

**Indian River County
Purchasing Division
1800 27th Street
Vero Beach, FL 32960
Phone (772) 226-1416**



ADDENDUM NO. 2

Date: **August 27, 2020**

Project Name: **INDIAN RIVER COUNTY COURTHOUSE PARKING GARAGE REHABILITATION
(IRC-1801A)**

Bid Number: **2020056**

Bid Opening Date: **Thursday, September 3, 2020 at 2:00 p.m.**

This addendum is being released to modify the bid documents and answer questions.

The information and documents contained in this addendum are hereby incorporated in the invitation to bid. This addendum must be acknowledged where indicated on the bid form, or the bid will be declared non-responsive.

Modifications to Bid Documents:

Updated Itemized Bid schedule, revised plan set, and revised specification section 07 90 20 Garage Waterproofing Systems.

Questions:

Question 1. The bid docs do not have the elastomeric coating stated in summary of work on bid doc page 166. Are we bidding the approx. 23,800 SF?

Response: Please provide pricing as noted on the bid form.

Question 2. On the Bid form item#8 (install new traffic coating) – it states there is 47,250 SF to be completed, however on page 166 (Summary of Work), it states there is 50,325 SF. Which number are we bidding?

Response: 50,325 SF is the correct number. The Itemized Bid Schedule has been revised accordingly.

Question 3. Plans and specs calls for remove and replace sheetrock ceiling in Elevator Shaft. The location it is showing appears to no longer be an elevator? Is this the right location and if so how are we to access the ceiling?

Engineer's Response: Location has been updated to indicate the west elevator shaft. Please reference the attached drawing update.

Question 4. Please specified the new traffic coating System required to include manufacturer:

- a- Pressure wash, primer, base coat and top coat?
- b- Primer and top coat?
- c- Just two top coat appl.?

Engineer's Response: The allowable manufacturer and product is specified in Section 07 90 20 2.02 b. 3.

Question 5. Is there any consideration to remove put new ones and replace Car bumper stops and specified anchoring system?

Engineer's Response: No, wheel stops are not to be replaced as part of this contract.

Question 6. Please specified the type of the main 2 ½" expansion joint on top Deck.

Engineer's Response: The expansion joint is specified in Section 32 01 17.61 2.04

- Question 7. a. Is there a preferred manufacturer for the trench drain liner?
b. Are alternates to the Stainless-Steel Liner acceptable?

Engineer's Response:

- a. There is no product we are aware of that can be used in this application.**
- b. Alternates may be evaluated.**

Question 8. What length warranty is required for the staircase coating system?

Engineer's Response: There is no Manufacturer warranty specified. The coating shall be covered under the Contractor's Five-year Warranty.

Question 9. What is the current exterior coating of the parking garage?

Engineer's Response: Unknown.

Question 10. Is the required hot applied traffic sealant compatible with the recommended traffic coatings? If not, will the hot applied traffic sealant only be used on the lower two floors?

Engineer's Response: We understand they are compatible. Contractors should verify with their respective proposed manufacturers.

Question 11. S001 describes (4) drain bowl clamping rings to match existing and the bid form has a quantity of 24, plan on the 24 quantity?

Engineer's Response: Plan on 24 drain bowl clamping rings. Please reference the attached drawing update.

Question 12. Section 01050- Field Engineering and Layout requires the contractor to confirm all surveys, install station boards, layout all striping by instrument, and provide as-built drawings. Confirming all are required for this project?

Response: The Contractor is required to supply as-built drawing as part of his/her project close out.

Question 13. Does contractor need to submit material substitutions prior to submittal of bid?

Response: Bids shall be submitted per plans and specifications.

Question 14. Does contractor need to submit all application certifications with bid form?

Response: No.

Question 15. Should Contractor expect lead-based paint on site?

Response: No.

Question 16. Are we coating the backside of the knee wall and all other exposed concrete at the top level?

Engineer's Response: Yes

Question 17. On drawing S201, note 2 it refers to removing and replacing sealant but all points reflected do not currently have any in place. Is it your intent to seal all vertical and horizontal joints?

Response: Yes

Attachments:

Revised Itemized Bid Schedule

Addendum 2 Cover Letter from REI Engineers including Specification revisions and Plan revisions.



ENGINEERS

DATE: August 27, 2020
FROM: REI Engineers
REFERENCE: **Specification and Drawing Update for Addendum No. 2**
Indian River County
IRC-1801 Indian River County Courthouse Parking Garage Rehabilitation

This addendum forms a part of the Contract Documents and modifies the original Bidding Documents, including changes to the specifications and drawings as follows:

CHANGES TO SPECIFICATIONS:

1. Replace Specification Section “07 90 20 Garage Waterproofing Systems” with attached “07 90 20 Garage Waterproofing Systems (Revision No. 1)”. Specification section has been updated to clarify the product requirements.

CHANGES TO DRAWINGS:

1. Replace Specification Section “Contract Drawing S001” with attached “Contract Drawing S001 (Revision No. 1)”. Contract drawing has been updated to modify the scope of work description.
2. Replace Specification Section “Contract Drawing S103” with attached “Contract Drawing S103 (Revision No. 1)”. Contract drawing has been updated to correct the elevator ceiling location.

ALL OTHER REQUIREMENTS AND PROVISIONS OF THE BIDDING DOCUMENTS REMAIN UNCHANGED. ACKNOWLEDGE RECEIPT OF THIS ADDENDUM ON THE BID FORM. FAILURE TO DO SO MAY BE CAUSE FOR REJECTION OF THE BID.

END OF ADDENDUM

SECTION 07 90 20

GARAGE WATERPROOFING SYSTEMS

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. This section includes elastomeric traffic deck coating system.

1.02 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Specification Sections, apply to this Section.

1.03 REFERENCES

- A. Refer to the following references, current edition for specification compliance:
 - 1. Florida State Building Code

1.04 SUBMITTALS

- A. General: Submit the following in accordance with the Conditions of the Contract and Division 1 Specification sections.
- B. Product Data: For each product indicated.
- C. A detailed statement describing the deck waterproofing system to be installed, as well as the installation methods to be employed, shall be submitted for approval prior to installation. Literature, details, samples, shop drawings, warranties, etc., shall be included in the submittal as requested.
- D. A manufacturer's written acceptance and approval of the intended system applicator shall be required.
- E. Qualification Data: For Installer and testing agency.
- F. Product Test Reports: Based on comprehensive testing of product formulations performed by a qualified testing agency, indicating that products comply with requirements.
- G. Warranties: Special warranties specified in this Section

1.05 QUALITY ASSURANCE

- A. Installer Qualifications: Manufacturer's authorized Installer who is approved or licensed for installation of waterproofing systems required for this Project.
- B. Source Limitations: Obtain each type of product through one source from a single manufacturer.
- C. A site inspection shall be made by applicator prior to commencing installation of the system for purposes of reviewing related conditions affecting performance

requirements of this specification.

- D. All products described in this section must be used with adequate ventilation and personal protection. Refer to the Material Safety Data Sheet which accompanies each product shipment for detailed health and safety information prior to use.
- E. Mockups: Build mockups incorporating products, as follows, to verify selections made under sample submittals and to demonstrate aesthetic effects and set quality standards for materials and execution:
 - 1. Deck coating systems - Provide two 4'x4' mockups for each deck coating system and each substrate.
- F. Preconstruction Field-Adhesion Testing: Before installing elastomeric sealants, deck coating, and expansion joint nosing material, field test their adhesion to substrates as follows:
 - 1. Locate field test mockup where indicated or, if not indicated, as directed by Engineer.
 - 2. Conduct field tests for each application indicated below:
 - a. Each type of deck coating indicated and the applicable substrates.
 - 3. Notify Engineer seven days in advance of dates and times when tests will be performed.
 - 4. Arrange for tests to take place with product manufacturer's technical representative present.
 - 5. Refer to Field Quality Control under Part 3 for additional requirements.
- G. Preinstallation Conference: Conduct conference at Project site.

1.06 PERFORMANCE REQUIREMENTS

- A. Provide products that establish and maintain watertight and airtight continuous waterproofing system without staining or deteriorating joint substrates.

1.07 FIELD CONDITIONS

- A. Environmental Limitations: Apply waterproofing systems within the range of ambient and substrate temperatures recommended in writing by manufacturer. Do not apply waterproofing systems to damp or wet substrates, when temperatures are below 40 deg F, when relative humidity exceeds 85 percent, or when temperatures are less than 5 deg F above dew point.
- B. Do not proceed with installation of waterproofing systems under the following conditions:
 - 1. Do not apply waterproofing systems in snow, rain, fog, or mist, or when such weather conditions are imminent during the application and curing period. Apply only when frost-free conditions occur throughout the depth of substrate.
 - 2. Contaminants capable of interfering with adhesion have not yet been removed from substrates.
 - 3. Where conditions exist that do not meet the manufacturer's requirements for applications indicated.

4. Where conditions exist that can cause off gassing of the waterproofing systems.
- C. Do not install waterproofing systems until items that penetrate the waterproofing have been installed.

