



ADDENDUM NO. 1

Date: 22 May 2020

Project No.: 1918

Project Name: Tourism Office Renovation

The Bidding Documents are modified as follows:

PART 1.00 DRAWINGS

1.01 SHEET SD-1

- A. Keynote 10 - it is the intent for the Contractor to provide and install (3) 2" conduits from building IT closet, underground to the utility pole at street, and up pole approximately 30'0".

1.02 SHEET SD-2

- A. Remove "NSS" and "NW" from the legend; they are not used.

1.03 SHEET SD-2, SD-11, SD-9

- A. All landscaping area in planters to have all drainage, waterproofing components as detailed on the drawings including clean imported top soil.
- B. All landscaping, irrigation, drip irrigation to be provided and installed by City of LaGrange.

1.04 SHEET SD-4

- A. Concrete Pavers - all concrete pavers in the project to be vehicular grade pavers of 80mm thickness set on 4" compacted aggregate base and 1" sand setting bed (ramps to 4" concrete slab base, and pavers set in sand)

1.05 SHEET SD-4, SD-9, SD-10

- A. Brick allowance to be \$700.00 per 1000 Brick
- B. Mortar to be standard gray mortar; include cost of standard mortar in Base Bid.

1.06 SHEET SD-6

- A. The gas post, lantern, gas piping, and brick base are to be provided and installed by the Contractor. The gas lantern post is to match the Electrical light post in style and color (shorter in height).

1.07 SHEET SD-8

- A. Detail 6/SD-8 - delete all reference to "black concrete" front the project.

1.08 SHEET SD-9

- A. Detail 2/SD-9 - for bidding purposes, assume all raised planter walls will be 4'-8" to 5'-0" above the concrete footing. Exact heights of planter walls will be verified during construction.

1.09 SHEET SD-10

- A. Detail 1/SD-10 - the cap is to be full width cast stone with 3/4" overhang both sides, 4" high (min.) in 36" widths, set in mortar.

1.10 SHEET S-2

- A. Delete all references to wood trusses.

1.11 SHEET A1-3

- A. Two (2) brochure racks will be provided and installed by Owner.

1.12 SHEET A1-3 and RC-1

- A. Refer to Sheet E-2 for exact number and style of each ceiling fan.

1.13 SHEET A2-2

- A. Refer to Finish Legend on the right side of drawing for LVT-1 specifications.

1.14 SHEET A3-4 and A3-5

- A. Replace five (5) lower windows with new windows to match new specified windows. Trim out all around with sill/head/jamb, 2x4 blocking and 3/4" A-C plywood approximately 18" deep. Trim out with 1x3 picture frame trim all around. Paint trim & plywood.

1.15 SHEET A3-9

- A. The red brick on the West elevation and the red brick returns are the only portion of the existing City Council Building to be Painted.

1.16 SHEET A6-3

- A. Detail 1/A6-3 - add the following note to the detail: "All existing roofing and mastic to be removed down to existing tectum roof panels and removed from the site in its entirety.

1.17 SHEET A9-2

- A. Detail 1/A9-2 - omit bollard detail, not used.

1.18 SHEET E-1

- A. See attached revised Sheet E-1 [ADD1-4A dated 22 May 2020] showing electrical legend for phone, data, power, etc.

1.19 SHEET E-2, E-8, and E-11

- A. Provide three (3) Q52 exterior ceiling fans and three (3) MCF64 interior ceiling fans. Refer to schedule on Sheet E-8 and E-11 for exact size and model numbers of fans. Disregard graphic representation of ceiling fans on plan and schedule.

1.20 SHEET E-5, E-6, E-7

Which states

- A. Omit notes on Sheet E-5, E-6, and E-7 "City will purchase all light fixtures for Electrical Contractor to install." All site and building light fixtures including "WA3," "TL," and "C" are to be purchased and installed by the Electrical Contractor.

1.21 SHEET E-8

- A. Hand dryers are shown in toilets on Sheet E-1.

