

BUDGET TEMPLATE

Estimated Project Costs

Line items can be added or deleted as needed for any stage; however this is the format in which the budget must be submitted.

INSTRUCTIONS: List all items necessary to develop and construct the project. The applicant is responsible for verifying all costs for accuracy. Cost overruns will be solely the responsibility of the Local Government (Responsible Charge). This budget form may not be duplicated without permission.

LOCAL PROJECTS: Please note that the % match from the local government is cash only. In-kind match is not allowed. Also, all projects must be competitively bid and awarded to the lowest responsive bidder.

ITEM DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	TOTAL	% STATE FUNDS	% LOCAL EXPENSE (Cash Match Only, Non-Reimbursible)
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Preliminary Engineering/Design/Environmental (PE)

Environmental Documentation, Preliminary Design Plans (Up to 80% of total PE budget)	LS	1	\$ 75,000.00	\$ 70,000.00	\$ -	\$ 70,000.00
Local, State and Federal Permits	LS	1	\$ 12,500.00	\$ 12,500.00	\$ -	\$ 12,500.00
ROW/Construction Plans, Specs, & Estimate (PS&E) Document Completion	LS	1	\$ 30,000.00	\$ 30,000.00	\$ -	\$ 30,000.00
SUBTOTAL				\$ 112,500.00	\$ -	\$ 112,500.00

Right-of-Way/Utilities (ROW)

ROW Acquisition	LS	1	\$ -	\$ -	\$ -	\$ -
License Agreements, Easements, Recording Fees	LS	1	\$ 10,000.00	\$ 10,000.00	\$ -	\$ 10,000.00
Utility Relocation/Certifications*	LS	1	\$ 15,000.00	\$ 15,000.00	\$ -	\$ 15,000.00
SUBTOTAL				\$ 25,000.00	\$ -	\$ 25,000.00

Construction (CONST)

All projects must be competitively bid and awarded to the lowest responsive bidder.

Site Preparation & Demolition						
Clearing and Grubbing	SY	100	\$ 18.00	\$ 1,800.00	\$ 1,710.00	\$ 85.50
Removal of Obstructions	LS	1	\$ 7,500.00	\$ 7,500.00	\$ 7,125.00	\$ 356.25
Removal of Asphaltic Concrete Pavement	CY	150	\$ 75.00	\$ 11,250.00	\$ 10,687.50	\$ 534.38
Striping and Stockpiling Topsoil	SY	4500	\$ 5.00	\$ 22,500.00	\$ 21,375.00	\$ 1,068.75
Cold Planning	TN	225	\$ 20.00	\$ 4,500.00	\$ 4,275.00	\$ 213.75
Saw Cutting	LF	500	\$ 3.00	\$ 1,500.00	\$ 1,425.00	\$ 71.25
Construction Items						
Mobilization	LS	1	\$ 38,000.00	\$ 38,000.00	\$ 36,100.00	\$ 1,900.00
Traffic Control	LS	1	\$ 55,000.00	\$ 55,000.00	\$ 52,250.00	\$ 2,750.00
Earthwork (including general, drainage and structural excavation and back fill)	LS	1	\$ 175,000.00	\$ 175,000.00	\$ 166,250.00	\$ 8,750.00
Curb and Gutter	CY	35	\$ 700.00	\$ 24,500.00	\$ 23,275.00	\$ 1,225.00
Concrete/Asphalt	LS	1	\$ 130,000.00	\$ 130,000.00	\$ 123,500.00	\$ 6,500.00
Culvert Extensions and Drainage Structures	LS	1	\$ 75,000.00	\$ 75,000.00	\$ 71,250.00	\$ 3,750.00

Pedestrian ADA Ramp	EA	4	\$ 12,000.00	\$ 48,000.00	\$ 45,600.00	\$ 2,400.00
Striping	LS	1	\$ 27,500.00	\$ 27,500.00	\$ 26,125.00	\$ 1,375.00
Crosswalk Signals	LS	1	\$ 50,000.00	\$ 50,000.00	\$ 47,500.00	\$ 2,500.00
Erosion Prevention and Sediment Control	LS	1	\$ 35,000.00	\$ 35,000.00	\$ 33,250.00	\$ 1,750.00
Signage	LS	1	\$ 25,000.00	\$ 25,000.00	\$ 23,750.00	\$ 1,250.00
**Landscaping						
Trees	EA	10	\$ 750.00	\$ 7,500.00	\$ 7,125.00	\$ 375.00
Shrubs	EA	30	\$ 90.00	\$ 2,700.00	\$ 2,565.00	\$ 135.00
Mulch	CY	15	\$ 60.00	\$ 900.00	\$ 855.00	\$ 45.00
Topsoil	CY	75	\$ 90.00	\$ 6,750.00	\$ 6,412.50	\$ 337.50
Seeding/Sod	SY	5000	\$ 1.50	\$ 7,500.00	\$ 7,125.00	\$ 375.00
Pedestrian Amenities						
Pedestrian Railings	LF	125	\$ 140.00	\$ 17,500.00	\$ 16,625.00	\$ 875.00
				\$ -	\$ -	\$ -
SUBTOTAL of Itemized Quantities Above				\$ 774,900.00	\$ 736,155.00	\$ 38,622.38
Administration Costs						
CONST. Survey & Layout	2%	of CONST		\$ 15,498.00	\$ 14,723.10	\$ 774.90
Construction Contingency	15%	of CONST		\$ 115,819.56	\$ 110,028.58	\$ 5,790.98
TDOT Engineering Services	EA	1		\$ 5,000.00	\$ 4,750.00	\$ 250.00
TDOT Materials & Testing	4%	of CONST		\$ 30,996.00	\$ 29,446.20	\$ 1,549.80
***Construction Engineering Inspection (CEI) and Contract/Construction Administration	15%	of CONST		\$ 116,235.00	\$ -	\$ 116,235.00
TOTAL of Reimbursible Construction Expenses				\$ 1,058,448.56	\$ 895,102.88	\$ 163,345.68
GRAND TOTAL ALL PROJECT COSTS				\$ 1,195,948.56	\$ 895,102.88	\$ 300,845.68

* Relocation of utilities is eligible for reimbursement if and only if one of the following conditions are met: 1) The relocation is caused by this project and the utilities to be relocated are on private property, or 2) the relocation is caused by this project and is listed in a current urban revitalization plan. If these conditions are met, reimbursement is limited to 33% of eligible and reimbursable construction costs. Please insert the budget for the relocation work in the construction budget.

**Landscaping is limited to 25% of eligible and reimbursable construction costs and must be necessary to this project only.

*** The CEI Estimate may not exceed 20% but can be decreased by the local agency at their discretion depending on the scope and complexity of the project. If contract administrative duties are performed by a private firm other than the contracted CEI consultant, this firm must still be TDOT pre-qualified and a copy of the fully executed contract between them and the CEI consultant must be sent to TDOT electronically. Costs for contract administration must be included within the CEI budget.

Compatibility Report for Part II 2018 Multimodal Access
Application - Budget.xls
Run on 5/14/2018 11:01

If the workbook is saved in an earlier file format or opened in an earlier version of Microsoft Excel, the listed features will not be available.

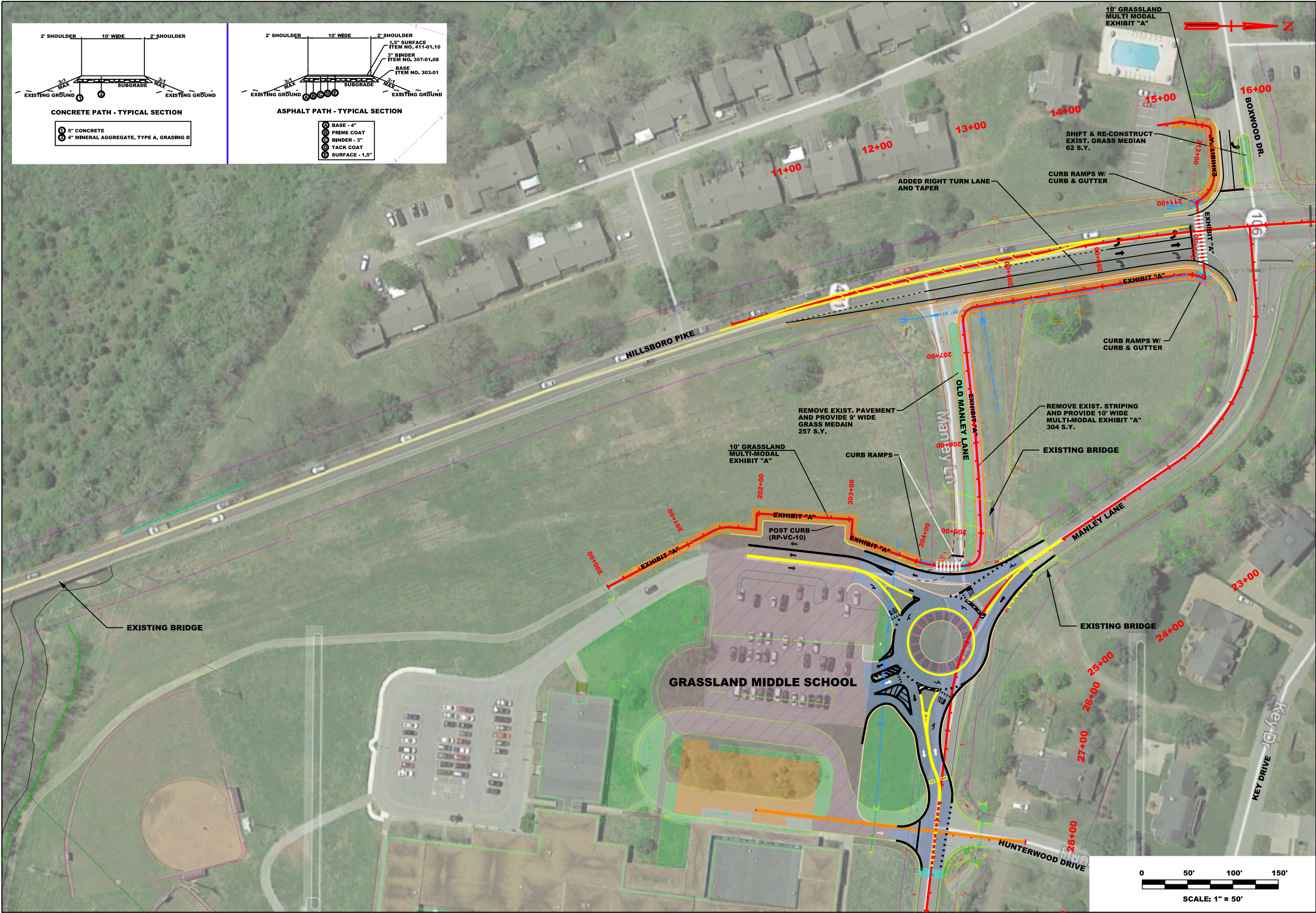
Significant loss of functionality

**# of
occurrences** **Version**

Any effects on this object will be removed. Any text that overflows the boundaries of this graphic will appear truncated.	1	
	Sheet1!A1:L96	Excel 97-2003

Minor loss of fidelity

Some cells or styles in this workbook contain formatting that is not supported by the selected file format. These formats will be converted to the closest format available.	4	Excel 97-2003
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REVISIONS	
NO.	DESCRIPTION

COLLIER
ENGINEERING CO., INC.
CONSULTING • DESIGN • CONSTRUCTION

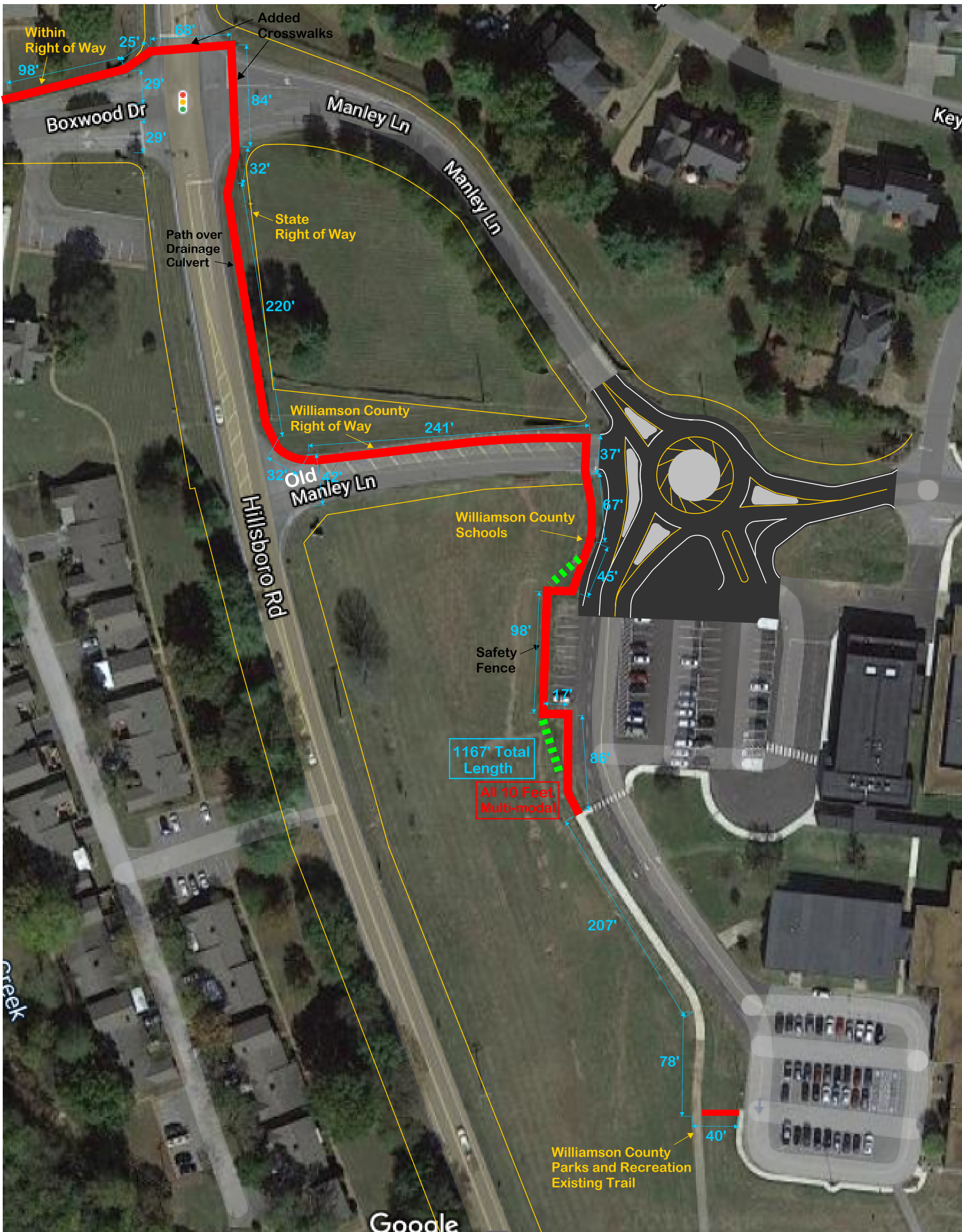
2949 NOLENSVILLE PIKE, NASHVILLE, TN 37211
PHONE: (615) 331-1441 FAX: (615) 331-1050

GRASSLAND MULTI-MODAL LAYOUT
GRASSLAND MULTI-MODAL
WILLIAMSON COUNTY HIGHWAY DEPT.
WILLIAMSON COUNTY, TENNESSEE

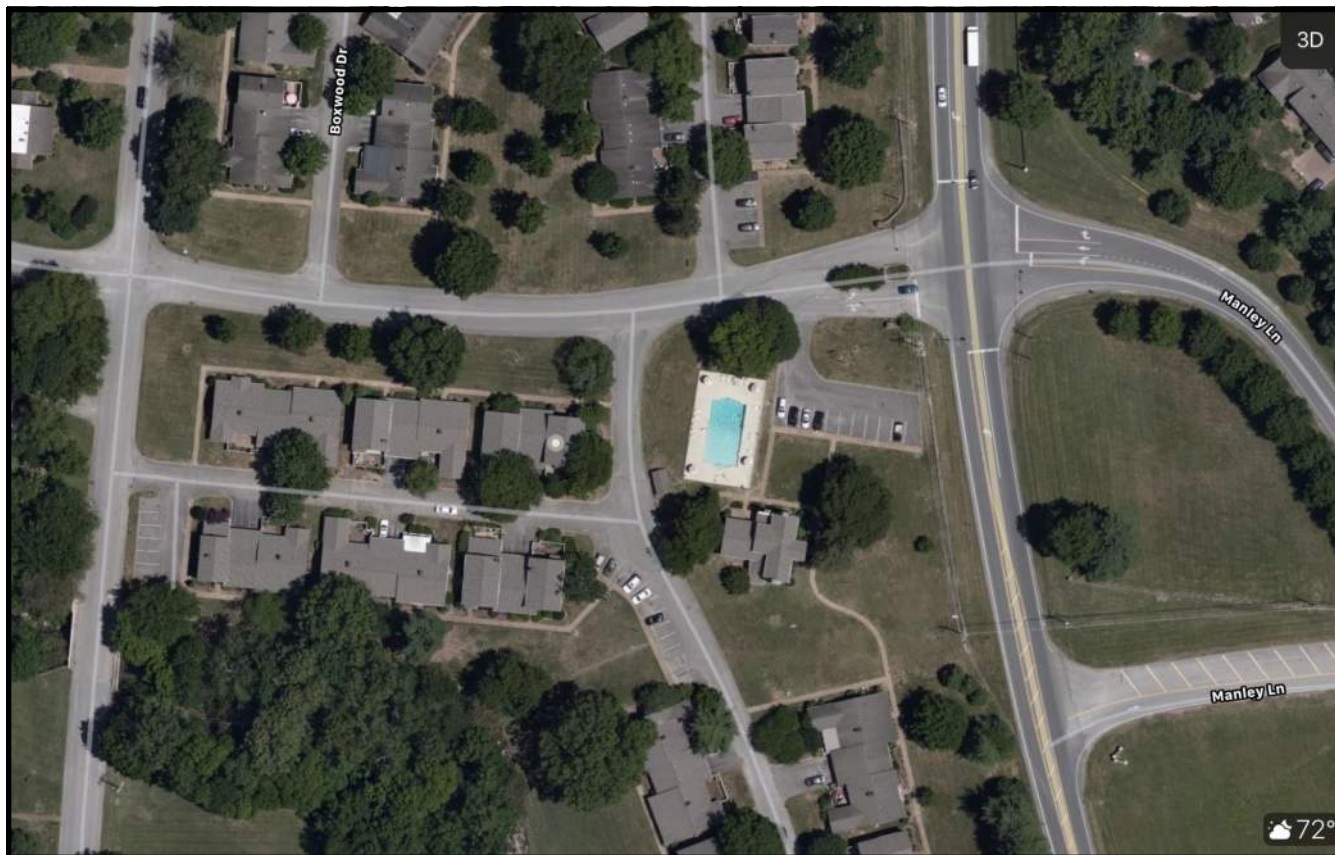
PRELIMINARY
PLANS

DATE: 09/08/21
DESIGNED BY: TJB
DRAWN BY: SRN
SUPERVISED BY: TJB
CHECKED BY: WJD

SCALE: 1" = 50'
YEAR: 2021
SHEET NO: C-2







Project Description:

The proposed Grassland project connects River Rest neighborhood (310 units) from the Moran House parking lot at Hillsboro Rd/Boxwood Rd on created sidewalk/bike lane across Hillsboro Road with upgraded pedestrian signalization and crosswalk to the east side of the State Route. The safe landing infrastructure will connect to a 10 ft multimodal trail along the east side of Hillsboro Road to Old Manley Road where the 10 ft. multimodal trail will continue within a separated path to a crosswalk leading to trails installations that connect directly to Grassland Middle School, Nature Trail and Grassland Park. The updated project includes the creation of a dedicated right turn lane off of Hillsboro Road (SR106) onto Old Manley. Recent Traffic Studies conducted for the new adjacent roundabout indicated improved level of service with a turn lane getting traffic off Hillsboro Road. The Traffic Study warranted the right turn lane so that the improved infrastructure is included within this multimodal application. Scope of work is reflected on the Budget Template with estimated project costs. The NEW and safe transportation infrastructure can be linked phased with future TDOT improvements. And existing bike lane on SR106 starts/stops south of the proposed project and abruptly stops immediately south of a bridge on Hillsboro Road. Future improvements can link to safe infrastructure top Grassland Middle School, multimodal park and nature trails to Grassland Park. Grassland Elementary School is also situated east of Grassland Middle School. NOTE new routes specified in RED. All proposed infrastructure is along a State Route and existing trail network is within .25 of the State Route.