1.08 WARRANTY

- A. The system manufacturer and the approved applicator shall furnish a written performance joint warranty that, subject to certain specific exclusions as described in such joint warranty, the system provided will be free of defects related to workmanship or material deficiency. The following conditions shall be specifically covered under the joint warranty:
1. Cohesive or adhesive failure of materials.
 2. Weathering deficiencies resulting in failure of the system to provide its intended function.
 3. Abrasion or tear failure of the system resulting from normal traffic use. (Abrasive maintenance equipment, truck and construction traffic are not normal traffic use and related problems are exempted from the warranty.)
- B. The system manufacturer and the approved applicator shall submit to the Owner for approval a detailed joint warranty statement consistent with the terms of this specification prior to construction. The approved joint warranty shall represent the sole warranty statement and warrant obligation for the project relating to this trade. Where an apparent conflict is found to exist with respect to the warranty language of this section and the detailed warranty statement, the more stringent warranty requirement shall supersede and control.

PART 2 PRODUCTS

2.01 MANUFACTURERS

- A. Available Products: Subject to compliance with requirements, products that may be incorporated into the Work include, but are not limited to, products listed in other Part 2 articles

2.02 MATERIALS

- A. Compatibility: Provide waterproofing systems including backings, and other related materials that are compatible with one another and with substrates under conditions of service and application, as demonstrated by the system manufacturer, based on testing and field experience.
- B. Elastomeric Traffic Deck Coating:
1. Traffic deck coating systems specified herein shall be complete systems of compatible materials. Components of systems shall include a base membrane, a traffic topping and all sealants, primers, flashing, aggregates and miscellaneous materials as required by the manufacturer to complete the system.
 2. Traffic deck coating systems shall meet the following slip resistance requirements:
 - a. Coefficient of friction not less than 0.85 when tested under wet conditions.
 - b. Variation in slip resistance test results not greater than 0.10.

- c. Refer to Field Quality Control under Part 3 for additional requirements.
3. The following deck coating systems are approved for usage under this section:
- a. Urethane Systems:
 - i. The following materials are approved for usage under this section, subject to compliance with requirements:
 - (a) "Sikalastic 720/745", Sika Corporation.
 - (b) "Iso-Flex 750U", LymTal International Inc.
 - (c) "MasterSeal Traffic 2500", BASF Building Systems.
 - (d) "Pecora-Deck 800 FC", Pecora Corporation.
 - (e) "Qualideck Vehicular Traffic Bearing Membrane System", Advanced Polymer Technology Corporation.
 - (f) "Auto-Gard FC T", Neogard
 - ii. Application rates for medium and heavy-duty systems: rates are for bidding purposes and are to be confirmed in the field using a 100 sf mockup.
 - (a) Primer: 0.33 gal. minimum per 100 sf (300 sq. ft. maximum per gal.)
 - (b) Polyurethane base coat: 1.33 gal. minimum per 100 sf (75 sq. ft. maximum per gal.)
 - (c) Polyurethane wear coat: 0.5 gal. minimum per 100 sf (200 sq. ft. maximum per gal.)
 - (d) Broadcast aggregate into wear coat: 15 lbs. minimum per 100 sq. ft. to excess
 - (e) 2nd Polyurethane wear coat (*for heavy duty systems*): 0.75 gal. minimum per 100 sf (133 sq. ft. maximum per gal.)
 - (f) 2nd Broadcast aggregate into wear coat (*for heavy duty systems*): 15 lbs. minimum per 100 sq. ft. to excess
 - (g) Polyurethane seal coat: 0.75 gal. minimum per 100 sf (133 sq. ft. maximum per gal.).
 - iii. Use medium-duty system for stalls and heavy-duty system for the drive and turning lanes. Average coating thickness exclusive of aggregate:
 - (a) Medium duty system: 46 dry mils

- (b) Heavy duty system: 58 dry mils
- iv. Use 100% aliphatic top coat on top tier.
- v. Apply Urethane System to the following areas:
 - (a) At areas over occupied spaces, conditioned spaces, rooms with equipment and as shown on the Drawings.

PART 3 EXECUTION

3.01 GENERAL

- A. All work shall be installed in strict accordance with system manufacturer's recommendations employing trained installers utilizing proper tools and equipment and working under the direct supervision of a technically competent and experienced supervisor. An authorized technical representative shall attend a pre-installation conference, be present for the first day of installation and provide a minimum of three field inspection reports to the Engineer during the duration of the installation.
- B. All surfaces related to work under this section shall be inspected by the applicator prior to commencing work. Any conditions discovered which render the substrate unsuitable shall be reported and satisfactorily corrected prior to installation of the specified system.
- C. Coordinate and verify that related work items meet the following requirements:
 - 1. All surfaces shall be clean, dry and of sound substrate at time of application. Surfaces shall be provided free of voids, ridges and sharp projections.
 - 2. Concrete surface finishes shall be subject to approval of the applicator.
 - 3. Concrete surfaces shall have cured for an acceptable period as recommended by the system manufacturer for the various components of the applicable system.
- D. Environmental Conditions:
 - 1. System application shall be at temperatures as recommended by the system manufacturer.
 - 2. The deck surface shall be dry at time of application according to ASTM D4263, Standard Test Method for Indicating Moisture in Concrete.
 - 3. Provide adequate ventilation in accordance with system manufacturer's recommendations during installation of the deck waterproofing system.
- E. Protect all work areas from traffic until fully cured.

3.02 EXAMINATION

- A. Examine joints indicated to receive waterproofing system, with Installer present, for compliance with requirements for joint configuration, installation tolerances, and other conditions affecting product performance.
- B. Proceed with installation only after unsatisfactory conditions have been corrected.

3.03 ELASTOMERIC TRAFFIC DECK COATING SYSTEM

- A. All traffic deck coatings are to be applied to acceptable clean, dry, sound substrates. Clean surfaces to be treated in accordance with the system manufacturer's recommendations. Acceptable methods include sweeping, blowing, vacuuming, pressure washing, water blasting, acid etching, sand blasting, or shot blasting as required to remove all laitance and surface contaminants to insure proper adhesion of the deck coating.
- B. Select and install a test area prior to general application to establish procedures, verify adhesion and acceptable appearance.
- C. Surface preparation shall produce a surface profile matching CSP 4, 5 or 6 per ICRI 03732, as required to meet the requirements of the selected deck coating. Sweep and vacuum roughened surface to remove debris followed by low-pressure water cleaning. Coordinate surface preparation with the surface preparation for the corrosion-inhibiting treatment, as applicable.
- D. Notify Engineer 7 days prior to completion of the surface preparation. Meet with the Engineer and manufacturer's representative to review surface preparation, joint preparation, adhesion test results, and crack preparation, as applicable. All joint and crack preparation shall be included in the cost of the traffic deck coating system.
 - 1. Seal all underlying control and construction joints.
- E. Other detailing work including sealing around drains, penetrations, curb, column and wall bases, etc., shall be accomplished in accordance with system manufacturer's recommendations prior to general application.
- F. Provide a grid system marked on the deck surface to designate the area for which a container of material must be used evenly applied to obtain the desired average dry mil film thickness. A wet mil gauge shall also be used to randomly verify that mil thickness at application is consistent with system manufacturer's recommendations.
- G. Broadcast clean, dry silica aggregate into top coats to provide a skid resistant surface as recommended by system manufacturer.
- H. Application shall be by squeegee, roller and power sprayer.
- I. Install the Elastomeric Traffic Deck Coatings in accordance with a "wear-rated" heavy and medium duty system per Section 2.2.D.

3.04 FIELD QUALITY CONTROL

- A. Deck Coating Field-Adhesion Testing: Field test deck coating adhesion to substrates as follows:
 - 1. Extent of Testing: Test mockups and completed deck coatings as follows:
 - a. Perform 1 test.
 - 2. Test Method: ASTM D 7234.
 - 3. Inspect deck coating for bubbles, voids, aggregate distribution, and for application complying with specified requirements. Record results in a field-adhesion-test log.
 - 4. Inspect deck coating preparation, installation, and testing. Record results in a log and report on the following:

- a. Dates when surface preparation was performed.
 - b. Type of surface preparation.
 - c. If surface contaminants such as engine oil were present on the slab prior to surface preparation and cleaning.
 - d. If surface contaminants remain on the slab after surface preparation and cleaning.
 - e. Relative humidity of the slabs prior to application of deck coatings.
 - f. Time, date, temperature, precipitation, relative humidity, and sun exposure when deck coatings were installed. Note if conditions changed during the installation.
 - g. Type of materials used for deck coating installation and wait times between each application.
 - h. Deck coating dry mil thickness and if the thickness complies with specified requirements.
 - i. Test dates, test locations, and adhesion results (whether deck coating failed to adhere to substrates or tore cohesively).
 - j. Names of persons who performed surface preparation, who performed relative humidity testing, who installed deck coatings, and who performed adhesion tests.
5. Repair deck coatings pulled from test area by applying new deck coating following same procedures used originally. Ensure that original surfaces are clean and that new deck coating overlaps original deck coating.
- B. Deck Coating Slip Resistance Testing: Field test deck coating slip resistance as follows:
1. Extent of Testing: Test mockups and completed deck coatings as follows:
 - a. Perform 1 test.
 2. Test Method: ASTM F 1679 under wet conditions.
 3. Inspect deck coating for variations in aggregate distribution. Locate tests at areas with high density of aggregate and with low density of aggregate. Record results in a log and report on the following:
 - a. Test dates, test locations, and slip resistance results.
 - b. Names of person who performed tests.
 - c. Approximate area (square feet) of deck coating that exhibits a low density of aggregate, an average density of aggregate, and a high density of aggregate.
 4. Repair deck coatings pulled from test area by applying new deck coating following same procedures used originally. Ensure that original surfaces are clean and that new deck coating overlaps original deck coating.
- C. Evaluation of Field Test Results: Products not evidencing adhesive failure from testing or noncompliance with other indicated requirements will be considered satisfactory. Remove products that fail to adhere to substrates during testing or to comply with other requirements. Reapply mockups and retest until test results prove products comply with indicated requirements. Do not use products that fail to adhere to substrates during testing.

