City of Myrtle Beach
SOUTH CAROLINA

PURCHASING AND MATERIALS MANAGEMENT

> Addendum #02 May 16, 2024

(843) 918-2170

FAX: (843) 918-2182

www.cityofmyrtlebeach.com

## May 16, 2024 IFB 24-B0032 Parking Lot at Warbird Park

The purpose of this Addendum #02 to IFB 24-B0032 for Parking Lot at Warbird Park, dated May 16, 2024, and previously amended on May 7, 2024, is to provide updated plans that clarify the fence replacement as discussed in the pre-bid meeting that is attached to and hereby made a part of this addendum, and to provide answers to the following submitted questions:

1. Is there a preferred vendor for the bathroom?

The preferred vendor for the prefabricated restroom, as shown in the plans, is "Public Restroom Company."

2. Is there a CADD available?

CAD drawings will be available to the Contractor that is awarded the contract.

3. May we have a fence detail?

A fence detail has not been drawn, but it is required to be 8' tall, chain link fence with a top rail with three (3) strand barbed wire.

4. Is all of the sidewalk concrete (specifically the sidewalk from the display to the paved area)?

Yes, all sidewalk shall be 5,000 PSI concrete as shown on the sidewalk detail.

5. Will the marking on the pavement be paint or thermo?

The marking on the pavement will be thermoplastic.

All bids must be received by the Procurement Office at 3231 Mr. Joe White Avenue, Myrtle Beach, SC 29577 prior to 2:00p.m. (local time) on Thursday, May 23, 2024.

Thank you,

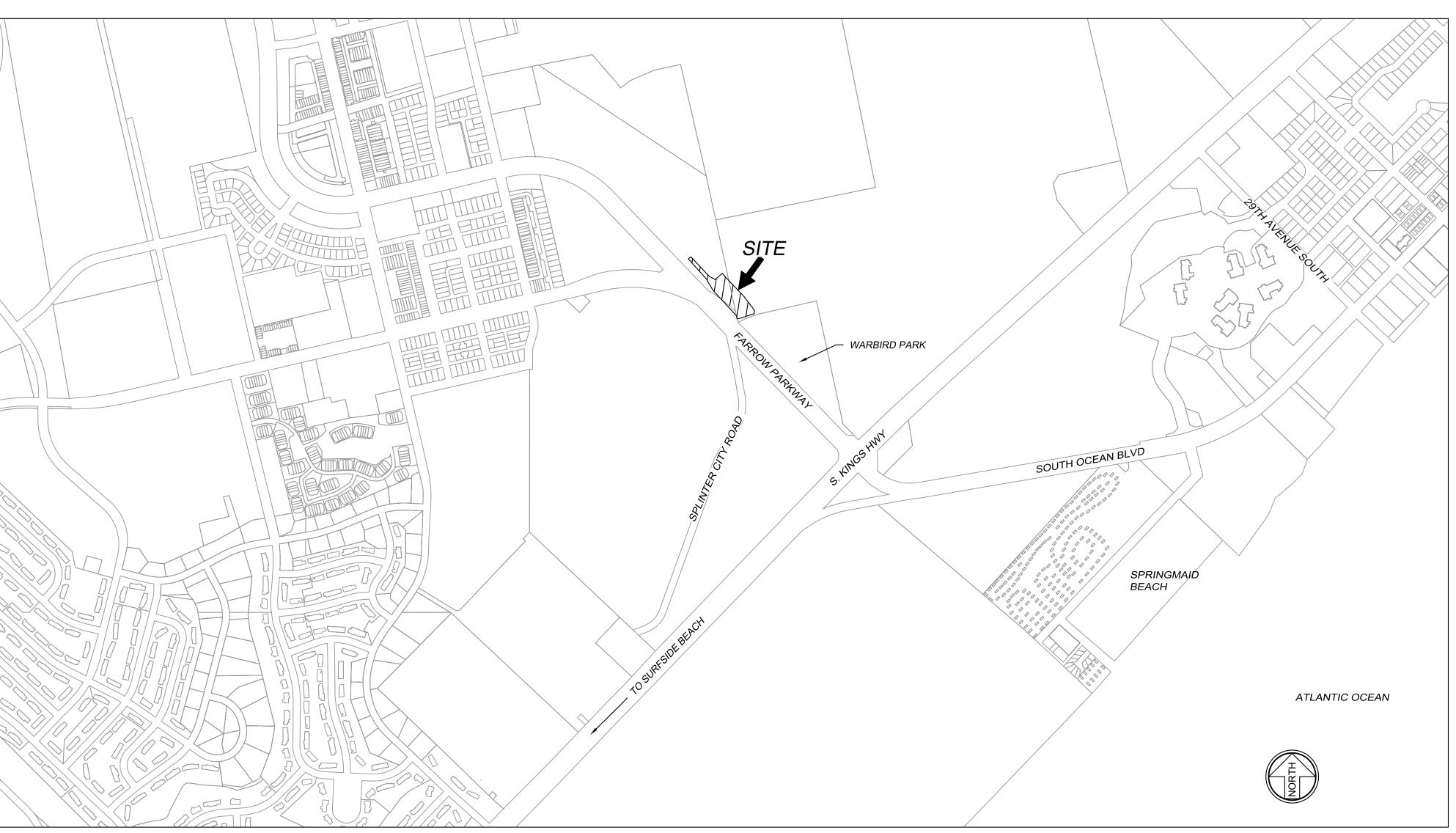
City of Myrtle Beach Brandon Hancock Purchasing Office/Buyer Email: bhancock@cityofmyrtlebeach.com

## CITY OF MYRTLE BEACH

CONSTRUCTION PLANS FOR

# PARKING LOT AT WARBIRD PARK

April 2023



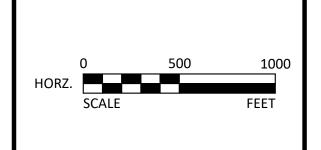
SITE LAYOUT

SCALE: 1" = 500'

Developer:
CITY OF MYRTLE BEACH
P.O. BOX 2468
MYRTLE BEACH, SC 29578



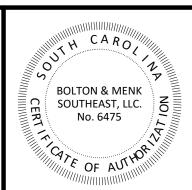






REVISION OCCURRENCE LIST







1298 PROFESSIONAL DRIVE MYRTLE BEACH, SOUTH CAROLINA 29577 Phone: (843) 692-3200 Email: MyrtleBeach@bolton-menk.com www.bolton-menk.com

12/2/2022					CITY OF MYRTLE BEACH	SHEET
1' = 500'					PARKING LOT AT WARBIRD PARK	
GNED DRJ					MYRTLE BEACH, SOUTH CAROLINA	
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EKS					COVER SHEET	
NT PROJ. NO. 21021F	NO.	DATE	REVISION DESCRIPTION	BY		

REVISION NO. | DATE | REVISION DESCRIPTION

#### GENERAL NOTES:

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES AND FOR REPAIRING ANY DAMAGE TO SAME. UTILITY LOCATIONS AS SHOWN ON THE PLANS ARE APPROXIMATE AND MAY NOT BE COMPLETE. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES THAT MAY HAVE SERVICE IN THE AREA FOR AN ACCURATE LOCATION PRIOR TO BEGINNING WORK.
- 2. PROVISIONS SHALL BE MADE TO ENSURE POSITIVE DRAINAGE ON THE SITE AT ALL TIMES. NATURAL DRAINAGE FEATURES DISTURBED BY CONSTRUCTION MUST BE RE-ESTABLISHED. NO PONDING DUE TO SPOILS STOCKPILING OR OTHER ACTIVITIES SHALL BE PERMITTED.
- 3. WORK WITHIN PUBLIC RIGHT-OF-WAYS OR PRIVATE EASEMENTS SHALL BE ACCOMPLISHED BY THE CONTRACTOR ACCORDING TO THE REQUIREMENTS OR CONDITIONS OF THE ENCROACHMENT PERMIT OR OTHER LEGAL DOCUMENTS AS THOUGH DOCUMENTS WERE ISSUED IN THE CONTRACTORS NAME. THE CONTRACTOR SHALL MAINTAIN COPIES OF THESE DOCUMENTS ON THE SITE AT ALL TIMES.
- 4. WHEN THE CONTRACTOR IS UNABLE TO COMPLETE HIS WORK AS SHOWN ON THE PLANS BECAUSE OF AN EXISTING UTILITY, CONTRACTOR SHALL STAKE THE LOCATION OF THE UTILITY PRIOR TO PROCEEDING AND CONTACT THE ENGINEER.
- 5. THE CONTRACTOR SHALL NOTIFY ALL PUBLIC AGENCIES, THE CITY OF MYRTLE BEACH, THE ENGINEER AND ALL OTHER CONCERNED PARTIES WHEN CONSTRUCTION IS TO COMMENCE. PRIOR TO ANY CONSTRUCTION A PRE CONSTRUCTION MEETING SHALL BE HELD WITH THE CITY, THE CONTRACTOR, THE ENGINEER AND ANY OTHER INTERESTED PARTY.
- 6. DATA REQUIRED FOR PREPARATION OF RECORD DRAWINGS SHALL BE OBTAINED AND RECORDED BY THE CONTRACTOR AT THE TIME OF INSTALLATION. THIS DATA SHALL BE ACCUMULATED BY THE CONTRACTOR DURING THE CONSTRUCTION PERIOD AND EVIDENCE PROVIDED TO THE ENGINEER AS PART OF THE MONTHLY PAY REQUEST. PAY REQUESTS WILL NOT BE APPROVED BY THE ENGINEER IF THIS DATA IS NOT SUBMITTED WITH THE PAY REQUEST. CONTRACTOR IS TO PROVIDE NEAT AND LEGIBLE COMPLETED RECORD DRAWINGS TO THE ENGINEER AT THE COMPLETION OF THE PROJECT.
- 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE APPLICABLE FEDERAL, SOUTH CAROLINA AND LOCAL ORDINANCES, REGULATIONS, SPECIFICATIONS AND PERMITS. THE CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ALL LICENSES AND PERMITS AS REQUIRED.
- 8. CONTRACTOR IS TO COMPLY WITH ALL PROVISIONS OF THE "SOUTH CAROLINA MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" SECTION V, WHEN WORKING IN OR ADJACENT TO AN EXISTING PUBLIC HIGHWAY RIGHT-OF-WAY. THIS SECTION COVERS CONSTRUCTION SIGNAGE, FLAGGING AND OTHER TRAFFIC CONTROL DEVICES.
- 9. THREE (3) DAYS BEFORE DIGGING IN SOUTH CAROLINA CALL 1-888-721-7877 PALMETTO UTILITY LOCATION SERVICE (PUPS).
- 10. PROPERTY LINES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY.
- 11. PROPERTY LINES AND UTILITIES ARE APPROXIMATE AND SHOWN FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHOULD VERIFY LOCATION OF EXISTING UTILITIES AND PROPERTY LINES PRIOR TO CONSTRUCTION. CONTRACTOR NEEDS TO NOTIFY UTILITY AGENCIES 24 HOUR PRIOR TO CONSTRUCTION.
- 12. ALL EXISTING STRUCTURES, UTILITIES, AND PHYSICAL FEATURES SHOWN ON THE PLANS ARE EXISTING UNLESS OTHERWISE LABELED OR NOTED.
- 13. CONTRACTOR TO REPAIR ANY EXISTING LANDSCAPING, CONCRETE, DRIVEWAYS, PAVEMENT, CURB, GUTTER AND SIDEWALK THAT IS DISTURBED DUE TO CONSTRUCTION OF NEW STORM DRAINAGE.
- 14. ALL EXISTING STRUCTURES AND UTILITIES, INCLUDING BUT NOT LIMITED TO BUILDINGS, LANDSCAPING, SIDEWALKS, CURBING, PAVEMENT, IRRIGATION SYSTEMS, PIPELINES, ETC. THAT ARE DAMAGED DUE TO THE CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE ENGINEER, AT NO ADDITIONAL COST TO THE OWNER.
- 15. CONTRACTOR IS COMPLY WITH ALL PROVISIONS OF THE STATE AND FEDERAL PERMITS ISSUED FOR THE CONSTRUCTION OF THE OUTFALL PIPES. ANY VIOLATION RESULTING IN FINES OR PENALTIES WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- 16. CONTRACTOR IS RESPONSIBLE FOR DESTRUCTION OF BEACH, DUNE AND VEGETATION DISTURBED DURING CONSTRUCTION.
- 17. CONTRACTOR WILL PROVIDE SHOP DRAWINGS AND STRUCTURAL DESIGN DRAWINGS FOR ALL CONCRETE JUNCTION BOXES.

