



ADDENDUM # 1 SOLICITATION RFP # 2019-17

Calhoun Street Bulkhead

This addendum is being issued to provide question and answers, and provide a tree topo drawing and a revised bid sheet.

All contents of this addendum shall be incorporated into the solicitation documents and the ensuing contract with the awarded Contractor. It is the Contractor's responsibility to ensure their receipt of all addenda, and to clearly acknowledge all addenda within their initial bid response.

Acknowledgement may be confirmed by inclusion of a signed copy of this addendum with the initial bid response. Failure of a Contractor to acknowledge each addendum may prevent the bid from being considered for award and deem the Contractor as non-responsive.

Addendum, revised forms and documents attached hereto shall not be altered and attached to bid submittals in their original format.

The timeframe for further questions or request for clarifications, submitted by potential vendors for this solicitation, has expired.

QUESTION AND ANSWER

1. Please indicate if the four (4) trees pointed out during the pre-bid must be saved. The trees will become a detriment to the new wall and should be removed to guarantee long-term structural stability of the new wall. **See attached sketch indicating the trees to be preserved as an Alternate. The base bid should be presented as per the permits which calls for the continuous bulkhead with the trees removed. An Alternate bid should be presented preserving three (3) trees (LO 15 13, LO 17 12 & LO 15).**
2. Please indicate if the Town of Bluffton has invited an arborist to evaluate the existing trees. If the Town's desire is to save the trees, then an arborist should provide the Town with recommendations on how to save the trees. **An arborist has inspected the trees to be preserved and will provide a report the week of 2/4/19. The results will be posted on the Town website in a separate addendum prior to the bid opening date.**
3. Will the Town of Bluffton require all of the existing asphalt and concrete be removed from the existing river bank? If so, please provide a quantity for a bid allowance. **As per the scope of work the concrete/asphalt/organic debris needs to be removed. The pre-bid meeting attendance was required to show all those present the areas we intend to clean-up so that they could determine the quantities.**

4. Will vibration monitoring be required? If so, please provide a specification or objective. **Vibration monitoring will be required during the pile driving activities. A third-party consultant should be used and pre-approved by the Town; as for specs, we recommend InstanTel monitoring equipment or equivalent is used. An allowance of \$5,000.00 for five days of monitoring is recommended.**
5. Will the new Calhoun Street dock be constructed before, during, or after the wall? **The Calhoun Street dock construction is experiencing some delays and we contemplate to have the bulkhead built before the dock construction starts.**
6. What is the projected or intended construction start date for the wall? **The projected contract execution date for the bulkhead is March 2019 to allow engineering design and approval to begin. Construction is planned approximately 60 days after the contract is executed.**
7. Will we be granted access on the Wright property to complete the return wing walls and backfilling operation? Heavy Equipment would be required. **Yes, limited areas of the Wright property will be accessible for use during construction but should be limited to the smallest area possible. Details of use and restoration requirements will be coordinated with the selected firm.**
8. What is the wall tie-in detail for the property to the East side of the new proposed wall? **There is no wall tie-in detail at this moment. This shall be part of recommendations provided in the design/engineering stage.**
9. At the pre-bid it was stated that part of the contract is to protect and work around four existing trees on the bank. Has the Town confirmed there are no conflicts (either vertically or horizontally) with the permitted wall location and the trees? If there are conflicts, what

direction can the Town give the bidders as far as anticipated resolution so we can account for this in the bid? There are definitely conflicts with the proposed bulkhead and trees suggested to be preserved. The trees would have to be removed if a continuous bulkhead is installed as required in the base bid. An alternate bid item is provided in the RFP that suggests that the bulkhead stop on either side of the two tree cluster areas, tie back into the slope with wing walls and creating a tree preservation zone on the seaward side of the embankment. At these tree preservation areas, rip rap and filter fabric would be required to infill between the adjacent wing walls to create a continuous shoreline protection structure between bulkhead sections. It is the Town's understanding that it is not uncommon that after inspection, OCRM may permit this type of modification as a field change in order to accommodate specimen trees. If the Alternate is selected, then engineering/permitting review costs should be included in the Alternate bid item.