3.05 PROTECTION

- A. Protect waterproofing systems during and after curing period from contact with contaminating substances and from damage resulting from construction operations or other causes so systems are without deterioration or damage at time of Substantial Completion. If, despite such protection, damage or deterioration occurs, cut out and remove damaged or deteriorated products immediately so installations with repaired areas are indistinguishable from original work.

3.06 CLEAN-UP

- A. The Contractor shall ensure the site and building are cleaned to meet pre-construction conditions, as accepted by the Owner.
- B. Damages to the building, grounds, equipment and site shall be repaired or replaced by the Contractor to meet pre-construction conditions, as accepted by the Owner.

END OF SECTION 07 90 20

ITEMIZED BID SCHEDULE**PROJECT NAME: INDIAN RIVER COUNTY COURTHOUSE PARKING GARAGE
REHABILITATION**

PROJECT NO. IRC-1801A

BID NO. 2020056

BIDDER'S NAME _____

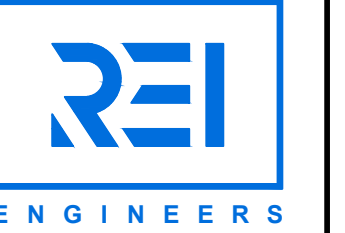
Item No.	Description	Unit	Unit Price	Quantity	Amount
1	MOBILIZATION	LS		1	
2	MAINTENANCE OF TRAFFIC	LS		1	
3	REPAIR SPALLED CONCRETE	SF		100	
4	REHABILITATION OF STAIR STRUCTURES (LANDINGS)	EA		4	
5	REPLACE ELEVATOR SHAFT CEILING	SF		135	
6	REPLACE PARKING DECK EXPANSION JOINTS	LF		570	
7	REPLACE JOINT SEALANT MATERIAL	LF		1000	
**	8	INSTALL NEW TRAFFIC COATING	SF	50,325	
	9	RESTRIPE SPACES AND LANE IDENTIFIERS	LF	4,500	
	10	REPLACE EXISTING DRAIN BOWL CLAMPING RINGS	EA	24	
*	11	REMOVE EXISTING METAL DOOR FRAMES	EA	7	
	12	INSTALL NEW TRENCH DRAIN LINER	LF	58	
*	13	ELASTOMERIC SILICONE COATING	SF	23,800	
COURTHOUSE PARKING GARAGE REHABILITATION			SUB-TOTAL		
FORCE ACCOUNT					\$35,000.00
TOTAL BID AMOUNT (INCLUDING FORCE ACCOUNT)			TOTAL		

TOTAL PROJECT BID AMOUNT IN WORD _____

**NOTE: IF THERE IS A DISCREPANCY BETWEEN THE PLANS (SUMMARY OF PAY ITEMS)
AND THE ITEMIZED BID SCHEDULE, THE BID SCHEDULE WILL BE UTILIZED FOR BIDDING PURPOSES.**

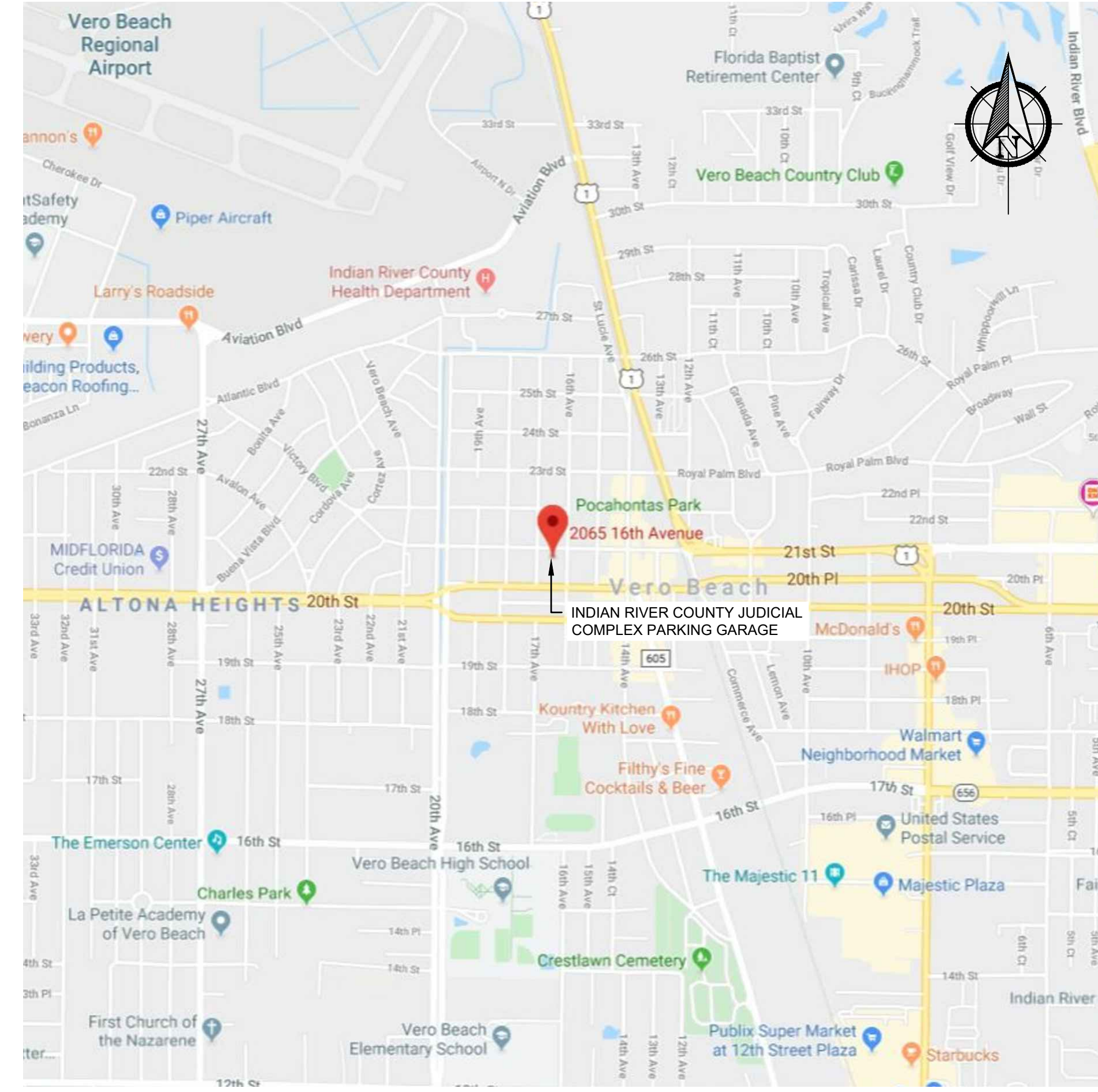
SF=Square Feet LS=Lump Sum EA=Each LF=Linear Feet

