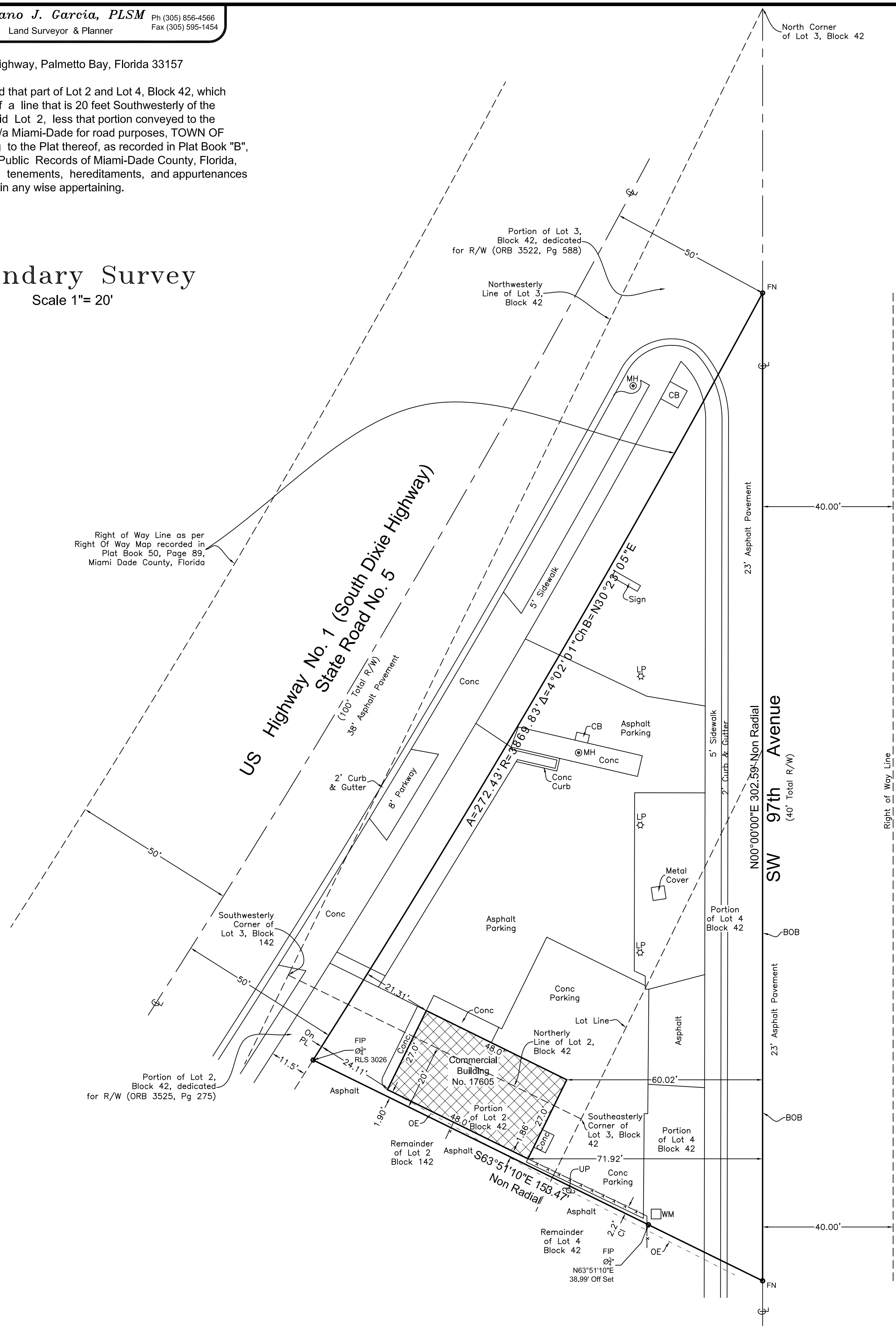


Property Address:
 17605 South Dixie Highway, Palmetto Bay, Florida 33157

Legal Description:
 Lot 3, Block 42, and that part of Lot 2 and Lot 4, Block 42, which lies Northeastly of a line that is 20 feet Southwestly of the Northerly line of said Lot 2, less that portion conveyed to the County of Dade n/k/a Miami-Dade for road purposes, TOWN OF PERRINE, according to the Plat thereof, as recorded in Plat Book "B", at Page 79, of the Public Records of Miami-Dade County, Florida, together with all the tenements, hereditaments, and appurtenances thereto belonging or in any wise appertaining.