Safety:

Due in part to a student pedestrian injury, the Williamson County Highway Department completed a new roundabout adjacent to Grassland Middle School August 2021 for traffic calming. This transportation improvement also created crosswalk connection to Hunterwood neighborhood (see aerials.) The benefit of this completed infrastructure is that what was Old Manley Road now provides safe hardscape base and ROW for the multimodal connectivity this project encompasses. While these County improvements are significant, they do not address the existing unsafe conditions along Hillsboro Road and the unsafe crosswalk conditions at the Boxwood/Hillsboro Rd traffic signal. With these transportation improvements, pedestrians, bicyclists, runners, and other transportation users will gain safe access to school, park, trail and nature trail paths they are unsafely trying to access at their own risk. A State Route road established for the transportation needs of motorists, paradoxically separates and divides a community from safely connecting to desired public spaces as pedestrians and cyclists. The State and County partnership that will occur with this TDOT Multimodal Access Grant, will remedy these unsafe conditions for the Grassland community.

Connectivity:

River Rest neighborhood includes single family residences and attached condominiums that are essentially an island unto themselves without safe infrastructure connectivity to Grassland Middle School, Grassland Park Trail, Nature Trail including Cartwright Creek, Grassland Park and Grassland Elementary School beyond. Located within River Rest, is the historic Moran House of 1804 (see MISC). Unique to the Grassland Project is the improved transportation and connectivity to environmental, historical, educational and recreational assets within the community. A Grassland Middle School history class may do a walking field trip to historical Moran House one day, if the safe pedestrian improvements are created as a result of this grant. There is community pride in Grassland as evidenced by large turnouts for school clean up days, and Cartwright Creek clean up days as evidenced by some of the attachments. Grassland Park utilized for baseball, softball, lacrosse, tennis playground use, sensory garden visitation, and according to Williamson County Parks and Recreation Director Gordon Hampton, attracts users of all ages and backgrounds. Please note the historical marker for the Grassland Community (MISC). Early settlers before the invention of automobiles surely crisscrossed these areas that were eventually developed. Accessibility to land areas will be restored with safe infrastructure that coexists with automobiles. When a community connects to different land uses, a community connects with one another, instead of in and out of cars congesting roadways. Whether it is an elderly resident wanting to walk her dog at the park, or a middle school student wanting to safely access his school, this community desires safe connectivity. For many months the Grassland Community met for public work sessions to create the Grassland Village Special Area Plan adopted on March 14, 2014. Note the highlighted sections in the attached plan on p. 9, p. 33, p. 41, and p. 46. These safe infrastructure improvements requested in 2014 through their vision adopted by the Williamson County Commission, can become a reality through the 2021 TDOT Multimodal Access Grant. More recently, the Williamson County 2040 Comprehensive Land Use Plan adopted by the Williamson County Commission in 2020 also encourages “alternate transportation modes such as pedestrian and bicycle trails as a means to lessen traffic congestion.” Section 17.04 of the Zoning Ordinance addresses sidewalks specifically.



Grassland Middle School students risk personal safety taking the current route as pedestrians in unsafe conditions.





School cross country teams utilize the route under unsafe conditions.





Kids seek to walk and bike where no safe connection exists.





Notice of Public Meeting

Pursuant to T.C.A. § 8-44-101, et. seq., notice is hereby given that the River Rest Estates Homeowners Association will hold an open public meeting that will include Williamson County Commissioners to be held at 6:00 PM on Wednesday, September 8, 2021 at the River Rest Estates Clubhouse located at 1505 Recreation Road, Franklin, TN 37069. The purpose of the meeting is to discuss a potential Williamson County Multi-modal Grant application for infrastructure improvements to safely connect River Rest Estates residents across Hillsboro Road to Grassland Middle School, Nature Trail and Grassland Park.



Public Noticed meeting at River Rest H.O.A. September 8, 2021.

Present were residents along with Williamson County Mayor Anderson, Chairman Little, County Commissioner Sturgeon, County Commissioner Morton, County Commissioner Williams, and Highway Commissioner Wilson.

37 Comment Cards were filled out by the residents. All were in favor of the project, except one.



September 27, 2021

Dear TDOT MULTIMODAL ACCESS GRANT Review Committee,

Thank you for your consideration of Williamson County's application which would create safe crossing of Hillsboro Road as well as east side improvements for connectivity. As the Board for River Rest Estates Homeowners Association, we are in support of this project as a means to safely access Grassland Middle School, Grassland Park and trails area.

Our neighborhood children are currently walking home from Grassland Middle School and crossing a busy Hillsboro Road at a time with much traffic. Neighbors are also walking across Hillsboro Road to enjoy the park, tennis courts, gardens and trails.

We need these transportation improvements so that we can walk and bike safely on this state route and access our community. A recent HOA meeting and presentation affirmed River Rest's collective support of this project.

We appreciate your time and consideration on this application.

Sincerely,

Elaine Deffen
ESL
Margaret Reid
Wm L. Orr
Greg H

River Rest - Hillsboro Crossing Grant Application Petition

Name	Address
Allison Buckley	1029 Boxwood
TINN BUCKLEY	1029 Boxwood
Catie McLaughlin	1027 Boxwood
Tyler McLaughlin	1022 Boxwood
Monica Reid	1031 Boxwood
WILL REID	1031 BOXWOOD
JOHN HUSBAND	1204 BLUE SPRINGS RD
Laura Husband	1204 Blue Springs Rd.
Valarie Ingram	1083 Moran Road
Whitney Doring	1025 Boxwood
Dorsey Hamby	1607 Blue Springs Rd
Steve Hamby	1607 Blue Springs Rd
Elizabeth Kefey	1609 Blue Springs Rd
JB Simpson	1013 Boxwood Dr.
Jacquelyn Harries	1206 Blue Springs Rd.
Britt Dyer	1803 Blue Springs Ct.
Nick Jones Hahn	1803 Blue Springs Ct.
Mark Ott	1051 Moran Rd.
Stephanie Richardson	1509 Blue Springs Rd.
Joanna Ott	1051 Moran Rd
Karen McQuire	1067 Moran Rd
(Can we re visit the place)	
Baron Harmon	1047 MORAN RD
Carolyn Harmon	1047 MORAN RD
Kris Kefey	1609 Blue Springs Rd
Kate Reynolds	1120 Blue Springs Rd.
Anna Sweeney	1711 Leaton Ct
Andy Sweeney	1711 Leaton Ct

River Rest - Hillsboro Crossing Grant Application Petition

[illegible]

Grant Application Public Meeting

September 8, 2021, at 6:00 PM

Multi-Use Trail Crossing Hillsboro Road near Manley Lane

Between River Rest, Grassland Middle, the County Nature Trail and Grassland Park

Name: Bill Delaney

Address: 1020 Boxwood Drive

☒ In Favor

☐ Neutral

☐ Against

Comments: I have personally tried to cross Hillsboro
Road as a biker and I know how dangerous it
can be. I think this would be a wonderful idea to
help the safety of our community.

Grant Application Public Meeting

September 8, 2021, at 6:00 PM

Multi-Use Trail Crossing Hillsboro Road near Manley Lane

Between River Rest, Grassland Middle, the County Nature Trail and Grassland Park

Name: Carolyn Harmon

Address: 1047 Moran Road

☒ In Favor

☐ Neutral

☐ Against

Comments: _____

Grant Application Public Meeting

September 8, 2021, at 6:00 PM

Multi-Use Trail Crossing Hillsboro Road near Manley Lane

Between River Rest, Grassland Middle, the County Nature Trail and Grassland Park

Name: Sandra Gaudin

Address: 1401 Blue Springs Rd. Franklin TN 37069.

☒ In Favor

☐ Neutral

☐ Against

Comments: _____

I believe this project will get our
pedestrians/school kids safer to school
and connect our neighborhood to the parks
around the schools & trail.

Grant Application Public Meeting

September 8, 2021, at 6:00 PM

Multi-Use Trail Crossing Hillsboro Road near Manley Lane

Between River Rest, Grassland Middle, the County Nature Trail and Grassland Park

Name:

Tom Finegan

Address:

1708 Leaton Ct.



In Favor



Neutral



Against

Comments:

Only hope is that there's
actual need & opportunity for folks
to use. Please don't allow fear to
be an outside criteria.

Grant Application Public Meeting

September 8, 2021, at 6:00 PM

Multi-Use Trail Crossing Hillsboro Road near Manley Lane

Between River Rest, Grassland Middle, the County Nature Trail and Grassland Park

Name: CORY MARTIN

Address: 1812 BLUE SPRINGS CT, FRANKLIN, TN 37069

☒ In Favor ☐ Neutral ☐ Against

Comments: YAY CROSSWALK!

Grant Application Public Meeting

September 8, 2021, at 6:00 PM

Multi-Use Trail Crossing Hillsboro Road near Manley Lane

Between River Rest, Grassland Middle, the County Nature Trail and Grassland Park

Name: Allen Bolander

Address: 175 Boxwood Ln Franklin TN 37069

☒ In Favor

☐ Neutral

☐ Against

Comments: _____

Grant Application Public Meeting

September 8, 2021, at 6:00 PM

Multi-Use Trail Crossing Hillsboro Road near Manley Lane

Between River Rest, Grassland Middle, the County Nature Trail and Grassland Park

Name:

Karen LeQuire

Address:

1067 Moran Rd 37069



In Favor

Both



Neutral



Against

Comments:

want to move about the
design - I would like a underground
like at Walgreens and Tildstone
Harms -

Grant Application Public Meeting

September 8, 2021, at 6:00 PM

Multi-Use Trail Crossing Hillsboro Road near Manley Lane

Between River Rest, Grassland Middle, the County Nature Trail and Grassland Park

Name: Hannah & Chris Tiblier

Address: 1226 Bradley Drive

☒ In Favor

☐ Neutral

☐ Against

Comments:

My children and I would really feel
a lot safer if there was a cross-
walk with a light so that we may
cross safely on our bicycles.
Safety, Safety, Safety

Grant Application Public Meeting

September 8, 2021, at 6:00 PM

Multi-Use Trail Crossing Hillsboro Road near Manley Lane

Between River Rest, Grassland Middle, the County Nature Trail and Grassland Park

Name:

Randy & Karen Jewell

Address:

1609 Ash Grove Court

☒

In Favor

☐

Neutral

☐

Against

Comments:

Thank you for the time today.
We are in favor of the project as we think
it will be safer with the improvements.

Grant Application Public Meeting

September 8, 2021, at 6:00 PM

Multi-Use Trail Crossing Hillsboro Road near Manley Lane

Between River Rest, Grassland Middle, the County Nature Trail and Grassland Park

Name: JONATHAN HUNKIN & LISA HUNKIN

Address: 1913 SAM HOUSTON CT Franklin TN 37069

☒ In Favor ☐ Neutral ☐ Against

Comments: LOVE THE IDEA. SAFETY FIRST

Grant Application Public Meeting

September 8, 2021, at 6:00 PM

Multi-Use Trail Crossing Hillsboro Road near Manley Lane

Between River Rest, Grassland Middle, the County Nature Trail and Grassland Park

Name: TIM KUISLEY

Address: 1114 BLUE SPRING RD

☒ In Favor

☐ Neutral

☐ Against

Comments: A MUCH-NEEDED IMPROVEMENT

Grant Application Public Meeting

September 8, 2021, at 6:00 PM

Multi-Use Trail Crossing Hillsboro Road near Manley Lane

Between River Rest, Grassland Middle, the County Nature Trail and Grassland Park

Name:

LIZZY KANSLEY

Address:

1114 BLUE SPRINGS RD.



In Favor



Neutral



Against

Comments:

LOVE THE IDEA. WILL TRY TO GET IN FAVOR
AND WILL SUPPORT PROJECT.

Grant Application Public Meeting

September 8, 2021, at 6:00 PM

Multi-Use Trail Crossing Hillsboro Road near Manley Lane

Between River Rest, Grassland Middle, the County Nature Trail and Grassland Park

Name: Christy Green

Address: 1011 BOXWOOD

☐

In Favor

☒

Neutral

☐

Against

Comments:

Safety First

Fully trust

Matt, Ferris & Sammys

Grant Application Public Meeting

September 8, 2021, at 6:00 PM

Multi-Use Trail Crossing Hillsboro Road near Manley Lane

Between River Rest, Grassland Middle, the County Nature Trail and Grassland Park

Name: Elaine Redfern

Address: 1503 Blue Springs Road, Franklin 37069

☒ In Favor

☐ Neutral

☐ Against

Comments: We need a safe crossing at this location
very much. Please support!

Grant Application Public Meeting

September 8, 2021, at 6:00 PM

Multi-Use Trail Crossing Hillsboro Road near Manley Lane

Between River Rest, Grassland Middle, the County Nature Trail and Grassland Park

Name: Abraham Gencay

Address: 1017 Boxwood Dr.

☒ In Favor

☐ Neutral

☐ Against

Comments: We have a family and
support a safe crosswalk proposal

Grant Application Public Meeting

September 8, 2021, at 6:00 PM

Multi-Use Trail Crossing Hillsboro Road near Manley Lane

Between River Rest, Grassland Middle, the County Nature Trail and Grassland Park

Name: Amanda Genay

Address: 1017 Boxwood Drive, Franklin 37069

☒ In Favor

☐ Neutral

☐ Against

Comments: We support the crosswalk proposal.

Grant Application Public Meeting

September 8, 2021, at 6:00 PM

Multi-Use Trail Crossing Hillsboro Road near Manley Lane

Between River Rest, Grassland Middle, the County Nature Trail and Grassland Park

Name: Cathie Allanson

Address: 1708 Leaton

☒

In Favor

☐

Neutral

☐

Against

Comments: I strongly support moving forward with the proposal presented tonight. I feel it addressed issues of safety and community involvement. I look forward to this project moving forward!

Grant Application Public Meeting

September 8, 2021, at 6:00 PM

Multi-Use Trail Crossing Hillsboro Road near Manley Lane

Between River Rest, Grassland Middle, the County Nature Trail and Grassland Park

Name: Tracy McKinley

Address: 1201 Blue Springs Rd.

☒

In Favor

☐

Neutral

☐

Against

Comments: I look forward to the opportunity to provide a safe connection ~~to~~ between E+W Sides of Hillsboro Road for our community. I would love to see the multi-modal trail extend even further south toward Franklin into Grassland or even further East up Manley Lane to the park.

Grant Application Public Meeting

September 8, 2021, at 6:00 PM

Multi-Use Trail Crossing Hillsboro Road near Manley Lane

Between River Rest, Grassland Middle, the County Nature Trail and Grassland Park

Name: Chris Adams

Address: 1121 Blue Springs Ln. Franklin TN 37069

☒ In Favor ☐ Neutral ☐ Against

Comments: We have been crossing Hillsboro Rd for all 9
years we have lived in River Rest and have always
wondered why there was not already a crosswalk and
signalling system for safety crossing. I am very much
in favor of this project for inter-connectivity and community
building with the schools and parks systems. Thank you!

Grant Application Public Meeting

September 8, 2021, at 6:00 PM

Multi-Use Trail Crossing Hillsboro Road near Manley Lane

Between River Rest, Grassland Middle, the County Nature Trail and Grassland Park

Name: Budd Holland

Address: 1303 Blue Springs Rd, Franklin TN 37069

☐

In Favor

☐

Neutral

☒

Against

Comments:

As it is currently planned, I am very concerned about safety. There are too many cars traveling at too fast a speed. Other than safety, the impact on traffic will be a problem.

Budd Holland

Grant Application Public Meeting

September 8, 2021, at 6:00 PM

Multi-Use Trail Crossing Hillsboro Road near Manley Lane

Between River Rest, Grassland Middle, the County Nature Trail and Grassland Park

Name: Shelley McCoy

Address: 1202 Blue Springs Rd, Franklin, TN

☒ In Favor

☐ Neutral

☐ Against

Comments: Yes! We would love to
see a cross walk. It is
definitely needed for our
community.

Grant Application Public Meeting

September 8, 2021, at 6:00 PM

Multi-Use Trail Crossing Hillsboro Road near Manley Lane

Between River Rest, Grassland Middle, the County Nature Trail and Grassland Park

Name: Jessica + Trey Sneed

Address: 1714 Leaton Ct. Franklin, TN 37069

☒ In Favor

☐ Neutral

☐ Against

Comments: I love this idea for our community and our children. Thank you so much for all of the time that has went into this project already.

10/2/21
DPR-HOA

Grant Application Public Meeting

September 8, 2021, at 6:00 PM

Multi-Use Trail Crossing Hillsboro Road near Manley Lane

Between River Rest, Grassland Middle, the County Nature Trail and Grassland Park

Name:

Douglas J. Lerner

Address:

1507 BLUE SPRINGS ROAD



In Favor



Neutral



Against

Comments:

YES! THANK YOU!

Grant Application Public Meeting

September 8, 2021, at 6:00 PM

Multi-Use Trail Crossing Hillsboro Road near Manley Lane

Between River Rest, Grassland Middle, the County Nature Trail and Grassland Park

Name:

Tony & Jan Fleming

Address:

174 Boxwood

☒ In Favor

☐ Neutral

☐ Against

Comments:

Love it - do it
Thanks for your efforts for
our community.

