



ADDENDUM NO. 4

Issue Date: January 26, 2024

Project Name: Sandridge Golf Club New Clubhouse

ITB Number: 2024029

ITB Opening Date: **February 1, 2024**

This addendum is being released to provide modifications to the bid documents.

The information and documents contained in this addendum are hereby incorporated in the invitation to bid. **This addendum must be acknowledged where indicated on the Bid form, or the bid may be declared non-responsive.**

Description

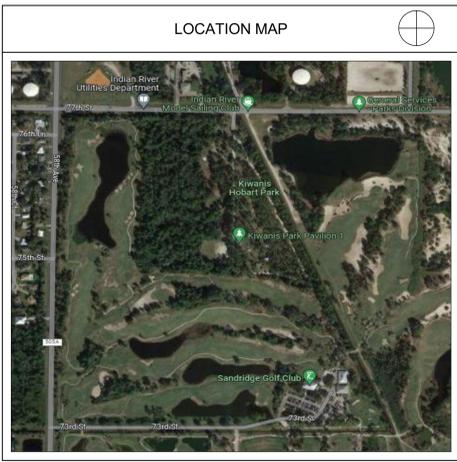
Kitchen equipment will now be Owner Furnished, Contractor Installed

Modifications

REPLACE A001 NOTICE TO BIDDERS with attached A001 Symbols & Abbreviations

Attachments

A001 Symbols & Abbreviations



PROJECT TEAM	
ARCHITECTURE sparcdesign 3021 JUPITER PARK CIRCLE suite 102 JUPIER, FL 33458 PHONE: 561-203-7539 www.sparcdesign.us	GENERAL CONTRACTOR TBD
MECHANICAL/PLUMBING/ELECTRICAL RGD CONSULTING ENGINEERS 2151 ALT AIA #2000 JUPITER, FL 33477 PHONE: 561-743-0165 www.rgdengineers.com	STRUCTURAL ENGINEER ONMSJ 1655 PALM BEACH LAKES BLVD., SUITE 204 WEST PALM BEACH, FL 33401 PHONE: 561-835-9994 FAX: 561-835-8255 www.onmj.net
INTERIOR DESIGN PEACOCK + LEWIS 1295 U. S. HIGHWAY ONE, suite 208 NORTH PALM BEACH, FL 33408 PHONE: 561-626-9794 FAX: 561-626-9719 www.peacockandlewis.com	FOOD SERVICE FOOD SERVICE DESIGN STUDIO, FSDS 1000 7TH NORTH STREET, SUITE B20 LIVERPOOL, NY 13088 PHONE: 518-566-4972 www.teamfsds.com
CIVIL ENGINEER MASTELLER & MOLIER, INC. 1655 27TH STREET suite 2 VERO BEACH, FL 32960 PHONE: 772-567-5300 www.mastellermolier.com	LANDSCAPE ARCHITECTURE LUCIDO & ASSOCIATES 701 SE OCEAN BLVD STUART, FL 34994 PHONE: 772-221-2100 www.lucidodesign.com