#### LEGEND

<u>EXISTING</u>	<u>PROPOSED</u>	<u>DESCRIPTION</u>
		RIGHT-OF-WAY
		CENTERLINE
		EASEMENT
		SWALE / DITCH
		TREES
		TREE LINE
		PAVEMENT
		EX. ROAD
2	2	CONTOUR
× 4.01	× 5.00	SPOT ELEVATION
MB		MAILBOX
$\bigcirc$		POWER POLE
-•		GUY WIRE
T		TELEPHONE PEDESTAL
		OVERHEAD ELECTRIC
UDEUDEUDEUDE		UNDERGROUND ELECTRIC
		GAS
<del>-</del> 0-		SIGN
		WATER
w 	$\bowtie$	WATER VALVE
WM		WATER METER
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		SANITARY SEWER
S	<b>O</b>	SANITARY SEWER MANHOLE
		FORCE MAIN
***************************************		STORM DRAIN
		STORM DRAIN STRUCTURE

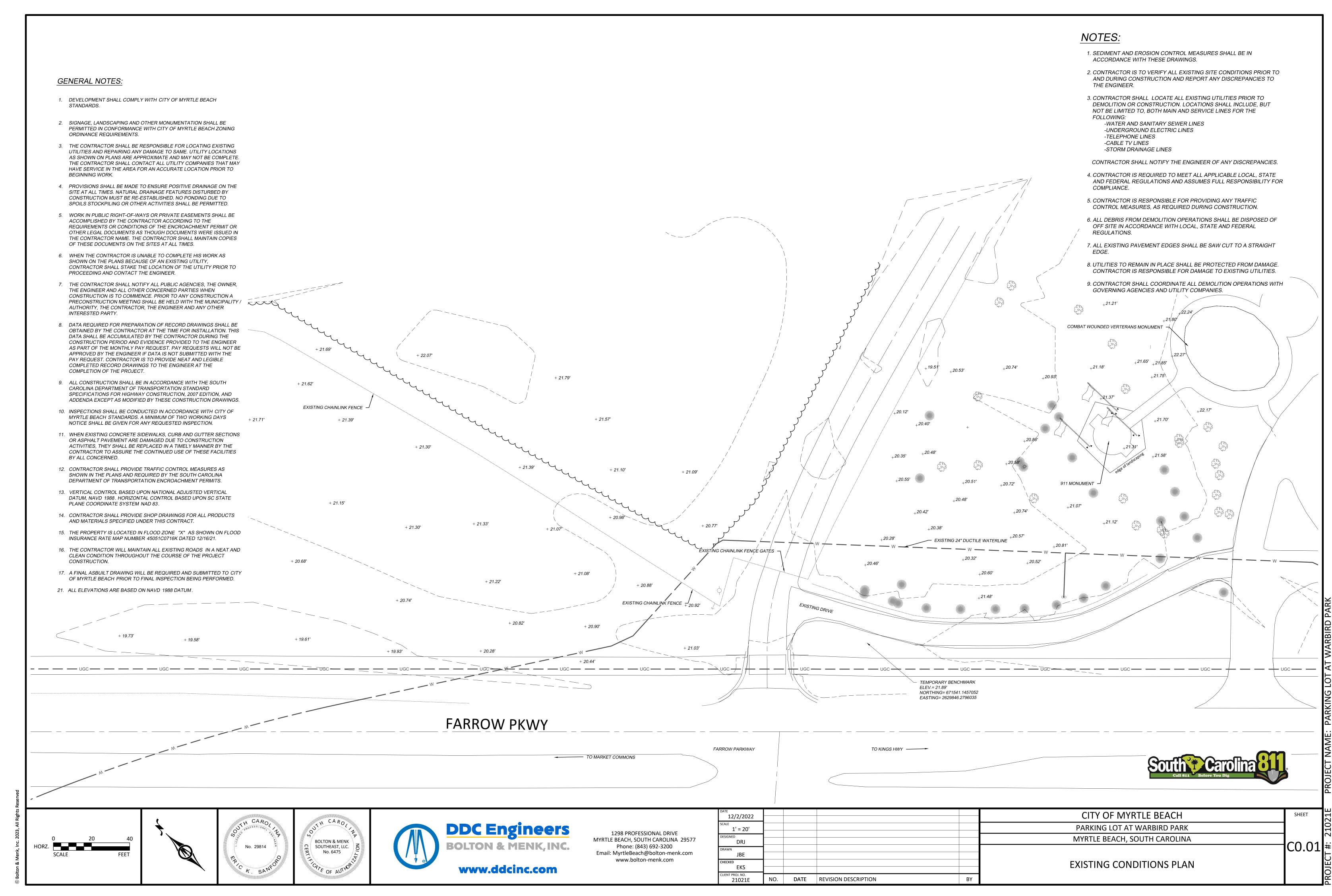
SHEET NUMBER	SHEET TITLE	ORIGINAL DATE	REVISION DATE
GENERAL			
G0.01	TITLE SHEET	12/2/2022	
G0.02	GENERAL NOTES, LEGEND, AND SHEET SCHEDULE	12/2/2022	
CIVIL			
C0.01	EXISTING CONDITIONS PLAN	12/2/2022	
C1.01	HORIZONTAL CONTROL PLAN	12/2/2022	
C2.01	SEDIMENT & EROSION DETAILS	12/2/2022	
C2.02	SEDIMENT & EROSION CONTROL PLAN	12/2/2022	
C2.03	SEDIMENT & EROSION CONTROL PLAN	12/2/2022	
C3.01	WATER & SEWER DETAILS	12/2/2022	
C3.02	WATER & SEWER PLAN	12/2/2022	
C3.03	WATER & SEWER PLAN	12/2/2022	
C3.04	WATER & SEWER PLAN	12/2/2022	
C4.01	GRADING & DRAINAGE DETAILS	12/2/2022	
C4.02	GRADING & DRAINAGE PLAN	12/2/2022	
C5.01	SITE DETAILS	12/2/2022	
L1.01	LANDSCAPE PLAN	10/21/2022	
L1.02	LANDSCAPE DETAILS	10/21/2022	