Grant Application Public Meeting

September 8, 2021, at 6:00 PM

Multi-Use Trail Crossing Hillsboro Road near Manley Lane

Between River Rest, Grassland Middle, the County Nature Trail and Grassland Park

Name:

Dorsey Hamby

Address:

1607 Blue Springs Rd, Franklin,

☒

In Favor

☐

Neutral

☐

Against

Comments:

I believe this crosswalk
is much needed on Hillsboro for
with the school and the walking
trail.

Grant Application Public Meeting

September 8, 2021, at 6:00 PM

Multi-Use Trail Crossing Hillsboro Road near Manley Lane

Between River Rest, Grassland Middle, the County Nature Trail and Grassland Park

Name: Charles Wilson County Hwy Com.

Address: 5175 Murfreesboro Rd. College Grove TN.

37046

☐

In Favor

☐

Neutral

☐

Against

Comments:

Information Only

Grant Application Public Meeting

September 8, 2021, at 6:00 PM

Multi-Use Trail Crossing Hillsboro Road near Manley Lane

Between River Rest, Grassland Middle, the County Nature Trail and Grassland Park

Name: Heidi Delvaux

Address: 1020 Boxwood Drive

☒ In Favor

☐ Neutral

☐ Against

Comments:

It might be helpful to watch the Hillsboro/
Boxwood intersection + those running the red
light - maybe even have the county sheriff
pit and ticket those running red lights

Grant Application Public Meeting

September 8, 2021, at 6:00 PM

Multi-Use Trail Crossing Hillsboro Road near Manley Lane

Between River Rest, Grassland Middle, the County Nature Trail and Grassland Park

Name:

Hannah Davies

Address:

205 Boxwood Drive



In Favor



Neutral



Against

Comments:

hoping we can find a safe & efficient way to cross the bany hillsboro Road! As a River Rest native, I'm excited to see this opportunity.

Grant Application Public Meeting

September 8, 2021, at 6:00 PM

Multi-Use Trail Crossing Hillsboro Road near Manley Lane

Between River Rest, Grassland Middle, the County Nature Trail and Grassland Park

Name: Lee Davies, Jr.

Address: 205 Boxwood Drive



In Favor



Neutral



Against

Comments:

I think this is a great idea! People cross the road here all the time already & a safer space is essential for this area. This is a great opportunity.

Grant Application Public Meeting

September 8, 2021, at 6:00 PM

Multi-Use Trail Crossing Hillsboro Road near Manley Lane

Between River Rest, Grassland Middle, the County Nature Trail and Grassland Park

Name:

Paula Adams

Address:

1121 Blue Springs Rd Franklin 37069

☒ In Favor

☐ Neutral

☐ Against

Comments:

I'm very excited about this opportunity and hope it moves forward. We cross Hillsboro all the time to go to the park & my children walked home from 4th everyday when →

Grant Application Public Meeting

September 8, 2021, at 6:00 PM

Multi-Use Trail Crossing Hillsboro Road near Manley Lane

Between River Rest, Grassland Middle, the County Nature Trail and Grassland Park

Name: Kate Reynolds

Address: 1120 Blue Springs Rd

☒ In Favor

☐ Neutral

☐ Against

Comments: I ride bikes with my 5 & 8 year old kids across Hillsboro currently and have been terrified we will be the reason a crosswalk gets built. I'm looking forward to being able to cross to the trail safely and for when my kids are in middle school, they'll have a safer way to walk to and from school.

Grant Application Public Meeting

September 8, 2021, at 6:00 PM

Multi-Use Trail Crossing Hillsboro Road near Manley Lane

Between River Rest, Grassland Middle, the County Nature Trail and Grassland Park

Name: Bob Hooper

Address: 1808 Blue Springs Ct

☒ In Favor ☐ Neutral ☐ Against

Comments: very much in favor of the project
with a thought of limiting major road
crossings, adding rumble strips, additional lighting
(crossing vs. 2)

Grant Application Public Meeting

September 8, 2021, at 6:00 PM

Multi-Use Trail Crossing Hillsboro Road near Manley Lane

Between River Rest, Grassland Middle, the County Nature Trail and Grassland Park

Name: Mark Ott

Address: 1051 Moran Rd.

☒ In Favor

☐ Neutral

☐ Against

Comments: We have a young family of three boys. My oldest is a 2nd grader at GES. Crossing Hillsboro today on bikes or walking is not safe. Biking and walking to GES of the park would be wonderful with the right crossing infrastructure.

Grant Application Public Meeting

September 8, 2021, at 6:00 PM

Multi-Use Trail Crossing Hillsboro Road near Manley Lane

Between River Rest, Grassland Middle, the County Nature Trail and Grassland Park

Name: MONICA REID

Address: 1031 Boxwood Dr



In Favor



Neutral



Against

Comments:

I Would appreciate a safe way
for my daughter to walk home
from 6th St. She currently walks
and it is unsafe!

Grant Application Public Meeting

September 8, 2021, at 6:00 PM

Multi-Use Trail Crossing Hillsboro Road near Manley Lane

Between River Rest, Grassland Middle, the County Nature Trail and Grassland Park

Name: BARON HARMON

Address: 1047 MORAN RD

☒ In Favor

☐ Neutral

☐ Against

Comments: ARE THERE FOLLOW-UP GRANTS
FUTURE YEARS THAT ENHANCE PROJECTS.

* WHO IS POINT PERSON LIVING IN
RIVER REST TO INFORM RESIDENTS.

Grant Application Public Meeting

September 8, 2021, at 6:00 PM

Multi-Use Trail Crossing Hillsboro Road near Manley Lane

Between River Rest, Grassland Middle, the County Nature Trail and Grassland Park

Name: SAMMIE MCCOY

Address: 1202 BLUE SPRINGS ROAD

☒ In Favor

☐ Neutral

☐ Against

Comments:

Kid + Adults cross now so we need
to find a SAFER way to cross. I'm
in favor of doing what is safest

Grant Application Public Meeting

September 8, 2021, at 6:00 PM

Multi-Use Trail Crossing Hillsboro Road near Manley Lane

Between River Rest, Grassland Middle, the County Nature Trail and Grassland Park

Name: WILL REID

Address: 1031 BOXWOOD DR

☒ In Favor

☐ Neutral

☐ Against

Comments: _____

Grassland Village Special Area Plan



Williamson County Planning Department
1320 West Main Street, Suite 400
Franklin, Tennessee 37064

Acknowledgements

Citizens Advisory Committee

Ryan Bennett
Susan Bradfield
Deb Dreves

Mike Franks
Joe Harkins
Robbin Holland

Kathy Kunkel
Gavin Moon
Michael Myers

Greg Davis
County Commissioner, 8th District

Mary Brockman
County Commissioner, 9th District

Jack Walton
County Commissioner, 8th District

Ernie Williams
County Commissioner, 9th District

County Mayor

Rogers C. Anderson

Williamson County Board of County Commissioners

Jack Walton, Chairman and 8th District

Dwight Jones, 1st District
Ricky D. Jones, 1st District
John Hancock, 2nd District
Betsy Hester, 2nd District
Judy Hayes, 3rd District
Judy Herbert, 3rd District
Kathy Danner, 4th District
Cheryl Wilson, 4th District

Lewis W. Green Jr., 5th District
Thomas W. (Tommy) Little, 5th District
Arlene Cook, 6th District
Jeff Ford, 6th District
Tom Bain, 7th District
Bert Chalfant, 7th District
Greg Davis, 8th District
Mary Brockman, 9th District

Ernie Williams, 9th District (outgoing)
Todd Kaestner, 9th District (incoming)
Bob Barnwell, 10th District
Travis Hawkins, 10th District
Brian Beathard, 11th District
Brandon Ryan, 11th District
Doug Langston, 12th District
Steve Smith, 12th District

Williamson County Regional Planning Commission

John Lackey, Chairman

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Susan Fisher
Holli Givens

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Schools

Dr. Lily Lefler, Principal
Nancy Tate, Administrative Assistant
Grassland Middle School

For assistance in distributing meeting announcements and Plan updates.

Others

For assistance in providing research materials and for assistance in distributing meeting announcements, Plan updates, meeting space and background materials necessary for the success of this Plan.

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CHAPTER 1

INTRODUCTION

Introduction to the Grassland Village Special Area Plan

Based upon extensive public input and involvement, the Grassland Village Special Area Plan outlines the County's long-term policies for the Village with respect to future land uses, design and character issues, and infrastructure and accessibility needs. The Plan articulates a shared vision for the future of the Village and identifies specific Goals and Objectives that are designed to help achieve that vision.

As a public policy document, the Plan should be utilized in several ways. First, it should be used by public decision-makers in the development of implementation tools such as tailored zoning regulations, which are designed to help make the Plan a reality. Second, it can be used as a guide for making investments in infrastructure, public facilities, and amenities. Finally, it should be used by citizens and business owners as a guide for making private-sector decisions related to development on individual properties as well as cooperative efforts for the betterment of the Village as a whole.

A wide variety of stakeholders were involved in the development of this Plan. Business owners, residents, property owners, County staff, and elected officials have a shared interest in preserving and enhancing the Village's unique character and economic vitality. Therefore, the Plan should be used by each of these groups as a guide for making and coordinating decisions regarding future development and improvements within the Village.

Relationship to the Comprehensive Plan

The Williamson County Comprehensive Land Use Plan, which was adopted in the fall of 2007, serves as the primary policy document related to the future growth and development of the unincorporated County. Among many other things, the Comprehensive Plan makes recommendations regarding future land use patterns and suggests appropriate land uses and types of development for various parts of the County. In doing so, all land in the unincorporated County has been placed into one of seven land use categories, each with its own set of development policies. Because the County's Comprehensive Plan deals with a very large geographic area, its recommendations related to future land use and development patterns are necessarily broad and generalized in nature.

The core area of Grassland Village was identified in the Comprehensive Plan as one of four Villages. These Villages, which also include College Grove, Leiper's Fork, and Triune, are relatively small mixed use "centers" that serve as focal points for the largely rural communities that surround them.

As a result of the much broader scope of the County's Comprehensive Plan and the complexities of the Villages, the Comprehensive Plan recommends that a Special Area Plan be prepared for each Village, thus allowing a more detailed level of planning to occur within these important areas of the County.

Plan Overview

The Grassland Village Special Area Plan is organized into seven Chapters, including this introduction. In addition to the Introduction, the Plan contains the following:

Chapter 2 — Planning Process

This Chapter outlines the process that was utilized in the development of the Plan, including the following:

- ♣ Background and Existing Conditions Research;
- ♣ Development of the Citizens Advisory Committee;
- ♣ Public Involvement Meetings;
- ♣ Development of the Plan; and
- ♣ Approval Process.

Chapter 3 — Inventory and Assessment

This Chapter contains a summary of the research and analysis that served as the initial foundation for the development of the Plan. It includes a brief narrative on the history of the Grassland Village as well as a detailed analysis of the area's natural and environmental features, existing land use patterns, infrastructure, and community facilities.

Chapter 4—Major Themes

This Chapter summarizes the major themes that have emerged from the many public involvement meetings that occurred during the planning process. These major themes, which represent the most common concerns expressed by the community, became the foundation upon which the Plan's Vision Statement and Goals, Objectives, and Character Areas were created. The Major Themes are as follows:

- ♣ Encourage Appropriate Land Uses;
- ♣ Address Infrastructure Needs;
- ♣ Preserve Open Space; and
- ♣ Promote Various Safe Transportation Options.

Chapter 5—Vision, Goals, and Objectives

This Chapter includes an overall Vision for Grassland Village as well as a series of Goals and Objectives related to:

- ♣ Land use;
- ♣ Design and Character and Natural Resources; and
- ♣ Transportation and Infrastructure.

Chapter 6—Character Areas

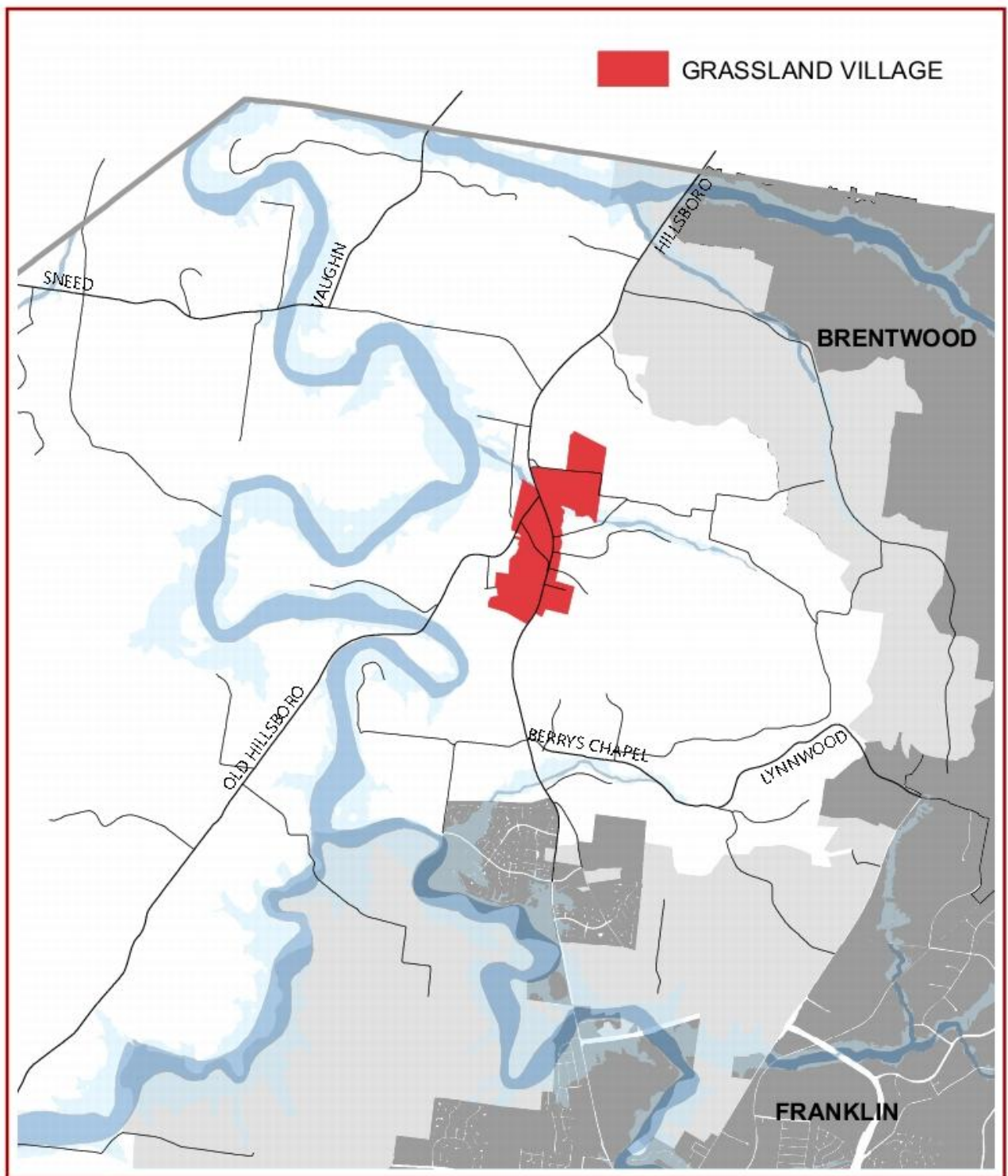
This Chapter outlines the four “Character Areas” which comprise the Grassland Village and provide specific recommendations for each.

Chapter 7—Conclusion

This Chapter summarizes the purpose and major themes of the Plan and touches upon Plan implementation.

Study Area

The Grassland Village encompasses approximately 400 acres in north-central Williamson County, within the larger Grassland Community. The study area consists of 87 parcels, and is home to approximately 77 people and approximately 35 businesses. The boundary of the Grassland Village is illustrated in the maps that follow.



GRASSLAND VILLAGE LOCATION MAP



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GRASSLAND VILLAGE BOUNDARY



DISCLAIMER: This map was created by the Williamson County Planning Department and was compiled from the most authentic information available. The County is not responsible for any errors or omissions herein.



CHAPTER 2

PLANNING PROCESS

Introduction

The Planning Process for the Grassland Village Special Area Plan included a number of key Planning Phases, with a strong emphasis on public participation. Multiple stakeholders were involved throughout the process, ensuring the Plan was inclusive of the community's ideas and preferences. The Plan was prepared in close consultation with the Grassland Village Citizens Advisory Committee, which served as a sounding board throughout the process and helped to reconcile the various points of view in the community.

This Chapter describes the planning process from beginning to end, including the initial research conducted by Staff, the development of the Citizens Advisory Committee, the public involvement meetings, and the drafting and development of the Plan itself.

Planning Phases

Phase 1: Background and Existing Conditions Research

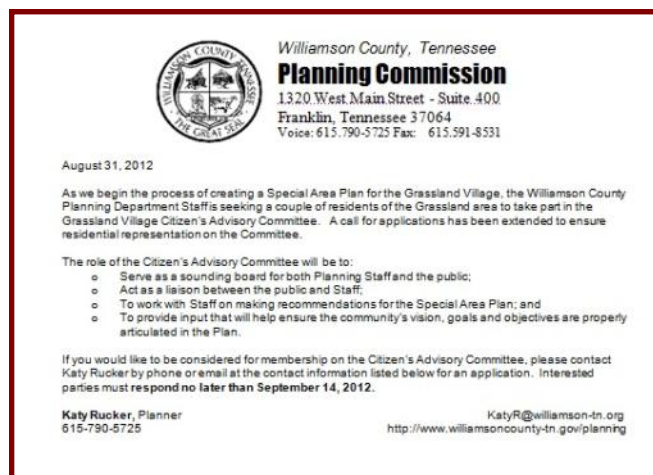
The data collected in this Phase provided Staff and the Citizens Advisory Committee with a greater understanding of the Village's historical context and current conditions and set the stage for more well-informed decisions later in the Planning Process. The research conducted during this Phase included a historic summary as well as a detailed analysis of the area's environmental and natural resources, land use patterns, transportation and

infrastructure facilities, and community facilities and amenities. This information is summarized in Chapter 3 of the Plan.

Phase 2: Development of the Citizens Advisory Committee

To assist with the development of the Plan, a group of citizens, business owners, and civic leaders was assembled to form a Citizens Advisory Committee. This Committee represented a variety of interests in the Village and was instrumental in creating the Plan. In addition, the Citizens Advisory Committee served as an important liaison between Staff and the public and was helpful in reconciling the various issues that arose during the Public Involvement Phase.