NOTICE TO BIDDERS	
REFER TO CONSTRUCTION DOCUMENTS BY OTHERS FOR THE FOLLOWING WORK WHICH IS OWNER FURNISHED, OWNER INSTALLED. INCLUDED IN THE BID SET FOR COORDINATION.	
1. PROSHOP DESIGN	3. SECURITY
2. AUDIO VISUAL DESIGN	4. PUTT-VIEW (PROSHOP FIXTURE)
NOTICE TO BIDDERS	
REFER TO CONSTRUCTION DOCUMENTS BY OTHERS FOR THE FOLLOWING WORK WHICH IS NOT PART OF THE sparcdesign CONSTRUCTION DOCUMENT PACKAGE BUT IS PART OF THE OVERALL CONSTRUCTION CONTRACT:	
1. SURVEY	
2. SUB-SURFACE INVESTIGATION	
NOTICE TO BIDDERS	
BIDDERS SHALL PROVIDE THE FOLLOWING WHICH IS NOT PART OF THE sparcdesign CONSTRUCTION DOCUMENTS PACKAGE BUT IS PART OF THE OVERALL CONSTRUCTION CONTRACT.	
1. LOW VOLTAGE WIRING	
2.	
COMPLETENESS OF BID	
1. THE CONTRACTOR IS TO ASSUME THE CONTRACT IS COMPLETE AS TO ALL NECESSARY PARTS AND SHALL BID ACCORDINGLY. THE CONTRACTOR SHALL SUPPLY AND INSTALL ALL NECESSARY DEVICES AND EQUIPMENT TO ENSURE A SAFE AND WORKABLE SYSTEM. OMISSIONS FROM THE PLANS AND SPECIFICATIONS OF EQUIPMENT, DEVICE, ETC. REQUIRED BY APPLICABLE CODES AND STANDARDS, SHALL NOT RELIEVE THE CONTRACTOR OF ANY RESPONSIBILITY TO FURNISH AND INSTALL SAME AT NO ADDITIONAL COST TO THE OWNER SHOULD ANY OMISSION BE DISCOVERED IN THE PLANS, IT MUST BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT IN A TIMELY MANNER PRIOR TO THE START OF ANY WORK. SUCH MODIFICATION SHALL BE MADE BY A LETTER DESCRIBING FULLY SUCH OMISSION.	
2. ALL WORK, WHETHER SHOWN OR IMPLIED, UNLESS SPECIFICALLY QUESTIONED, SHALL BE CONSIDERED FULLY UNDERSTOOD IN ALL RESPECTS BY THE GENERAL CONTRACTOR, AND THEY WILL BE RESPONSIBLE FOR ANY MISINTERPRETATIONS OR CONSEQUENCES THEREOF FOR ALL WORK ON ALL DRAWINGS.	
3. THE DRAWINGS AND SPECIFICATIONS ARE DESIGN DRAWINGS AND ARE GENERALLY DIAGRAMATIC. THEY DO NOT SHOW EVERY CONDITION OR COMPONENT WHICH MAY BE REQUIRED IN THE CONTRACT WORK FOR INSTALLATION IN THE SPACE ALLOTTED. THE CONTRACTOR SHALL FOLLOW THE DRAWINGS AS CLOSELY AS PRACTICAL AND HE SHALL INSTALL ADDITIONAL MATERIALS AND SYSTEMS BASED UPON MEASUREMENTS TAKEN AT THE BUILDING, AS MAY BE REQUIRED FOR INSTALLATION OF THE WORK. CHANGES FROM THESE DRAWINGS REQUIRED TO MAKE THIS WORK CONFORM TO THE BUILDING CONSTRUCTION WORK OF OTHER TRADES SHALL BE MADE BY THIS CONTRACTOR WITHOUT ADDITIONAL COST TO THE OWNER, BUT ONLY WITH THE PRIOR APPROVAL OF THE ARCHITECT/ENGINEER. ALL MAJOR CHANGES SHALL BE SHOWN ON SHOP DRAWINGS TO BE SUBMITTED BEFORE THE CHANGES ARE MADE.	
4. THE CONTRACTOR SHALL EXAMINE ALL DRAWINGS AND ALL SECTIONS OF THE SPECIFICATIONS AND SHALL BE RESPONSIBLE FOR ASCERTAINING TO WHAT EXTENT OTHER DRAWINGS AND SECTIONS AFFECT THE WORK. EACH SUB TRADE WILL BE RESPONSIBLE FOR REVIEWING THE ENTIRE SET OF DRAWINGS AND NOTING THEIR WORK AS APPLICABLE. ALL WORK INDICATED OR INFERRED ON THE DRAWINGS AND/OR SPECIFICATIONS WILL BE DEEMED AND INCLUDED IN ALL CONTRACTOR'S COST.	
5. NO MATERIAL SUBSTITUTION SHALL BE MADE. THE ARCHITECT WILL CONSIDER MATERIAL CHANGES REQUESTS ON AN INDIVIDUAL BASIS. CONTRACTOR MUST SUBMIT SAMPLES AND CUT SHEETS, WITH SPECIFICATIONS FOR WRITTEN APPROVAL BY THE ARCHITECT PRIOR TO THE START OF ANY WORK.	
6. IN CASE OF A DISAGREEMENT BETWEEN DRAWINGS AND SPECIFICATIONS, WITHIN EITHER DOCUMENT ITSELF, BETTER QUALITY OR GREATER QUANTITY OF WORK WILL BE BASIS OF CONTRACT.	

