall With Studs @ 16" o.c. With 2x6 P.T.Wood Or Redwood Sole Plate. See Wall Section this Sheet.
15. New Insulated Exterior Metal Door With Panic Hardware And Closer.
16. New 3'-0" Wide 20 Minute Door With Closer and Panic Hardware.
17. New 3'-0" Wide Door With Handicap Accessible Lockset With Lever Handle.
18. Ceilings And Wall Painted With Impervious Epoxy Paint.

25. Existing 5'-0" Wide Sliding Glass Door.
26. Existing 4'-0" Wide Double Door.
27. Existing 36" Wide Interior Door.
28. Existing 32" Wide Interior Door.
29. Existing 30" Wide Interior Door.
30. Existing 5'-0" Wide Opening.
31. Existing 30" Wide Opening.
32. Existing Window.
33. Existing Storefront System.
34. Existing Bar.
35. Existing Counter And Sink.
36. Remove Existing Storefront Door And Replace With Storefront Door That Swings Out With Panic Hardware And Closer. Match Door To Existing Storefront System. Panic hardware With Thumb Latch, Closer.

37. Remove Existing Exterior Metal Door. Install New Hollow Metal Door Frame. Install New 3'-0" Wide Insulated Metal Door With Panic Hardware And Closer.

38. Design of Plumbing Remodel Shall Be By Plumbing Sub-Contractor. The Plumbing Sub-Contractor Shall Provide All Information Necessary To Obtain A Plumbing Permit.

39. Existing Exit/Emergency Combination Light.

40. New Exit/Emergency Combination Light.

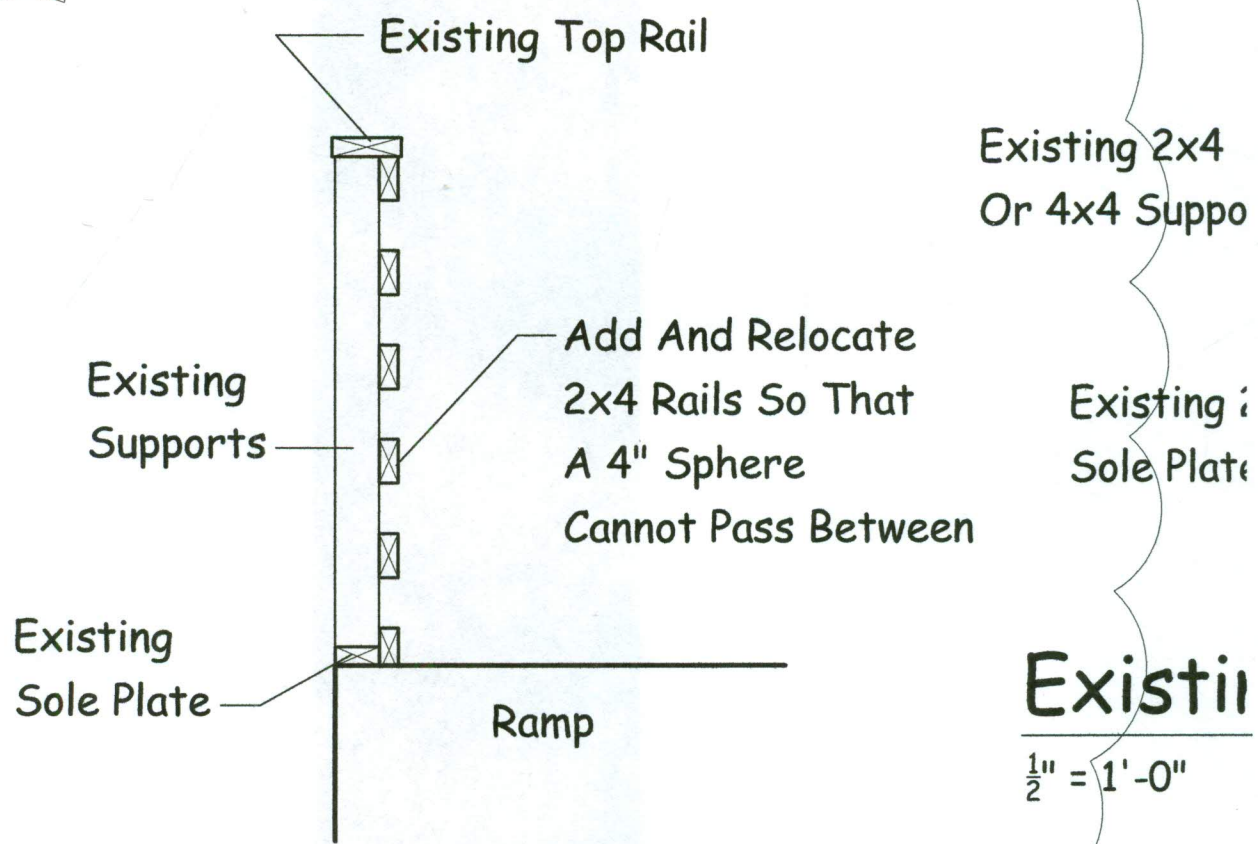
41. New Detectable Warning Pads

42. Existing Fire Extinguisher

43. Install New Fire Extinguisher. See Specifications.

44. Existing Guardrail. See Detail Sheet A4.1 For Additional Horizontal Members.

3.



$$\frac{1}{2}'' = 1'-0''$$

Existing Guardrail Detail

$$\frac{1}{2}'' = 1'-0''$$