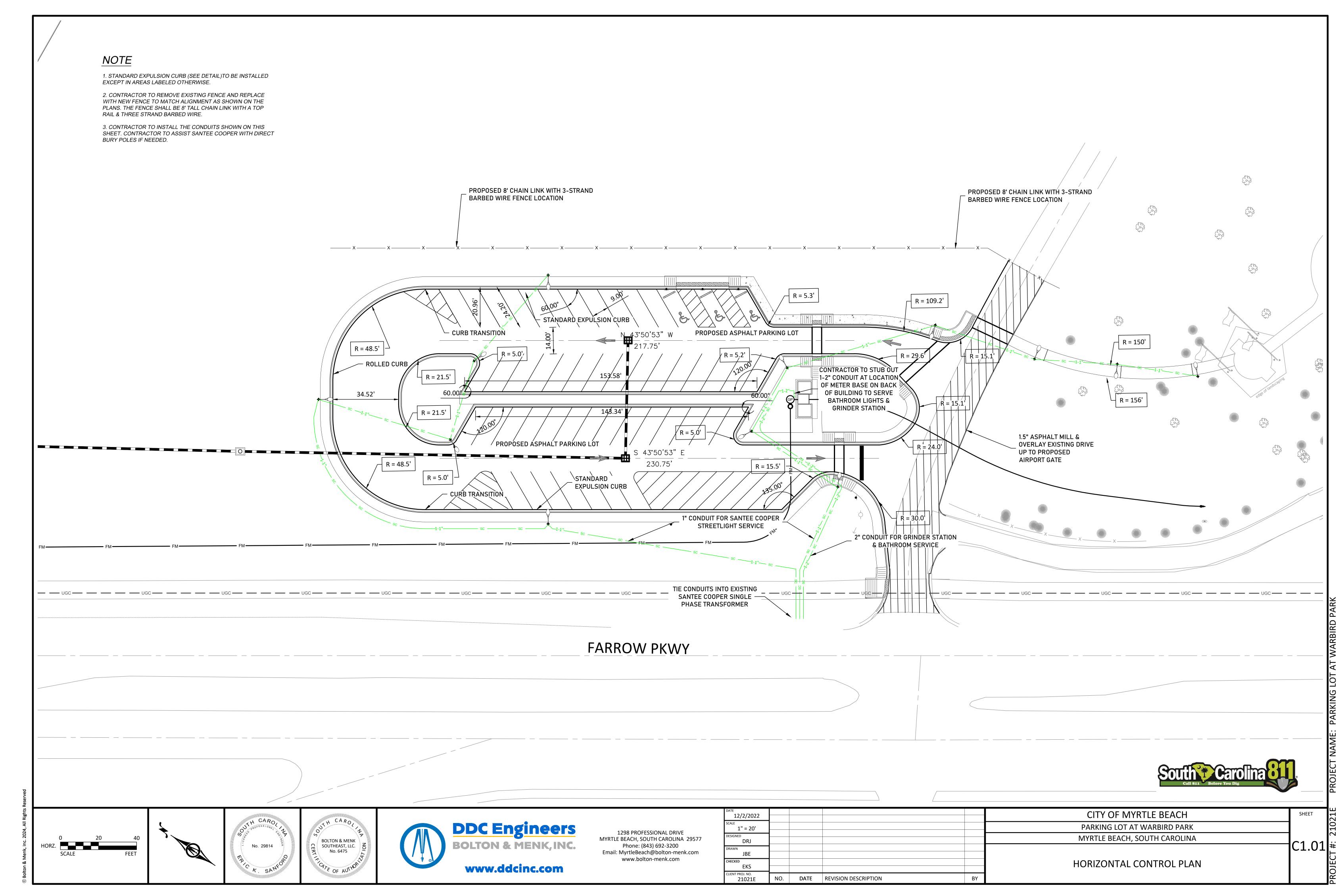


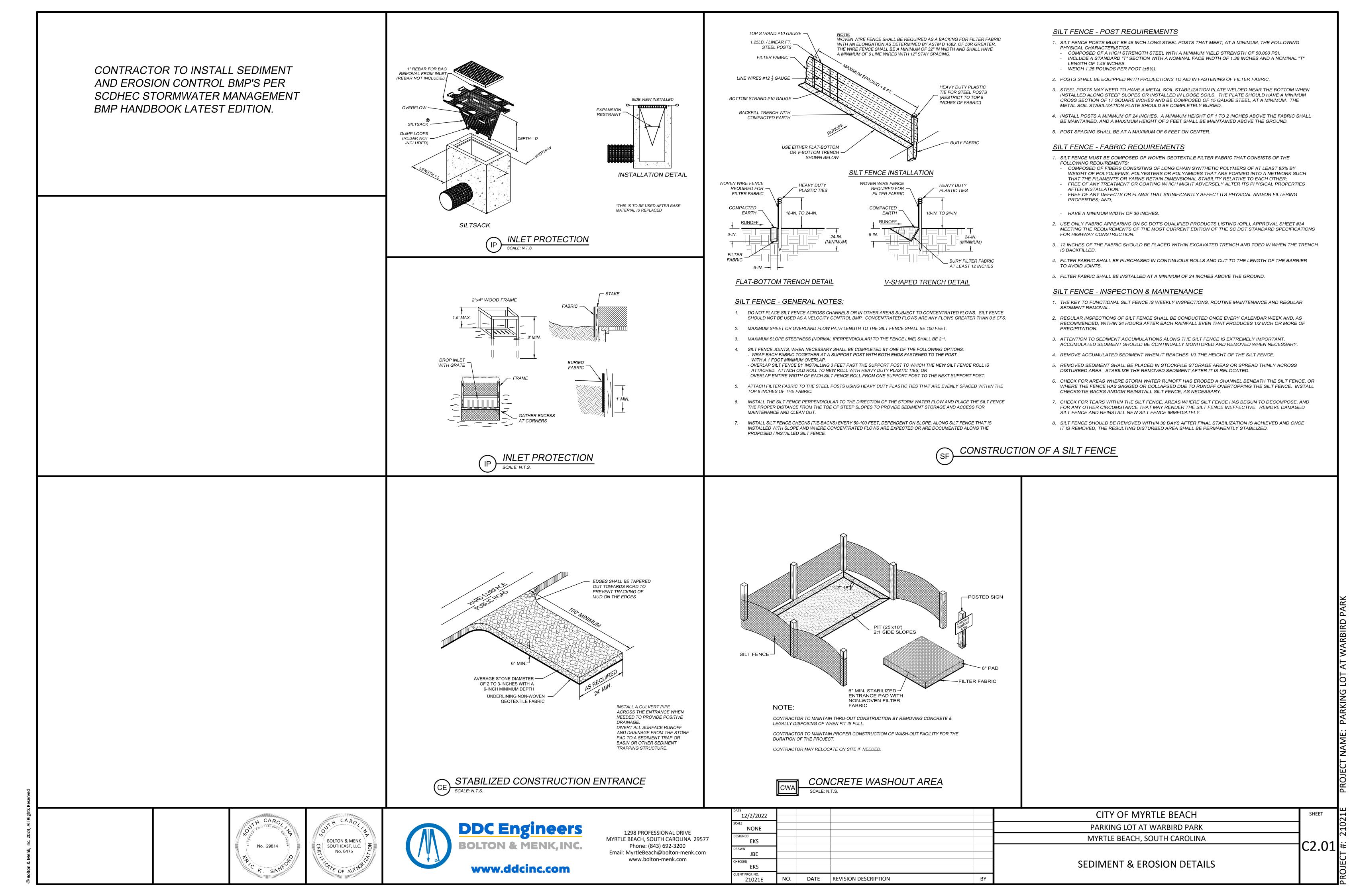


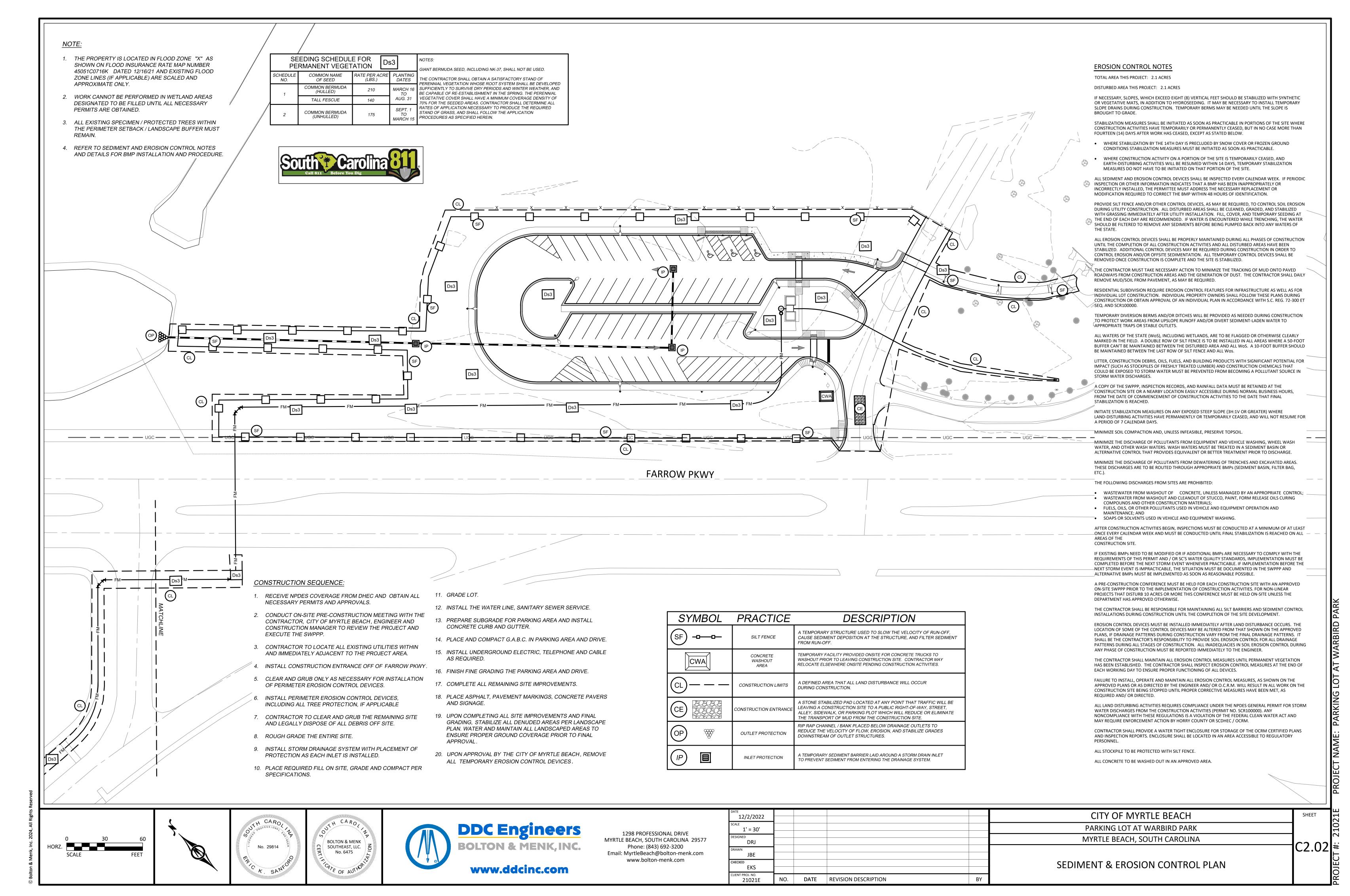
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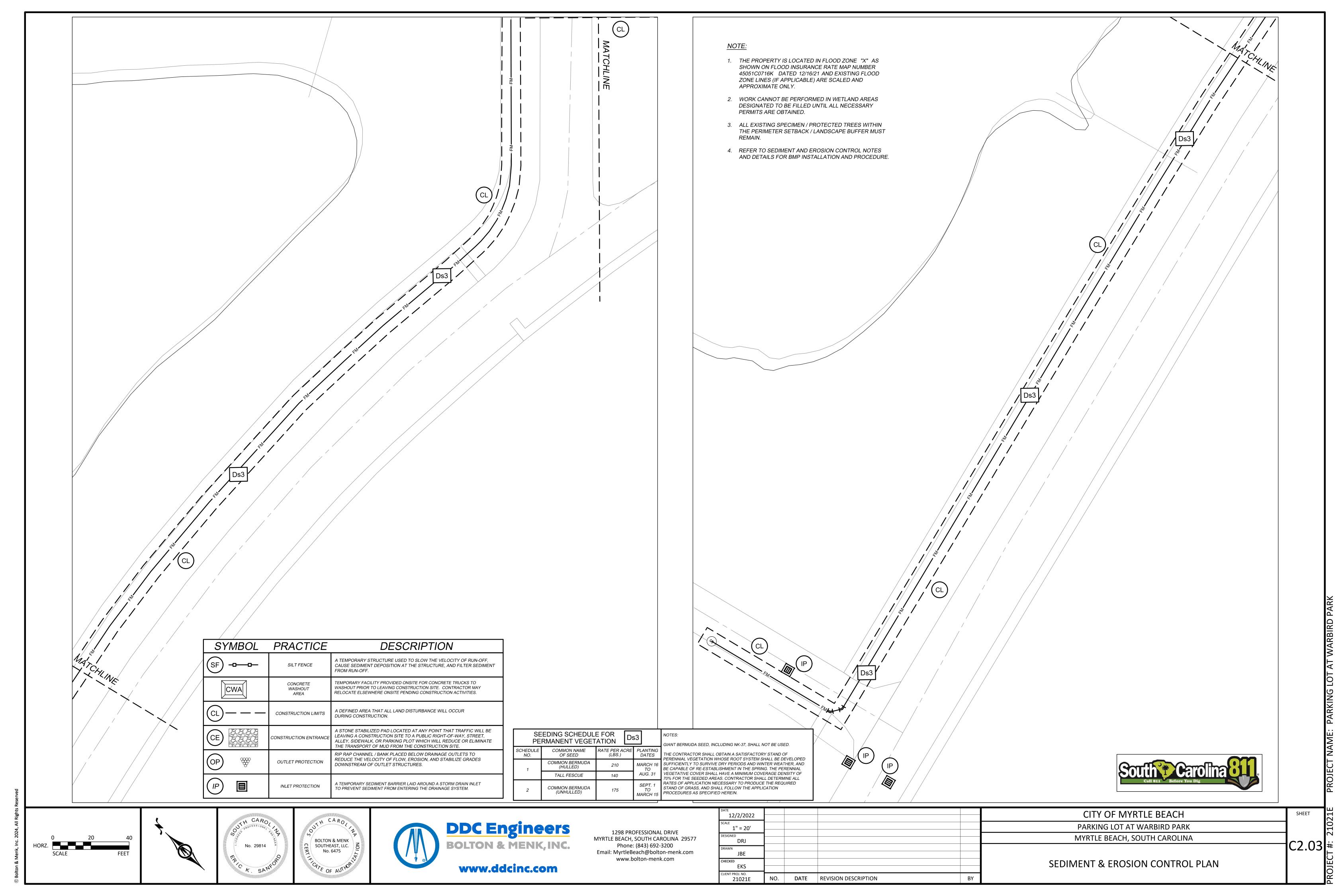
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SCAL	NONE					PARKING LOT AT WARBIRD PARK	
DESI	IGNED DRJ					MYRTLE BEACH, SOUTH CAROLINA	$\Box_{cc}$
DRA	JBE						
CHE	CKED EKS					GENERAL NOTES, LEGEND AND SHEET SCHEDULE	
CLIE	NT PROJ. NO. <b>21021</b> E	NO.	DATE	REVISION DESCRIPTION	BY		