ABBREVIATIONS

A	AC A.D. ADJ. A.F.F. AGG. ALUM. A.D.R. A.P. APPROX. ARCH. ASPH. A.C.T. A.C.P.	ACOUSTICAL ADJACENT ADJACENT ADJACENT ADJACENT ALUMINUM ACCESS DOOR ACCESS PANEL APPROXIMATELY ARCHITECTURAL/ARCHITECT ASPHALT ACOUSTICAL CEILING TILE ACOUSTICAL CEILING PANEL
B	BD BLUM. B.L. BLDG. BLK. BLKG. BM B.O. BRG. BSMT. B.U.R.	BOARD BITUMINOUS BRICK LEDGE BUILDING BLOCK BLOCKING BRM BOTTOM OF BEARING BASEMENT BUILT UP ROOFING
C	C CA CAB(S) CA.T. CA.TV. CEN. CFCI	CAMERA CARPET CABINET(S) CABLE TILE CABLE TELEVISION CEMENT CONTRACTOR FURNISHED, CONTRACTOR INSTALLED
C.G.	C.G. C.J. CLG. C.L.O. CL.R. C.M.U. COL. CONC. CONN. CONST. CONT. CONTR. CORR. C.T. C.W.	CORNER GUARD CONTROL JOINT CENTER LINE CEILING CLOSET CLEAR CONCRETE MASONRY UNIT COLUMN CONCRETE CONNECTION CONSTRUCTION CONTINUOUS CONTRACTOR CORRIDOR CERAMIC TILE CASEWORK
D	DBL DEG. DET. D.F. DIA. DIAG. DIFF. DIM. DISP. DN. DR. DS. D.W. DRAWING(S) DWR.	DEEP DOUBLE DEGREE DETAIL DRINKING FOUNTAIN DIAMETER DIAGONAL DIFFUSER DIMENSION DISPENSER DOWN DOOR DOWNSPOUT DRAIN TILE DRAWING(S) DRAWER
E	E EA E.C. E.F.S. E.F. E.J. E.L. ELEC. ELEV. ENCL. ENGR. E.P. EQ. ESMT. E.W. EX. EXHAUST EXP.AGG. EXP. EXT.	EAST EACH ELECTRICAL CONTRACTOR EXTERIOR INSULATION FINISH SYSTEM EACH FACE EXTERIOR FINISH SYSTEM EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR ENGINEER ELECTRICAL PANEL EQUAL EQUIP EASEMENT EACH WAY ELECTRIC WATER COOLER EXISTING EXHAUST EXPOSED AGGREGATE EXPANSION EXTERIOR
F	F F.A. F.C.U. F.D. FON. F.E. F.E.C. F.F. F.G. F.H. F.H.C. FN. FLASH. FLR. FLR. F.O.C. FND. F.P. F.P.C. FR. FRET. FT. FTB. FUR. FUT. F.V.C. F.W.C.	FEMALE FIRE ALARM FAN COIL UNIT FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR FINISH GRADE FLAT HEAD FIRE HOSE CABINET FINISH FLASHING FLOOR FLUORESCENT FACE OF CONCRETE FOUNDATION FABRIC PANEL FIRE PROTECTION CONTRACTOR FRAME FIRE RETARDANT FEET (FOOT) FOOTING FURRING FUTURE FIRE VALVE CABINET FABRIC WALL COVERING
G	GA GALV. G.C. GL. GND. G.O. GR. G.W.B. GYP. GYP.BD.	GAGE GALVANIZED GENERAL CONTRACTOR GLASS GROUND GLASS OPENING GYPSUM WALLBOARD GYPSUM BOARD
H	HD. H.A.C. H.B. HNDC. H.C. HD. HDW. H.M. HORIZ. H.P. HR. HSPK. HT. HVAC	HIGH HEATING/AIR CONDITIONING CONTRACTOR HOSE BIBB HANDICAP HOLLOW CORE HEAD HARDWARE HARDWOOD HOLLOW METAL HORIZONTAL HIGH POINT HOUR HOUSE KEEPING HEIGHT HEATING, VENTILATING AND AIR CONDITIONING
I	I.D. IN. INFO. INSUL. INT.	INTERIOR DESIGN INCH INFORMATION INSULATION INTERIOR
J	J.C. JST. JT. KIT. L. L.M. LAV. LBR. L.C.B. LKR. LOC. L.P. LT.	JANITOR CLOSET JOIST JOINT KITCHEN KIT L LAMINATE or LAMINATED LAVATORY LUMBER LIQUID CHALK BOARD LOCKER LOCATION LOW POINT LIGHT
M	M MA MACH. MAG. M.D.O. MAS. M.T. MTL. MAX. M.B. MECH. MEMB. MEMB. MH. MET. MFR. MIN. MISC. M.D. M.P. MTO. MET. MULL.	MALE MARBLE MACHINE MAGNESIUM MEDIUM DENSITY OVERLAY MASONRY MARBLE THRESHOLD MATERIAL MAXIMUM MOP BASIN MECHANICAL MECHANICAL CONTRACTOR MEMBRANE MANHOLE METAL MANUFACTURER MINIMUM MISCELLANEOUS MASONRY OPENING MOVABLE PARTITION MOUNTED METAL MULLION
N	N N.I.C. NO. OR # NOM. N.T.S.	NORTH NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE
O	O.A. O.C. O.D. OFCI OFF. OFOI OH. O.H. OPNG. OPP. OZ.	OVER ALL ON CENTER OUTSIDE DIAMETER OWNER FURNISHED CONTRACTOR INSTALLED OFFICE OFFICE OWNER FURNISHED OWNER INSTALLED OVERHEAD OPPOSITE HAND OPENING OPPOSITE OUNCE
P	PART. PARTN. P.C. PLAS. PL. PLAM. PLBG. PLYWD. POL. PORT. PAIR PREFAB. PROP. P.S.F. P.S.I. PT. PTD.	PARTICLE PARTITION PLUMBING CONTRACTOR PLASTER PLATE PLASTIC LAMINATE PLUMBING PLYWOOD POLISHED PORTABLE PAIR PREFABRICATED PROPERTY POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PAINT PAINTED
Q	Q.T. QTR.	QUARRY TILE QUARTER