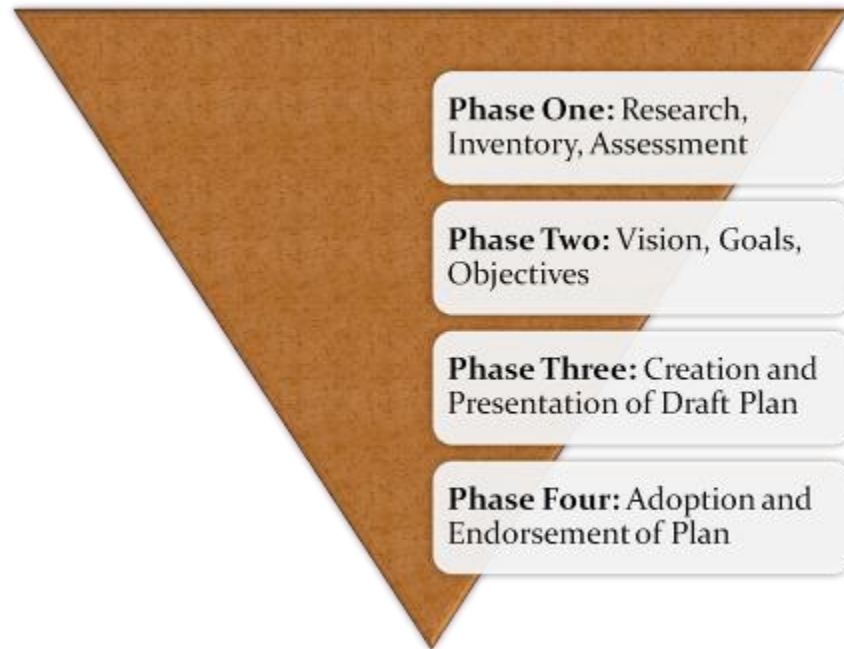
Right: A postcard sent to Grassland Village stakeholders calling for volunteers for the Citizens Advisory Committee.



Phase 3: Public Involvement Meetings

The planning process involved extensive community participation in the form of six public involvement meetings. The information provided by the community during these meetings was the foundation upon which the Plan was built. Each meeting was designed to encourage those attending to articulate their desires and preferences for the community.

The first in the series of public involvement meetings, an Open House information session, was the “kick-off” meeting which gave Staff the opportunity to inform the public about the Plan. This Open House, which was held on December 10, 2012, consisted of an introductory look into the Special Area Plan process and was designed to provide the community an opportunity to better understand the elements of a plan, the existing conditions, and how the Plan fits into the overall comprehensive planning efforts of the County.



Above: A process chart outlines the project phases with an inverted triangle, which signifies the narrowing of the project's focus as the Plan progresses.

Following the Open House meeting, the first public involvement meeting was held on January 31, 2013. Providing Staff the opportunity to inform the public of the Plan's purpose, the meeting also allowed members of the public to identify what they saw as current issues and concerns in and around the Village. The meeting allowed those in attendance to articulate their desires for the future of Grassland Village. The responses provided at this meeting can be found in Appendix A.

The second public involvement meeting, held on March 18, 2013, was geared toward providing the public with an opportunity to further explore and elaborate upon the issues and opportunities raised during the first public involvement meeting. Citizens were asked to rank the issues identified at the previous meeting in terms of their importance, and to develop draft Vision Statements and draft Goals that reflected their desires for the future of the Village. The results of these exercises can be found in Appendix B.

The third public involvement meeting was held on June 4th, and was designed to solicit feedback from the community regarding a draft Vision Statement and a set of Goals developed by Staff, which was based upon the input received during the first two meetings. In addition, citizens reviewed examples of various types of development which had been grouped together based on similarities and assigned a color. Using these colors as a key, those who participated were asked to color a blank map of the Grassland Village with the type of development they preferred in specific areas,

answering the question, *"If Grassland Village were a blank canvas, how would you like to see it develop in the next twenty years?"* The results of all exercises during this meeting can be found in Appendix C.

On October 15, 2013, the fourth public involvement meeting was held. Staff presented draft Objectives which had been developed with the Citizens Advisory Committee based on information obtained during the previous meetings. This meeting also served as an opportunity to introduce the concept of *Character Areas*, which serve as an integral part of the Plan's structure and development.

The final public involvement meeting, held on [Month XX, 201X](#), was formatted as an Open House and served as an opportunity to present the Grassland Village Special Area Plan document. Materials from each of the previous public meetings were made available for viewing, showing the Plan's development throughout the process. Staff gave a presentation on the Plan, including a summary of each chapter, which highlighted how public involvement helped to shape the Plan.

A collection of images from the public involvement meetings can be found on the following pages.



Left: Citizens color maps to show their preference for the development form in Grassland Village.

Right: Attendees of the first Public Involvement Meeting, held on January 31, 2013, watch a presentation on the Special Area Plan process.



Right: Groups work together to develop a list of issues they feel are important to the future of the Grassland Village.



Right: Citizens attend a presentation on the Plan's Objectives and Concepts on October 15, 2013.






Left: Groups discuss concepts of the Grassland Village Special Area Plan.



Left: A citizen contemplates what issues to vote for by placing a sticker next to the issue.

Phase 4: Development of the Plan

Upon completion of an extensive public involvement phase, and with a full understanding of the unique issues confronting the Village and the values of the community, Staff developed a draft Plan for review by the Citizens Advisory Committee and the public. Upon presentation and overall support from the community, the Plan was ultimately presented to the Planning Commission and County Commission as part of the approval and adoption process.



CHAPTER 3

INVENTORY AND ASSESSMENT

Introduction

Before the public involvement and plan development phases were initiated, it was crucial for Staff to gain an understanding of the history and current conditions of the Grassland Village. Staff members from the Williamson County Planning Department spent several months conducting research regarding various aspects of the Grassland Village. In addition to understanding the historical context of the community, Staff set out to develop a current assessment and inventory of features such as:

- ♣ Land Uses;
- ♣ Environmental and Natural Resources;
- ♣ Transportation and Infrastructure; and
- ♣ Community Facilities.

The following sections describe a summary of the data collected in this phase of the Plan and describe the context in which each feature exists.

Historical Background

The Grassland Village is located in north-central Williamson county within the larger Grassland Community. The history of Grassland begins in the late 1820s when the area was settled by William Leaton, III as part of a land grant given to William Leaton, Jr. in 1784.

By 1801, John Campbell, John Stuart, Ephraim Brown, William Tarkington, and Joseph German were living in this area. Later Grassland families were Leigh, Motheral, Fulton, Sneed, Murrey, Armstrong, Hulme, Greer, Moran, Wray, and Hughes.

In 1846, Prior Smith bought the Leaton farm and enlarged the two-room log cabin, the district's first voting place, to a 10-room house known as the Jeff Moran home. Today the historic home is part of the River Rest Subdivision, located just outside of the northern boundary of the Village. By this time, the community had blacksmith shops, country stores, a post office (1879 -1902), and Grassland School. Bethlehem United Methodist Church was organized in 1848.¹

Other historic resources surround the Village boundaries, including the Moran/Motheral House, the Meeting-of-the-Waters on Del Rio Pike, and Old Natchez Trace at Moran Road.



Right: A historical marker details the origins of the Grassland Community.

Natural Resources Inventory and Assessment

The Grassland Village contains a rich variety of natural resources, with rolling hills to the west and waterways along the east which drain into the Harpeth River to the north.

One of the most prominent natural resources within the Grassland Village is the wooded hillsides found along the western edge of the Village. Many of the commercial properties within the Village are located at the foot of these slopes, which create a natural restriction to development in the area. As a result, development of the area has been limited and will need to be thoughtfully planned in the future, so as to preserve the natural beauty for which the Grassland Village is known.

¹ The above information was compiled on November 22, 2013 at <http://www.waymarking.com/waymarks/WM9MN> which provides digital text for the Grassland Historical Marker.

Other natural resources, such as Cartwright Creek that runs parallel to Hillsboro Road, are concentrated to the east. As a tributary to the Harpeth River, this creek flows through the Village, creating areas of floodplain which must be managed. A map depicting these resources can be found on the following page.

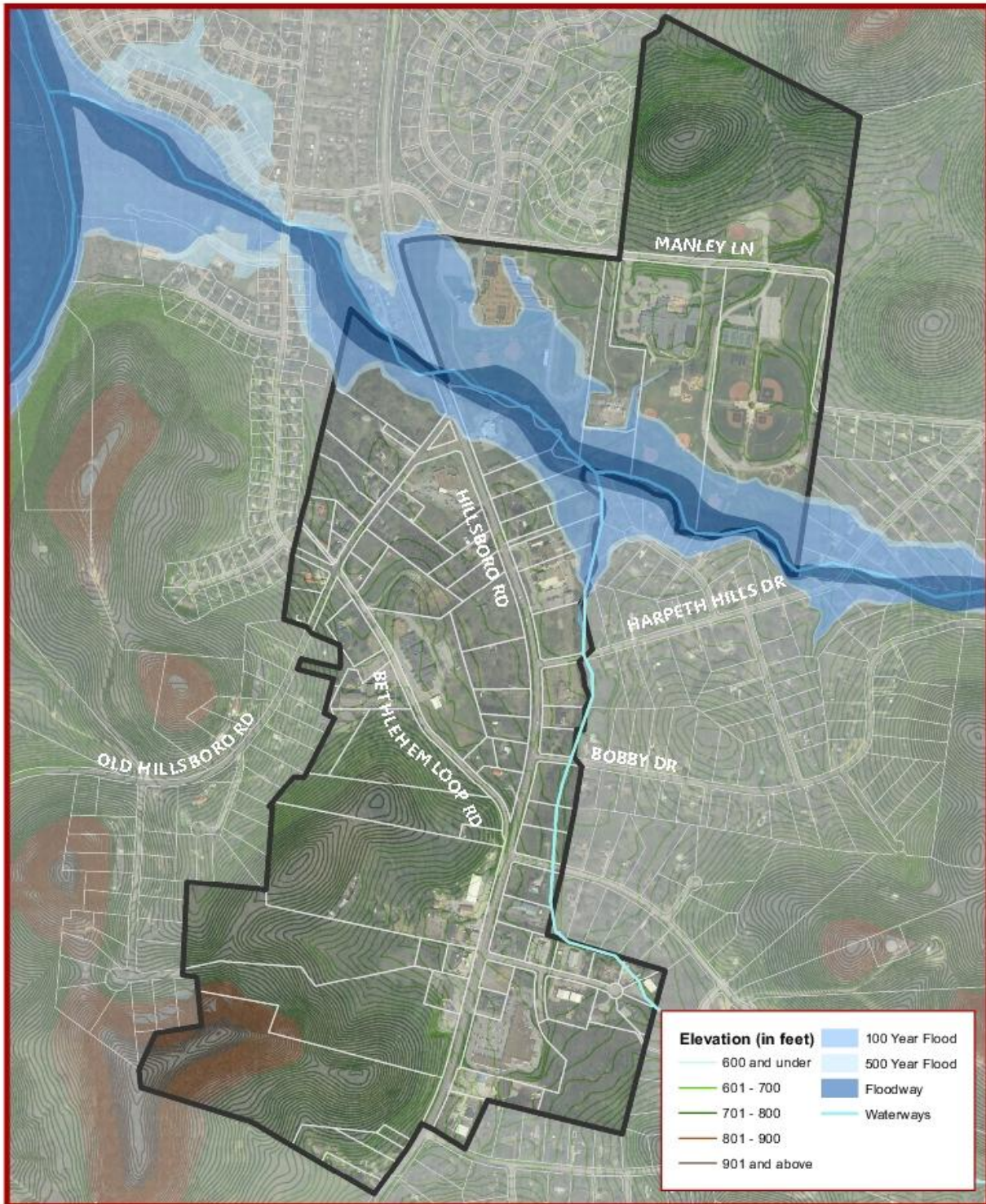
Land Use Inventory and Assessment

The Grassland Village contains 87 parcels, which comprise approximately 400 acres in total. Based on a land use inventory undertaken by County Planning Staff, land uses have been summarized in two categories:

- ♣ Land use by number of parcel
- ♣ Land use by acreage

The chart below illustrates both categories in a side-by side comparison.

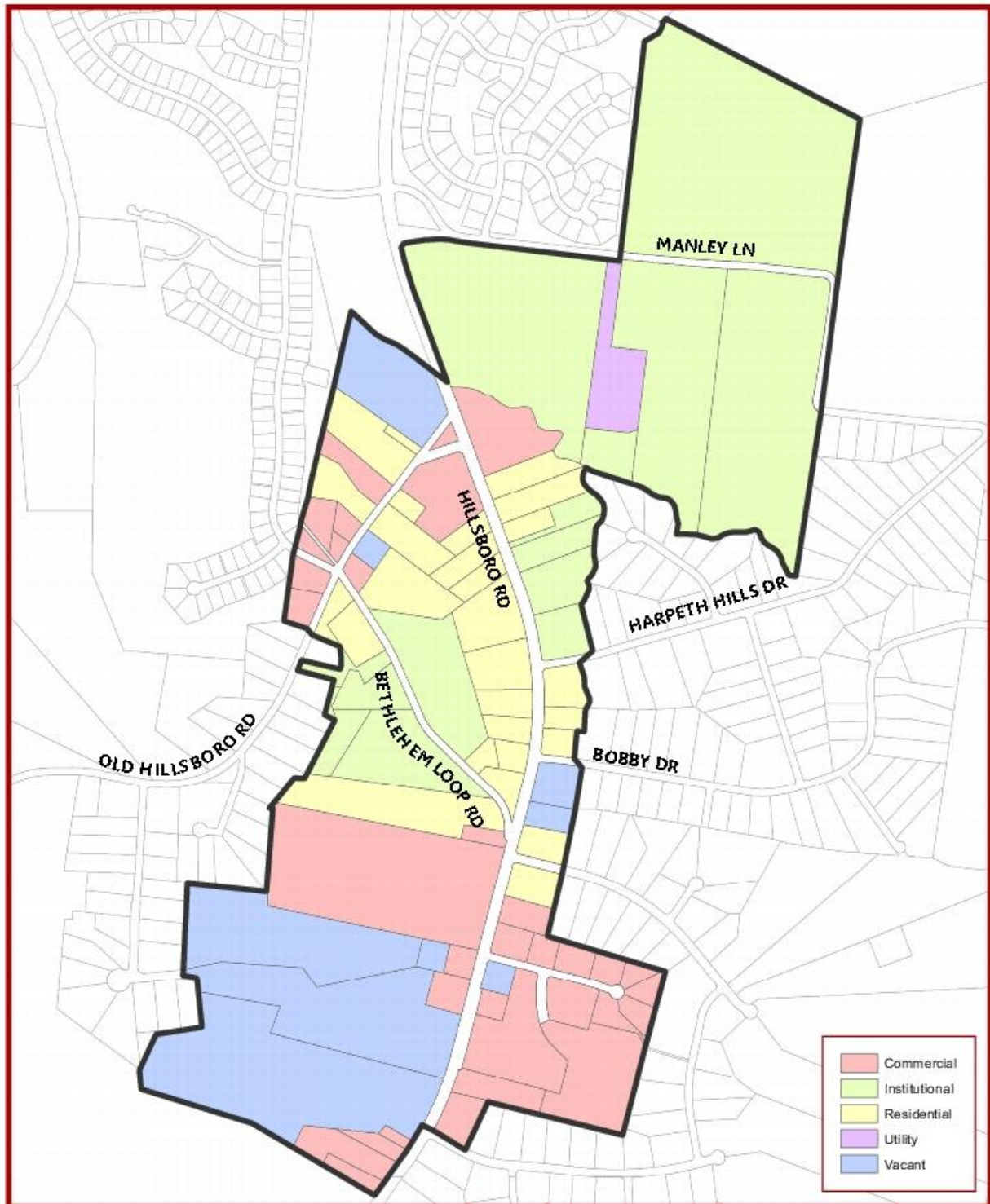
LAND USE	PARCELS	% OF TOTAL PARCELS	ACREAGE	% OF TOTAL ACREAGE
Commercial	35	40%	95.58	24%
Residential	27	31%	56.67	13.5%
Institutional	15	17%	165.33	42%
Utility	1	1.5%	6	1.5%
Vacant	9	10.5%	74.21	19%
TOTAL	87	100%	397.79	100%



GRASSLAND VILLAGE NATURAL RESOURCES



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GRASSLAND VILLAGE LAND USE INVENTORY



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Commercial

As historical crossroads communities, Villages have typically contained a greater number of commercial uses than their rural surroundings. This is especially true for the Grassland Village, and it should be no surprise to see that commercial uses are the most common use within the Village boundaries. Commercial uses vary greatly and include restaurants, gas stations, veterinary clinics, retail shops, self-storage facilities, and markets. Staff estimates that there are approximately 35 parcels that are classified as strictly commercial use, which is approximately 40% of the total parcels and 24% of the total acreage within the Village.



Top Left: The Daily Dish on Hillsboro Road. Top Right: Little House Animal Hospital on Battlewood Street. Above Left: The Children's Academy on Battlewood Street.. Above Right: The Battlewood Shopping Center is home to a number of businesses, including a grocery store.

Residential

In addition to thriving commercial areas of the Village, there are a number of single-family residential uses along Hillsboro Road. Single-family residential housing makes up approximately 31% of the total parcels within the Village. This is approximately one-third of the total land use; however, it only consumes 13.5% of the total acreage within the Village boundaries, making it the second most common use, but an overall small percentage of the total Village make-up.



Top Left: The entrance to Hunterwood Subdivision. Top Right: A home located along Hillsboro Road. Above Left: A series of town homes in the River Rest Subdivision. Above Right: A single family ranch style home on Hillsboro Road.

Institutional

Institutional uses that exist in the Village include schools, churches, parks, and County-owned buildings and property. Institutional uses make up 17% of the total uses, and about 165.33 acres, or just under half of the total acreage at 42%. The largest institutional use are the parcels that combine to make up Grassland Middle and Elementary Schools and the County parks.



Above Left: Grassland Elementary School Entrance. Above Right: Grace Center on Bethlehem Loop Road. Left: The entrance to the walking trail leading into Grassland Park, located at the north end of the Village.