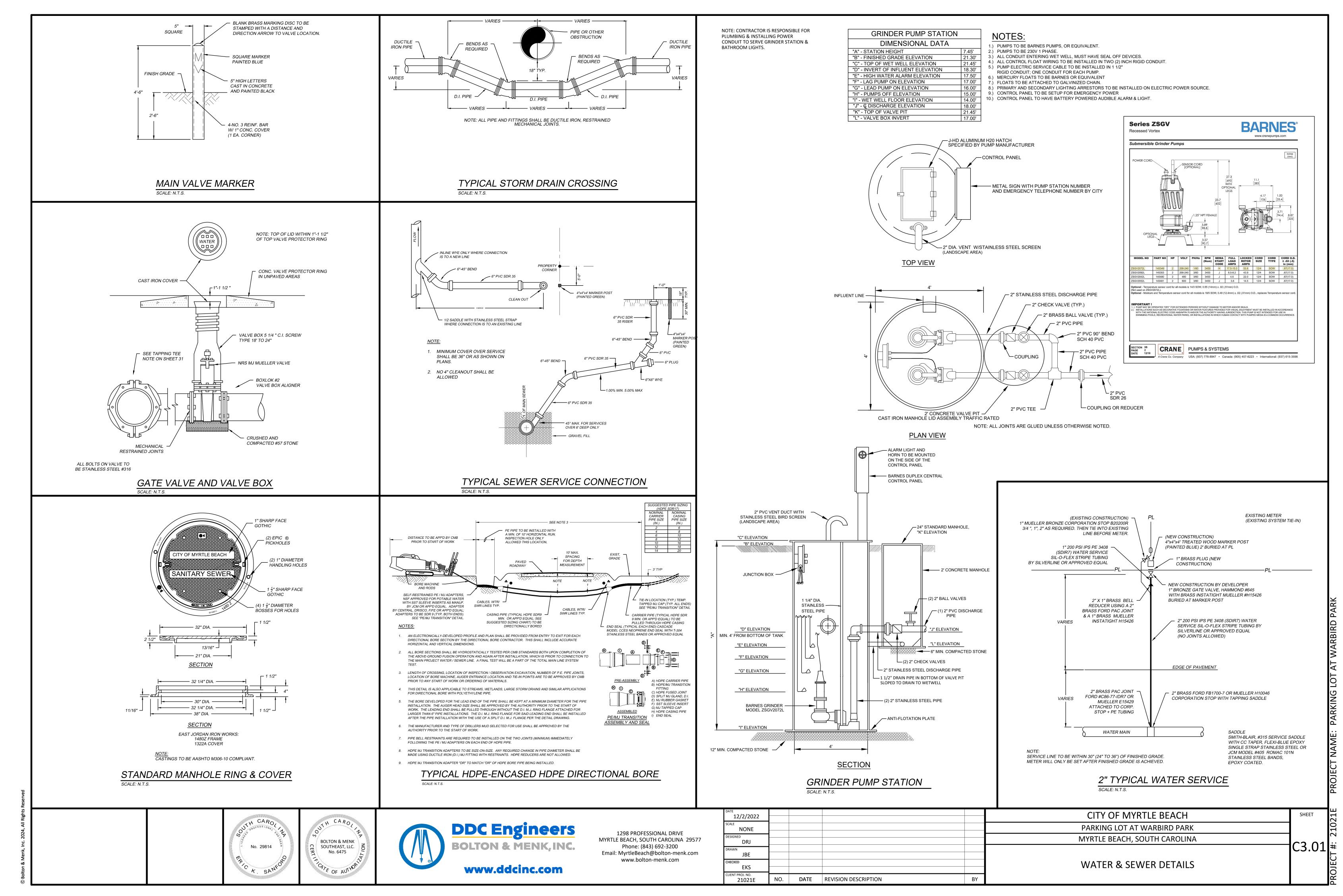


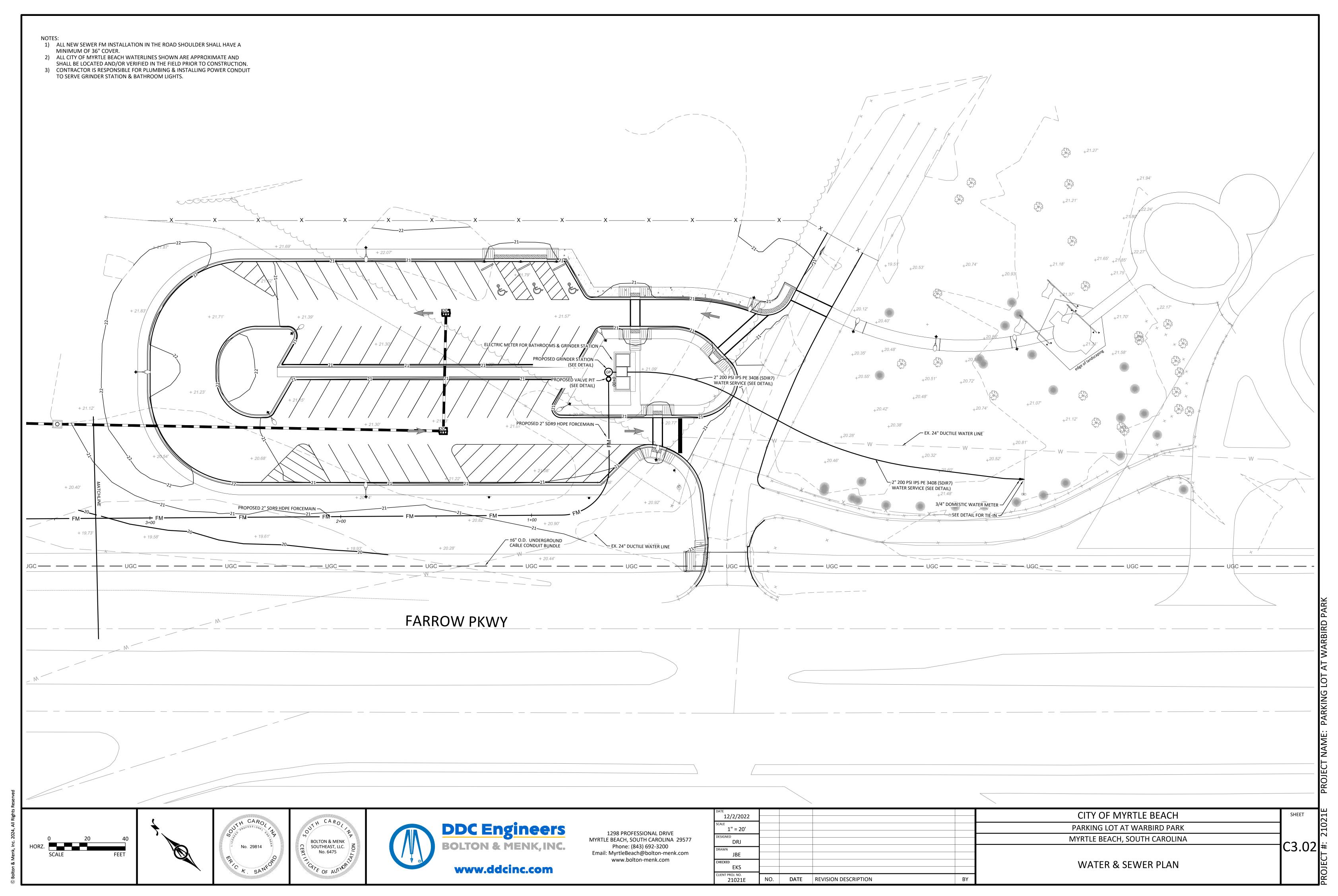


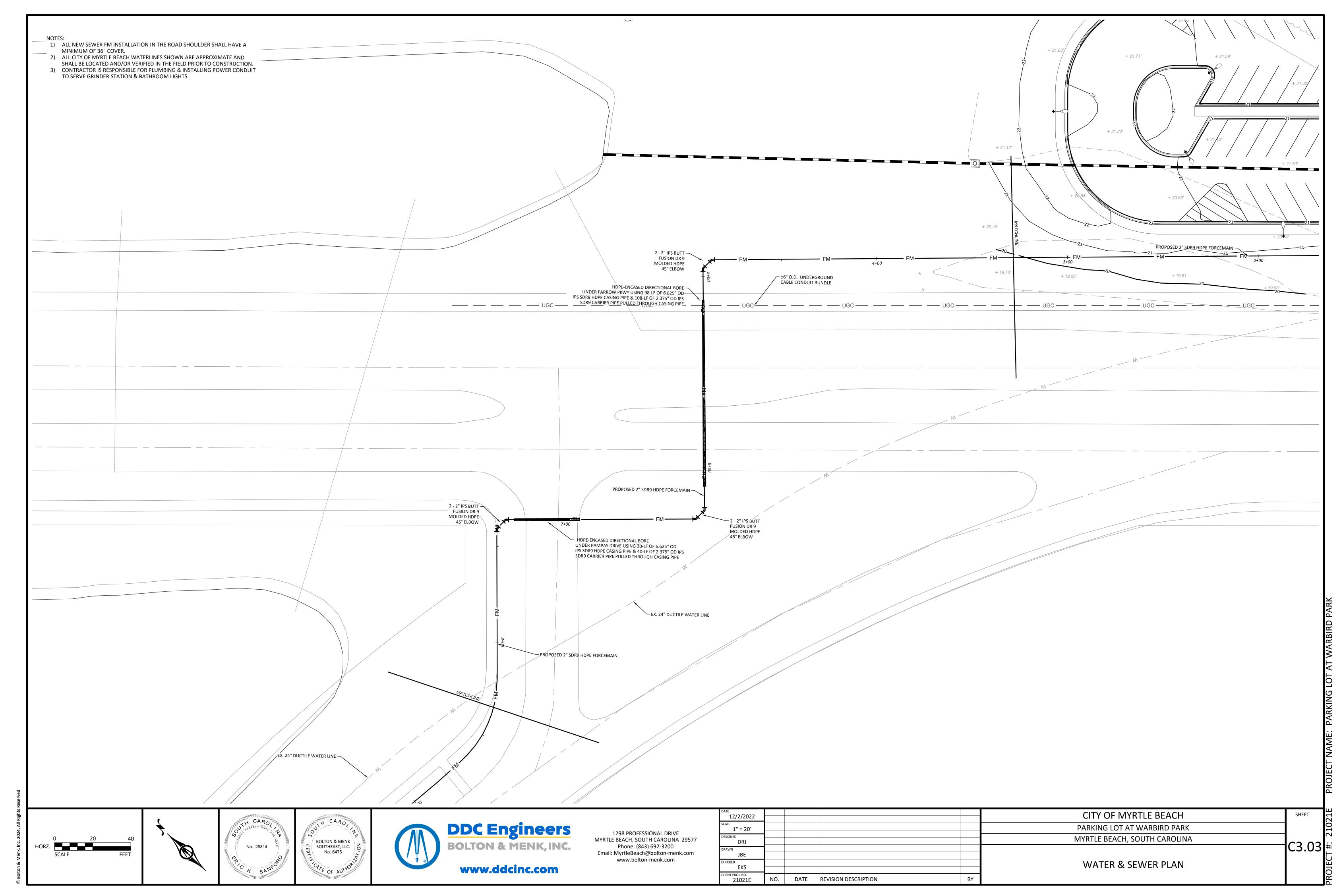


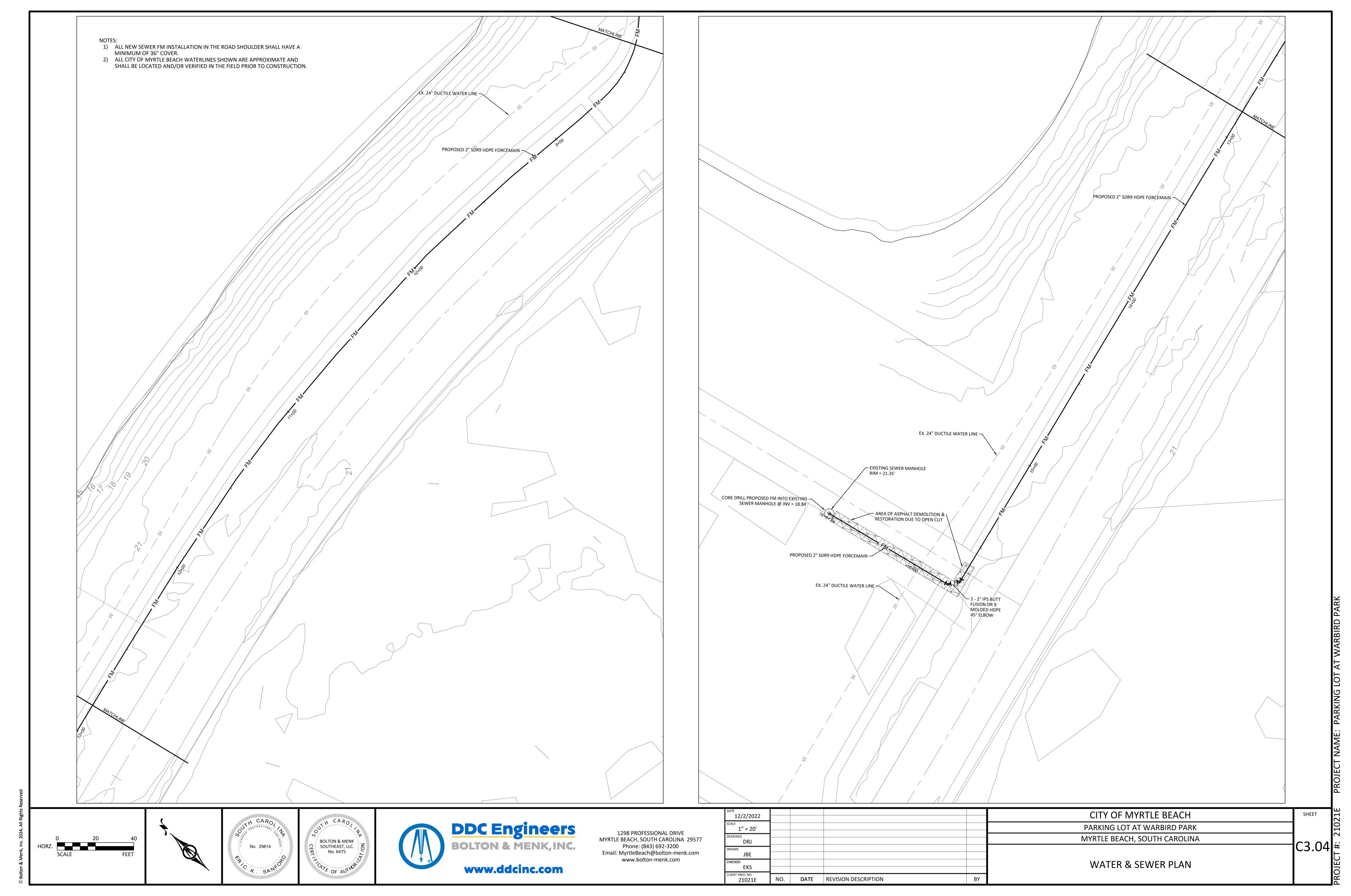


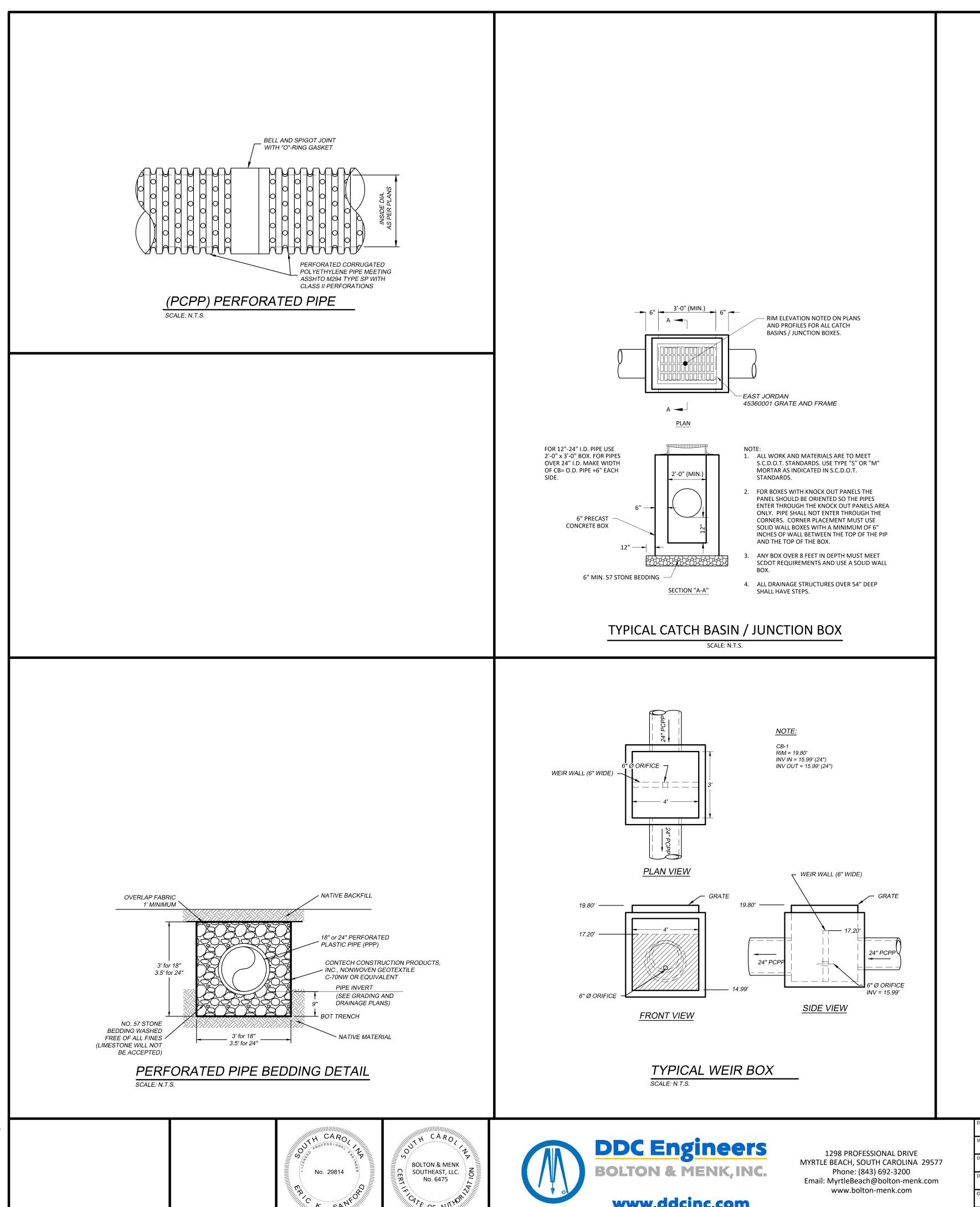


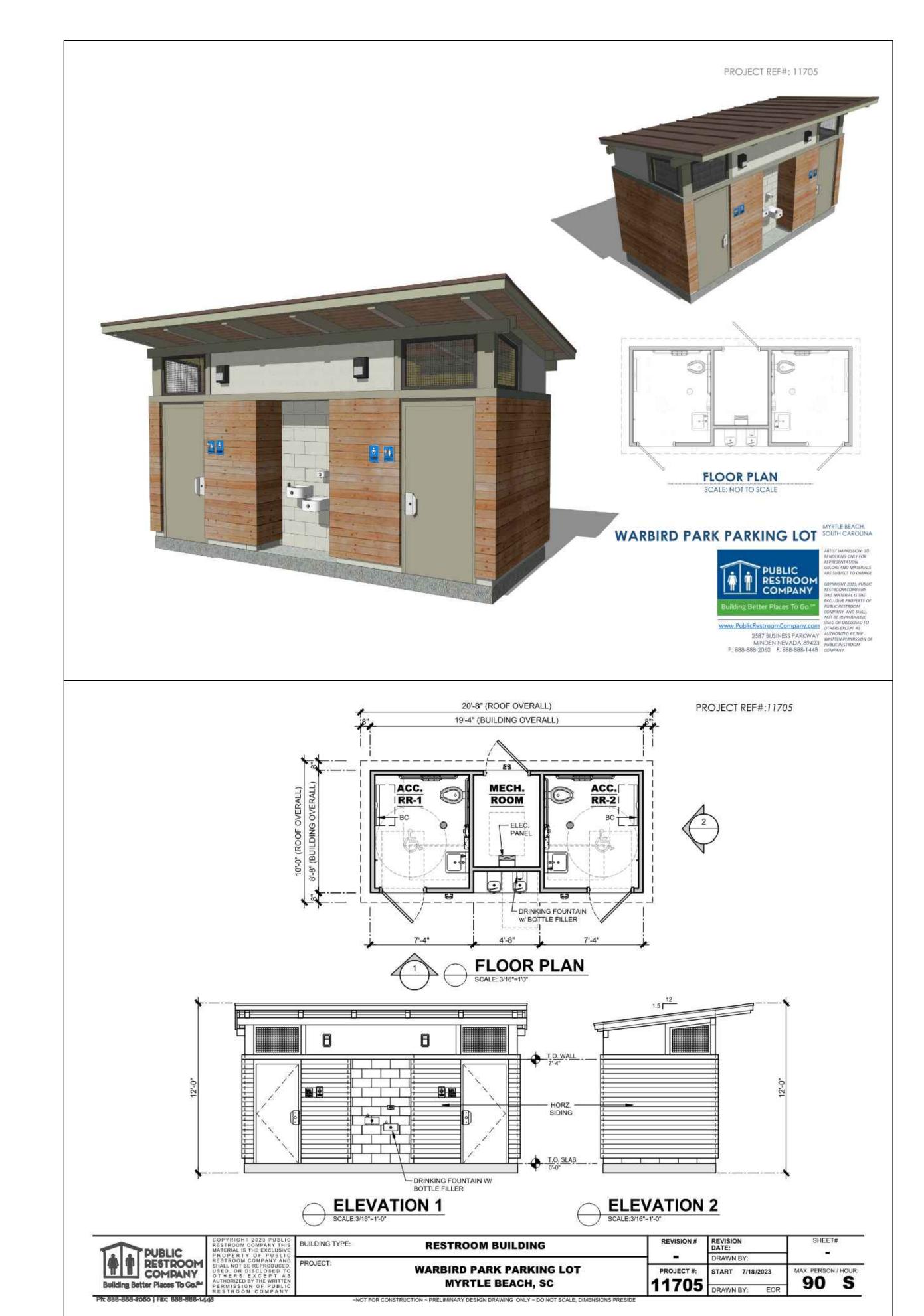












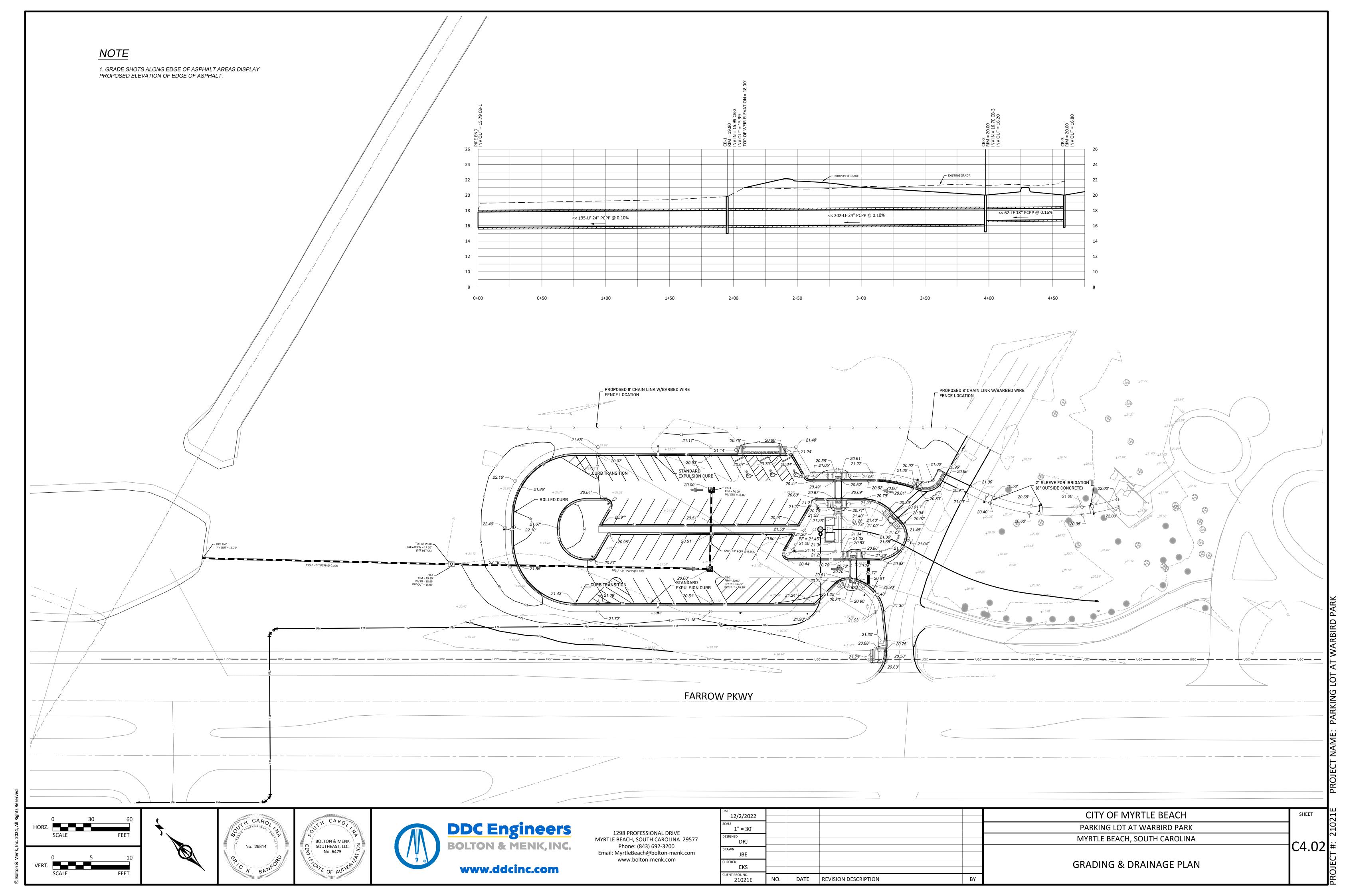


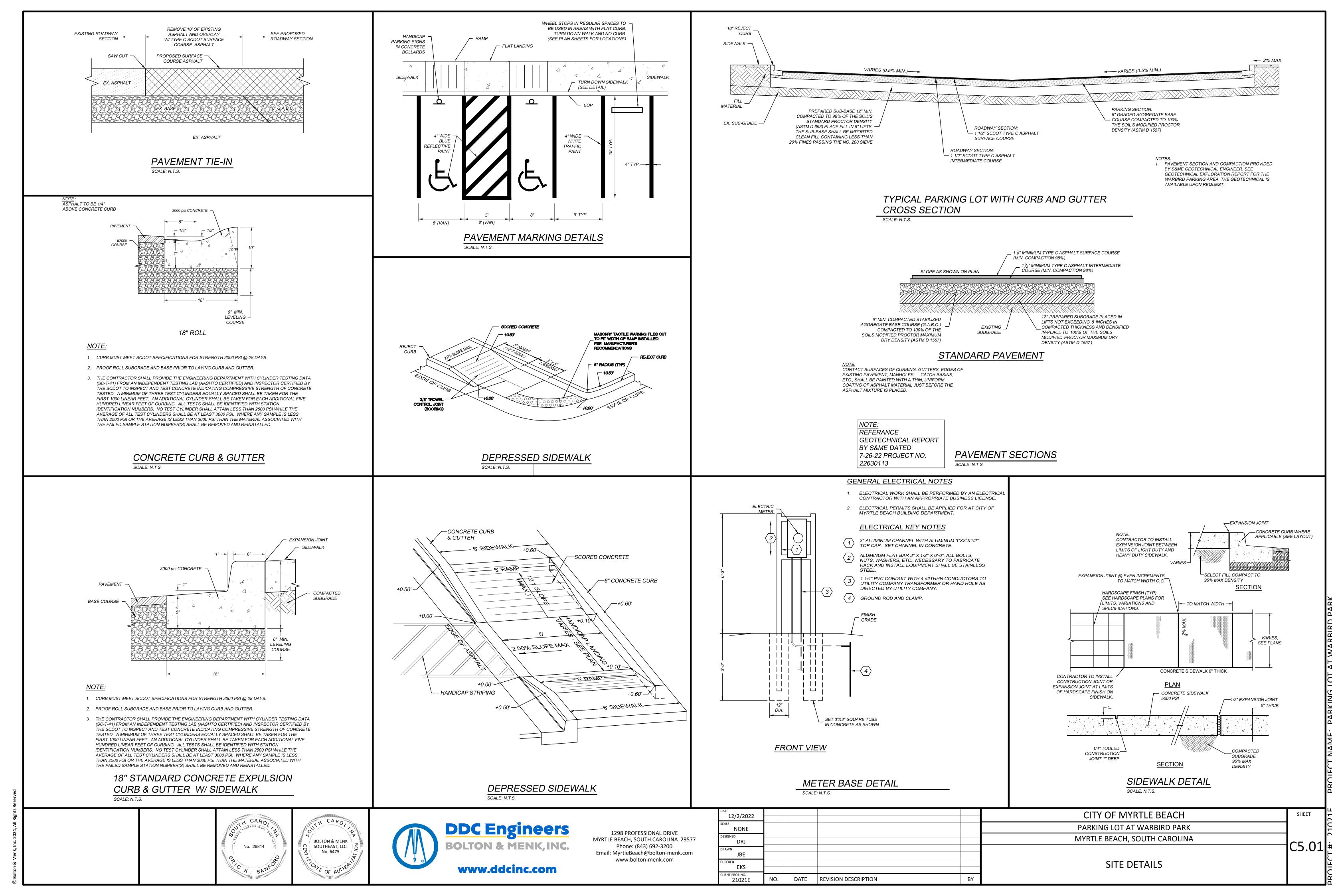