MATERIALS LEGEND

	CONCRETE/ PRECAST CONCRETE
	MASONRY UNIT - PLAN
	EARTH - SECTION
	INSULATION - RIGID
	STEEL
	STUCCO - ELEVATION GYPSUM BOARD - SECTION DETAILS
	WOOD FRAMING OR BLOCKING
	WOOD SHIM
	PLYWOOD - SECTION
	WOOD PANELING - ELEVATION
	FINISH WOOD - SECTION
	BATT INSULATION
	AGGREGATE BASE - SECTION

SYMBOLS/ LEGEND

	VIEW NUMBER SECTION DETAIL
	VIEW NUMBER PLAN DETAIL OR ENLARGED PLAN
	VIEW NUMBER EXTERIOR ELEVATION
	VIEW NUMBER INTERIOR ELEVATION
	ROOM NUMBER
	PARTITION TYPE
	KEY NOTE
	DEMOLITION NOTE
	REVISION
	WINDOW TAG
	CEILING GRID STARTING POINT
	CEILING HEIGHT/CEILING SPOT ELEVATION
	EXISTING COLUMN BUBBLE
	NEW COLUMN BUBBLE
	NORTH ARROW
	ACoustical CEILING PANELS AND GRID
	ACoustical CEILING PANELS AND GRID
	G.W.B. CEILING (U.N.O.)
	TELEPHONE/DATA OUTLET
	FLOOR RECESSED TELEPHONE/DATA OUTLET PROVIDE BRASS COVER PLATE AND CARPET FLANGE.
	TV CABLE OUTLET
	DUPLEX RECEPTACLE RECESS FLOOR MOUNTED. PROVIDE BRASS COVER PLATE AND CARPET FLANGE.
	DIMMER SWITCH CONNECTED TO LIGHTING CONTROL SYSTEM.
	AUDIO HEAD-END UNIT (AMPLIFIER) (PROVIDED BY OWNER - G.C. TO COORDINATE LOCATIONS)
	FLUSH-MOUNT SPEAKER COLOR TO MATCH ADJACENT (G.C. TO COORDINATE LOCATIONS)
	AUDIO VOLUME CONTROL (PROVIDED BY OWNER - G.C. TO COORDINATE LOCATIONS)
	WALL-MTD. MICROPHONE JACK (PROVIDED BY OWNER - G.C. TO COORDINATE LOCATIONS)
	CEILING MOUNTED CAMERA, BY OWNER (G.C. TO COORDINATE LOCATIONS)
	WALL MOUNTED CAMERA, BY OWNER (G.C. TO COORDINATE LOCATIONS)

ARCHITECTURAL GENERAL NOTES

- DO NOT SCALE DRAWINGS, USE DIMENSIONS, DIMENSIONS NOTED "AS REQUIRED", "VERIFY", "MATCH EXISTING" OR OTHER SIMILAR TERMS ARE TO BE VERIFIED BY THE CONTRACTOR, NOTIFY ARCHITECT OF DISCREPANCIES. OBTAIN CLARIFICATION FROM ARCHITECT BEFORE PROCEEDING.
- "ALIGN" MEANS TO ALIGN FINISH MATERIALS OF ELEMENTS INDICATED.
- FLOOR ELEVATIONS INDICATED ARE TO TOP OF CONCRETE SLAB, UNLESS NOTED OTHERWISE.
- SHEET METAL DETAIL REFERENCES ARE TO SMACNA PLATES/FIGURES, 5TH EDITION, 1993. CORRESPONDING CONDITIONS FROM CURRENT SMACNA EDITION ARE ACCEPTABLE.

PLAN LEGEND

	NEW MASONRY WALL
	NEW GYP. BD. WALL
	EXISTING PARTITION/STRUCTURE TO REMAIN.
	EXISTING PARTITION TO BE REMOVED.
	DOOR # SAME AS ROOM # U.N.O. DOOR AND FRAME
	EXISTING DOOR TO REMAIN.
	EXISTING DOOR TO BE REMOVED.
	BORROW LITE
	WINDOW BORROW LITE TAG
	PROPERTY LINE
	MATCH LINE
	COLUMN LINE

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#	DATE	DESCRIPTION
	10/27/2023	BID / PERMIT ISSUE

SHEET NAME
SYMBOLS & ABBREVIATIONS

Project Number: 2021.159

DATE: 2023.10.27

SHEET NUMBER
A 001