INDIAN RIVER COUNTY COURTHOUSE PARKING GARAGE REHABILITATION

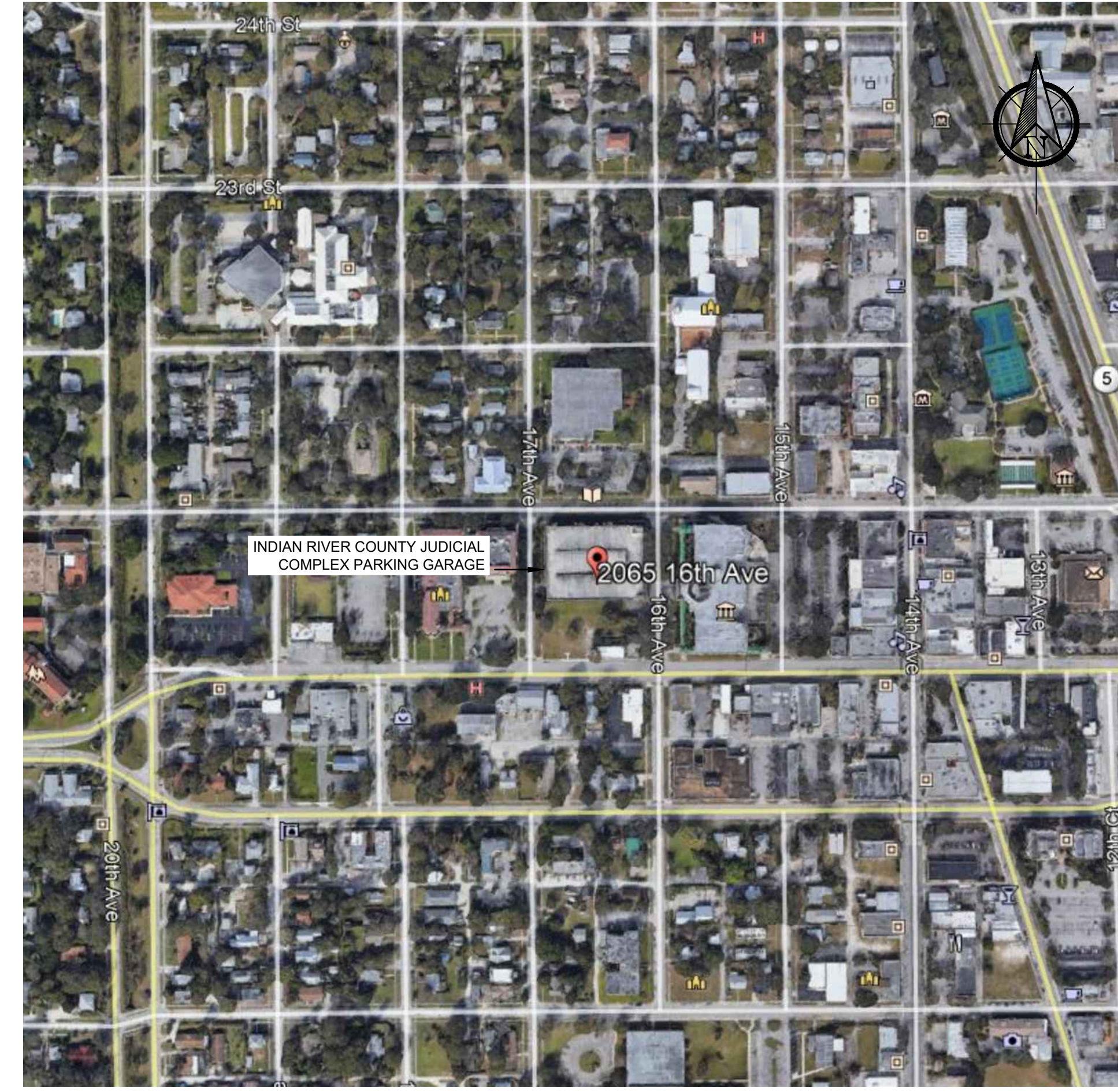


500 COUNTY RD ONE
PO BOX 549
PALM HARBOR, FL 34682
813.944.2137

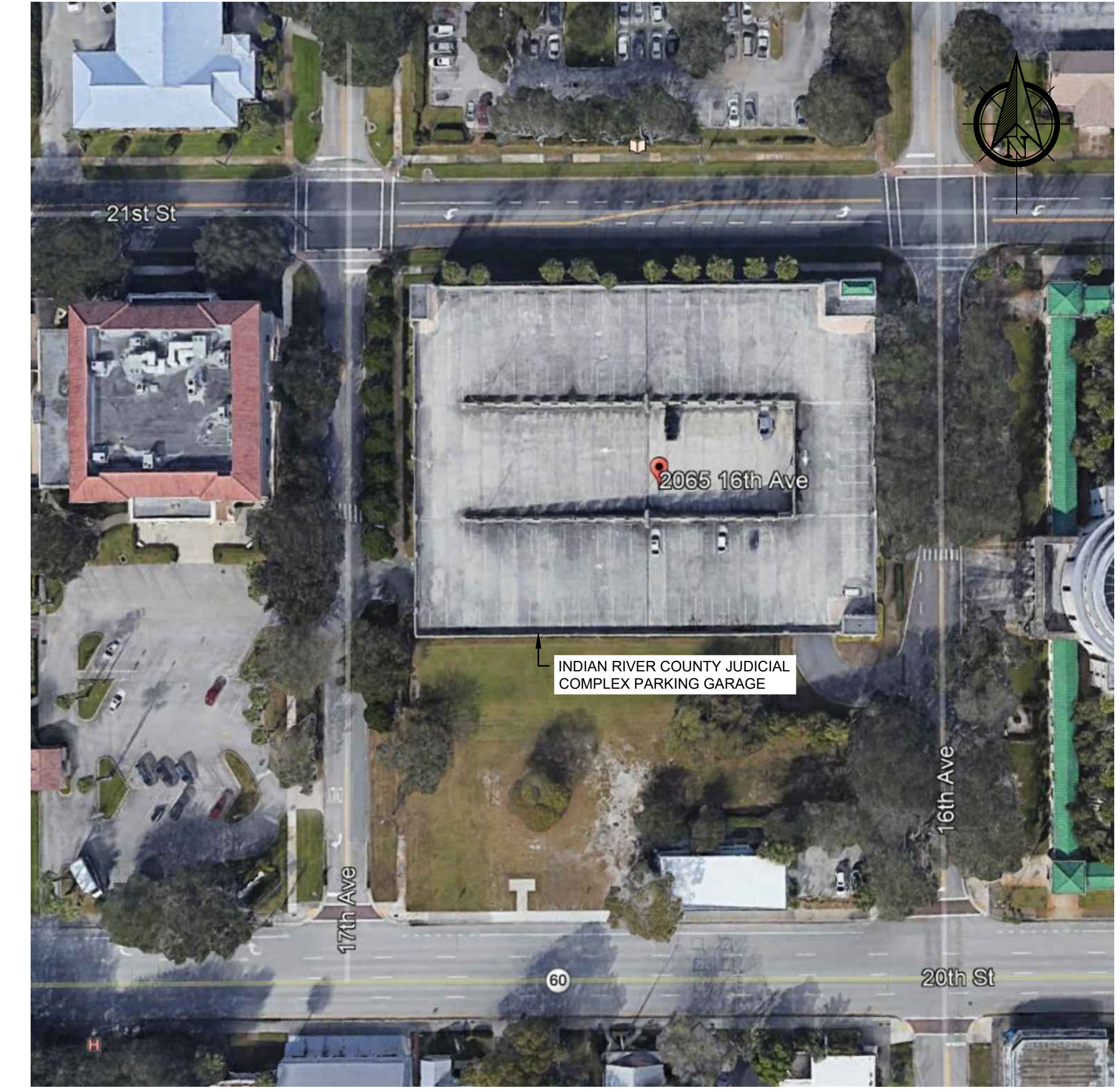
ROOFING, WATERPROOFING
AND BUILDING ENVELOPE
ENGINEERS & CONSULTANTS
CERTIFICATE NO. C-1520



LOCATION MAP



VICINITY MAP



SITE MAP

**INDIAN RIVER COUNTY COURTHOUSE
PARKING GARAGE REHABILITATION**
2065 16th Ave.
VERO BEACH, FL 32960
REI PROJECT# 19TPA-020