PART 2.00 PROJECT MANUAL

NO ITEMS INCLUDED

PART 3.00 ADDENDA

NO ITEMS INCLUDED

PART 4.00 APPROVED MANUFACTURERS

NO ITEMS INCLUDED

PART 5.00 ATTACHMENTS

5.01 DRAWINGS

- A. Sheet ADD1-1A dated 22 May 2020, revised Sheet SD-2
- B. Sheet ADD1-2A dated 22 May 2020, revised Sheet SD-11
- C. Sheet ADD1-3A dated 22 May 2020, attachment showing electrical data for mechanical equipment
- D. Sheet ADD1-4A dated 22 May 2020, revised Sheet E-1

PART 6.00 GENERAL CLARIFICATIONS

6.01 Interior Wood Trim

- A. All interior wood trim to be "A" grade pine.

6.02 Existing Utilities

- A. Contractor may use existing utilities from the City on site at no cost.

6.03 Permits and Fees

- A. All permits and fees will be paid directly to the Owner by the Owner.

6.04 Residential Appliances & TV's

- A. All residential appliances, and T.V. will be provided by Owner and installed by G.C.
(G.C. To provide a cash Allowance of \$2,000.00 to purchase three large wall mounting brackets for TV's. Installation cost of the brackets and owner Provided T.V.'s to be in the base bid.)

Note: all audio visual equipment purchase and installation by owner.

6.05 Phone/Data

- A. Contractor to provide duplex box and cover with 3/4" conduit to backboard in IT closet; provide pull string. Owner will provide and install and cabling and terminators at both ends.

6.06 Site Benches

- A. All site benches shown on the drawings will be provided and installed by the Owner.

6.07 Liquidated Damages

- A. There are no Liquidated damages associated with this project.