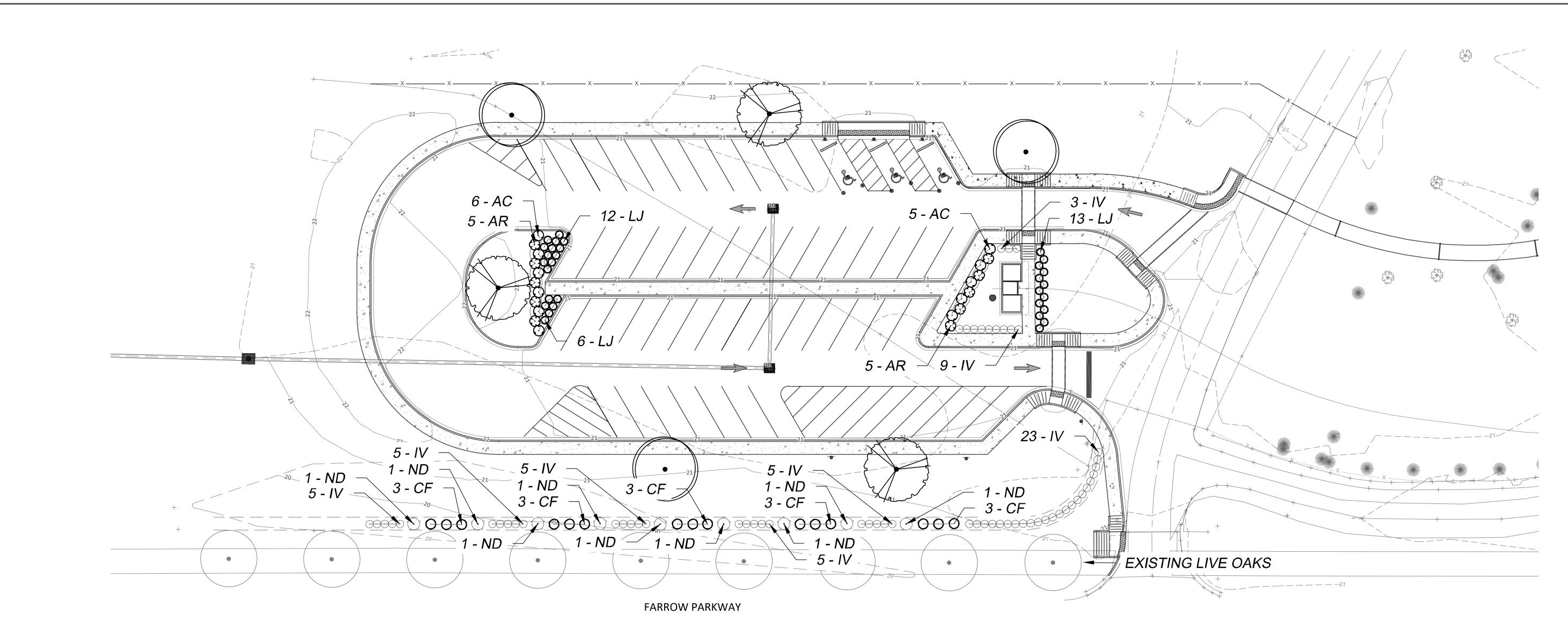


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cale NONE				PARKING LOT AT WARBIRD PARK	
DESIGNED DRJ				MYRTLE BEACH, SOUTH CAROLINA	$\begin{bmatrix} 1 & 1 & 1 \end{bmatrix}$
JBE					[C4.01]
EKS				GRADING & DRAINAGE DETAILS	
LIENT PROJ. NO. 21021E	NO.	DATE REVISION DESCRIPTION	BY		