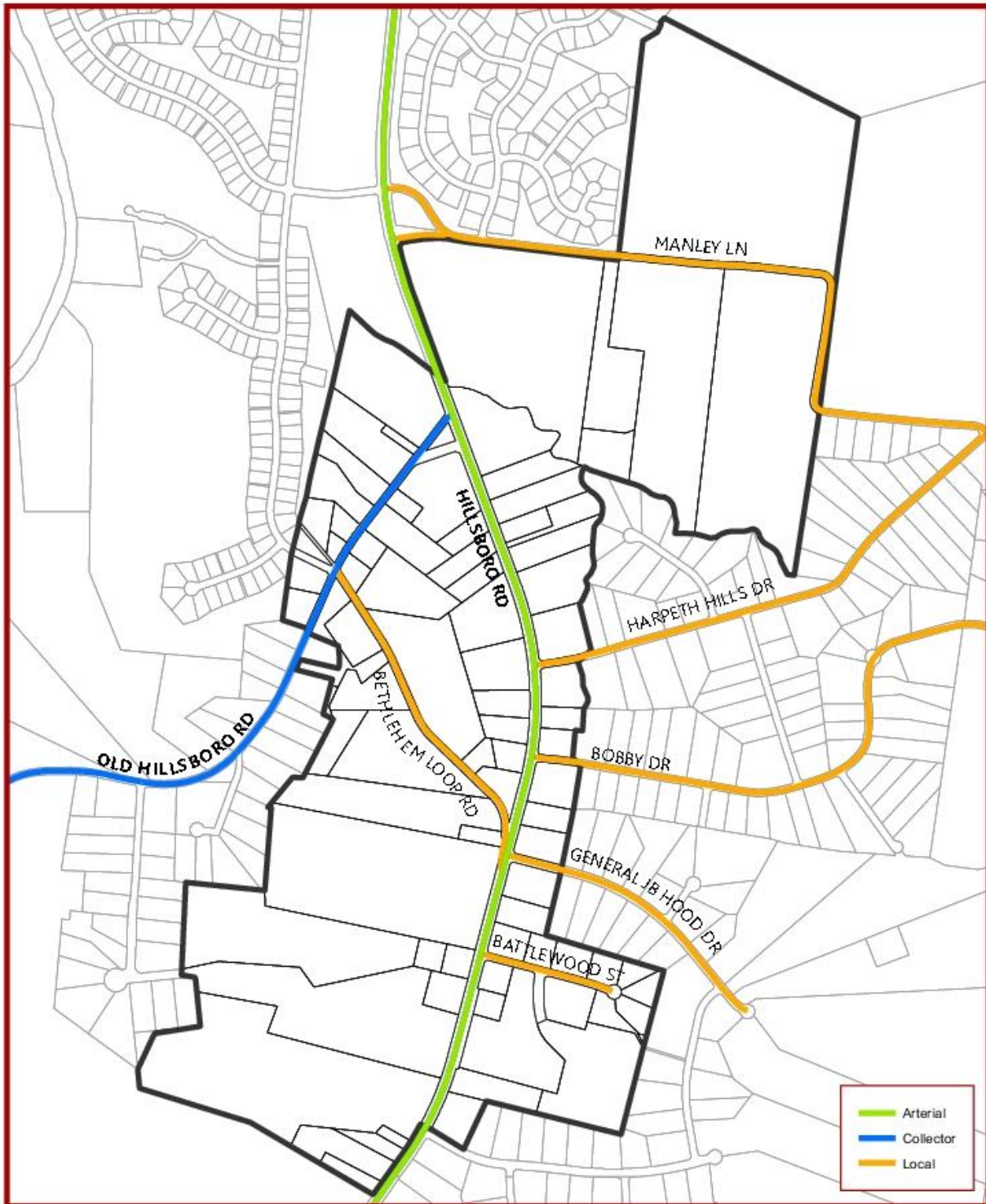


Transportation and Infrastructure Inventory and Assessment

Road Network

The road network for the Grassland Village includes two arterial roads, as well as multiple collector and local roads. These roads range in function, from servicing local residents and businesses to providing access to locations outside of Williamson County. Due to an increase in growth outside of the Village, these roads receive pressure to continue their dual roles of providing a high level of service while addressing the transportation needs of local and regional users. The chart below lists the classifications for all public roads in the Village. The Grassland Village is primarily laid out in a linear pattern, with collector roads accessing Hillsboro Road directly, as illustrated on the map on the following page.

STREET NAME	ARTERIAL	COLLECTOR	LOCAL
MANLEY LANE			•
HILLSBORO ROAD*	•		
OLD HILLSBORO ROAD*		•	
BETHLEHEM LOOP ROAD			•
HARPETH HILLS DR			•
BOBBY DRIVE			•
GENERAL JB HOOD DRIVE			•
BATTLEWOOD			•
* Maintained by the Tennessee Department of Transportation (TDOT)			



GRASSLAND VILLAGE STREETS INVENTORY



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Sidewalks and Bike Lanes

Throughout several visits by Staff to the Grassland Village, there was little to no pedestrian activity observed in the area. Sidewalks and authorized crosswalks are very limited in their existence throughout the Village. The lack of these pedestrian amenities causes potential safety issues, and is a major deterrent to those who wish to walk or bicycle. It is worth noting that a bicycle lane does exist along Hillsboro Road for most of the segment that runs through the Village, but it lacks connections to any other streets within the Village.



Above: Examples along Battlewood Street and Hillsboro Road show no sidewalks. Hillsboro Road does, however, have a designated bicycle lane.

Water and Sewer Utilities

The Grassland Village is serviced by a combination of individual septic systems and sewer provided by the Cartwright Creek Utility Company. While the Agency continues to serve the existing customers, capacity to serve new development in the area is limited at the present time.

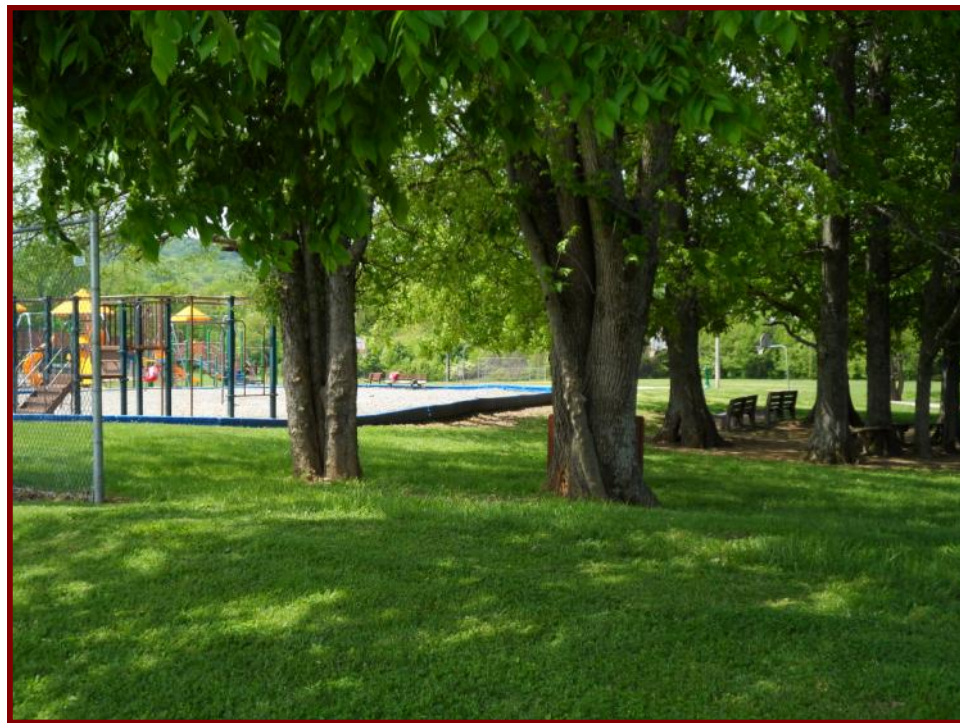
Cartwright Creek Utility Company is actively working with the Tennessee Department of Environmental and Conservation to obtain new operating permits and develop a plan for resolving infrastructure limitations.

Water to the Grassland Village is provided by the City of Franklin. Water line sizes range from 6 to 16 inches, and adequately serve the residents and business within the Village.

Community Facilities Inventory and Assessment

The Grassland Village is home to a number of valuable community facilities, which provide educational, spiritual, and recreational amenities to area residents. The greatest concentration of these facilities can be found along Manley Lane, where two schools and a County-owned park combine to form the civic heart of the community.

Schools are undoubtedly among the greatest assets to a community, and the Grassland Village is home to both Grassland Middle School and Grassland Elementary School, whose campuses adjoin each other on the south side of Manley Lane. In addition, Benton Hall Academy shares its campus with Grace Center. The quality of these schools helps to make the Grassland area a highly sought after location for area families.



Above: Grassland Park provides areas to socialize. Photo courtesy of Williamson County Schools.

Straddling Manley Lane just east of the school complex is Grassland Park, a 76-acre park which includes six baseball diamonds, six tennis courts, a picnic area, a playground, and walking trails. The park is also home to The Sensory Garden for the Blind, which was established

established in 2009 as a joint project by the Boy Scouts of America, the Lion's Club, and Williamson County Parks and Recreation. The garden offers a variety of plant life that can be touched, smelled, and enjoyed by those with visual impairments as well as all other visitors.



Above: The Williamson County Sensory Garden for the Blind. Photo courtesy of Hob Nob Franklin.

In addition to outdoor activities, area congregations gather weekly to worship and socialize. Grassland Village is home to three churches; Bethlehem United Methodist Church, Grace Center, and Grassland Heights Baptist Church. Each provides activities throughout the year, such as parent's day out events, community fish fries, bible studies, and child care.



CHAPTER 4

KEY THEMES AND PLAN CATEGORIES

Introduction

Early in the planning process, citizens were asked to identify what they felt were the most important planning issues facing Grassland and to articulate their vision for the future of the Village. While a fairly broad range of issues were identified during these exercises (See Appendix A), a number of key themes emerged.

Key Themes

The key themes that arose from the public visioning exercises reflect an overall direction for the Plan based on the issues that the community identified as being the most crucial for the future of the Village. These key themes are as follows:

- ♣ Ensure that new development is compatible with the desired character of the Village;
- ♣ Foster a vibrant, neighborhood-serving business community;
- ♣ Preserve natural resources;
- ♣ Promote safe and efficient vehicular traffic;
- ♣ Seek opportunities for pedestrian connectivity;
- ♣ Address wastewater issues; and
- ♣ Encourage community events and activities.

Plan Categories

The specific issues raised by community members at the first public involvement meeting (See Appendix A), as well as key themes listed on the previous page, tend to fall within one of three categories, which became the major focus of the Plan's Vision, Goals, and Objectives. The three Plan categories are:

- ♣ Land Use;
- ♣ Design, Character and Natural Resources; and
- ♣ Infrastructure and Government Services.



Above: Williamson County Planning Staff discusses the themes emerging during the Sticky Dot Exercise held on March 18, 2013.



CHAPTER 5

VISION, GOALS AND OBJECTIVES

Introduction

This Chapter articulates a Vision for the future of the Grassland Village and outlines a set of Goals and Objectives that are geared toward making that Vision a reality. While the Vision Statement answers the question “What do we want?”, the Goals and Objectives describe “How can we get there?”. The Vision Statement and Goals and Objectives were based on both an understanding of the issues facing the community as well as the desires of the community as expressed during multiple public involvement meetings (see Appendices A and B).

The Goals and Objectives are organized around several categories that were established early in the process of the Plan’s development. These categories are:

- ⌘ Land Use
- ⌘ Design, Character and Natural Resources
- ⌘ Infrastructure and Government Services

Grassland Village Vision Statement

The Grassland Village will be a vibrant, walkable, mixed-use community comprised of distinct sub-areas, each with their own unique character, woven together through unifying streetscape and common design elements, and linked to surrounding neighborhoods by a safe and efficient network of roads, sidewalks and trails. Compatible new development will create and sustain a unique character in the Village and will provide an expanded array of community-scaled businesses and services to meet the daily needs of the surrounding community. Important natural resources, such as stream corridors and forested hillsides will coexist with new development, preserving sensitive environmental features and aesthetic amenities.



Above: Looking west down Battlewood Street

Land Use Goals and Objectives

Goal A: Promote a variety of complimentary land uses that reinforce the desired Village Character.

Objective 1: Create a tailored set of development standards to ensure that new development is compatible with the desired character of the Village. These standards should:

- Create four distinct and separate “Character Areas” within the Village that are designated through similar development patterns and use types; helping to ensure that these areas develop according to the Vision and recommendations of this Plan (*see Chapter 6 for detailed descriptions of these Character Areas*).
- Identify appropriate land uses (i.e., retail, office, single-family residential, etc.) within individual Character Areas.
- Help preserve the integrity of residential neighborhoods.

Goal B: Encourage compatible new development that provides an expanded array of neighborhood-serving businesses and helps create an economically vibrant, pedestrian-friendly environment.

Objective 1: Development standards should promote opportunities for a range of retail, restaurant and service uses within areas designated as commercial nodes.

Objective 2: Infill development that helps establish the desired character should be encouraged within commercial nodes.

Objective 3: Development standards should require the provision of pedestrian amenities on or adjacent to a new development site.

Goal C: Discourage land uses that would detract from the desired character of the Village.

Objective 1: Development standards should prohibit land uses that are not consistent with the character of the Village.

Objective 2: Development standards should protect surrounding residential neighborhoods from adverse impacts of new development.

Goal D: Carefully integrate new development with environmentally sensitive areas to protect these important resources and to provide recreational amenities where feasible.

Objective 1: Development standards should address the protection of natural resources and the preservation of open space.

Objective 2: New development should be encouraged on environmentally-suitable land within commercial nodes, thereby relieving development pressure on hillsides and other environmentally sensitive areas.

Design, Character and Natural Resources Goals and Objectives

Goal A: Create a unique and unifying image for the Village.

Objective 1: Create gateway entrances into the Village through the use of distinctive signage, landscaping and other elements to provide a sense of identity and arrival into the Village.

- Objective 2:** Create an overall streetscape plan for the Village and identify specific opportunities for improvements.
- Objective 3:** Development standards should promote a degree of uniformity in signage within the Village, while allowing for appropriate design flexibility.
- Objective 4:** Consider the creation of a Village association to promote cooperation between citizens and the business community and to work to implement streetscape improvements, the construction of greenways and trails, and other Village-wide initiatives.

Goal B: Ensure that new development is compatible with desired Village character.

- Objective 1:** Create a tailored set of development standards to ensure that new development is compatible with the desired character of the Village. These standards should:
- ♣ Help ensure that the distinct Character Areas within the Village develop according to the Vision and recommendations of this Plan *(See Chapter 6 for a detailed description of these Character Areas)*.
 - ♣ Include standards that address building setbacks, scale, massing, lighting and other elements that are fundamental to establishing the character of development.
 - ♣ The community should create a set of “best practices” for new development that illustrates the design features that are consistent with the desired character of the Village.
 - ♣ Help preserve the integrity of residential neighborhoods.

Goal C: Create an atmosphere within the Village that is safe and inviting for pedestrian activity.

Objective 1: Pursue the development of pedestrian and bicycle amenities, such as sidewalks, bike lanes and trails, through community initiatives and in conjunction with new development projects.

Objective 2: Engage in discussions with current land owners regarding the possibility of constructing a trail network connecting schools, recreational areas, commercial nodes and surrounding neighborhoods.

Goal D: Preserve the Village's valuable natural resources and promote the retention of open space.

Objective 1: Development standards should incorporate enhanced criteria for natural resource protection, while also promoting environmentally-friendly development practices.

Objective 2: Development standards should include appropriate provisions for the retention of open space in conjunction with new development.

Infrastructure and Government Services Goals and Objectives

Goal A: Improve the safety and efficiency of vehicular traffic within the Village.

Objective 1: Create an overall traffic/access management plan for the Village to identify strategic roadway improvements (which may include road realignments, turn lanes in key locations,

signalization opportunities and appropriate traffic calming measures), and to create standards that ensure the safety and efficiency of new driveway entrances along Hillsboro Road.

Objective 2: Minimize conflicts among auto, bicycle, and pedestrian users within the Village.

Objective 3: Development standards should provide incentives to encourage shared parking and access drives in order to lessen traffic impacts on Hillsboro Road.

Objective 4: Identify existing driveways that are inefficient and/or unsafe and work to correct those problems.

Objective 5: Encourage new development along Hillsboro Road to gain access from side streets where feasible, in lieu of direct access to Hillsboro Road.

Objective 6: Work with the Tennessee Department of Transportation (TDOT) to ensure that speed limits are appropriate within the Village.

Goal B: Create strong connections for pedestrians and bicyclists between various activity centers within the Village and to surrounding neighborhoods.

Objective 1: Create an overall traffic/access management plan for the Village which will identify/evaluate opportunities to construct sidewalks and bike lanes where appropriate and feasible.

Objective 2: Consider the construction of permanent crosswalk facilities at key locations on Hillsboro Road and Manley Lane.

Objective 3: Construct a multi-use greenway/trail network connecting commercial and recreation nodes to surrounding neighborhoods.

Goal C: Pursue wastewater solutions to address current limitations and deficiencies, as well as to support new development that is consistent with the vision for the future of the Village.

Objective 1: Engage in discussions with the sewer provider(s) in the area to explore ways to improve the existing systems serving the area.

Objective 2: New development should only be permitted where adequate public water, sewer/septic and other infrastructure is available or planned.



Above and Below: Residents of the Grassland Village work in small groups during a Public Involvement Meeting to develop goals for the Village.



CHAPTER 6

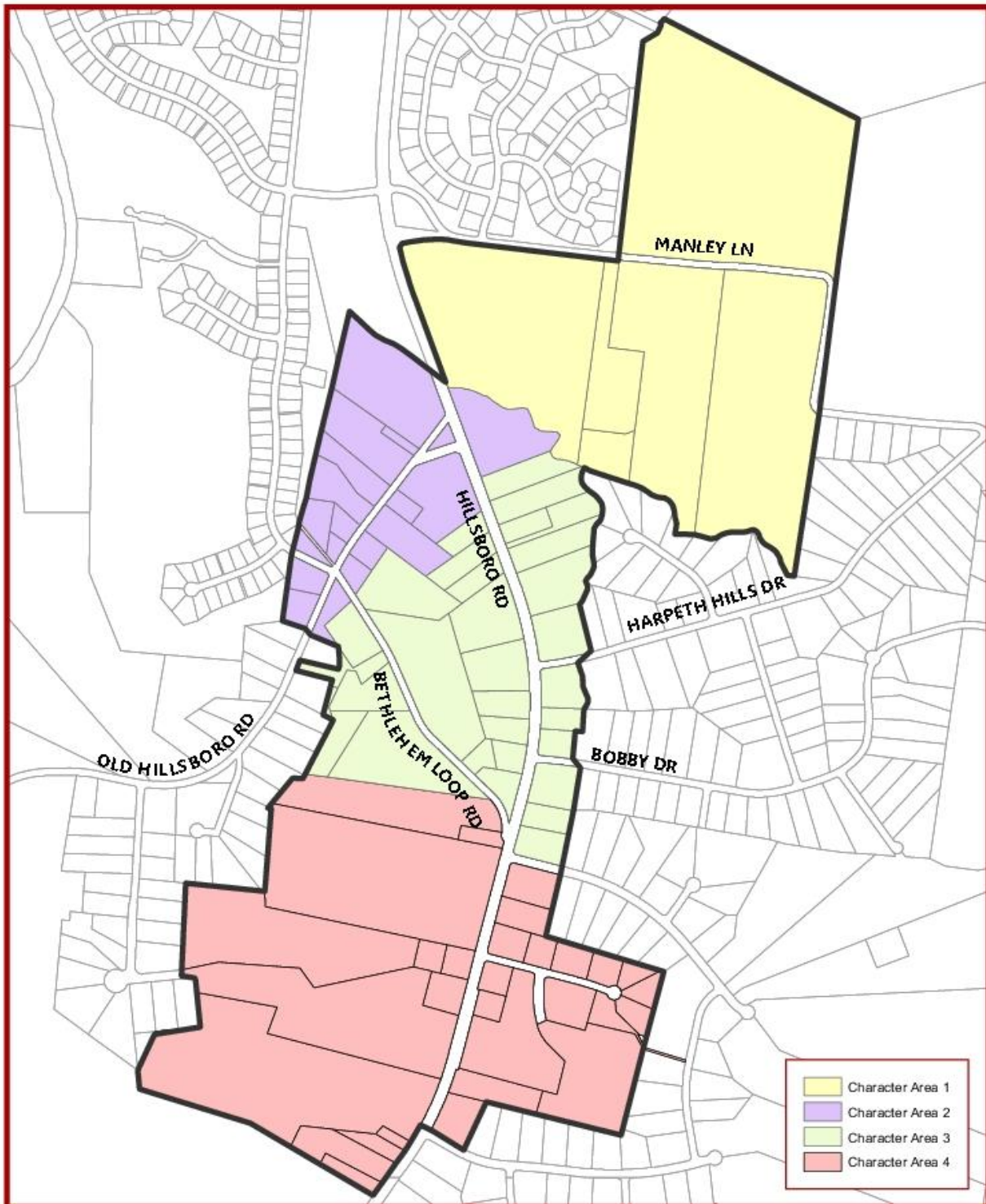
CHARACTER AREAS

Introduction

The Grassland Village Special Area Plan articulates a Vision for the future of the community and provides specific Goals and Objectives to help guide development in the Village over the next 20 years.