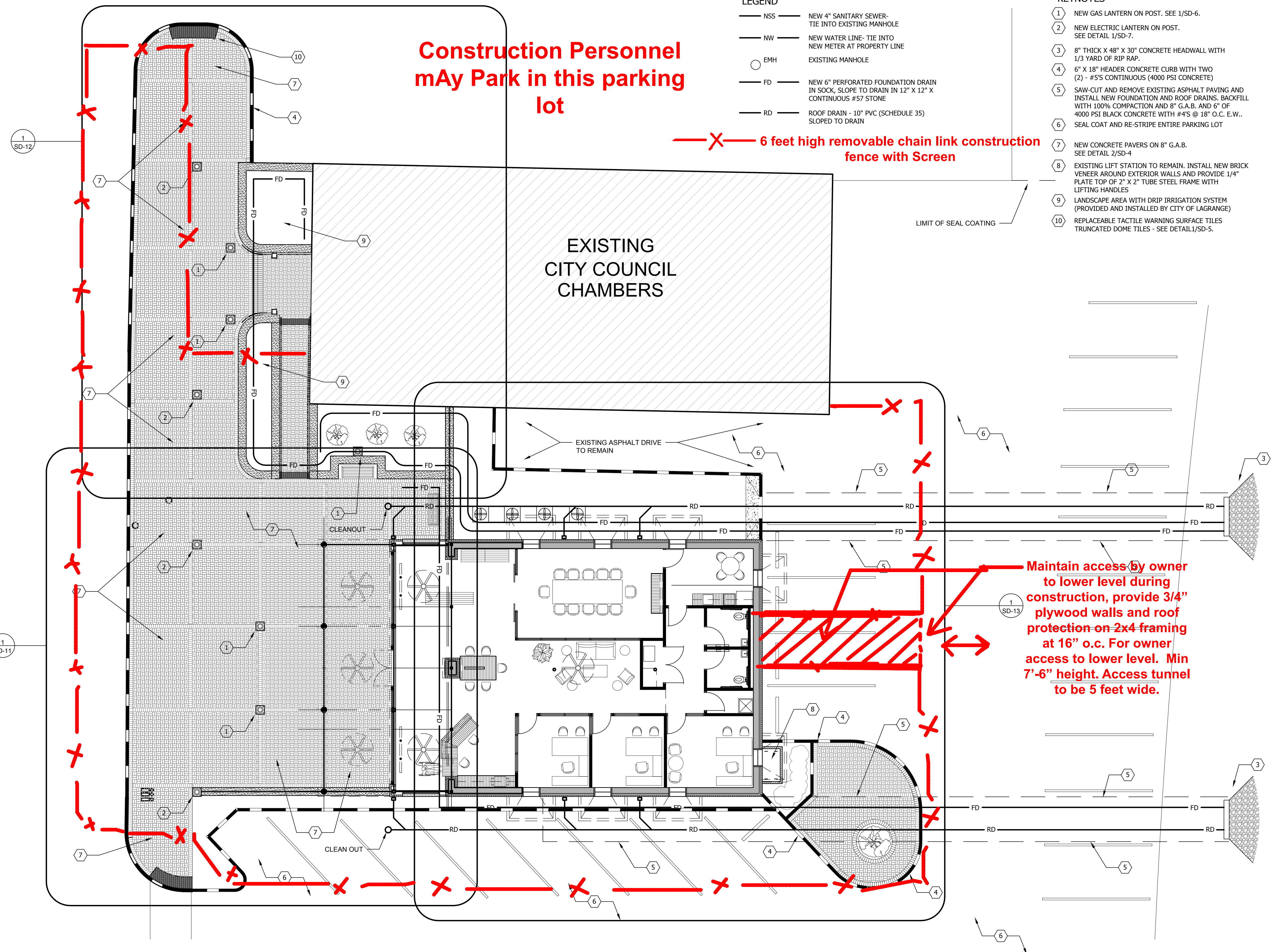
6.08 Bid Bonds

- A. **Standard AIA Bid Bond is acceptable.**

6.09 Interior Paint Remover

- A. Design based on "Peel Away 1 Heavy Duty Paint Remover System" or equal to be used on approximately 250 sf of interior masonry to be left exposed.

END OF ADDENDUM NO. 1



**Construction Personnel
may Park in this parking
lot**

- LEGEND**
- NSS — NEW 4" SANITARY SEWER- TIE INTO EXISTING MANHOLE
 - NW — NEW WATER LINE- TIE INTO NEW METER AT PROPERTY LINE
 - EMH — EXISTING MANHOLE
 - FD — NEW 6" PERFORATED FOUNDATION DRAIN IN SOCK, SLOPE TO DRAIN IN 12" X 12" X CONTINUOUS #57 STONE
 - RD — ROOF DRAIN - 10" PVC (SCHEDULE 35) SLOPED TO DRAIN

- KEYNOTES**
- 1 NEW GAS LANTERN ON POST. SEE 1/SD-6.
 - 2 NEW ELECTRIC LANTERN ON POST. SEE DETAIL 1/SD-7.
 - 3 8" THICK X 48" X 30" CONCRETE HEADWALL WITH 1/3 YARD OF RIP RAP.
 - 4 6" X 18" HEADER CONCRETE CURB WITH TWO (2) - #5'S CONTINUOUS (4000 PSI CONCRETE)
 - 5 SAW-CUT AND REMOVE EXISTING ASPHALT PAVING AND INSTALL NEW FOUNDATION AND ROOF DRAINS. BACKFILL WITH 100% COMPACTION AND 8" G.A.B. AND 6" OF 4000 PSI BLACK CONCRETE WITH #4'S @ 18" O.C. E.W..
 - 6 SEAL COAT AND RE-STRIPPE ENTIRE PARKING LOT
 - 7 NEW CONCRETE PAVERS ON 8" G.A.B. SEE DETAIL 2/SD-4
 - 8 EXISTING LIFT STATION TO REMAIN. INSTALL NEW BRICK VENEER AROUND EXTERIOR WALLS AND PROVIDE 1/4" PLATE TOP OF 2" X 2" TUBE STEEL FRAME WITH LIFTING HANDLES
 - 9 LANDSCAPE AREA WITH DRIP IRRIGATION SYSTEM (PROVIDED AND INSTALLED BY CITY OF LAGRANGE)
 - 10 REPLACEABLE TACTILE WARNING SURFACE TILES TRUNCATED DOME TILES - SEE DETAIL1/SD-5.

—X— 6 feet high removable chain link construction fence with Screen

Maintain access by owner to lower level during construction, provide 3/4" plywood walls and roof protection on 2x4 framing at 16" o.c. For owner access to lower level. Min 7'-6" height. Access tunnel to be 5 feet wide.

EXTEND SEAL COATING AND STRIPING TO ENTIRE PARKING LOT ON THE NORTH SIDE OF CITY HALL.