PARKING LOT AT WARBIRD PARK







WARBIRD PARK PARKING LOT - CODE REQUIREMENTS							
CITY OF MYRTLE BEACH CODE	REQUIRED	PROVIDED					
902.B.2: LANDSCAPING ASSOCIATED WITH VEHICULAR USE AREAS	A. THERE SHALL BE SUFFICIENT TREES WITHIN AND AROUND THE DESIGNATED PARKING AND MANEUVERING AREAS, OUTSIDE OF THE FRONT AND SIDE STREET SETBACKS, TO ENSURE THAT ANY VEHICLE AT ANY TIME SHALL ALWAYS BE WITHIN 75 FEET FROM A TREE TRUNK WITH TWO OR MORE TREES OR 50 FEET FROM A SINGLE TREE TRUNK IN A PLANTING AREA. A PLANTING AREA. TREES PLANTED MUST BE AT LEAST THREE INCHES IN CALIPER FOR SINGLE STEMMED TREES OR 10 THE THAN 50 FEET BETWEEN TREES WITHIN IN THE SAME PLANTING AREA. TREES PLANTED MUST BE AT LEAST THREE INCHES IN CALIPER FOR SINGLE STEMMED TREES OR 12 TO 14 FEET IN HEIGHT FOR MULTI-STEMMED TREES. EXCEPT FOR JAPANESE BLACK PINE TREES, NO MORE THAN 15% OF THE TOTAL REQUIRED PLANTING MAY CONSIST OF ANY SPECIES OF PINE TREES.  D. VEHICULAR USE AREA PERIMETER REQUIREMENT. A VEHICLE USE AREA IS CONSIDERED TO BE ADJOINED BY ANY PROPERTY OR RIGHT-OF-WAY UNLESS THE VEHICULAR USE AREA IS ENTIRELY VISUALLY SCREENED BY AN INTERVENING BUILDING OR STRUCTURE. IN SUCH CASES, WALLS AND FENCES ARE NOT CONSIDERED STRUCTURES.  III. UNLESS REGULATED IN OTHER SECTIONS OF THIS ARTICLE, ANY VEHICULAR USE AREA THAT IS WITHIN 30 FEET OF ANY PROPERTY LINE SHALL REQUIRE A MINIMUM PERIMETER LANDSCAPE BUFFER OF A SQUARE FOOTAGE AMOUNT EQUAL TO THE LINEAR PERIMETER FOOTAGE TIMES 5', WITH THE FOLLOWING REQUIREMENTS:  (A) THERE SHALL BE A MINIMUM 6' BUFFER ALONG ANY ABUTTING RESIDENTIAL PROPERTY LINE.  (B) THERE SHALL BE A MINIMUM 6' BUFFER ALONG THE FRONT STREET PROPERTY LINE. IN THE FRONT STREET BUFFER, ONE CANOPY TREE SHALL BE PLANTED FOR EVERY 50 LINEAR FEET OF BUFFER, PROVIDED, HOWEVER, THERE SHALL BE A MINIMUM OF 1 CANOPY TREE PER PROPERTY. TREE PLACEMENT SHALL PROVIDE FOR EASEMENTS, UTILITY ENCROACHMENTS AND SIGN PLACEMENT. ADEQUATE LANDSCAPING AREA REQUIRED TO SUSTAIN EACH TREE SHALL BE INSTALLED AND MAINTAINED.	REQUIREMENTS MET. SEE PLANT SCHEDULE & LANDSCAPE PLAN.					
902.C REQUIRED LANDSCAPE MATERIALS	TREES. ANY TREE LISTED AS A COMPOSITE OF THE FOREST THEME DESIGNATED FOR THE PLANTING AREA IN THE COMMUNITY TREE PLANTING PLAN FOR MYRTLE BEACH, SOUTH CAROLINA, CURRENT EDITION.  2. WAX MYRTLE/MYRICA CERIFERA AND CRAPE MYRTLE/LAGERSTROMIA INDICA SHRUBS. WAX MYRTLE/MYRICA CERIFERA AND CRAPE MYRTLE/LAGERSTROMIA INDICA SHRUBS MAY BE USED AT A RATIO OF 1:2 FOR UP TO 50 PERCENT OF THE REQUIRED PERIMETER OR INTERIOR SHRUBS.  3. SABAL PALMETTO SUBSTITUTION ALLOWED. IN ALL PLANTED AREAS WHERE TREES ARE REQUIRED OR ALLOWED, SABAL PALMETTOS ARE CONSIDERED LOWER STORY TREES BUT MAY BE SUBSTITUTED AT A RATIO OF 3:1 FOR UPPER STORY TREES.  4. GROUND COVER. SOME FORM OF GROUND COVER MUST COVER ALL PORTIONS OF LANDSCAPE AREA NOT OCCUPIED BY REQUIRED LANDSCAPE MATERIALS. GROUND COVER MAY CONSIST OF THE FOLLOWING: GRASS, SHRUBS THAT DO NOT EXCEED 12 INCHES IN HEIGHT AT MATURITY, ORGANIC MULCH, CRUSHED STONE OR OTHER LANDSCAPE AMENITY THAT IS APPROVED BY THE COMMUNITY APPEARANCE BOARD.  5. PLANTING BEDS. NO MORE THAN 20 PERCENT OF THE AREA IN A LANDSCAPE BUFFER THAT ABUTS A STREET FRONTAGE MAY BE COMPOSED OF PLANTING BEDS THAT CONTAIN ANNUAL AND PERENNIAL FLOWERS. THESE BEDS SHALL BE WEED FREE, WITH ALIVE AND HEALTHY FLOWERS IN THE BEDS AT ALL TIMES AND SHALL HAVE A MAXIMUM LENGTH OF EIGHT FEET AND BE SEPARATED BY AT LEAST 15 LINEAR FEET WITHIN THE SAME BUFFER AREA. THESE BEDS SHALL BE INDICATED ON THE LANDSCAPE PLAN SUBMITTED FOR THE COMMUNITY APPEARANCE BOARD APPROVAL.	REQUIREMENTS MET. SEE PLANT SCHEDULE & LANDSCAPE PLAN.					

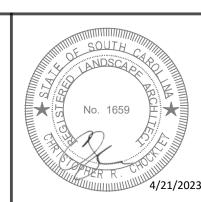
TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT
	3	LIRIODENDRON TULIPIFERA	TULIP TREE	3" CAL, 10' HT
$\boxed{ \bigcirc}$	3	ULMUS PARVIFOLIA	LACEBARK ELM	3" CAL, 10' HT
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT
AC	11	AZALEA X 'CONLEP'	AUTUMN TWIST® ENCORE® AZALEA	24" HT, 3 GAL.
AR	10	AZALEA X 'ROBLEG'	AUTUMN ANGEL® ENCORE® AZALEA	24" HT, 3 GAL.
CF	15	CAMELLIA X 'FAIRY BLUSH'	FAIRY BLUSH CAMELLIA	24" HT, 3 GAL.
IV	60	ILEX VOMITORIA 'NANA'	DWARF YAUPON	18" HT, 3 GAL.
LJ	31	LIGUSTRUM JAPONICUM	JAPANESE PRIVET	24" HT, 3 GAL.
ND	9	NANDINA DOMESTICA 'FIREPOWER'	FIREPOWER HEAVENLY BAMBOO	24" HT, 3 GAL.

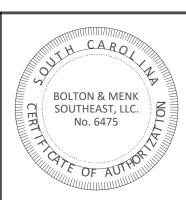
#### GENERAL NOTES:

- 1. QUANTITIES SHOWN IN THE MASTER PLANT SCHEDULE ARE REFLECTIVE OF THE ENTIRE PROJECT AND INCLUDED ON THIS SHEET TO ASSIST IN IDENTIFICATION AND LAYOUT OF PLANTS.
- ALL PLANTINGS TO BE MECHANICALLY IRRIGATED. IRRIGATION SYSTEM TO BE DESIGN BUILD. (SEE LANDSCAPE NOTE #31 ON SHEET L1.02 FOR MORE INFORMATION).
- 3. PLANTING SUBSTITUTIONS REQUIRE APPROVAL BY HORRY COUNTY PLANNING. (SEE LANDSCAPE NOTE #5 ON SHEET L1.02 FOR ADDITIONAL INFORMATION PERTAINING TO PLANT SUBSTITUTION PROTOCOLS).











1298 PROFESSIONAL DRIVE MYRTLE BEACH, SOUTH CAROLINA 29577 Phone: (843) 692-3200 Email: bmi@bolton-menk.com www.bolton-menk.com

10/21/2022					CITY OF MYRTLE BEACH	SHEET
1" = 20'					WARBIRD PARK	1
SIGNED MRM					MYRTLE BEACH, SOUTH CAROLINA	1101
MRM						LT.OJ
HECKED MRM					LANDSCAPE PLAN	
JENT PROJ. NO. 21021E	NO.	DATE	REVISION DESCRIPTION	BY		

#### LANDSCAPE NOTES

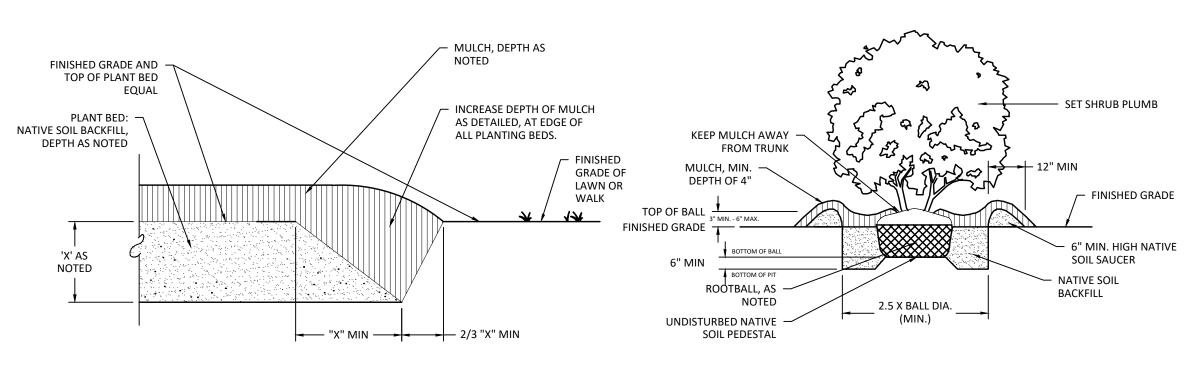
- 1. ALL PLANT MATERIAL SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF THE LATEST EDITION OF ANSI Z60.1 "AMERICAN STANDARDS FOR NURSERY STOCK". PRIOR TO DELIVERY OF PLANT MATERIAL TO THE PROJECT SITE, PROVIDE TO THE LANDSCAPE ARCHITECT CERTIFICATION FROM THE SOURCE NURSERY(IES) THAT MATERIALS COMPLY WITH ALL APPLICABLE PORTIONS OF ANSI Z60.1.
- 2. PROVIDE HEALTHY, VIGOROUS STOCK, GROWN IN ESTABLISHED AND REPUTABLE NURSERIES, UNDER CLIMATIC CONDITIONS SIMILAR TO THAT OF THE LOCALITY OF THE PROJECT. PLANTS SHALL EXHIBIT THE NORMAL CHARACTERISTICS OF THE SPECIFIED PLANT TYPE, INCLUDING BRANCHING STRUCTURE AND 26. PRIOR TO MULCHING PLANT BEDS, APPLY COMMERCIAL-GRADE PRE-EMERGENT HERBICIDE, PER MANUFACTURER'S RECOMMENDATIONS, HEIGHT TO SPREAD RELATIONSHIP. PLANTS SHALL BE FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS, INSECT DAMAGE OR DISFIGUREMENTS; THE CONTRACTOR SHALL BE REQUIRED TO IMMEDIATELY REMOVE FROM THE SITE ANY PLANT MATERIALS NOT MEETING THESE REQUIREMENTS AND REPLACE WITH THE PLANTS THAT DO MEET THESE REQUIREMENTS, AT NO COST TO THE OWNER.
- 3. WHERE PLANTS ARE SPECIFIED AS "SPECIMEN QUALITY" PLANTS, PROVIDE PLANTS EXHIBITING THE VERY HIGHEST QUALITY OF SHAPE, FULLNESS, UNIFORMITY AND GROWTH CHARACTER REPRESENTATIVE OF THE PLANT TYPE SPECIFIED; THE CONTRACTOR SHALL BE REQUIRED TO IMMEDIATELY REMOVE FROM THE SITE ANY PLANT MATERIALS NOT MEETING THESE REQUIREMENTS AND REPLACE WITH THE PLANTS THAT DO MEET THESE REQUIREMENTS, AT NO COST TO THE OWNER.
- 4. PLANT MATERIAL QUANTITIES, AS LISTED IN THE PLANT MATERIALS LIST, ARE APPROXIMATE. CONTRACTOR SHALL CONFIRM ACTUAL NUMBER OF PLANTS REQUIRED FOR EACH SPECIES, BASED ON THE PLANTING PLAN. SHOULD DISCREPANCIES BETWEEN THE MATERIALS LIST AND THE PLANTING PLAN OCCUR, PLANTING PLAN SHALL TAKE PRECEDENCE.
- 5. REQUIRED PLANT MATERIAL TYPES ARE LISTED ON THE PLANT MATERIALS LIST. CONTRACTOR SHALL PROVIDE ONLY PLANTS OF THE GENUS AND SPECIES LISTED, AND, WHERE ALSO LISTED, THE VARIETY/CULTIVAR/PATENTED PLANT NOTED. SUBSTITUTIONS SHALL ONLY BE ALLOWED, AT THE DISCRETION OF THE LANDSCAPE ARCHITECT, ONLY ON THE GROUNDS OF CLEARLY DOCUMENTED UNAVAILABILITY. REQUESTS FOR SUBSTITUTIONS SHALL BE SUBMITTED BY THE CONTRACTOR IN WRITING AT LEAST TWO WEEKS PRIOR TO THE CONTRACTOR SUBMITTING HIS/HER BID. UNAPPROVED PLANT MATERIAL SUBSTITUTIONS SHALL NOT BE ALLOWED; THE CONTRACTOR SHALL BE REQUIRED TO IMMEDIATELY REMOVE FROM THE SITE ANY UNAPPROVED PLANT MATERIAL SUBSTITUTIONS AND REPLACE WITH THE SPECIFIED PLANT TYPE(S), AT NO COST TO THE OWNER.
- 6. PRIOR TO DELIVERY OF PLANT MATERIAL TO THE PROJECT SITE, PROVIDE TO THE LANDSCAPE ARCHITECT CERTIFICATION FROM THE SOURCE NURSERY(IES) THAT MATERIALS COMPLY FULLY WITH PLANT MATERIAL TYPES SPECIFIED. THE CONTRACTOR SHALL BE REQUIRED TO IMMEDIATELY REMOVE FROM THE SITE ANY PLANT MATERIAL NOT MEETING THIS CRITERIA, AND REPLACE WITH PLANTS MEETING THE CRITERIA, AT NO COST TO THE OWNER.
- 7. PLANT MATERIAL SIZES, AS LISTED, SHALL BE CONSIDERED MINIMUM SIZES. WHERE TWO SIZE REQUIREMENTS (E.G. BOTH HEIGHT AND CALIPER) ARE LISTED FOR A GIVEN PLANT, THAT REQUIREMENT RESULTING IN THE LARGER PLANT SHALL APPLY. TREE CALIPER SHALL BE DETERMINED BY TAKING THE AVERAGE OF TWO CALIPER READINGS, TAKEN AT 90 DEGREES TO EACH OTHER; READINGS SHALL BE TAKEN AT THE ELEVATION SPECIFIED BY ANSI Z60.1.
- 8. PLANTS LISTED AS CONTAINER GROWN (CONT.), MAY ONLY BE PROVIDED IN CONTAINERS, AND MUST HAVE BEEN CULTIVATED IN APPROPRIATELY SIZED CONTAINERS FOR A MINIMUM OF ONE YEAR PRIOR TO INSTALLATION. PLANTS LISTED AS BALL & BURLAP (B & B) MAY, AT THE CONTRACTOR'S DISCRETION, BE SUPPLIED IN CONTAINERS, SO LONG AS SPECIFIED SIZES ARE PROVIDED AND SO LONG AS PLANTS HAVE BEEN CULTIVATED IN APPROPRIATELY SIZED CONTAINERS FOR A MINIMUM OF ONE YEAR. CONTAINER/BALL SIZE SHALL IN ALL CASES BE APPROPRIATE TO THE PLANT SIZE SPECIFIED, AS DEFINED BY
- 9. BARE ROOT PLANTS SHALL ONLY BE ALLOWED AS SPECIFICALLY NOTED ON PLANS. BARE ROOT PLANTS SHALL CONFORM TO ANSI Z60.1.
- 10. UNLESS OTHERWISE DIMENSIONED ON THE PLANS, PLANT LOCATIONS SHALL BE DETERMINED BY SCALING DRAWINGS. DESIGN INTENT, AS ILLUSTRATED, SHALL AT ALL TIMES BE MAINTAINED. DIRECT ANY QUESTIONS CONCERNING DESIGN INTENT TO THE LANDSCAPE ARCHITECT, PRIOR TO
- 11. MINIMUM PLANT CENTER-POINT LOCATION DIMENSIONS FROM KEY FEATURES SHALL BE AS FOLLOWS: TREES & UNDERSTORY TREES,