GENERAL NOTES

1. ---

SCOPE OF WORK

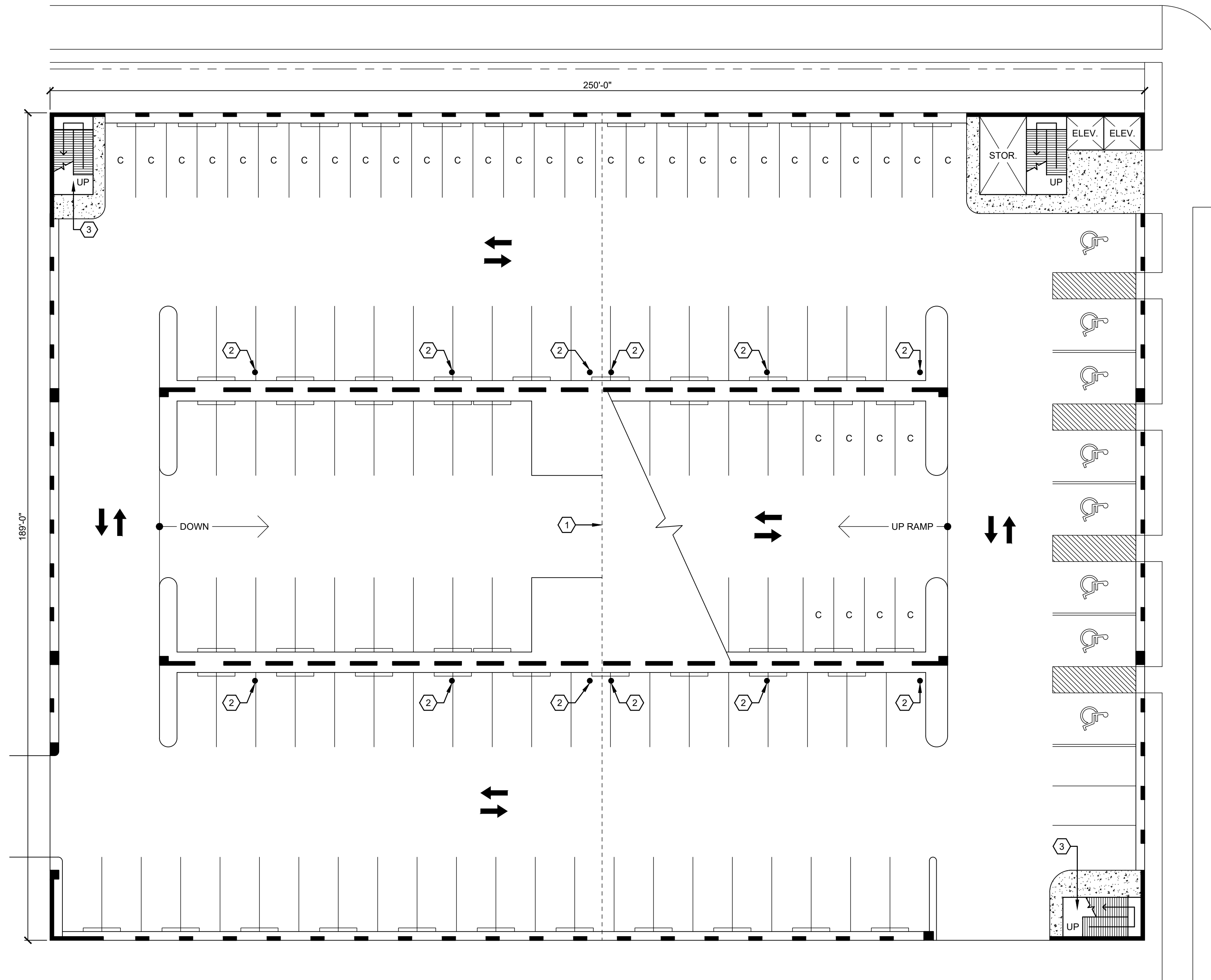
1. CONTRACTOR SHALL REPAIR ALL SPALLED CONCRETE AS INDICATED ON DRAWINGS WITH CONCRETE REPAIR MATERIAL.
2. CONTRACTOR SHALL REMOVE AND REPLACE ALL WALL SEALANT JOINTS AS INDICATED ON DRAWINGS.
3. CONTRACTOR SHALL REMOVE ALL SEALANT FROM THE CONCRETE DECK SURFACES AND REPLACE WITH TRAFFIC SEALER.
4. CONTRACTOR SHALL CLEAN, PREPARE, AND PAINT ALL METAL STAIR COMPONENTS. COLOR TO BE SELECTED BY OWNER.
5. CONTRACTOR SHALL REMOVE AND REPLACE IN KIND (4) CONCRETE AND STEEL STAIR LANDINGS. SHOP DRAWINGS SIGNED BY A FLORIDA LICENSED PROFESSIONAL ENGINEER SHALL BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION AND INSTALLATION. STEEL COATING SHALL MATCH NEWLY COATED EXISTING STAIR COMPONENTS.
6. CONTRACTOR SHALL REMOVE ALL REMAINING METAL DOOR FRAMES FROM THE STAIRWAYS AND REPAIR EXPOSED CONCRETE WITH CONCRETE REPAIR MATERIAL.
7. CONTRACTOR SHALL INSTALL NEW GARAGE DECK WATERPROOFING IN AREAS INDICATED ON DRAWINGS.
8. CONTRACTOR SHALL INSTALL NEW EXTERIOR ELASTOMERIC COATING OVER ALL EXTERIOR ELEVATIONS.
9. CONTRACTOR SHALL INSTALL NEW PARKING AND DIRECTIONAL STRIPING TO MATCH EXISTING AS INDICATED ON DRAWINGS.
- △ 10. CONTRACTOR SHALL REMOVE AND REPLACE IN KIND (24) DRAIN BOWL CLAMPING RINGS TO MATCH EXISTING AS INDICATED ON DRAWINGS.
11. CONTRACTOR SHALL INSTALL NEW TRENCH DRAIN LINER AS INDICATED ON DRAWINGS.

DRAWING INDEX

S001	COVER SHEET
S101	GROUND FLOOR PLAN
S102	2ND FLOOR PLAN
S103	3RD FLOOR PLAN
S201	ELEVATIONS

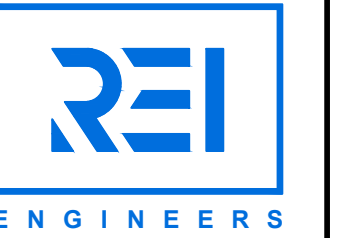
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DRAWN BY: AD
SCALE: NOT TO SCALE
DATE: 07-28-2020
REI PROJECT NO: 019TPA-020
SHEET: S001
COVER SHEET



SHEET KEY NOTES

1. EXPANSION JOINT TO BE REPLACED.
2. LOCATION OF 2ND LEVEL DRAIN BOWL. PROVIDE NEW DRAIN CLAMPING RINGS AT ALL LOCATIONS.
3. CONCRETE LANDING AND STRUCTURAL SUPPORT STEEL TO BE REMOVED AND REPLACED IN KIND. REFER TO "CONCRETE STAIR LANDING" BELOW FOR EXISTING CONDITIONS.



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ROOFING, WATERPROOFING
AND BUILDING ENVELOPE
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CERTIFICATE NO. C-1520

**INDIAN RIVER COUNTY COURTHOUSE
PARKING GARAGE REHABILITATION**
2065 16th Ave.
VERO BEACH, FL 32960
REI PROJECT# 19TPA-020

REVISION #	REVISION DATE
△	08-26-2020
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△	
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DRAWN BY: AD

SCALE: 1/16" = 1'-0"

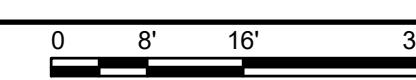
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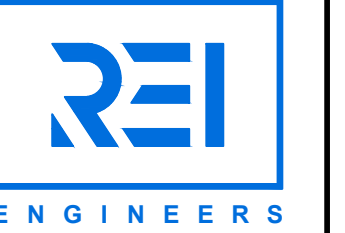
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SHEET: S101

GROUND FLOOR PLAN

1 GROUND FLOOR PLAN
SCALE: 1/16" = 1'-0"





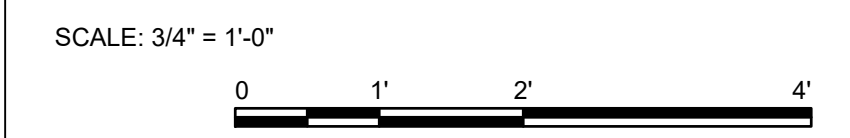
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ROOFING, WATERPROOFING
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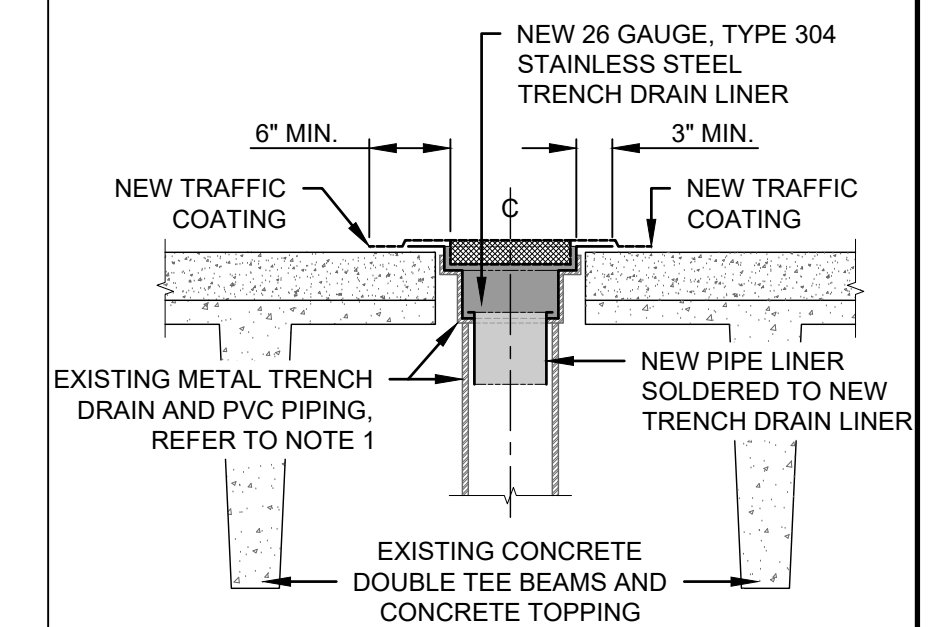
SHEET KEY NOTES

1. EXPANSION JOINT TO BE REPLACED.
2. EXISTING TRENCH DRAIN TO BE REMOVED AND REPLACED.
3. CONCRETE LANDING AND STRUCTURAL SUPPORT STEEL TO BE REMOVED AND REPLACED IN KIND, REFER TO "CONCRETE STAIR LANDING" BELOW FOR EXISTING CONDITIONS.
4. LOCATION OF SPALLED CONCRETE IN STAIRWELL.
5. LOCATION OF SPALLS IN CONCRETE SLABS ABOVE.