1 SITE PLAN - PROPOSED Scale: 1/8" = 1'-0"

ARCHITECT'S STAMP

SMITH DESIGN GROUP, INC.
206 WEST HARALSON STREET
LAGRANGE, GEORGIA 30240
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REVISIONS

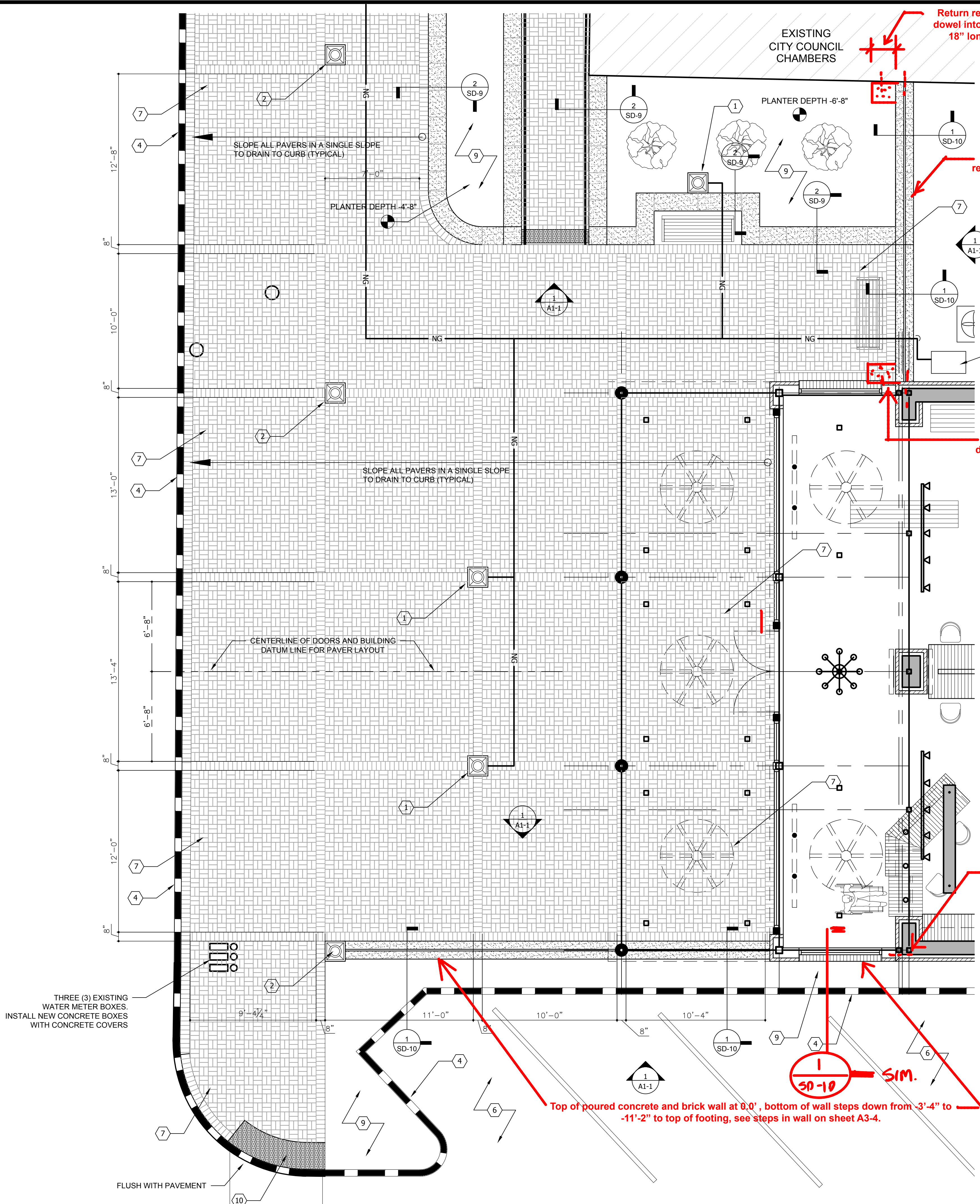
DATE	DESCRIPTION

PROJECT:
TOURISM OFFICE RENOVATION
206 RIDLEY AVENUE
LAGRANGE, GEORGIA

TITLE:
SITE PLAN PROPOSED

MODIFIED DATE:	JOB NO: 1918
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: SD-2

ADD1-1A, dated 5-22-2020



Return retaining wall 30 inches at existing wall, dowel into existing masonry wall with #4 dowels, 18" long at 16" oc vertical in two locations

Top of poured concrete and brick retaining wall at 0.0', bottom of wall at -11'-2" below to top of footing.