FROM EDGE OF SIDEWALKS/PATHWAYS -SMALL SHRUBS, FROM EDGE OF SIDEWALKS/PATHWAYS --MEDIUM SHRUBS FROM EDGE OF SIDEWALKS/PATHWAYS --LARGE SHRUBS, FROM EDGE OF SIDEWALKS/PATHWAYS ---TREES, UNDERSTORY TREES, AND LARGE AND MEDIUM SHRUBS, FROM BACK-OF-CURB/EDGE OF VEHICULAR DRIVE ------SMALL SHRUBS, FROM BACK-OF-CURB/EDGE OF VEHICULAR DRIVE ----- 36"; TREES, UNDERSTORY TREES AND SHRUBS, FROM EDGE OF POND NORMAL-POOL WATER LEVELS -----TREES, UNDERSTORY TREES AND SHRUBS, FROM EDGE OF WETLANDS -TREES & UNDERSTORY TREES FROM RIGHTS-OF-WAY LINES/PROPERTY LINES ------FROM RIGHTS-OF-WAY LINES/PROPERTY LINES ------LARGE SHRUBS, FROM RIGHTS-OF-WAY LINES/PROPERTY LINES ---

WHERE THESE MINIMUM DIMENSIONS CANNOT BE MET, NOTIFY LANDSCAPE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING [a] TREES TO BE PLANTED BETWEEN CURB AND SIDEWALK IN RIGHT-OF-WAY MAY BE CLOSER THAN THIS DIMENSION, SO LONG AS TREE IS PLANTED

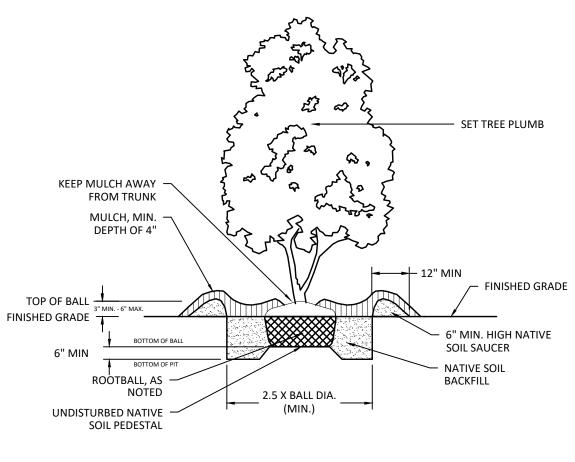
- HALF-WAY BETWEEN CURB AND WALK. [b] OR 24' VERTICAL, WHICHEVER DIMENSION ALLOWS PLANT TO BE CLOSER TO THE WATER.
- 12. PLANTS SHOWN IN ROWS SHALL BE PLANTED AS SUCH, SPACED AS EVENLY AS PRACTICAL. ORIENT INDIVIDUAL PLANTS SO AS TO PROVIDE A UNIFORM APPEARANCE ALONG THE PLANT ROW.
- 13. ORIENT PLANT MATERIALS WITH BEST SIDE OF PLANT TO THE MOST PROMINENT VIEW.
- 14. CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING TREES NOT NOTED TO BE REMOVED. AVOID CUTTING ROOTS, OPERATING EQUIPMENT OR STORING MATERIALS, FILLING OR CUTTING OF SOIL WITHIN THE DRIP LINE, AND/OR DAMAGING TRUNKS OR BRANCHES. ADJUST NEW PLANTINGS AS NECESSARY TO PROTECT EXISTING TREES. WHERE SIGNIFICANT ADJUSTMENTS NEED TO BE MADE, CONTACT LANDSCAPE ARCHITECT FOR DIRECTION, PRIOR TO CONTINUING WORK.
- 15. AVOID INSTALLING PLANTS IN THE BOTTOM OF SWALES/DITCHES. OR WITHIN TWENTY-FOUR (24) VERTICAL INCHES OR FIVE (5) HORIZONTAL FEET (WHICH EVERY ALLOWS THE PLANT TO BE CLOSER TO THE WATER) OF ADJACENT POND NORMAL POOL LEVEL. SHIFT THE LOCATIONS OF PLANTS SLIGHTLY AND UNIFORMLY AS REQUIRED TO AVOID SUCH CONDITIONS. IF SUBSTANTIAL ADJUSTMENTS IN LOCATION ARE REQUIRED. NOTIFY LANDSCAPE ARCHITECT FOR DIRECTION, PRIOR TO CONTINUING WORK.
- 16. AVOID ANY DISTURBANCE TO WETLANDS OR TO ASSOCIATED BUFFERS. ANY DISTURBANCE BY THE CONTRACTOR OF WETLANDS AND/OR BUFFERS IS A PERMIT VIOLATION, THE CONSEQUENCES OF WHICH SHALL BE BORNE SOLELY BY THE CONTRACTOR.
- 17. SHIFT THE LOCATIONS OF PLANTS SLIGHTLY AND UNIFORMLY AS REQUIRED TO AVOID UTILITIES, LIGHT FIXTURES AND OTHER STRUCTURES. IF SUBSTANTIAL ADJUSTMENTS IN LOCATION ARE REQUIRED, NOTIFY LANDSCAPE ARCHITECT FOR DIRECTION, PRIOR TO CONTINUING WORK.
- 18. NO PLANT, REQUIRED UNDER THIS CONTRACT, SHALL BE INSTALLED WITHIN THE LIMITS OF ADJACENT RIGHTS-OF-WAY.
- 19. STAKE OUT THE LOCATIONS OF ALL TREES AND LARGE SHRUBS, AND THE OUTLINE OF ALL OTHER SHRUB, GROUND COVER, ORNAMENTAL GRASS AND FLOWER BEDS, PRIOR TO COMMENCING INSTALLATION. OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT OF THE STAKE OUT, BEFORE BEGINNING INSTALLATION. PLANTING MAY BE STAKED AND REVIEWED BY SECTION, IF PRE-ARRANGED WITH AND AGREEABLE TO THE LANDSCAPE ARCHITECT.
- 20. ALL PLANT MATERIALS SHALL BE INSTALLED PER DETAILS INDICATED ON DRAWINGS.
- 21. PROVIDE ROOT BARRIERS ANYWHERE SHADE TREES AND/OR UNDERSTORY TREES ARE PLANTED WITHIN FIFTEEN (15) FEET OF (MEASURED PERPENDICULAR TO) A SIDEWALK, WALKWAY, PEDESTRIAN PAVEMENT EDGE, CURB, AND/OR VEHICULAR PAVEMENT EDGE. PROVIDE EIGHTEEN (18) INCH DEEP ROOT BARRIERS ALONG SIDEWALKS, WALKWAYS, AND PEDESTRIAN PAVEMENT EDGES. PROVIDE TWENTY-FOUR (24) INCH DEEP ROOT BARRIERS ALONG CURBS, AND VEHICULAR PAVEMENT EDGES. MINIMUM RUN OF ROOT BARRIER ALONG EDGE OF WALK, ETC., SHALL BE THIRTY-SIX (36) LINEAL FEET FOR SHADE TREES AND TWENTY-FOUR (24) LINEAL FEET FOR UNDERSTORY TREES. CENTER ROOT BARRIER RUN ON THE TREE. FOR TREES PLANTED IN PARKING ISLANDS WITH AN AREA OF UP TO AND INCLUDING 1,000 SQUARE FEET, ENTIRE PERIMETER OF ISLAND SHALL BE PROTECTED WITH ROOT BARRIER, REGARDLESS OF THE LOCATION OF THE TREE.
- 22. ALL MULCHED BEDS SHALL BE EDGED PER DETAIL INDICATED ON DRAWINGS.
- 23. WHERE UNDERSTORY TREES ARE PLANTED IN MASS, ENTIRE AREA UNDER EACH TREE MASS SHALL BE MULCHED TO THE DEPTH DETAILED FOR AN INDIVIDUAL TREE