10. Can the Town provide a plan drawing (not written description) showing the limits of disturbance which the contractor must contain the construction? Yes, see drawing attached to this addendum.
11. Will the Town provide direction to the contractor from a certified arborist as to how to best maintain the short term and long-term health of the trees as a result of the proposed construction? Will the Town add a contingency line item on the bid form for this or can the contractor consider this a non-factor and the responsibility of the Town? The arborist report will be provided. The preconstruction and post construction tree preservation measures will be provided by the Town under separate contract with a tree care company. However, the contractor will be required to abide by recommendations listed in the report related to the maximum allowable tree pruning, backfilling, and limitations on excavation of native soils on the landward side of the trees to remain.
12. Please provide any "non-working" hours, days, weeks the contractor is precluded from working. Working hours are 7 am-5 pm Monday-Friday and no work on weekends.
13. We understand that the proposal will require us to provide our anticipated duration of construction. However, can the Town provide anticipated begin and end dates the contractor should be aware of? The projected start date for the bulkhead is March 2019; 60 days for design and approval with construction start date around May 2019. A Construction schedule is to be submitted with the bid and will be part of the evaluation process.
14. Will trimming of the trees be allowed? This will be considered as long as it is pre-approved by the town and does not exceed 30% of the trees canopy.
15. Will the plans for the dock be made available to the team so the projects may be connected? No. Plans for the dock will not be available.
16. Will the palm trees along the bank be allowed to be moved during construction to allow for better access? they would be replanted after construction is complete. Yes. Two palm trees can be temporarily removed and put back for access purposes. If requested, the Contractor shall pay for the cost for removal and transplanted of these trees and include the cost in their base bid. Restoration of disturbed areas must include re-grassing.

- 17. Are there liquidated damaged associated with going past the end of construction date? **Yes, \$500 per day.**
- 18. Is there existing Geo-technical data of the bulkhead area? **No, there is a line item for geotechnical testing in the bid tab.**
- 19. Is there a survey/tree topo that the town can provide? **Yes, the town has a topographical survey that will be included in this addendum.**
- 20. Will the town consider all steel bulkhead or all rip-rap along critical line? **No. The bulkhead material should be wood to blend into the bulkheads on adjacent properties.**

In addition to Q&A, there is one new drawing, RFP 2019-17 Tree Topo, and an updated bid sheet included with this addendum.

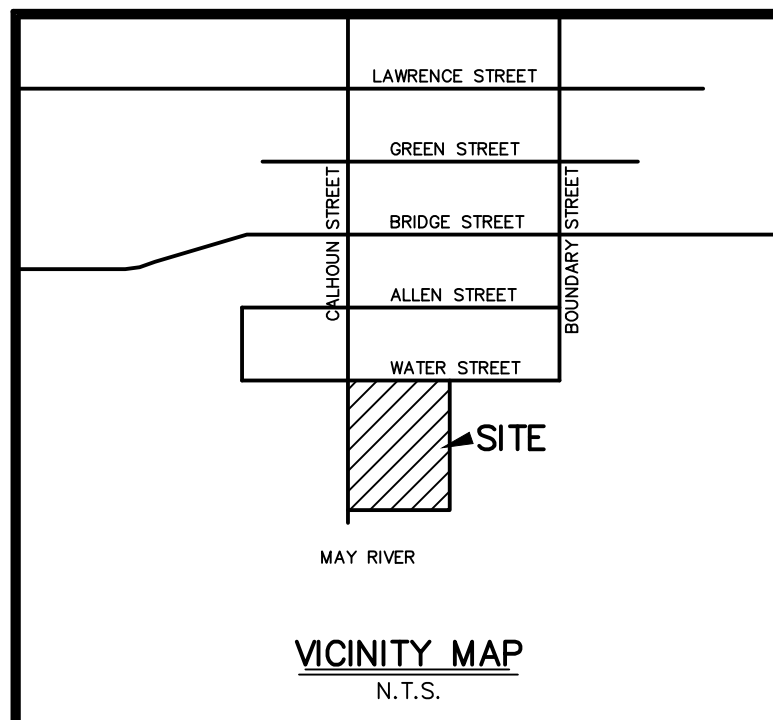
All prospective Respondents are reminded and hereby instructed not to contact any member of the Town of Bluffton Council, Town Manager or Town of Bluffton staff members, other than the noted contact person OR the Town's Purchasing Administrator regarding this IFB or their response at any time during the solicitation and award process. Any such contact shall be cause for rejection of your submittal.