The Grassland Village is unique in that it contains two distinct and separate commercial nodes along the Hillsboro Road corridor. This configuration means that there is no defined “core” to the Village, where the primary activity center is maintained, but instead a variety of mixed uses and areas defined by their own unique character. To address this, the Grassland Village has been subdivided into four “Character Areas” which, in addition to following the standards designated by the Grassland Village Zoning District, will dictate appropriate land uses, transportation options, and overall development form, such as setbacks and density.

What follows is a brief description and overall guidance on each of the four Character Areas within the Grassland Village.



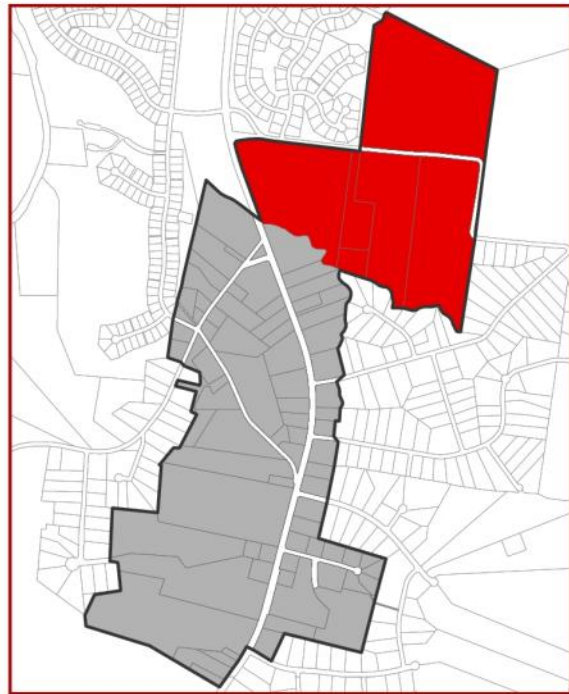
GRASSLAND VILLAGE CHARACTER AREAS



DISCLAIMER: This map was created by the Williamson County Planning Department and was compiled from the most authentic information available. The County is not responsible for any errors or omissions herein.

Character Area 1

Bounded by Hillsboro Road to the west, Cartwright Creek to the south, Harpeth Hills subdivision on the east, and the steep slopes just north of Manley Lane to the north, this Character Area acts as the community hub of the Village, providing recreational amenities and places for the community to gather. Both Grassland Middle School and Grassland Elementary School are located in the Character Area, further establishing the community feel and orientation. The protection of environmental features is important to this area's unique character.



GRASSLAND VILLAGE CHARACTER AREA 1

Of particular importance are the steep slopes to the north and the established parks and open spaces, which provide recreation, public spaces, and a connection with the natural resources in the area.

Recommendations

Land Use, Design and Character

The character of this area is currently established as a hub for public and institutional uses. Recognizing that this character is an asset to the community and should be expanded upon where possible, this plan recommends that future development embrace and enhance these uses – creating additional facilities and amenities for community use. As such, the following recommendations should be pursued:

- Future development should be in keeping with the established character of the area and should expand upon the existing array of public, institutional, and community uses.
- Parcels should remain large with low densities to protect the natural resources and enhance the beauty of the Village's natural hillsides and scenic views.
- Construction of an amphitheatre on the northernmost parcel of Character Area 1 is recommended to serve as a community gathering space.

Traffic and Infrastructure

A walking trail is currently established along the west and south sides of the Character Area, and is a vital component to establishing pedestrian connectivity within the Grassland Village. Improvements to this trail, in addition to other pedestrian amenities throughout the Village will increase walkability, reduce car trips, and provide safe opportunities for recreation and alternative transportation. It is recommended that the following improvements to this Character Area be executed:

- Two trail connections across Cartwright Creek to the existing trail should be pursued. The first from Character Area 2 to the south through the parcel on which Pet Vet (Parcel ID: 027G A 04700) is currently located. The second as a means to connect the Harpeth Hills neighborhood to Character Area 1 by way of a connection from the parcels located along Manley Court.
- A school traffic study should be developed to determine how to best improve the overall safety and efficiency of pedestrian and vehicular traffic related to the elementary and middle schools.
- A sidewalk connecting Grassland Middle and Elementary Schools and continuing to include the park property on the south side of Manley Lane is recommended to provide safe pedestrian amenities set back from the road.
- A crosswalk should be pursued on Manley Lane connecting the parks located on either side of the road. An additional crosswalk should be constructed at Hillsboro Road at the existing signalized intersection, connecting River Rest Subdivision with the public and institutional uses in Character Area 1.

- ♣ On the northernmost parcel of Character Area 1, improvements to the existing walking trail are recommended, as this is a community amenity that brings focus to the natural resources and beautiful hillsides, for which the Grassland Village is known.






Above: A view looking south from Manley Lane. Below: Proposed improvements including walking trails and bike paths.





CHARACTER AREA I Proposed Improvement Map

-  Proposed Park Improvement Area
-  Proposed Sidewalk
-  Proposed Crosswalk
-  Proposed Nature Trail
-  Proposed School Traffic Study Area

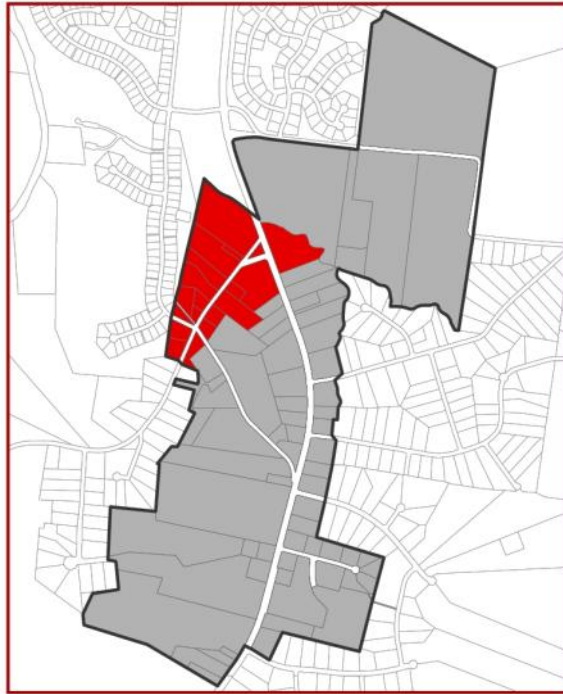


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Character Area 2

Bounded by Cartwright Creek to the northeast and River Rest Subdivision to the northwest, this Character Area is bisected by Old Hillsboro Road at its center. As the Northern Gateway of the Grassland Village, the area typically includes smaller parcels with neighborhood-scale businesses and single-family residences.

The enhancement of this area as a unique shopping destination with charming retail and restaurants mixed with single-family residences is vital to establishing the character of the Grassland Village.



GRASSLAND VILLAGE CHARACTER AREA 2

Recommendations

Land Use, Design and Character

The character of this area currently is a mix of residential and commercial uses, and both uses will remain vital to the area. However, as the area develops, opportunities exist to create a distinct commercial district with neighborhood-scaled shops and restaurants. As such, the following recommendations should be pursued:

- Appropriate land uses include neighborhood-scaled retail shops, restaurants, service uses, and single-family residential uses.
- New buildings should be located relatively close to Old Hillsboro Road, have pitched roofs, and be limited to two stories in height.

- ♣ Parcels that front Hillsboro Road should be considered “anchors” to the neighborhood commercial district along Old Hillsboro Road. As such, it is recommended that these anchors be developed at a slightly larger scale.
- ♣ Parking to the side or rear of the building is generally preferred, and shared parking should be encouraged whenever feasible.
- ♣ The intersection of Old Hillsboro and Hillsboro Roads should be designated as the Northern Gateway Entrance into the Grassland Village, while the intersection of Old Hillsboro and Bethlehem Loop Roads should be designated as the Western Gateway Entrance. This can be accomplished through use of distinctive signage, landscaping or other elements.

Traffic and Infrastructure

No pedestrian amenities currently exist within this Character Area. It is recommended that the following improvements to this Character Area be executed:

- ♣ The realignment of Old Hillsboro Road at Hillsboro Road should be pursued to improve safety conditions and traffic flow along Hillsboro Road. In addition to this realignment, a northbound left turn lane should be established on Hillsboro Road in conjunction with the newly aligned intersection.
- ♣ A crosswalk at the intersection of Old Hillsboro Road and Hillsboro Road should be pursued as a means to connect the commercial parcels across Hillsboro Road to the remainder of the commercial district, and to connect pedestrian access to the walking trail along the creek.
- ♣ Sidewalks along Old Hillsboro Road should be pursued as part of an overall streetscaping plan that may include decorative lighting, underground utilities, and landscaping. These sidewalks should match the character of the area, be set back from the road where feasible, and have a meandering quality in response to topographic changes.
- ♣ A trail connecting the River Rest Subdivision with the proposed sidewalk along Old Hillsboro Road should be considered to expand pedestrian opportunities.
- ♣ Sidewalks along Bethlehem Loop into Character Area 3 are recommended.








Above: Old Hillsboro Road looking East. Below: Old Hillsboro Road with proposed improvements.





CHARACTER AREA 2 Proposed Improvement Map

-  Proposed Location for Gateway Entrance
-  Proposed Left Turn Lane
-  Proposed Sidewalk
-  Proposed Crosswalk
-  Proposed Nature Trail
-  Proposed Right-of-Way To Be Abandoned

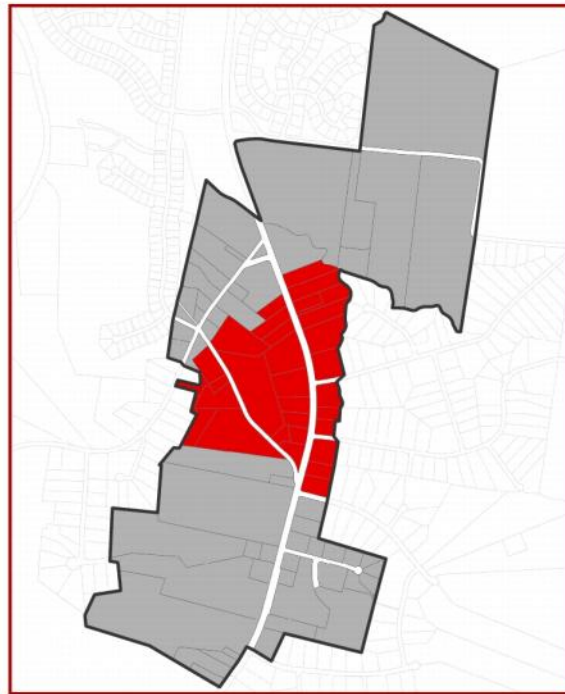


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Character Area 3

Bounded to the north by Character Area 2 and to the south by Character Area 4, this area serves as the mid-section of the Grassland Village. Predominately residential, this portion of the Village runs along the longest stretch of Hillsboro Road, the main arterial at the center of the Grassland Village.

Of important note is the eastern boundary of this Character Area, which is comprised of parcels fronting Hillsboro Road, many of which are part of platted residential subdivisions.



GRASSLAND VILLAGE CHARACTER AREA 3

Recommendations

Land Use, Design and Character

Character Area 3 is the residential core of the Grassland Village. This area should develop with a character very similar to what is present today, with churches, schools, and other institutions interspersed among low to moderate density residential uses. As such, the following recommendations should be pursued:

- Appropriate land uses primarily include single-family residences, low-density townhomes (attached single family residential), churches, schools, and passive parks.
- Parking to the rear or side of the building is generally preferred, and shared parking should be encouraged whenever feasible.

- Architectural elements of new development should compliment the established character.

Traffic and Infrastructure

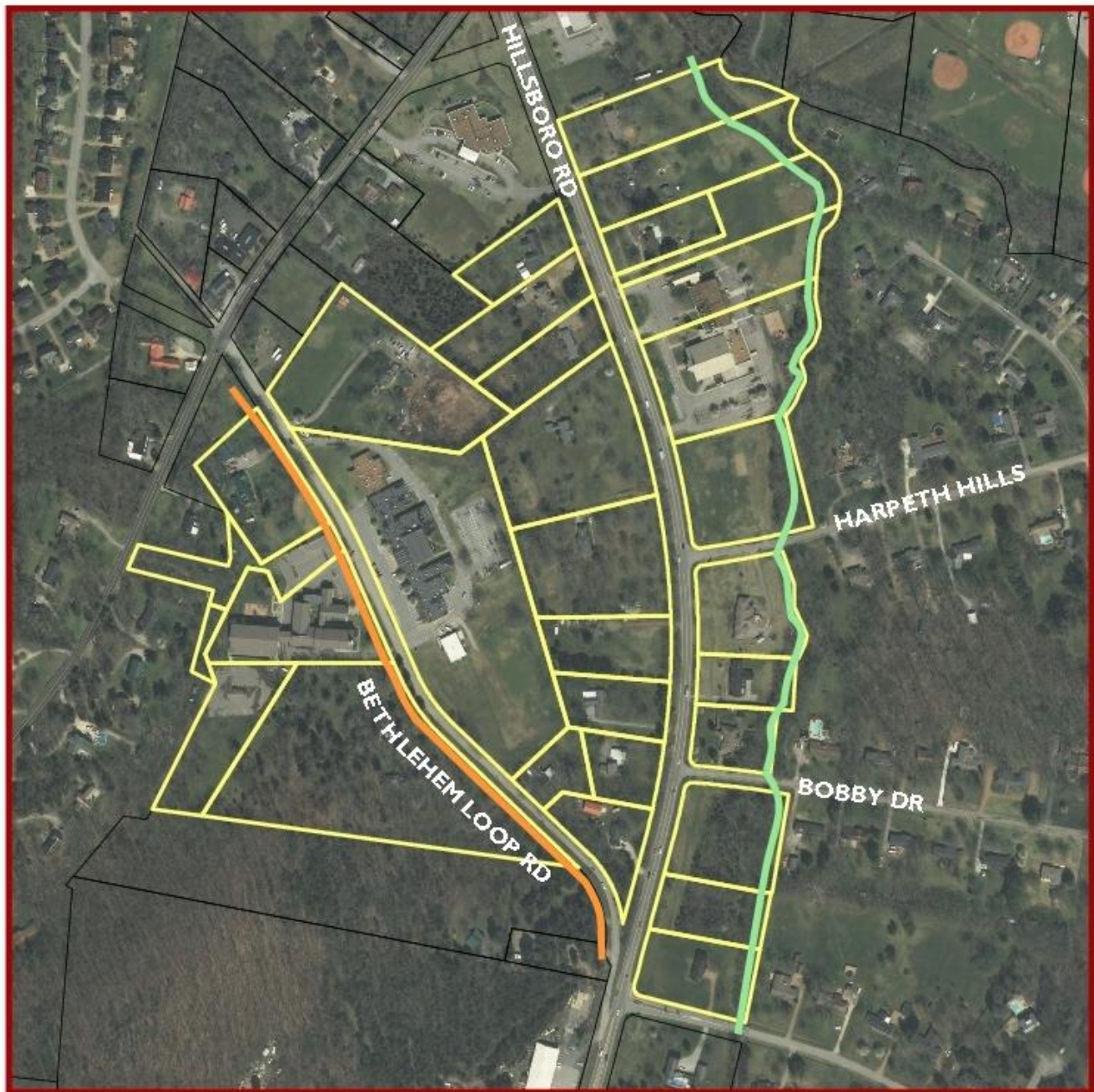
No pedestrian amenities currently exist within the Character Area. However, with its prime location between two commercial nodes, such amenities could greatly enhance the Village as a whole. It is recommended that the following improvements to this Character Area be executed:

- Whenever feasible, new development should derive access from side streets in lieu of direct access to Hillsboro Road.
- Recognizing that the intersection of Hillsboro Road and Bethlehem Loop Road is unsafe in its current connection, it is recommended that the intersection be studied in order to determine a means to address the safety issue.
- The walking trail along Cartwright Creek that originates in Character Area 1 should extend through Character Area 3 and terminate in Character Area 4.
- A sidewalk should be pursued along Bethlehem Loop Road and continuing into Character Area 4, along the west side of Hillsboro Road.
- Streetscaping that includes underground utilities, lighting and landscaping should be pursued throughout the Character Area.



Above: An image of an existing vacant lot along Character Area 3 along Hillsboro Road. Below: A rendering of the same lot pictured above with low-density townhomes developed on the site.





CHARACTER AREA 3 Proposed Improvement Map

- Proposed Sidewalk
- Proposed Nature Trail

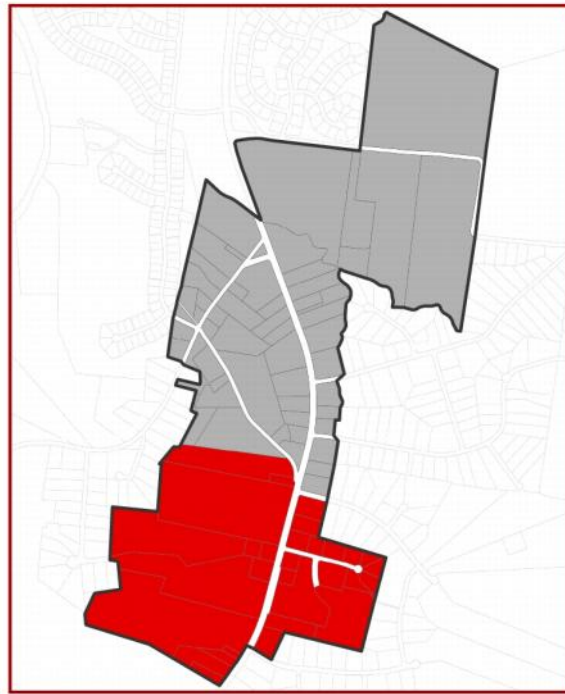


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Character Area 4

Bounded to the north by Character Area 3, this area serves as the Southern Gateway to the Grassland Village. Predominately commercial, this portion of the Village is the larger of the two existing commercial nodes.

Of important note is the western boundary of this character area, which is comprised of steep slopes that are less suitable for development. These hillsides contribute to the scenic qualities for which Grassland is known.