Return retaining wall 30 inches at existing wall, dowel into existing masonry wall with #4 dowels, 18" long at 16" oc vertical in two locations

at existing wall, dowel into existing masonry wall with #4 dowels, 18" long at 16" oc vertical

Top of poured concrete and brick wall at 0.0', bottom of wall steps down from -3'-4" to -11'-2" to top of footing, see steps in wall on sheet A3-4.

KEYNOTES

- 1 NEW GAS LANTERN ON POST. SEE 1/SD-6.
- 2 NEW ELECTRIC LANTERN ON POST. SEE DETAIL 1/SD-7.
- 3 8" THICK X 48" X 30" CONCRETE HEADWALL WITH 1/3 YARD OF RIP RAP.
- 4 6" X 18" HEADER CONCRETE CURB WITH TWO (2) - #5'S CONTINUOUS (4000 PSI CONCRETE)
- 5 SAW-CUT AND REMOVE EXISTING ASPHALT PAVING AND INSTALL NEW FOUNDATION AND ROOF DRAINS. BACKFILL WITH 100% COMPACTION AND 8" G.A.B. AND 6" OF 4000 PSI BLACK CONCRETE WITH #4'S @ 18" O.C. E.W..
- 6 SEAL COAT AND RE-STRIPE ENTIRE PARKING LOT
- 7 NEW CONCRETE PAVERS ON 8" G.A.B. SEE DETAIL 2/SD-4
- 8 EXISTING LIFT STATION TO REMAIN. INSTALL NEW BRICK VENEER AROUND EXTERIOR WALLS AND PROVIDE 1/4" PLATE TOP OF 2" X 2" TUBE STEEL FRAME WITH LIFTING HANDLES
- 9 LANDSCAPE AREA WITH DRIP IRRIGATION SYSTEM (PROVIDED AND INSTALLED BY CITY OF LAGRANGE)
- 10 REPLACEABLE TACTILE WARNING SURFACE TILES TRUNCATED DOME TILES - SEE DETAIL1/SD-5.

LEGEND

- NG — NEW GAS PIPING AND REGULATOR PROVIDED AND INSTALLED BY CITY OF LAGRANGE
- ▬ NEW 6" X 18" HEADER CONCRETE CURB SEE KEYNOTE "4" THIS SHEET

SEE SHEET D-1 FOR KNOWN UNDERGROUND UTILITIES. FIELD VERIFY BY HAND DIGGING ALL FOOTINGS AND TRENCHES.

NOTE - PROVIDE IRRIGATION DRIP FOR ALL LANDSCAPING TO BE PROVIDED AND INSTALLED BY CITY OF LAGRANGE.

NOTE:
ALL GAS LINES TO BE PROVIDED AND INSTALLED BY CITY OF LAGRANGE. G.C. TO PROVIDE 1 1/2" SLEEVE INSIDE CONCRETE, MASONRY, AND POST UP TO GAS FIXTURE.

811 CALL BEFORE YOU DIG
VERIFY ALL UTILITIES WITH OWNER

ADD1-2A, dated 5-22-2020

1 PARTIAL SITE PLAN - PROPOSED Scale: 1/4" = 1'-0"



SMITH DESIGN GROUP, INC.
206 WEST HARALSON STREET
LAGRANGE, GEORGIA 30240
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www.SDGarch.net

REVISIONS	
Δ	DESCRIPTION

PROJECT:
TOURISM OFFICE RENOVATION
206 RIDLEY AVENUE
LAGRANGE, GEORGIA

TITLE:
PARTIAL SITE PLAN PROPOSED

MODIFIED DATE:	JOB NO: 1918
ISSUED DATE: 24 APR 2020	SHEET: SD-11

Electrical Data on RTU's FOR 206 Ridley (all single phase)