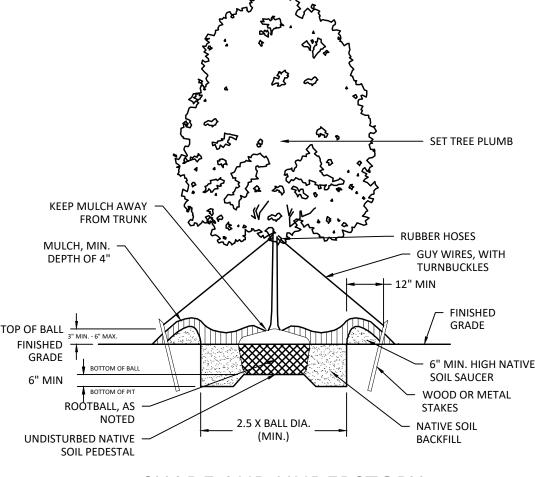
- 24. SHRUB, GROUND COVER, ORNAMENTAL GRASSES AND FLOWER BEDS SHALL BE MULCHED IN THEIR ENTIRETY, TO THE DEPTH DETAILED FOR AN INDIVIDUAL PLANT.
- 25. ORNAMENTAL GRASS BEDS AND FLOWER BEDS SHALL BE PREPARED THE SAME AS GROUND COVER BEDS, WITH PLANTING MIXTURE AND MULCH.
- THROUGHOUT EACH PLANT BED.
- PROVIDE ONE COMPLETE PLANTING OF SEASONALLY APPROPRIATE ANNUAL FLOWERS, GROUPED (MASSED) FOR HARMONY AND VISUAL INTEREST BUT WITH A VARIETY OF HEIGHTS, COLORS AND TEXTURES. WHILE SPACING MAY BE VARIED IN KEEPING WITH DIFFERING PLANT TYPES, FLOWER PLANTINGS SHALL BE INSTALLED TO AN AVERAGE OF 144 SQ. INCHES PER PLANT. SUBMIT A COMPLETE LISTING, AS PART OF THE BID, OF PROPOSED PLANT TYPES, SIZES, QUANTITIES AND LOCATIONS.
- 28. WITHIN THE DISTURBED LIMITS OF THE PROJECT, CONTRACTOR SHALL SOD WITH CENTIPEDE GRASS ANY AND ALL UNPAVED AREAS, NOT NOTED TO BE SEEDED, MULCHED, OR OTHERWISE PLANTED. ALL LAWN AREAS SHALL BE SODDED, UNLESS SPECIFICALLY NOTED OTHERWISE.
- 29. WITHIN THE DISTURBED LIMITS OF THE PROJECT, CONTRACTOR SHALL SEED WITH CENTIPEDE GRASS SEED MIX, ALL AREAS SPECIFICALLY NOTED ON THE PLANS AS SEED, TO THE LIMITS INDICATED.
- 30. EXISTING TURF REMAINING IN CERTAIN AREAS OF THE SITE, AFTER GRADING AND ALL STREET, UTILITY AND HARDSCAPE IMPROVEMENTS HAVE BEEN COMPETED (BUT ONLY WHERE SPECIFICALLY NOTED ON PLANS) SHALL REMAIN AND SHALL BE PROTECTED FROM DAMAGE. NO NEW SOD OR SEEDING SHALL BE REQUIRED IN THESE NOTED AREAS.
- 31. PROVIDE COMPLETE IRRIGATION SYSTEM(S), AS SPECIFIED, FOR ALL NEWLY PLANTED LAWNS, AND FOR ALL OTHER NEW LANDSCAPE AREAS OF THE PROJECT, EXCEPT THOSE AREAS ON THE PLAN SPECIFICALLY NOTED OTHERWISE. SYSTEM(S) SHALL COMPLY WITH ALL REQUIREMENTS OF THE AUTHORITY(IES) HAVING JURISDICTION. SYSTEM(S) SHALL BE ZONED APPROPRIATELY TO WATER SOURCE CAPACITY [USING MUNICIPAL WATER ONLY] [USING WELL WATER AS PROVIDED BY THE OWNER], AND TO FACILITATE GOOD PLANT HEALTH AND PROPER PLANT CARE. DRIP IRRIGATION SHALL BE PROVIDED FOR ALL TREES, ZONED SEPARATELY FROM OTHER IRRIGATION ZONES. LAWN AREAS SHALL BE ZONED SEPARATELY FROM MASSED SHRUB, GROUND COVER, ORNAMENTAL GRASS AND FLOWER BEDS. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE IRRIGATION SYSTEM DESIGN, SUBMISSIONS, APPROVALS, CERTIFICATIONS, TAP FEES AND/OR IMPACT FEES.
- 32. EXISTING IRRIGATION SYSTEM SHALL BE REMOVED WHEN IN THE WAY OF THE WORK; OTHERWISE, EXISTING IRRIGATION SYSTEM MAY BE ABANDONED
- 33. CONTRACTOR SHALL MAINTAIN TREES, SHRUBS, AND ALL OTHER INSTALLED PLANT MATERIAL (EXCLUDING LAWNS), CONTINUOUSLY, STARTING FROM THE TIME OF INSTALLATION, THROUGH AND FOR NOT LESS THAN ONE YEAR BEYOND THE DATE THAT ALL REQUIRED PLANTINGS HAVE BEEN INSTALLED. MAINTENANCE SHALL INCLUDE REGULAR PRUNING, CULTIVATING, WATERING, WEED CONTROL, INSECT/PEST CONTROL, FERTILIZATION, MULCH AND SAUCER RESTORATION, AND TIGHTENING AND RESETTING OF GUYS AND STAKES.
- 34. CONTRACTOR SHALL MAINTAIN ALL INSTALLED LAWNS CONTINUOUSLY, STARTING FROM THE TIME OF INSTALLATION, THROUGH THE THIRD CUTTING OF AN ESTABLISHED LAWN [BUT IN NO CASE LESS THAN FOR ONE YEAR AFTER LAWN HAS BEEN ESTABLISHED]. TO BE CONSIDERED AN ESTABLISHED LAWN, NO INDIVIDUAL LAWN AREA SHALL HAVE UNACCEPTABLE PORTIONS, AS DETERMINED BY THE LANDSCAPE ARCHITECT, IN EXCESS OF ONE SQUARE FOOT FOR EVERY 100 SQUARE FEET. MAINTENANCE SHALL INCLUDE REGULAR WATERING, WEED CONTROL, INSECT/PEST CONTROL, FERTILIZATION, AND MOWING.
- 35. TREES, SHRUBS, AND ALL OTHER INSTALLED PLANT MATERIAL (EXCLUDING LAWNS) SHALL BE GUARANTEED FOR ONE FULL YEAR, STARTING FROM THE DATE THAT ALL REQUIRED PLANTINGS HAVE BEEN INSTALLED. WARRANTY SHALL BE AGAINST DEATH AND/OR UNSATISFACTORY CONDITION, AS DETERMINED BY THE LANDSCAPE ARCHITECT. ONE (1) REPLACEMENT EACH OF DEAD AND/OR UNSATISFACTORY PLANTS SHALL BE PROVIDED AS PART OF THIS CONTRACT.
- 36. OWNER RESERVES THE RIGHT TO ELIMINATE FROM THE PROJECT, WITHIN THE PROVISIONS OF THE CONTRACT DOCUMENTS, ANY WORK AND/OR PLANTINGS SHOWN AND/OR NOTED (E.G. QUANTITY, SIZES, LOCATIONS, ETC.) THAT EXCEED MINIMUM ZONING REQUIREMENTS
- 37. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY LOCATION OF ALL PRIVATE AND PUBLIC UTILITY LINES WHICH AFFECT THIS SITE. CONTRACTOR SHALL ALSO NOTIFY ALL UTILITY COMPANIES PRIOR TO THE COMMENCEMENT OF ANY SITE WORK
- 38. CONTRACTOR SHALL VISIT THE PROJECT SITE AND BECOME FAMILIAR WITH CONDITIONS UNDER WHICH WORK SHALL BE IMPLEMENTED PRIOR TO
- 39. CONTRACTOR SHALL NOTIFY CONTRACT OFFICER OF ANY DISCREPANCIES IN THE EXISTING CONDITIONS OR WITHIN THE PLANS PRIOR TO BEGINNING
- 40. PLANTING BEDS SHALL HAVE FINISHED GRADES SMOOTHED TO ELIMINATE PONDING OR STANDING WATER. CONTRACTOR SHALL MAINTAIN A MINIMUM 2% DRAINAGE AWAY FROM BUILDINGS AND PAVING INTO DRAINAGE STRUCTURE OR TO STREET. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY OF ANY CONFLICTS IN MAINTAINING DRAINAGE. IRRIGATION SYSTEM SHALL BE DESIGNED TO ELIMINATE OVERSPRAY ONTO BUILDINGS, STRUCTURES AND MONUMENT SIGNS.
- 41. CONTRACT OFFICER SHALL APPROVE ALL FINISH GRADING PRIOR TO PLACEMENT OF ANY PLANT MATERIAL
- 42. CONTRACTOR SHALL IMMEDIATELY, UPON THE AWARD OF THE CONTRACT, LOCATE, ORDER AND PURCHASE (OR HAVE HELD) ALL PLANT MATERIAL REQUIRED BY THESE PLANS AND SPECIFICATIONS.
- 43. CONTRACTOR SHALL NOTIFY CONTRACT OFFICER FOR OBSERVATION AT THE FOLLOWING TIMES: -IRRIGATION MAINLINE AND LATERALS - PRIOR TO BACKFILL AND PRESSURE TEST -TREE LOCATIONS - PRIOR TO PLANTING -IRRIGATION COVERAGE - PRIOR TO PLANT PLACEMENT -PLANT APPROVAL AND SPOTTING - PRIOR TO PLANTING -PRE-MAINTENANCE APPROVAL -POST-MAINTENANCE / FINAL APPROVAL
- 44. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY REPAIRS MADE NECESSARY THROUGH THE ACTIONS/NEGLIGENCE OF THEIR CREW.
- 45. ALL ROCKS AND DEBRIS ONE INCH (1") AND LARGER SHALL BE REMOVED FROM PLANTING AREAS TO A DEPTH OF 1'-0" AND THEN FROM THE SITE TO A LEGAL SITE OF DISPOSAL. WHERE GRASS IS TO BE PLANTED, ALL ROCKS AND DEBRIS ONE HALF INCH (1/2") AND LARGER SHALL BE REMOVED. IMPACTED TOP SOIL CONTAINING DEBRIS, GARBAGE OR OTHER MATERIAL UNSUITABLE FOR SEEDED AND PLANTED AREAS SHALL BE REJECTED. IF REJECTED, CONTRACTOR SHALL REMOVE TOPSOIL FROM SITE AT CONTRACTORS EXPENSE.
- 46. PLANTING SOIL SHALL BE A THOROUGHLY GROUND AND BLENDED MIXTURE OF EQUAL PARTS OF THE FOLLOWING MATERIALS: ONE THIRD (1/3) TOPSOIL, ONE THIRD (1/3) PEAT MOSS AND ONE THIRD (1/3) SAND. ALL PLANTED AREAS SHALL RECEIVE A MINIMUM OF 6" OF TOPSOIL.
- 47. PRIOR TO PLANT INSTALLATION, CONTRACTOR SHALL IRRIGATE ALL PLANTING AREAS NORMALLY FOR TWO WEEKS TO GERMINATE WEEDS. CONTRACTOR SHALL THEN APPLY CONTACT HERBICIDE TO WEEDS ONLY PER MANUFACTURER, MONSANTO 'ROUND-UP' OR APPROVED EQUAL.
- 48. ALL PLANT MATERIAL TO BE PLANTED WITH PLANTING TABLETS ACCORDING TO THE MANUFACTURER'S INSTRUCTION AND AS FOLLOWS: -BALLED & BURLAPPED PLANT MATERIAL USE TWO (2) 21 GRAM TABLETS PER EACH 1/2" CALIPER
- -7 GALLON CONTAINER PLANT MATERIAL, USE THREE (3) 21 GRAM TABLETS PER PLANT -5 GALLON CONTAINER PLANT MATERIAL, USE TWO (2) 21 GRAM TABLETS PER PLANT -3,2, AND 1 GALLON CONTAINER PLANT MATERIAL, USE ONE (1) 21 GRAM TABLETS PER PLANT -PLANTING TABLETS SHALL BE AGRIFORM 20-10-5, PLANTING TABLETS PLUS MINORS STOCK NO. 90026 (21 GRAMS) OR APPROVED EQUAL.
- 49. ALL PLANTING BEDS SHALL HAVE A 3 INCH (3") DEPTH OF SHREDDED HARDWOOD MULCH APPLIED AFTER INSTALLATION OF PLANT MATERIAL. MULCH SHALL BE PEST & DISEASE FREE PLANT MATERIAL AND BE FREE OF TWIGS, LEAVES, STONES, CLAY OR OTHER FOREIGN MATERIAL. CONTRACTOR SHALL SUBMIT SAMPLE OF MULCH TO CONTRACT OFFICER FOR APPROVAL PRIOR TO INSTALLATION.



### PLANT BED EDGING DETAIL

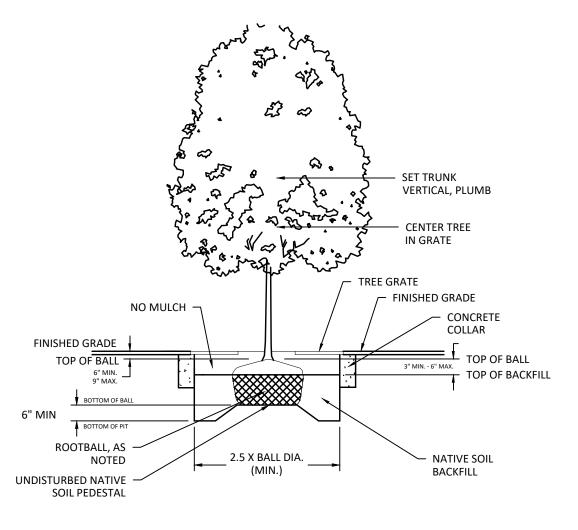


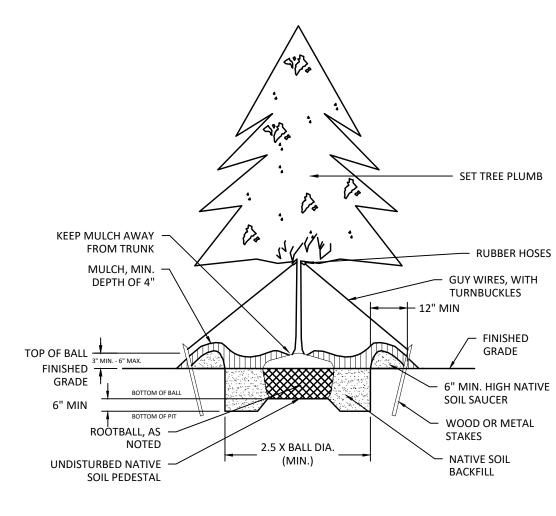




MULTI-STEM TREE PLANTING SCALE: N.T.S



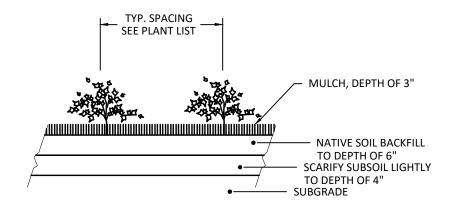




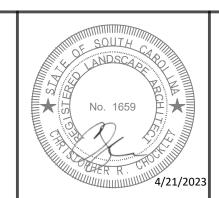
#### SHADE AND UNDERSTORY TREE IN TREE GRATE SCALE: N.T.S.

EVERGREEN TREE PLANTING

SHEET



**GROUNDCOVER & FLOWER PLANTING** 







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DESIGNED MRM					MYRTLE BEACH, SOUTH CAROLINA	
DRAWN MRM						L
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