**ALL OTHER SPECIFICATIONS, TERMS AND CONDITIONS REMAIN UNCHANGED
RECEIPT OF THIS ADDENDMU IS HEREBY ACKNOWLEDGED**

NAME OF BUSINESS

BY: _____
SIGNATURE

NAME AND TITLE



LINE TABLE		
LINE	LENGTH	BEARING
L1	12.40'	S65°15'04"E
L2	39.76'	S58°42'05"E
L3	52.22'	S74°50'50"E
L4	30.23'	S88°07'40"E
L5	30.85'	S59°39'20"E
L6	26.90'	S79°54'53"E
L7	21.04'	S32°22'17"E

- LEGEND:
- TREE SIZES ARE INCHES IN DIAMETER
- SPOT ELEVATION
 - CONTOUR
 - CONC. O. CONCRETE MONUMENT, OLD (FOUND)
 - I.O. IRON REBAR OR PIPE, OLD (FOUND)
 - I.N. IRON REBAR, NEW (SET)
 - CHY CEDAR
 - CHS CHERRY
 - DW CHESTNUT
 - HB DOGWOOD
 - LA HACK BERRY
 - LO LAUREL OAK
 - MAG LIVE OAK
 - PLM MAGNOLIA
 - RB PALMETTO
 - AC RED BUD
 - A/C ACRE
 - CO AIR CONDITIONER
 - DHEC DEPARTMENT OF HEALTH & ENVIRONMENTAL CONTROL
 - IE INVERT ELEVATION
 - NTS NOT TO SCALE
 - N/F NOW OR FORMERLY
 - OCRM OCEAN & COASTAL RESOURCE MANAGEMENT
 - PP POWER POLE
 - R/W RIGHT OF WAY
 - SSMH SANITARY SEWER MANHOLE
 - TM TEMPORARY BENCH MARK
 - WV WATER VALVE
 - PVC POLYVINYL CHLORIDE
 - FENCE LINE
 - DHP OVERHEAD POWERLINE
 - SS SANITARY SEWER LINE

- REFERENCE PLAT:
- 1) SOUTH CAROLINA, BEAUFORT COUNTY MAP OF BLUFFTON, CONTAINING 380 ACRES SURVEYED, DATED: OCTOBER 1913, RECORDED: P.B. 4, PG. 8.
 - 2) A BOUNDARY PLAT OF 1.5± AC., WATER STREET, FORMERLY KNOWN AS THE JOHN KIRK LOT, DATED: 07/25/1989, BY: TERRY G. HATCHELL, S.C.R.L.S. 11059, RECORDED: P.B. 36, PG. 166, 08/03/1989.