ELECTRICAL DATA

48V/G

UNIT	NOMINAL	VOLTAGE RANGE		COMPRESSOR		OFM	IFM	IDM	POWER SUPPLY	
		MIN	MAX	RLA	LRA	FLA	FLA	FLA	MCA	MOCP
2404030 2406030	RTU-2 (AVAILABLE IN SINGLE PHASE ONLY) 208/230-1-60	197	253	11.7	58.3	0.7	4.1	1.5	19.4	30
3004030 3006030	208/230-1-60	197	253	13.1	73.0	1.2	4.1	1.5	21.7	30
3004050 3006050	208/230-3-60	197	253	8.7	58.0	1.2	4.1	.21	16.2	20
3606030 3609030	RTU-3 (SINGLE PHASE) 208/230-1-60	197	253	15.3	83.0	1.2	6.0	1.5	26.3	40
3609050										
3606060 3609060	460-3-60	414	506	5.7	38.0	0.53	3.2	.65 .33	10.8	15
4206030 4209030	208/230-1-60	197	253	17.9	96.0	1.2	6.0	1.5	29.6	45
4206050 4209050	208/230-3-60	197	253	14.2	88.0	1.2	6.0	.21	25.0	35
4206060 4209060	460-3-60	414	506	6.2	44.0	0.53	3.2	.65 .33	11.5	15
4809030 4811530 4813030	RTU-1 (SINGLE PHASE) 208/230-1-60	197	253	21.2	104.0	1.2	7.6	1.5	35.3	50
4811550 4813050								.50		
4809060 4811560 4813060	460-3-60	414	506	6.4	41.0	0.53	4.0	.33 .65 .30	12.5	15
6009030 6011530 6013030	208/230-1-60	197	253	28.8	152.9	1.2	7.6	1.5	44.8	60
6009050 6011550 6013050	208/230-3-60	197	253	16.2	110.0	1.2	7.6	.21 .50 .50	29.1	40
6009060 6011560 6013060	460-3-60	414	506	7.6	52.0	.053	4.0	.33 .65 .30	14.0	20

ADD1-3A, dated 5-22-2020

LEGEND

- WP EXTERIOR WEATHERPROOF OUTLET
- 110V DUPLEX OUTLET
- 110V QUAD OUTLET
- VOICE / DATA DROP
- JUNCTION BOX FOR POWER
- POWER IN FLOOR (VERIFY WITH OWNER)
- DATA IN FLOOR (VERIFY WITH OWNER)
- WEATHERPROOF DISCONNECT
- EXHAUST FAN TO OUTSIDE
- CABLE TV OUTLET
- WALL MOUNTED SMOKE DETECTOR (Hard Wired)

Contractor to provide duplex outlet and 3/4" conduit homerun back to IT Closet, provide pull string and label, cabling and terminations by owner

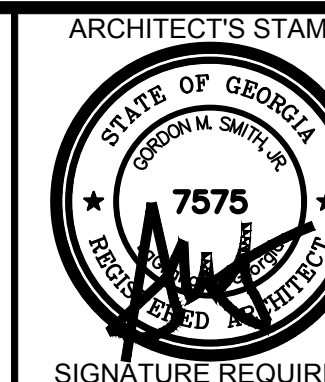
Contractor to provide duplex outlet and 3/4" conduit homerun back to IT Closet, provide pull string and label, cabling and terminations by owner

NOTE:
ELECTRICAL SUBCONTRACTOR IS TO DESIGN / BID / BUILD NEW UNDERGROUND SERVICE TO BOTH FLOORS OF EXISTING BUILDING AND SITE ELECTRICAL. EXISTING FIRST FLOOR TO REMAIN IN OPERATION DURING CONSTRUCTION.