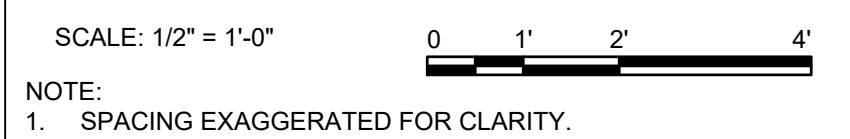
TRENCH DRAIN LINER SECTION



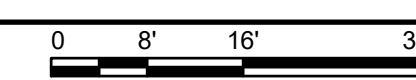
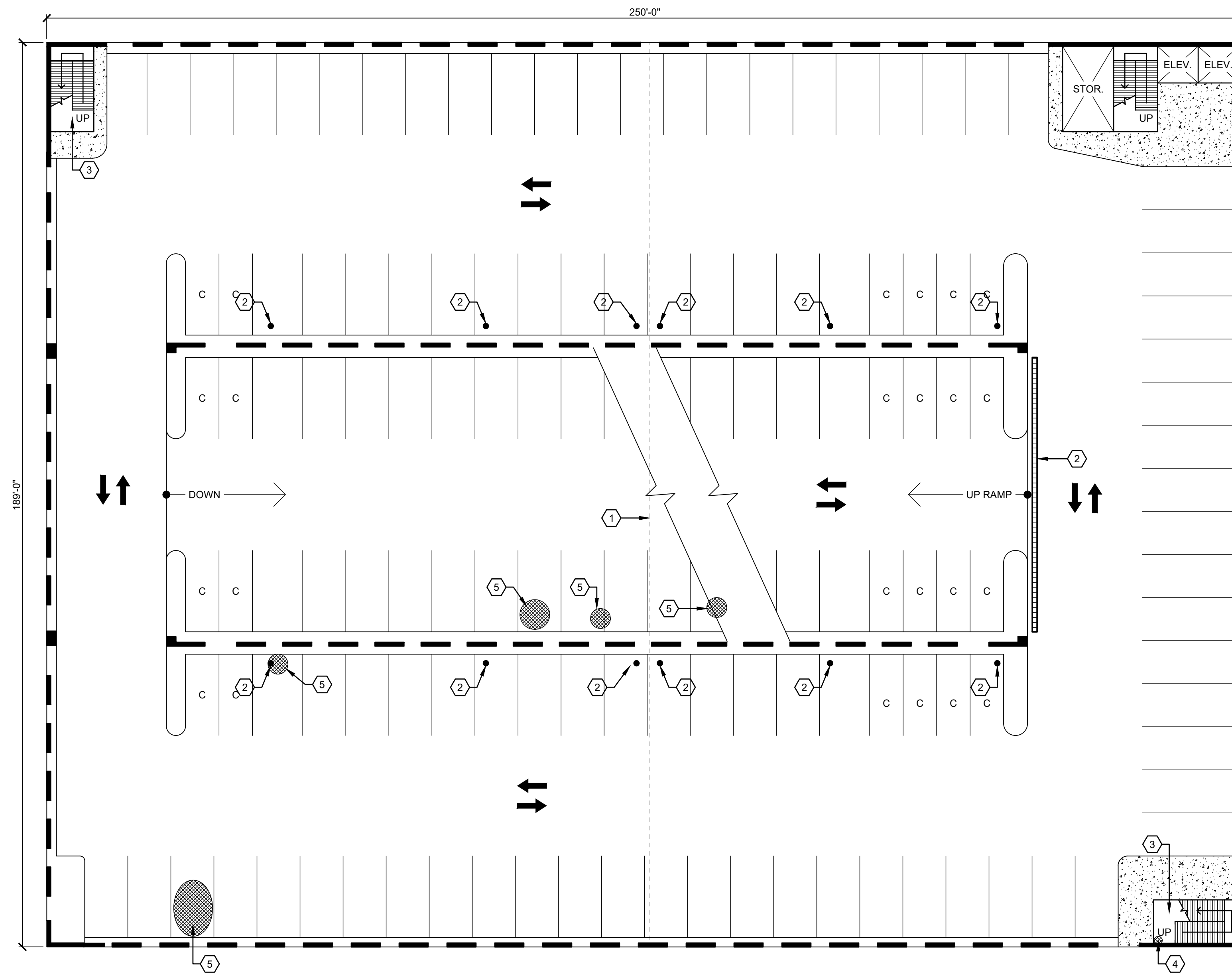
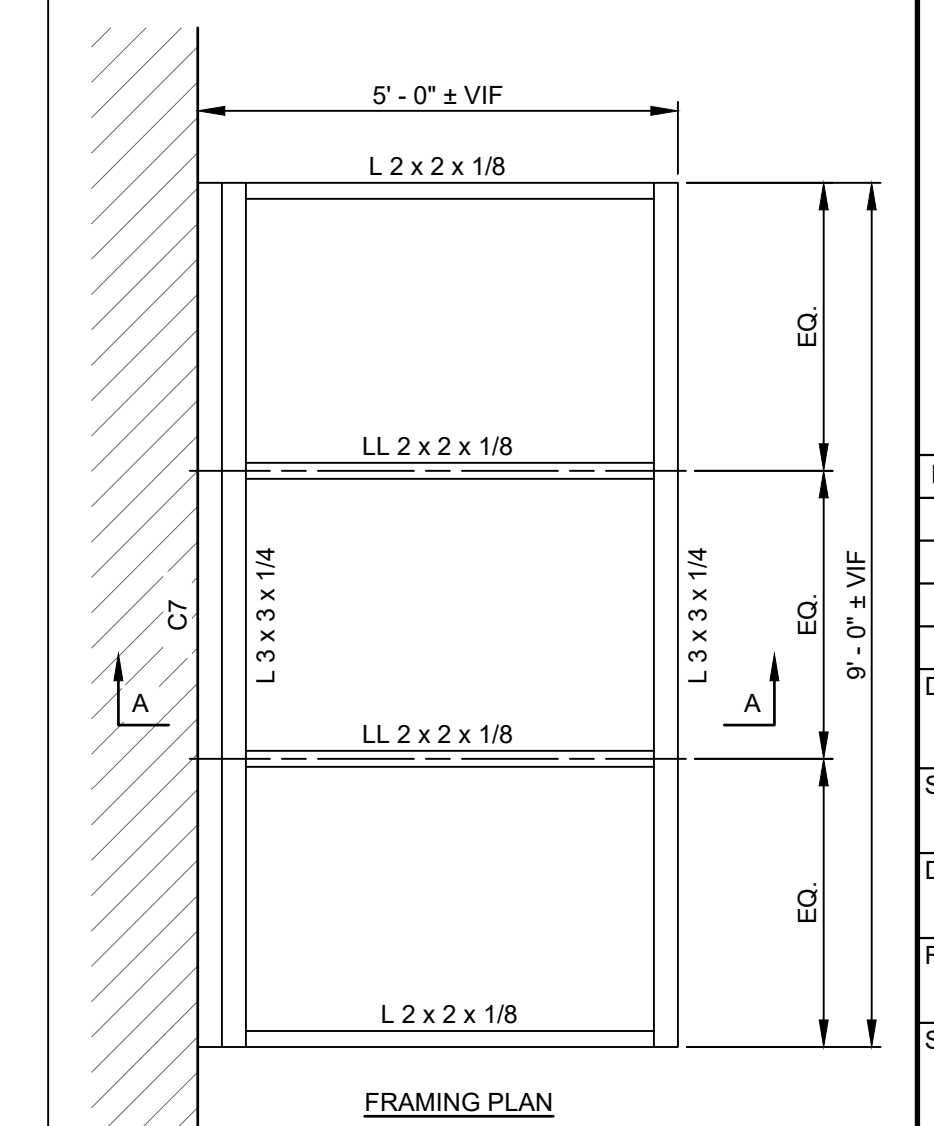
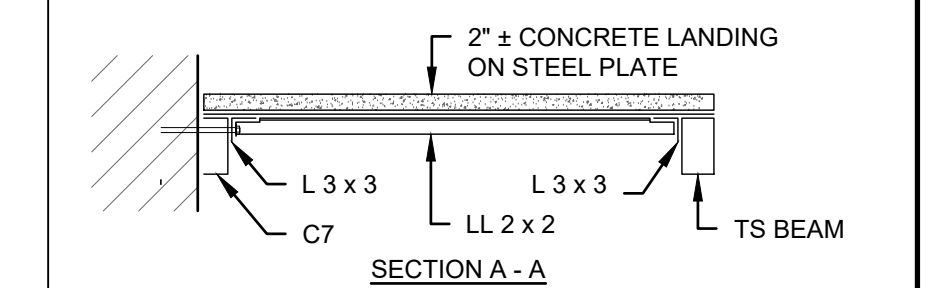
- NOTES:
1. CLEAN, PREPARE AND COAT EXISTING METAL TRENCH DRAIN PRIOR TO INSTALLATION OF NEW STAINLESS STEEL TRENCH DRAIN LINER.
 2. NEW 6" LONG MIN. PIPE LINER TO BE SOLDERED TO NEW STAINLESS STEEL TRENCH DRAIN LINER.
 3. NEW TRAFFIC COATING TO EXTEND INTO NEW METAL TRENCH DRAIN LINER.
 4. SPACING EXAGGERATED FOR CLARITY.



CONCRETE STAIR LANDING - EXIST.



- NOTE:
1. SPACING EXAGGERATED FOR CLARITY.