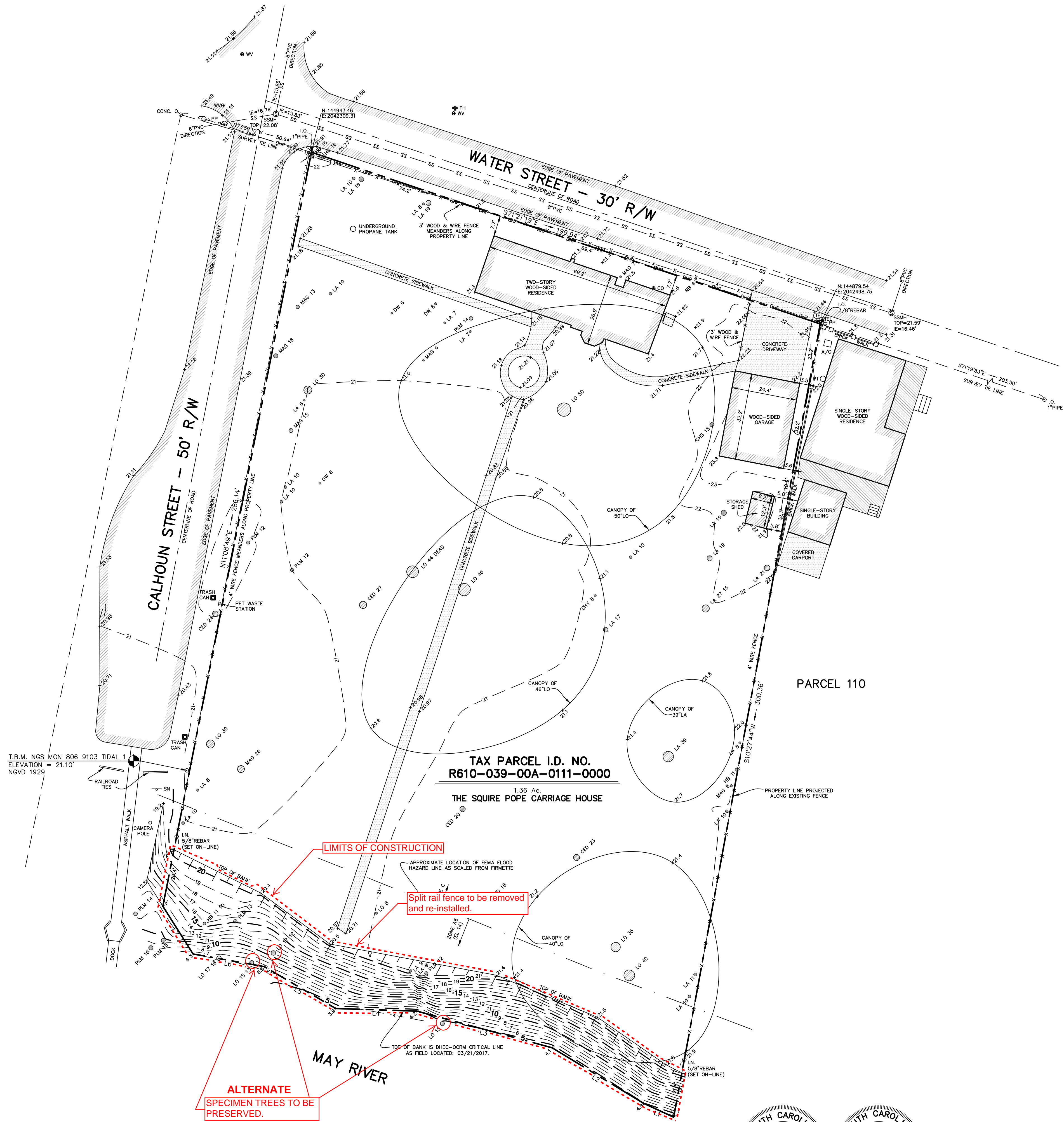
SPECIAL NOTE:

THE AREA SHOWN ON THIS PLAT IS A REPRESENTATION OF DEPARTMENT PERMIT AUTHORITY ON THE SUBJECT PROPERTY. CRITICAL AREAS, BY THEIR NATURE, ARE DYNAMIC AND SUBJECT TO CHANGE OVER TIME. BY DELINEATING THE PERMIT AUTHORITY OF THE DEPARTMENT, THE DEPARTMENT IN NO WAY WAIVES ITS RIGHT TO ASSERT PERMIT JURISDICTION AT ANY TIME IN ANY CRITICAL AREA ON THE SUBJECT PROPERTY, WHETHER SHOWN HEREIN OR NOT.

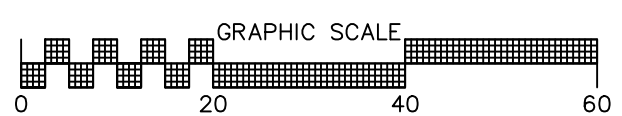
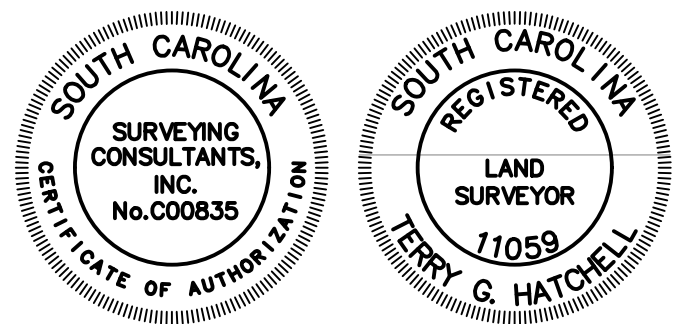
SIGNATURE _____ DATE _____

THE CRITICAL LINE SHOWN ON THIS PLAT IS VALID FOR FIVE YEARS FROM THE DATE OF THIS SIGNATURE, SUBJECT TO THE CAUTIONARY LANGUAGE ABOVE.