GRASSLAND VILLAGE CHARACTER AREA 4

Recommendations

Land Use, Design and Character

Character Area 4 is already recognized as the main commercial hub of the Village, and this character should be embraced and enhanced where feasible. This area should develop as a relatively compact, walkable commercial node; providing area residents with an expanded array of community-oriented businesses. As such, the following recommendations should be pursued:

- Appropriate land uses primarily include retail shops, restaurants, offices, and service uses.
- New infill buildings should be constructed on vacant or under-utilized parcels, creating a more compact, pedestrian-oriented, commercial environment.

- ♣ Parking to the rear or side of the building is generally preferred, and shared parking should be encouraged whenever feasible.
- ♣ New development should be concentrated in environmentally-suitable areas, thereby preserving steep slopes and hillsides which serve as an aesthetic amenity and important buffer between commercial and residential areas.
- ♣ The intersection of General NB Forrest Drive and Hillsboro Road should be designated as the Southern Gateway Entrance into the Grassland Village through the use of distinctive signage, landscaping, or other elements.

Traffic and Infrastructure

Hillsboro Road bisects this Character Area and frequently experiences traffic delays. In addition, no pedestrian amenities currently exist within the Character Area. However, the more compact character of the commercial area lends itself to a pedestrian-friendly environment that should be enhanced whenever possible. It is recommended that the following improvements to this Character Area be executed:

- ♣ A new road(s) should be constructed on the west side of Hillsboro Road to serve new development anticipated in that area and as a means of reducing direct access to Hillsboro Road.
- ♣ Whenever feasible, new development should derive access from side streets in lieu of direct access to Hillsboro Road.
- ♣ The intersection of Hillsboro Road and Battlewood Street should be studied for the opportunity for north- and southbound left turn lanes on Hillsboro Road in conjunction with the intersection signalization.
- ♣ The walking trail along Cartwright Creek that originates in Character Area 1 should extend south to Character Area 4, transitioning into a sidewalk located along Battlewood Street.
- ♣ Sidewalks should be constructed along both sides of Hillsboro Road, stretching nearly the entire length of the Character Area, stopping at General JB Hood Drive to the north and creating a connection to the trail. These sidewalks should include appropriate landscaped buffers, as a means to create safe separation for pedestrians from vehicular traffic.
- ♣ A crosswalk should be implemented at the intersection of Hillsboro Road and Battlewood Street to increase walkability between the commercial nodes located on either side of Hillsboro Road.

- ♣ Streetscaping that includes underground utilities, lighting, and landscaping should be pursued throughout the Character Area.

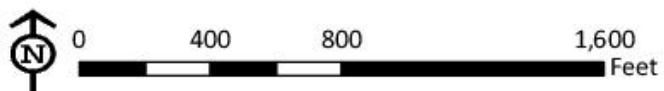


Above: The intersection of Hillsboro Road and Battle Avenue. Below: The same intersection with proposed improvements as recommended in Character Area 4.





CHARACTER AREA 4 Proposed Improvement Map



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-  Proposed Location for Gateway Entrance
-  Proposed Left Turn Lanes
-  Proposed Sidewalk
-  Proposed Crosswalk
-  Proposed Nature Trail
-  Steep Slopes and Hilltops (approximate)



CHAPTER 7

IMPLEMENTATION

Implementation

The Grassland Village Special Area Plan articulates a Vision for the community and provides specific Goals, Objectives, and Recommendations to help guide the Village over the next 20 years. The successful implementation of the Plan will require the support, commitment and participation of varying groups and individuals.

In moving forward, there are a number of actions that will need to take place in order to fully implement the Plan, and it is incumbent upon both the public and private sectors to share in this responsibility. Just as the planning process was a combined effort between Williamson County and the Grassland community, so must be the implementation of the Plan. While Williamson County will play a key role in implementing many of the Goals and Objectives contained in the Plan, residents, business and property owners, private developers, and other entities with an interest in the future of the Village must be active participants.

Williamson County's primary role in implementation efforts will be to work with the community to develop a Grassland Village Zoning District, with its accompanying development standards, to help ensure that future development in the Village is consistent with the desires of the community and the Vision articulated in the Plan. In addition, Williamson County may partner with the community in identifying and pursuing funding mechanisms for certain improvements called for in the Plan, such as walking trails and streetscape elements.

Residents, business and property owners, and private developers should use the Plan as a guide for making decisions regarding development on private property as well as Village-wide improvements that are driven primarily by the private sector. Establishing community consensus and awareness regarding the Vision, Goals, and Objectives

contained in the Plan is also a role that private-sector stakeholders can play. With the combined efforts of the County and the community, the shared vision for a preserved and enhanced Village can be realized.



APPENDIX A

PUBLIC INVOLVEMENT MEETING #1

January 31, 2013

In your opinion, what are the most important Planning, Preservation, and Development Issues facing the Grassland Village?

- ♣ 3.5 acres in front of Bobby Drive—Zoning?? Who has jurisdiction?
- ♣ A community that supports and sustains more locally owned businesses
- ♣ Aging community
- ♣ Community gathering area (amphitheater, demonstration area/celebration)
- ♣ Controlled growth
- ♣ Dense development around commercial area—utilities (sewer)
- ♣ Development—integrity/density
- ♣ Fireworks/Christmas Tree tents
- ♣ Flood control and control and growth plan
- ♣ Future subdivisions should maintain 5 acre minimum
- ♣ Grassland Village will be a self sustaining community with local businesses, services
- ♣ Growing faster than resources —> planned growth
- ♣ Growth, services
- ♣ Hillsboro Rd—traffic issues solved before more commercial, then a plan needs to be in effect (i.e., road widened)
- ♣ Housing developments
- ♣ Is growth a necessity
- ♣ Lack of restaurants, mini stores, assisted living across the street from Dr's office

- ♣ Limitations on commercial and non-residential development
- ♣ Limitations on the size of buildings (already <10,000 sq ft)
- ♣ Make Grassland an inclusive, family oriented, intergenerational self contained community
- ♣ More restaurant choices
- ♣ Preserve open space/farmland
- ♣ Retail/Food
- ♣ Service—hardware store, sewer system
- ♣ Want designated commercial pockets
- ♣ We know Grassland will continue with some growth, however our vision for Grassland to keep its Village and ... ambiance
- ♣ We see Grassland as a self contained community with all amenities that you would need to not leave the Village
- ♣ We want a community that is for all, children through senior, with events that bring community together not so spread apart
- ♣ A Village that has preserved its personality of a quaint community with locally owned businesses that inspire community involvement and Gathering
- ♣ Attractive to young families
- ♣ Cartwright watershed and clean up issues to be made asset not liability
- ♣ Cleanliness
- ♣ Commercial needs to be kept small (sq footage defined—no big box)
- ♣ Community gathering area (amphitheater, demonstration area/celebration)
- ♣ Connect recreation within Village
- ♣ Designate permanent green spaces, especially on commercial boundaries
- ♣ Development—integrity/density
- ♣ Development on the top of hills—hilltop plan in Character Plan
- ♣ Centralized parking
- ♣ Clean up and maintain attractive and ... business properties (no junk ..., abandoned buildings, or environmental ...)
- ♣ Evolve into a “Greener Grassland” - that is, businesses adopt energy efficient and environmental sensitive practices (lighting, air quality, noise pollution)
- ♣ Flood control
- ♣ Flood control

- ♣ Flood control and control and growth plan
- ♣ Future subdivisions should maintain 5 acre minimum
- ♣ Green spaces
- ♣ Limitation on the size of buildings (already <10,000 sq ft)
- ♣ Looks like a Village, good streetscape between commercial area and schools
- ♣ Parking placement is important
- ♣ Parks/Access to the river
- ♣ Preservation of personality
- ♣ Preserve open space/farmland
- ♣ Preserve open space, vegetation, character of area
- ♣ Preserving and designating green space, would like to see restrictions on hunting/shooting near residential areas
- ♣ Quality look, buildings landscaping/overall architectural design
- ♣ River flooding—drainage—Cartwright Creek
- ♣ Save hillsides and trees
- ♣ Signage: design, size, placement to be done with good planning
- ♣ The look of the businesses
- ♣ Traffic congestions—continuing sewer lines to Sneed Forest and others without it...some kind of better drainage when rains are heavy
- ♣ Village identity, cohesive architecture, common theme, community collaboration
- ♣ Village shopping “character” continual
- ♣ Walking trail between schools and commercial areas
- ♣ We know Grassland will continue with some growth, however our vision for Grassland to keep its Village and ... ambiance
- ♣ We’d like to maintain the small town feel—preserving green spaces and enhancing local history
- ♣ Where businesses have maintained an inviting “feel” with a ... architectural style
- ♣ Zoning guidelines create a local feel
- ♣ 2 lanes Hillsboro —> Old Hillsboro—L Lane signal/lane
- ♣ A calm organized widening in the road will be something to be proud of

- ♣ A Village where traffic and sewage flows freely and openly—preferably not together
- ♣ Bethlehem Loop & Hillsboro Road
- ♣ Bike lanes a plus
- ♣ Bumper Cars
- ♣ Bus Rapid Transit —> Nashville <— Provisions for
- ♣ Can amend about widening and how it will impact Village
- ♣ Cartwright watershed and clean up issues to be made asset not liability
- ♣ Connect recreation with Village
- ♣ Connections from neighborhoods to Battlewood St. and other signs
- ♣ Dense development around commercial area—utilities (sewer)
- ♣ Emergency services
- ♣ Emergency services—substation for police
- ♣ Emergency services in the footprint
- ♣ Grassland Village is a “cut through”
- ♣ Growing faster than resources—planned growth
- ♣ Growth, services
- ♣ Hillsboro Rd—traffic issues solved before more commercial, then a plan needs to be in effect (i.e., road widened)
- ♣ Improve traffic situation before approving new residential development
- ♣ Infrastructure comes first
- ♣ Keep Foxwood Lane a dead end
- ♣ Parks/Access to the River
- ♣ Pedestrian Access (sidewalks, nature trails, safer crossings, crosswalks)
- ♣ People can safely walk and bicycle from place to place
- ♣ Planning and improvement of Hillsboro Rd has to be carefully thought out to provide effective and save traffic flow through Grassland as well as in and around
- ♣ Preserve and expand recreational space
- ♣ Preserve parks school area
- ♣ R Lane —> out Battlewood from Hillsboro
- ♣ Road widening

- ♣ School traffic
- ♣ Service—hardware store, sewer system
- ♣ Sewer and septic capacity/availability are major issues
- ♣ Sewerage
- ♣ Sewers
- ♣ Sidewalks, trails, bike lanes
- ♣ Soccer fields
- ♣ Speed limit control measures
- ♣ Timing of Battlewood St/Hillsboro Rd light
- ♣ Traffic
- ♣ Traffic
- ♣ Traffic: car, bike, and pedestrian, specifically turn lane
- ♣ Traffic congestions—continuing sewer lines to Sneed Forest and others without it—some kind of better drainage when rains are heavy
- ♣ Traffic Hillsboro Pike
- ♣ Traffic in and out of Harpeth Gymnastics
- ♣ Transportation—mass transit—Franklin & Nashville
- ♣ Turn L out of Bobby Drive and Harpeth Hills
- ♣ Turn Lanes
- ♣ Turning lane arrow going North to Hillsboro on Old Hillsboro
- ♣ Turning land North Hillsboro to Old Hillsboro
- ♣ Walking and cyclists trail between park—River Rest—Grassland—Battlewood commercial area—services access
- ♣ Walking availability, sidewalks
- ♣ Walking trail between schools and commercial areas
- ♣ Walking trails
- ♣ Walking trails
- ♣ We want to keep our sense of safety with emergency services readily available
- ♣ We would like to see the parks and recreational facilities more active

What is your vision for the Grassland Village for the next twenty years?

- ♣ That it wouldn't grow too much, but that there would be a few more stores/services for those of us here!
- ♣ Stay the way it is.
- ♣ Connectivity of neighborhoods and commercial areas à sidewalks/bike lanes separated by green space from traffic
- ♣ Branch of Williamson County Library
- ♣ Small hardware store
- ♣ Sewer available
- ♣ A real defined Village of Grassland: a unique character, i.e. Good Cup (small neighborhood feel)
- ♣ Access to Harpeth River (canoes)
- ♣ Connecting to Green Space: Balance access
- ♣ Integrity of Harpeth River preserved and improved
- ♣ Wine Store
- ♣ No apartments but nice condos ok, limited height 2 stories
- ♣ Keep houses off hillsides
- ♣ Better flow of traffic.....more retail shops....better restaurants....art galleries...more updated look to the area, some retail merchants have been here forever with no aesthetic changes, it looks all thrown together and not well planned
- ♣ Preserved green space and limiting new development
- ♣ 2340 Hillsboro Road (Pet Vet's current location) is currently zoned SIC and I would like it to be included in the new Grassland Village Zoning District since it is already being utilized as a commercial use and its proximity to other properties that will be in the Grassland Village Zoning District.
- ♣ I would also like to request that a veterinary hospital that includes the kenneling of animals be added as a permitted use in the Grassland Village Zoning District .
- ♣ Properties 2253 Hillsboro Road and 2406 Bethlehem Loop are currently zoned SIC and I am requesting them to be included in the Grassland Village Zoning District. I feel this is a valid request as these two addresses and the area they are within are surrounded by properties that will be included in the Grassland Village Zoning District.
- ♣ I think the pressure for grassland to grow due to its appeal, schools , and location will be evident . With that in mind, a planned infrastructure of small businesses servicing area neighborhoods is and will be unique in this day of bigger and faster. A calm organized widening in the road will be something to be proud of.

APPENDIX B

PUBLIC INVOLVEMENT MEETING #2

March 18, 2013—Sticky Dot Exercise Results

LAND USE ISSUES	
ISSUE	# of Votes
2340 Hillsboro Rd (Pet Vet's current location) is currently zoned SIC and I would like it to be included in the new Grassland Village Zoning District since it is already being utilized as a commercial use and its proximity to other properties that will be in the Grassland Village Zoning District.	7
3.5 acres in front of Bobby Drive—Zoning?? Who has jurisdiction?	7
A community that supports and sustains more locally owned businesses	0
Aging community	0
Art galleries	0
Better restaurants	2
Community gathering area (amphitheater, demonstration area/celebration)	0
Controlled growth	6
Dense development around commercial area—utilities (sewer)	0
Development—integrity/density	3
Fireworks/Christmas Tree tents	1
Flood control and control and growth plan	1
Future subdivisions should maintain 5 acre minimum	1
Grassland Village will be a self sustaining community with local businesses, services	1
Growing faster than resources —> planned growth	1
Growth, services	0
Hillsboro Rd—traffic issues solved before more commercial, then a plan needs to be in effect (i.e., road widened)	3

LAND USE ISSUES	
ISSUE	# of Votes
Housing developments	1
I think the pressure for Grassland to grow due to its appeal, schools, and location will be evident. With that in mind, a planned infrastructure of small businesses servicing area neighborhoods is and will be unique in this day of bigger and faster	16
I would also like to request that a veterinary hospital that includes kenneling of animals be added as a permitted use in the Grassland Village Zoning District	0
Is growth a necessity	0
Keep houses off hillsides	1
Lack of restaurants, mini stores, assisted living across the street from Dr's office	9
Limitations on commercial and non-residential development	4
Limitations on the size of buildings (already <10,000 sq ft)	29
Make Grassland an inclusive, family oriented, intergenerational self contained community	0
More retail shops	0
More restaurant choices	2
No apartments but nice condos ok (limited height 2 stories)	4
Preserve open space/farmland	2
Preserved green space and limiting new development	16
Properties 2253 Hillsboro Rd and 2406 Bethlehem Loop are currently zoned SIC and I am requesting them to be included in the Grassland Village Zoning District. I feel this is a valid request as these two addresses and the area they are within are surrounded by properties that will be included in the Grassland Village Zoning District.	0
Retail/Food	0
Service—hardware store, sewer system	0
Small hardware store	2
Stay the way it is	1
That it wouldn't grow too much, but that there would be a few more stores/services for those of us here	1
Want designated commercial pockets	1
We know Grassland will continue with some growth, however our vision for Grassland to keep its Village and ... ambience	0
We see Grassland as a self contained community with all amenities that you would need to not leave the Village	2

LAND USE ISSUES	
ISSUE	# of Votes
We want a community that is for all, children through senior, with events that bring community together not so spread apart	0
Wine store	1

DESIGN, CHARACTER AND NATURAL RESOURCES	
ISSUE	# of Votes
A Village that has preserved its personality of a quaint community with locally owned businesses that inspire community involvement and Gathering	5
Access to Harpeth River (canoes)	0
Attractive to young families	0
Cartwright watershed and clean up issues to be made asset not liability	2
Centralized parking	0
Clean up and maintain attractive and ... business properties (no junk ..., abandoned buildings, or environmental ...)	1
Cleanliness	0
Commercial needs to be kept small (sq footage defined—no big box)	1
Community gathering area (amphitheater, demonstration area/celebration)	2
Connect recreation within Village	0
Connecting to open space, balance access	0
Connectivity of neighborhoods and commercial areas —> sidewalks/bike lanes separated by green space from traffic	17
Designate permanent green spaces, especially on commercial boundaries	0
Development—integrity/density	5
Development on the top of hills—hilltop plan in Character Plan	0
Centralized parking	0
Clean up and maintain attractive and ... business properties (no junk ..., abandoned buildings, or environmental ...)	0
Evolve into a “Greener Grassland” - that is, businesses adopt energy efficient and environmental sensitive practices (lighting, air quality, noise pollution)	0
Flood control	1
Flood control	0
Flood control and control and growth plan	2
Future subdivisions should maintain 5 acre minimum	0
Green spaces	0

NATURAL RESOURCE, DESIGN & CHARACTER ISSUES	
ISSUE	# of Votes
Green spaces	0
Integrity of Harpeth River preserved and improved	2
Keep houses off hillsides	0
Limitation on the size of buildings (already <10,000 sq ft)	11
Looks like a Village, good streetscape between commercial area and schools	0
More updated look to the area, some retail merchants have been here forever with no aesthetic changes, it looks all thrown together and not well planned	0
No apartments, but nice condos ok (limited height 2 stories)	0
Parking placement is important	0
Parks/Access to the river	0
Preservation of personality	0
Preserve open space/farmland	4
Preserve open space, vegetation, character of area	0
Preserved green space and limiting new development	8
Preserving and designating green space, would like to see restrictions on hunting/shooting near residential areas	0
Quality look, buildings landscaping/overall architectural design	0
Real defined Village of Grassland: a unique character i.e., The Good Cup (small neighborhood feel)	3
River flooding—drainage—Cartwright Creek	3
Save hillsides and trees	8
Signage: design, size, placement to be done with good planning	1
The look of the businesses	0
Traffic congestions—continuing sewer lines to Sneed Forest and others without it...some kind of better drainage when rains are heavy	1
Village identity, cohesive architecture, common theme, community collaboration	2
Village shopping "character" continual	0
Walking trail between schools and commercial areas	4
We know Grassland will continue with some growth, however our vision for Grassland to keep its Village and ... ambience	6
We'd like to maintain the small town feel—preserving green spaces and enhancing local history	0
Where businesses have maintained an inviting "feel" with a ... architectural style	0
Zoning guidelines create a local feel	0