2 2ND FLOOR PLAN
SCALE: 1/16" = 1'-0"

**INDIAN RIVER COUNTY COURTHOUSE
PARKING GARAGE REHABILITATION**
2065 16th Ave.
VERO BEACH, FL 32960
REI PROJECT# 19TPA-020

REVISION #	REVISION DATE
1	08-26-2020
2	
3	
4	

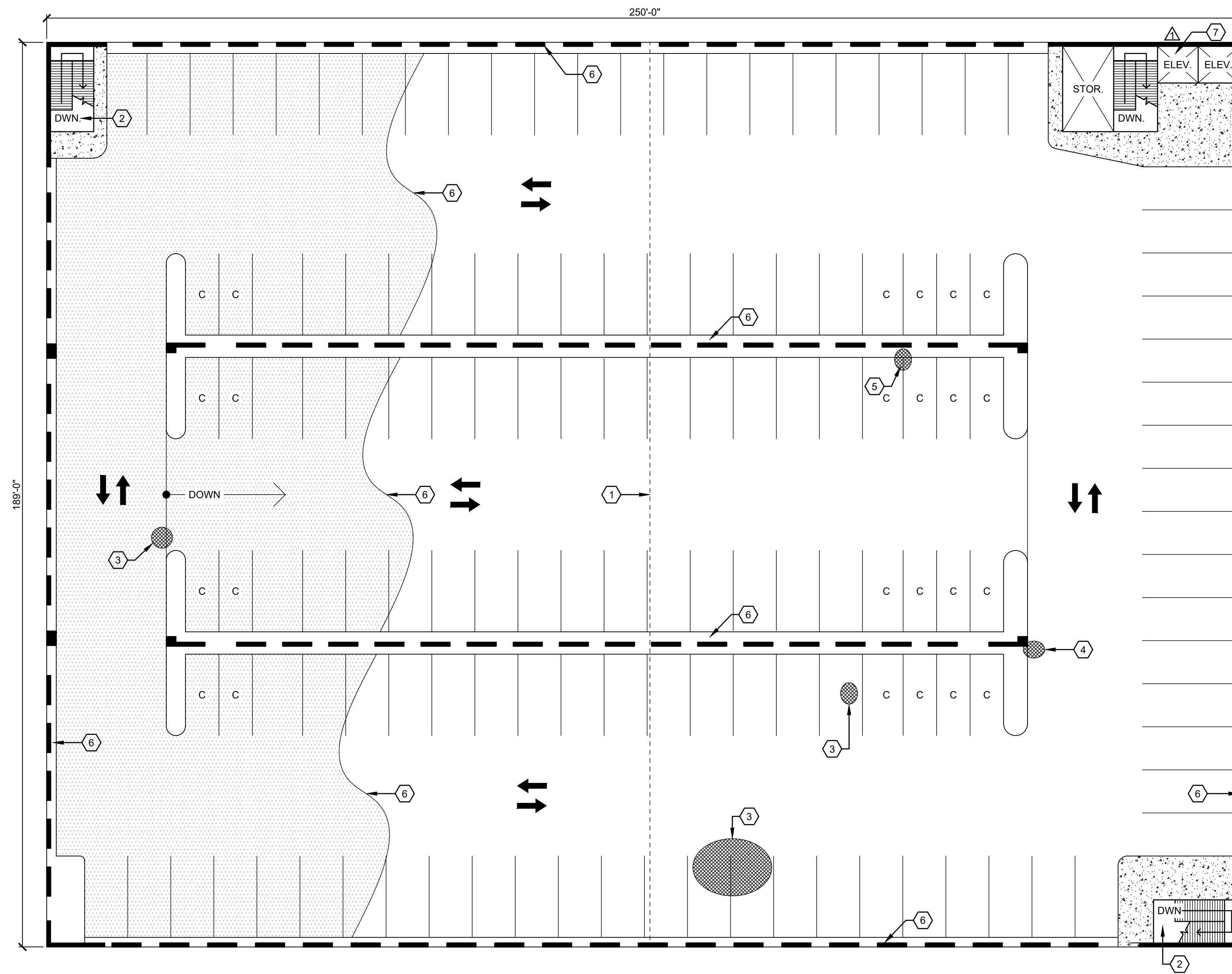
DRAWN BY: AD

SCALE: 1/16" = 1'-0"

DATE: 07-28-2020

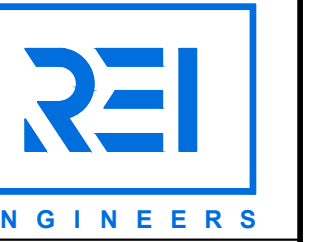
REI PROJECT NO: 019TPA-020

SHEET: S102
2ND FLOOR PLAN



SHEET KEY NOTES

1. EXPANSION JOINT TO BE REPLACED.
2. CONCRETE LANDING AND STRUCTURAL SUPPORT STEEL TO BE REMOVED AND REPLACED IN KIND.
3. EXPOSED CONCRETE SLAB REINFORCEMENT.
4. CRACKING IN CONCRETE OVERLAY.
5. LOCATION OF SPALLED CONCRETE AT LIGHT.
6. CONTRACTOR TO INSTALL NEW GARAGE DECK WATERPROOFING OVER ENTIRE 3RD FLOOR DECK AND EXPOSED RAMP.
7. CONTRACTOR SHALL REMOVE AND REPLACE SHEETROCK CEILING IN ELEVATOR SHAFT IN LIKE KIND AND FINISH.



500 COUNTY RD ONE
PO BOX 549
PALM HARBOR, FL 34682
813.944.2137

ROOFING, WATERPROOFING
AND BUILDING ENVELOPE
ENGINEERS & CONSULTANTS
CERTIFICATE NO. C-1520

**INDIAN RIVER COUNTY COURTHOUSE
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2065 16th Ave.
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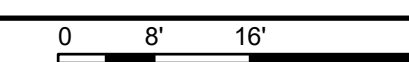
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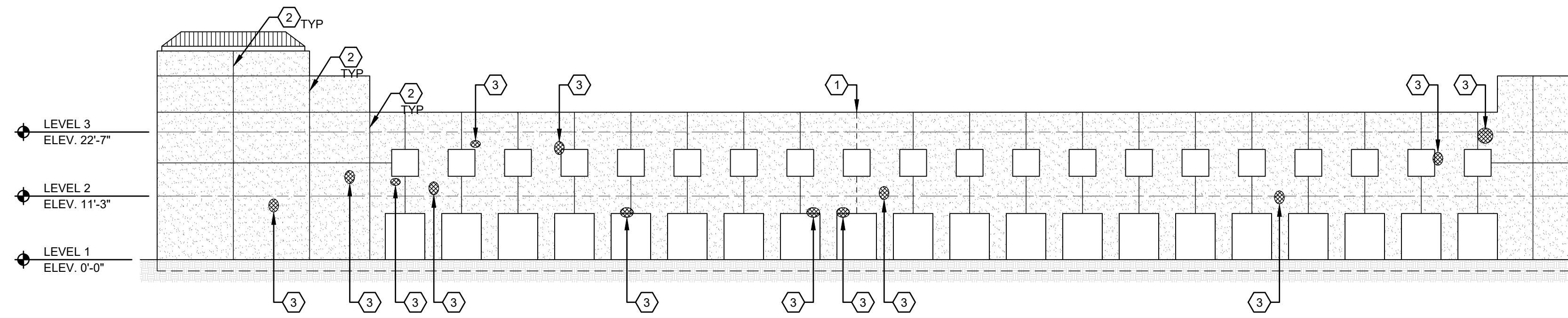
DATE: 07-28-2020

REI PROJECT NO: 019TPA-020

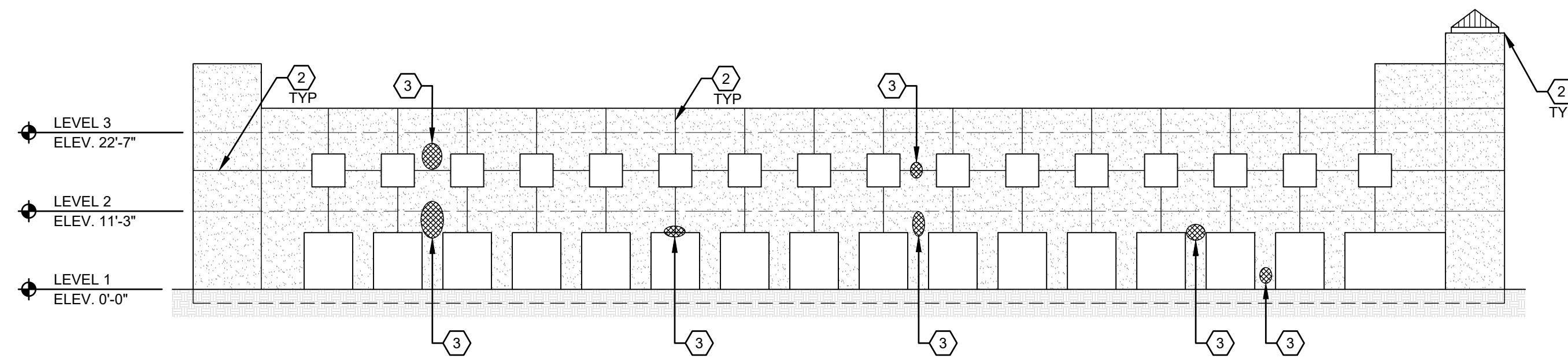
SHEET: S103
3RD FLOOR PLAN

3 3RD FLOOR PLAN
SCALE: 1/16" = 1'-0"