- NOTES
- 1) I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO OBVIOUS, APPARENT OR VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.
 - 2) AS OF THE DATE OF THIS SURVEY THIS PROPERTY IS LOCATED IN ZONES C & AB. A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY H.U.D. PANEL 0001-A, COMMUNITY NO. 450251, MAP DATED 12/18/1986, BASE ELEVATION N/A & 14.0', RESPECTIVELY. FLOOD HAZARD ZONE AND BASE ELEVATION SHOULD BE VERIFIED BY PROPER TOWN OR COUNTY BUILDING INSPECTIONS DEPARTMENT.
 - 3) BUILDING SETBACKS WHICH EXIST FOR THIS LOT, SHOWN OR NOT SHOWN ON THIS SURVEY, ARE EXPLAINED IN THE COVENANTS. EASEMENTS & SETBACKS SHOWN SHOULD BE VERIFIED THRU THE APPROPRIATE ARCHITECTURAL REVIEW BOARD OR BUILDING AGENCY.
 - 4) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
 - 5) NO SUBSURFACE OR ENVIRONMENTAL INVESTIGATION OR WETLAND SURVEYS WERE PERFORMED FOR THIS PLAT. THEREFORE THIS PLAT DOES NOT REFLECT THE EXISTENCE OR NONEXISTENCE OF WETLANDS, CONTAMINATION, OR OTHER CONDITIONS WHICH MAY AFFECT THIS PROPERTY.
 - 6) SURVEYING CONSULTANTS CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREON AS OF THE DATE OF SURVEY. THIS DOCUMENT IS PROVIDED AS A BASE MAP FOR OTHERS. INFORMATION ADDED AFTER THE DATE OF SURVEY IS NOT THE RESPONSIBILITY OF SURVEYING CONSULTANTS.
 - 7) THIS SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE, THEREFORE THERE MAY BE OTHER EASEMENTS, RIGHT-OF-WAY, SETBACK LINES, AGREEMENTS, RESERVATIONS, RESTRICTIONS, OR OTHER SIMILAR MATTERS OF PUBLIC RECORD, NOT DEPICTED ON THIS SURVEY.



PREPARED FOR: BEAUFORT COUNTY & THE TOWN OF BLUFFTON
 ADDRESS: #111 CALHOUN STREET
 TAX PARCEL I.D. NO. R610-039-00A-0111-0000



BOUNDARY, ASBUILT
 TREE & TOPOGRAPHIC
 SURVEY OF THE
SQUIRE POPE CARRIAGE HOUSE
#111 CALHOUN STREET
 THE TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA
 SCALE: 1" = 20' DATE: 04/12/2017 JOB NO: SC170047

SC SURVEYING CONSULTANTS
 17 Sherington Drive, Suite C, Bluffton, SC 29910
 SC Telephone: (843) 815-3304 FAX: (843) 815-3305
 GA Telephone: (912) 828-2775
 www.SurveyingConsultants.com
 Email: SC@SurveyingConsultants.com

BID PROPOSAL

Client: Town of Bluffton

Estimated Quantities

Date: January 2019

Proj Name: Wright Family Park Bulkhead

BASE BID

GENERAL CONDITIONS					
Item	Description	Quantity	Units	Unit Price	Total
1	Mobilization / Management/Erosion control	1	LS		
2	Bonds and Insurances	1	LS		
3	Layout and Record Drawings	1	LS		
SUB-TOTAL, GENERAL CONDITIONS					

DESIGN AND CONSTRUCTION (AS PERMITTED)					
Item	Description	Quantity	Units	Unit Price	Total
1	Bulkhead Engineering - Design-Permitting Fees	1	LS		
2	Geotechnical testing and Fees	1	LS		
3	Concrete Removal and Disposal		TON		
4	Landscape and Mulch Debris Removal and Disposal		TON		
5	Imported Backfill and Placement		CY		
6	Tree removal (Base bid only)		EA		
7	Rough and Fine Grading		LS		
8	Bulkhead Construction (See OCRM permit for specs)		LF		
9	Piles cost and installation		EA		
10	Vibration Monitoring		LS		
SUB-TOTAL, DESIGN AND CONSTRUCTION					

BASE BID TOTAL

TREE PRESERVATION ALTERNATE (WINGWALLS AND RIP-RAP)					
Item	Description	Quantity	Units	Unit Price	Total
1	Wing wall construction to height of bulkhead		LF		
2	Rip-Rap w/ filter fabric		TON		
3					

ALTERNATE TOTAL