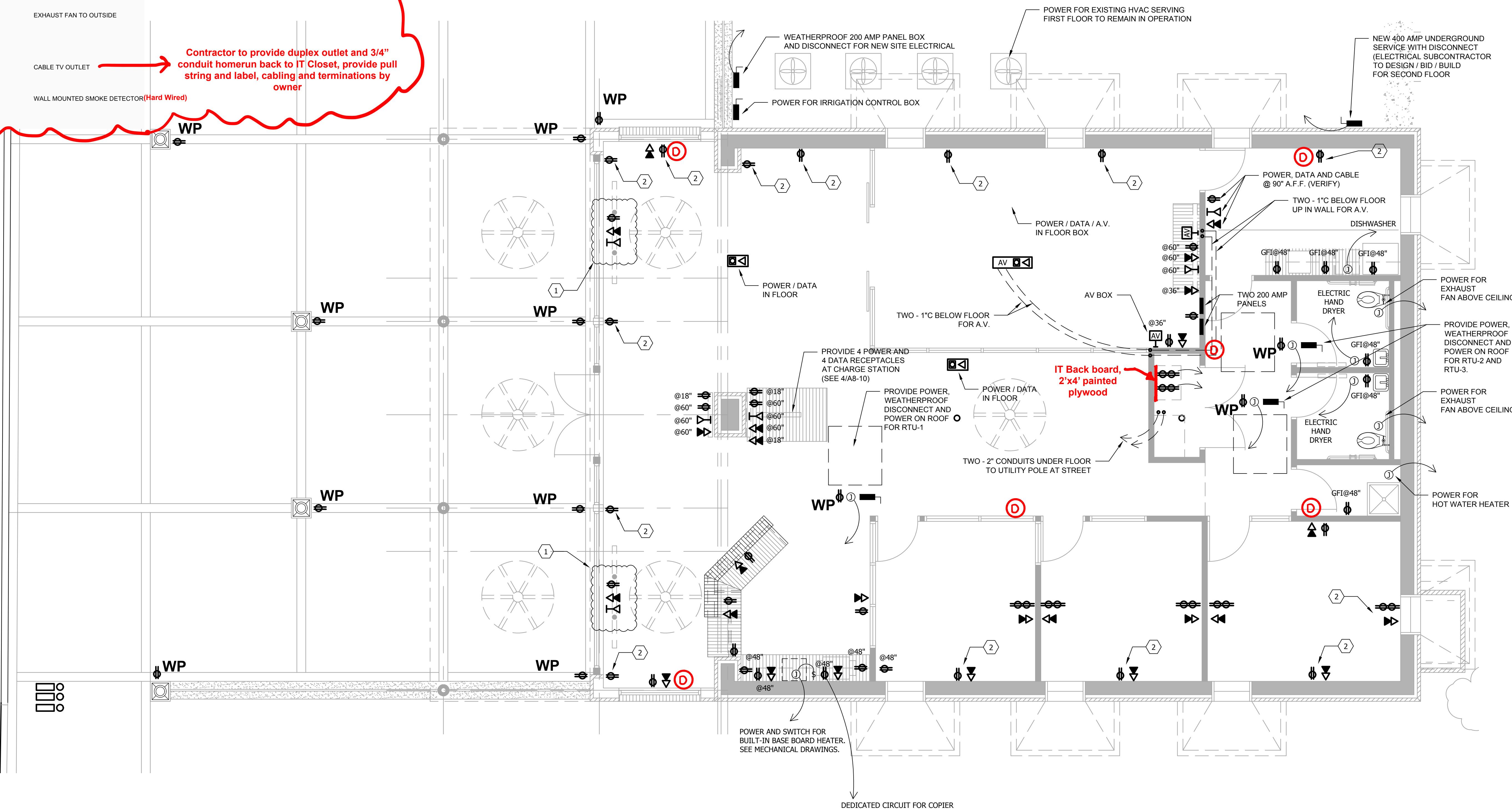
ADDED AS PART OF ADDENDUM NO. 1

KEYNOTES

- 1 LOCATE POWER / DATA / CABLE IN CONCEALED IN CEILING ABOVE FOR CEILING HUNG 100" T.V.
- 2 ELECTRICAL DEVICES INSTALLED ON EXTERIOR WALLS TO BE INSTALLED HORIZONTALLY INSIDE CUSTOM WOOD BASE. SEE DETAIL 1/A8-1.



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REVISIONS

DATE	DESCRIPTION

PROJECT:
TOURISM OFFICE RENOVATION
 206 RIDLEY AVENUE
 LAGRANGE, GEORGIA

TITLE:
UPPER LEVEL ELECTRIC PLAN

MODIFIED DATE:	JOB NO: 1918
ISSUED DATE: FOR PRICING 24 APR 2020	SHEET: E-1

1 UPPER LEVEL ELECTRIC PLAN
 Scale: 1/4" = 1'-0"

ADD1- 4A, dated 5-22-2020