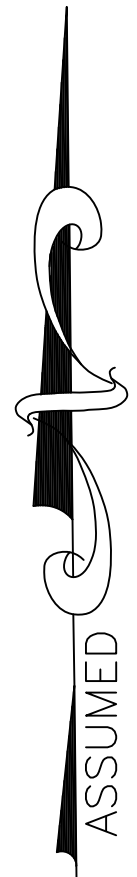
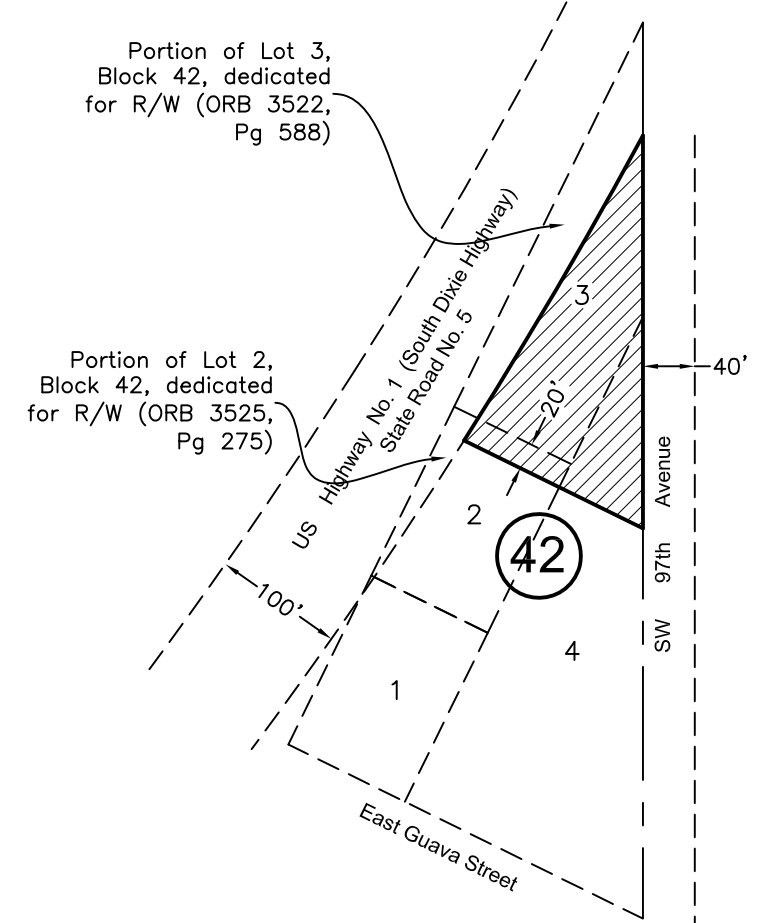
Boundary Survey

Scale 1"= 20'



Location Sketch

Not To Scale



LEGEND AND ABBREVIATIONS	<p>A = Arc Length; AC = Air Conditioner; AE = Anchor Easement; BC = Block Corner; BM = Bench Mark; BOB = Basis Of Bearings; (C) = Calculated Dimension; CB = Catch Basin; CBS = Concrete Block Structure; CFW = Concrete Fence Wall; CH = Chord Length; CHB = Chord Bearing; CI = Clear; CML = City Monument Line; CME = Canal Maintenance Easement; Conc = Concrete; DE = Drainage Easement; DME = Drainage & Maintenance Easement; Dr = Drive; E = East; Elev = Elevation; ENCR = Encroached; ETP = Electric Transformer; FDH = Found Drill Hole; FIR = Found Iron Rod; FFE = Finished Floor Elevation; FH = Fire Hydrant; FIP = Found Iron Pipe; FN = Found Nail; FT = Feet; LME = Lake Maintenance Easement; LB = Licensed Business; LFE = Lowest Floor Elevation; LP = Light Pole; (M) = Measured Dimension; ME = Maintenance Easement; MON = Monument; N = North; NGVD 1929 = National Geodetic Vertical Datum of 1929; NTS = Not To Scale; OE = Overhead Cables; OH = Over Hang; ORB = Official Record Book; O/S = Off Set; Pb = Plat Book; PC = Point of Curvature; PCC = Point Of Compound Curvature; PCOR = Property Corner; PCP = Permanent Control Point; Pg = Page; PL = Planter or Property Line; PLS = Professional Land Surveyor; PLSM = Professional Land Surveyor and Mapper; POB = Point Of Beginning; POC = Point Of Commencement; PRC = Point Of Reverse Curve; PRM = Permanent Reference Monument; PT = Point Of Tangency; R = Radius; (R) = Recorded Dimension; RLS = Registered Land Surveyor and Mapper; R/R = Rail Road; R/W = Right Of Way; Sec = Section; T = Tangent; S = South; SIP = Set Iron Pipe With Cap Stamped PLS 5105; UE = Utility Easement; UP = Utility Pole; UTU = Utility; W = West; WF = Wood Fence; WM = Water Meter; WV = Water Valve; \odot = Centerline; --- = Chain Link Fence; \square = Concrete Wall; \circ = Degrees; Δ = Central Angle; ϕ = Diameter; --- --- = Existing Elevation; --- = Minutes; --- = Seconds; --- = Wood Fence MW = Monitoring Well MH = Manhole</p>	<p>LEGAL NOTES</p> <p>This Survey does not reflect or determine ownership; Examination of the Abstract of Title will have to be made to determine Recorded Instruments, if any, affecting the property; This Survey is subject to dedications, limitations, restrictions, reservations or easements of records; Legal Description provided by client; The Liability of this Survey is limited to the cost of the Survey; Underground Encroachments, if any, are not shown; This firm has not attempted to locate footing and/or foundations and/or underground improvements of any nature; If shown, Bearings are referred to an Assumed Meridian; If shown, Elevations are referred to National Geodetic Vertical Datum of 1929 (NGVD 1929)</p>	<p>Date of Field Work 05-16-2014 Revised 12-23-2017</p>	<p>For: Dixie 176 Corporation; Benworth Capital Partners, LLC ISAOA / Atima 7000 SW 97th Ave, Suite 201 Miami, FL 33173</p>
	<p>Aniano J. Garcia PLSM 5105</p> <p>Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper</p>	<p>Order No 17-0375</p>		