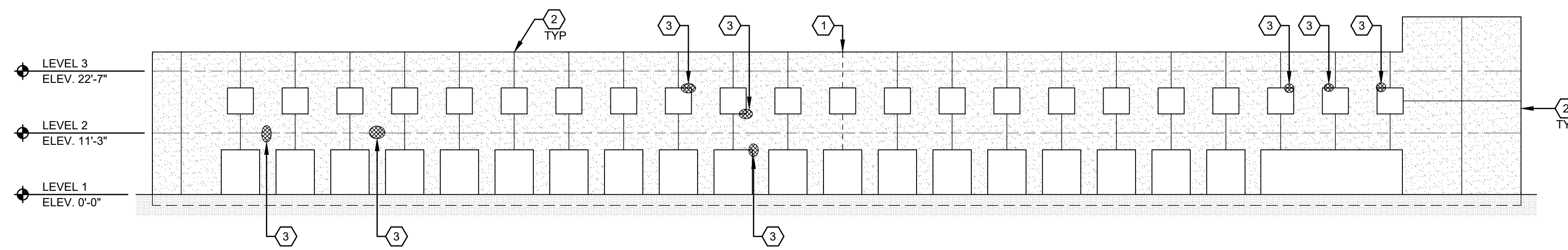




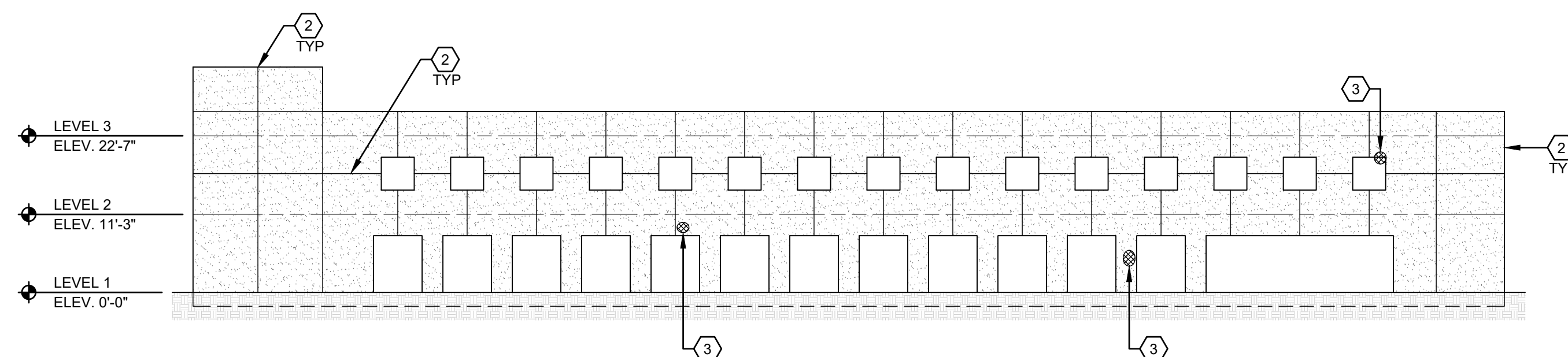
4 NORTH ELEVATION
SCALE: 1/16" = 1'-0"



5 EAST ELEVATION
SCALE: 1/16" = 1'-0"



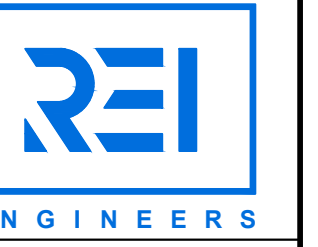
6 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



7 WEST ELEVATION
SCALE: 1/16" = 1'-0"

SHEET KEY NOTES

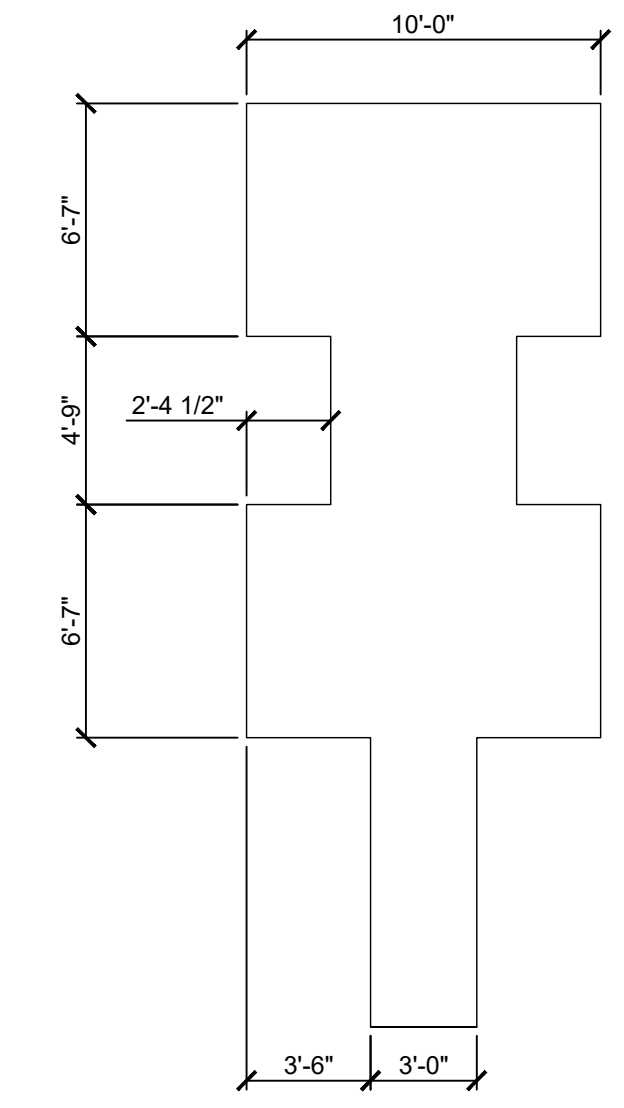
1. EXPANSION JOINT
2. REMOVE AND REPLACE SEALANT.
3. LOCATIONS OF SPALLED CONCRETE.



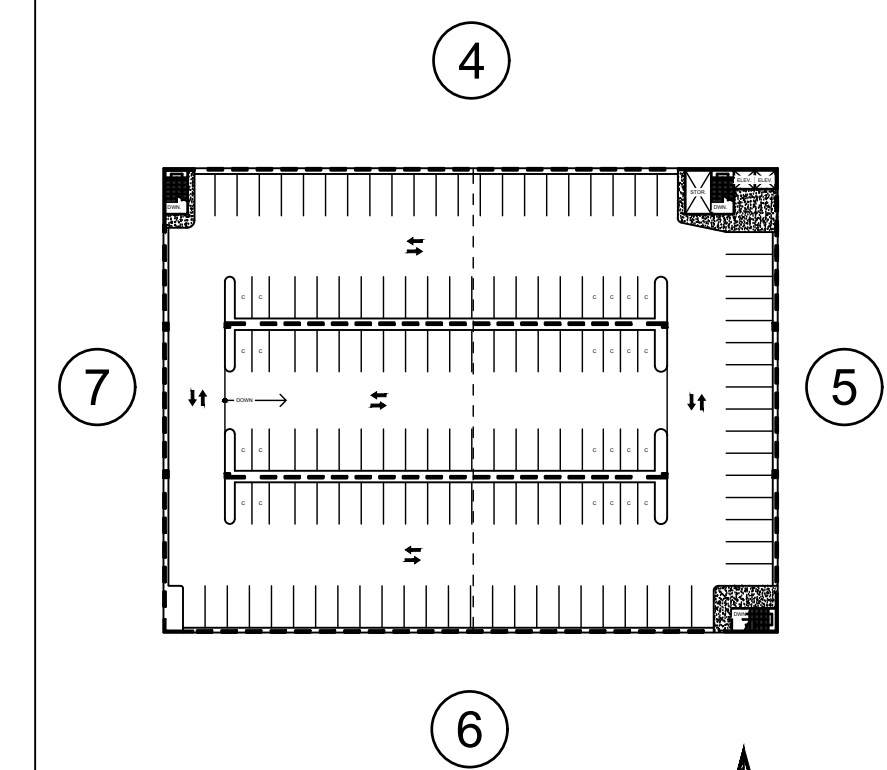
500 COUNTY RD ONE
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ROOFING, WATERPROOFING
AND BUILDING ENVELOPE
ENGINEERS & CONSULTANTS
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TYPICAL PANEL PROFILE (N.T.S.)



KEY PLAN



INDIAN RIVER COUNTY COURTHOUSE
PARKING GARAGE REHABILITATION
2065 16th Ave.
VERO BEACH, FL 32960
REI PROJECT# 19TPA-020

REVISION #	REVISION DATE
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DRAWN BY: AD

SCALE: AS NOTED

DATE: 07-28-2020

REI PROJECT NO: 019TPA-020

SHEET: S201
ELEVATIONS