TRAFFIC AND INFRASTRUCTURE ISSUES	
ISSUE	# of Votes
2 lanes Hillsboro → Old Hillsboro—L Lane signal/lane	2
A calm organized widening in the road will be something to be proud of	0
A Village where traffic and sewage flows freely and openly—preferably not together	0
Bethlehem Loop & Hillsboro Road	9
Better flow of traffic	0
Bike lanes a plus	0
Brand of Williamson County Library	2
Bumper Cars	0
Bus Rapid Transit → Nashville ← Provisions for	1
Can amend about widening and how it will impact Village	0
Cartwright watershed and clean up issues to be made asset not liability	0
Connect recreation with Village	0
Connections from neighborhoods to Battlewood St. and other signs	0
Connectivity of neighborhoods and commercial areas—sidewalks/bike lanes separated by green space from traffic	3
Dense development around commercial area—utilities (sewer)	0
Emergency services	2
Emergency services—substation for police	0
Emergency services in the footprint	0
Grassland Village is a “cut through”	0
Growing faster than resources—planned growth	0
Growth, services	0
Hillsboro Rd—traffic issues solved before more commercial, then a plan needs to be in effect (i.e., road widened)	9
Improve traffic situation before approving new residential development	1
Infrastructure comes first	0
Keep Foxwood Lane a dead end	13
Parks/Access to the River	1
Pedestrian Access (sidewalks, nature trails, safer crossings, crosswalks)	0
People can safely walk and bicycle from place to place	14
Planning and improvement of Hillsboro Rd has to be carefully thought out to provide effective and save traffic flow through Grassland as well as in and around	11
Preserve and expand recreational space	0
Preserve parks school area	0

INFRASTRUCTURE AND GOVERNMENT SERVICES ISSUES	
ISSUE	# of Votes
R Lane → out Battlewood from Hillsboro	0
Road widening	0
School traffic	0
Service—hardware store, sewer system	0
Sewer and septic capacity/availability are major issues	6
Sewer available	0
Sewerage	0
Sewers	0
Sidewalks, trails, bike lanes	0
Soccer fields	0
Speed limit control measures	5
Timing of Battlewood St/Hillsboro Rd light	0
Traffic	0
Traffic	0
Traffic: car, bike, and pedestrian, specifically turn lane	0
Traffic congestions—continuing sewer lines to Sneed Forest and others without it—some kind of better drainage when rains are heavy	3
Traffic Hillsboro Pike	2
Traffic in and out of Harpeth Gymnastics	19
Transportation—mass transit—Franklin & Nashville	0
Turn L out of Bobby Drive and Harpeth Hills	2
Turn Lanes	7
Turning lane arrow going North to Hillsboro on Old Hillsboro	0
Turning land North Hillsboro to Old Hillsboro	0
Walking and cyclists trail between park—River Rest—Grassland—Battlewood commercial area—services access	5
Walking availability, sidewalks	0
Walking trail between schools and commercial areas	4
Walking trails	0
Walking trails	0
We want to keep our sense of safety with emergency services readily available	0
We would like to see the parks and recreational facilities more active	0

With your group, please come up with a Vision Statement for the Grassland Village Special Area Plan.

- ♣ The Grassland Village will remain a unique rural, serene, residential community in harmony with historic and environmental conservation of green space and a vibrant watershed. Future growth will be dependent on planned infrastructure, limited development zoning, allowance of pedestrian and bicycle connectivity, and appropriate "Village Amenities". The continued success of Grassland Village is dependent on our commitment to education, recreation, essential services, and a family oriented community.
- ♣ Grassland Village is a community where residents can enjoy a safe, convenient, and connective environment. Grassland's commercial district is located on a very busy state highway. This will not change, but carefully planned traffic flow and commercial development will provide residents with a safe and convenient shopping experience while maintaining green space. Grassland will also provide green spaces where families can enjoy its natural resources.
- ♣ Use long-term planning to create a family-friendly, self-sufficient community that encourages small business presence connected by safe, pedestrian friendly walkways. Planning will encourage cohesive architecture and localized signage to create a unique community feel.
- ♣ We will embrace Hillsboro Road as they artery that connects us all, but do so in a well-planned, visually attractive, traffic friendly, safe and organized way. We will encourage preservation of our rural feel of rock walls, scenic views, and verdant hillsides.
- ♣ Improved traffic flow to Harpeth River with a road plan developed by the Village in concert with the Williamson County Land Use Plan. Improved flood control and sewers, while maintaining and expanding green space. Develop and encourage unique businesses including current businesses and renovations. Maintain strong sense of integrity and sensibility. Encourage further development of other services to support community.
- ♣ The Vision of Grassland is to build community by promoting family, strategically growing, and connecting Grassland both literally and figuratively.
- ♣ A well planned up to date infrastructure and community access, via many transportation modalities and safe pedestrian traffic, maintaining a family-oriented, small-town feel, including charming amenities that will serve the small community that surrounds the Village.

With your group, please develop a series of Goals that will allow the Vision Statement to be achieved. Keep in mind that while the Vision Statement answers the question "What do we want the Grassland Village to be?" the Goals will define "How do we get there?"

- ♣ Pursue a well-planned and updated infrastructure which includes reasonable time tables to address the current issues the Grassland community faces today.
- ♣ Determine an architectural standard which embodies the charming feel and maintain and preserve our priceless greenspace for future generations to enjoy.
- ♣ Encourage planning for multi-modal transportation that would allow for safe traffic flow but not interfere with our vision for our small community.
- ♣ Continue a Grassland Village Advisory Council to continue to interact with the governmental agencies that make decisions that impact us.
- ♣ Incentives for business options in the known footprint on Hillsboro Road.
- ♣ Traffic – four lanes with center and fifth turn lane, reduced speed limits, bike lane if possible.
- ♣ Comprehensive water and sewer program with a comprehensive sewer treatment plant.
- ♣ Plan future building will adhere to Village standards to encourage small businesses development.
- ♣ Facilitate effective flow of traffic through community.
- ♣ Assist current businesses to grow, prosper, and better serve our community.
- ♣ Develop Grassland in a way that is compatible in size, scale and character with existing development.
- ♣ Create spaces in grassland to gather and means to get there safely.
- ♣ Protect, preserve, and promote Grassland's unique identity and charm.
- ♣ Improve infrastructure so that the community is connected (between all areas – commercial, residential, schools, and parks) and maintain greenspaces.
- ♣ Provide businesses that serve the community, so that residents don't have to leave the area for services, goods, and eateries.
- ♣ Identify and improve the flow of traffic through the Village
- ♣ Limit access from Hillsboro Road by providing alternative access on side streets with a traffic light
- ♣ Establish more effective turn lanes
- ♣ Growth is dependent on adequate provision of waste water management with consideration given to impact on Grassland watershed.

- ♣ Current sewage facility needs to meet current quality standards before consideration can be given to expanded service.
- ♣ Maintain and expand greenspace, preservation of historic elements, and rural character.
- ♣ Vision: Manageable traffic
Goal: Control of access and flow of Hillsboro Road.
- ♣ Vision: Zoning limitations on commercial and non-residential development.
Goal: Maintain current density levels and mix of small local businesses. No over-development.
- ♣ Vision: Preserve waterways and greenways
Goal: Adopt guidelines that have proven successful in other local villages.
- ♣ Create a long-term, properly funded master plan for upgrading Hillsboro Road.
- ♣ Improve Village connectivity through overlay of bikeways, walking paths, and pedestrian friendly travel.
- ♣ Proper zoning to encourage small business ownership and growth.
- ♣ Manage development of hillsides and designated open areas/spaces.

APPENDIX C

PUBLIC INVOLVEMENT MEETING #3

June 4, 2013

Development Exercise (Map Color-Coding)



The following images are scanned copies of maps colored by attendees during the June 4th meeting. This information was utilized in determining not only preferred development form, but also the Character Area Boundaries as seen in Chapter 5 of this Plan.

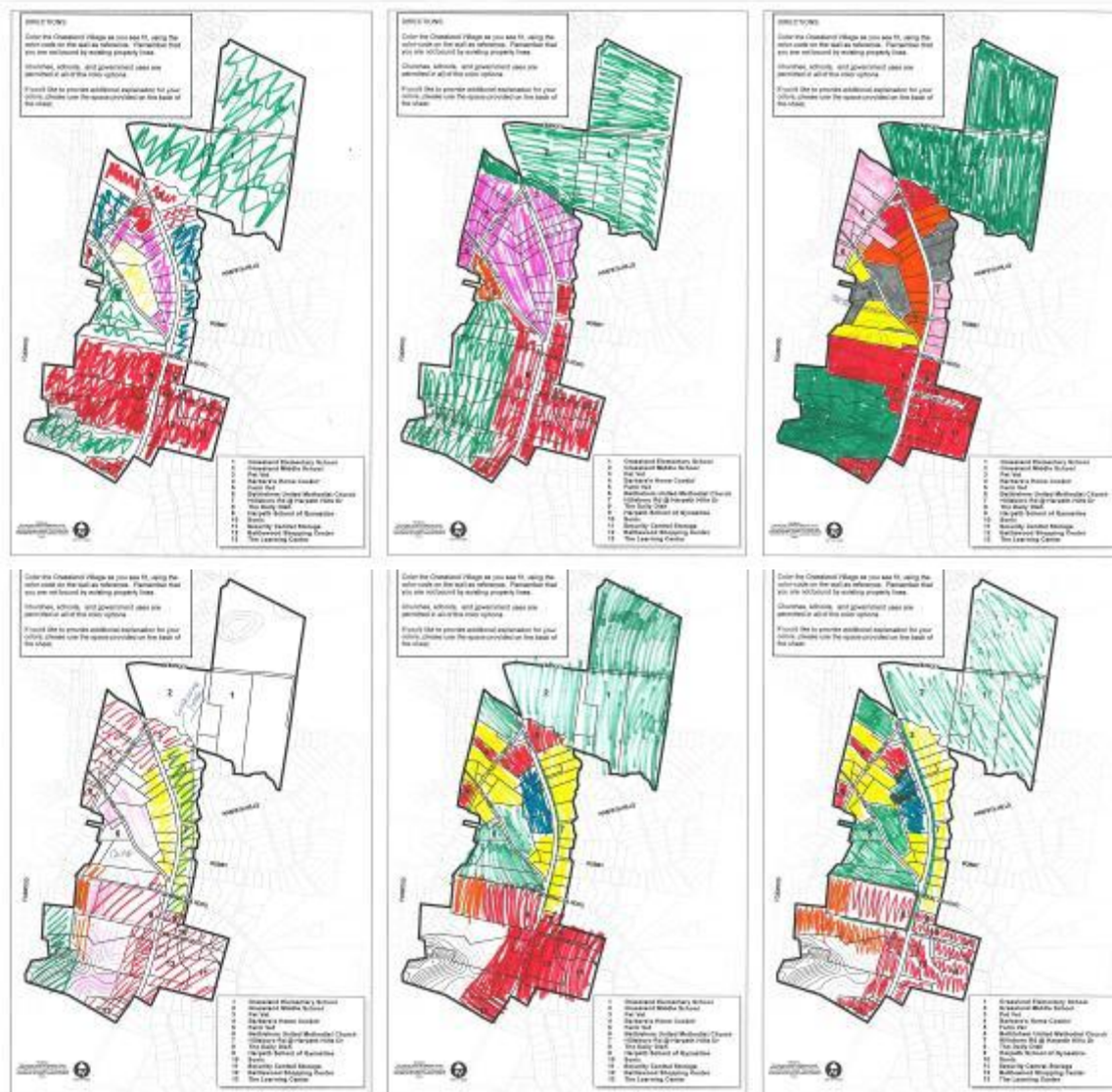
The colors are representative of various development forms as seen on the image below.











Preference Survey Results

A survey was also provided both to those in attendance and those who wished to complete the in survey online. Using a 1-5 preference scale, the survey worked to determine the community preference regarding specific development forms.

Grassland Village June 4, 2013 Preference Survey Results		SURVEY LOCATION					TOTAL	FINAL RESULT
		ONLINE		ONSITE		PERCENT		
		RESPONSES	PERCENT	RESPONSES	PERCENT			
THE RESIDENTIAL AREAS WITHIN THE GRASSLAND VILLAGE SHOULD ONLY CONSIST OF SINGLE-FAMILY HOMES.	1 STRONGLY DISAGREE	4	32%	6	37%	35%	IN FAVOR (53%)	
	2 SOMEWHAT DISAGREE	5		10				
	3 NEUTRAL	1	4%	2.5	6%	5%		
	4 SOMEWHAT AGREE	7	61%	35.5	48%	53%	IN FAVOR (54%)	
	5 STRONGLY AGREE	10		11				
	NO RESPONSE	1	4%	4	9%	7%		
THE RESIDENTIAL AREAS WITHIN THE GRASSLAND VILLAGE SHOULD INCLUDE TOWNHOMES.	1 STRONGLY DISAGREE	3	29%	5	21%	24%	IN FAVOR (54%)	
	2 SOMEWHAT DISAGREE	5		4				
	3 NEUTRAL	6	21%	7.5	17%	19%		
	4 SOMEWHAT AGREE	11	50%	15.5	57%	54%	OPPOSED (77%)	
	5 STRONGLY AGREE	3		9				
	NO RESPONSE	0	0%	2	5%	3%		
THE RESIDENTIAL AREAS WITHIN THE GRASSLAND VILLAGE SHOULD INCLUDE MULTI-STORY APARTMENTS.	1 STRONGLY DISAGREE	21	79%	29	21%	77%	IN FAVOR (42%)	
	2 SOMEWHAT DISAGREE	1		4				
	3 NEUTRAL	3	11%	1	17%	6%		
	4 SOMEWHAT AGREE	1	11%	6	57%	14%	IN FAVOR (73%)	
	5 STRONGLY AGREE	2		1				
	NO RESPONSE	0	0%	2	5%	3%		
THE GRASSLAND VILLAGE SHOULD INCLUDE AN AREA WHERE THERE IS A MIX OF RETAIL USES AT THE STREET LEVEL, WITH RESIDENCES ABOVE.	1 STRONGLY DISAGREE	8	43%	10	21%	37%	IN FAVOR (42%)	
	2 SOMEWHAT DISAGREE	4		4				
	3 NEUTRAL	3	11%	10	17%	18%		
	4 SOMEWHAT AGREE	8	46%	11	57%	42%	IN FAVOR (73%)	
	5 STRONGLY AGREE	5		6				
	NO RESPONSE	0	0%	2	5%	3%		
THE GRASSLAND VILLAGE NEEDS MORE BUSINESSES THAT SERVE THE SURROUNDING COMMUNITY, SUCH AS RESTAURANTS AND INDEPENDENT RETAIL STORES.	1 STRONGLY DISAGREE	2	14%	6	21%	18%	OPPOSED (39%)	
	2 SOMEWHAT DISAGREE	2		3				
	3 NEUTRAL	3	11%	1	17%	6%		
	4 SOMEWHAT AGREE	10	75%	9	57%	73%	OPPOSED (89%)	
	5 STRONGLY AGREE	11		22				
	NO RESPONSE	0	0%	2	5%	3%		
THE GRASSLAND VILLAGE NEEDS MORE OFFICE SPACE TO SERVE THE EMPLOYMENT NEEDS OF THE SURROUNDING AREA.	1 STRONGLY DISAGREE	5	39%	11	21%	39%	OPPOSED (39%)	
	2 SOMEWHAT DISAGREE	6		6				
	3 NEUTRAL	8	29%	9	17%	24%		
	4 SOMEWHAT AGREE	7	32%	11	57%	34%	OPPOSED (89%)	
	5 STRONGLY AGREE	2		4				
	NO RESPONSE	0	0%	2	5%	3%		
THE GRASSLAND VILLAGE WOULD BENEFIT FROM LARGE "BIG BOX" COMMERCIAL BUSINESSES, SUCH AS TARGET OR HOME DEPOT.	1 STRONGLY DISAGREE	23	93%	35	21%	89%	OPPOSED (89%)	
	2 SOMEWHAT DISAGREE	3		2				
	3 NEUTRAL	0	0%	3	17%	4%		
	4 SOMEWHAT AGREE	2	7%	0	57%	6%	OPPOSED (89%)	
	5 STRONGLY AGREE	0		2				
	NO RESPONSE	0	0%	2	5%	3%		

Article 10: Zoning Districts

Section 10.01: General Provisions

(A) COMPLIANCE WITH DISTRICT STANDARDS

No land within the unincorporated area of the County shall be developed or used except in accordance with the zoning district regulations of this Article and all other applicable regulations of this Ordinance including, but not limited to, [Article 11: Use Regulations](#) and [Article 12: Conservation Subdivision Standards](#) through [Article 20: Nontraditional Wastewater Treatment and Disposal Systems](#).

(B) ESTABLISHMENT OF ZONING DISTRICTS

(1) Establishment of Zoning Districts

- a) The unincorporated areas of Williamson County, Tennessee are hereby divided into zoning districts of such number and character as are necessary to achieve compatibility of uses within each district, to implement the Williamson County Comprehensive Land Use Plan, and to achieve the other purposes of this Ordinance. (See [Article 1: General Provisions](#).)
- b) [Table 10.01-I: Zoning Districts Established](#), sets out the zoning districts established as part of this Ordinance.
- c) For the purpose of this Ordinance, all land and water areas in the County are hereby divided into the zoning districts established in [Table 10.01-I: Zoning Districts Established](#). Districts are grouped into base and overlay zoning districts.

TABLE 10.01-I: ZONING DISTRICTS ESTABLISHED	
ABBREVIATION	NEW ZONING DISTRICT NAME
BASE ZONING DISTRICTS	
A	Voluntary Agricultural District
RP-5	Rural Preservation District 5
RD-5	Rural Development District 5
RP-1	Rural Preservation District 1
RD-1	Rural Development District 1
SIC	Suburban Infill and Conservation District
MGA-1	Municipal Growth Area District 1
MGA-5	Municipal Growth Area District 5
MGA-H	Municipal Growth Area-Hamlet District
H	Hamlet District
V	Village District
CGV	College Grove Village District
GVC1	Grassland Village Character 1 District
GVC2	Grassland Village Character 2 District
GVC3	Grassland Village Character 3 District
GVC4	Grassland Village Character 4 District

TABLE 10.01-I: ZONING DISTRICTS ESTABLISHED	
ABBREVIATION	NEW ZONING DISTRICT NAME
LFV	Leiper's Fork Village District
TV	Triune Village District
NC	Neighborhood Conservation District
NCMH	Neighborhood Conservation Manufactured Housing District
840C	840 Center District
OVERLAY ZONING DISTRICT	
AP	Airport Overlay District

(2) Relationship of Overlay Districts to Base Districts

- a) Where land is classified into an overlay zoning district as well as a base zoning district, the regulations governing development in the overlay zoning district shall apply in addition to the regulations governing the underlying base district.
- b) In the event of an express conflict between the standards of the overlay zoning district and the base zoning district, the standards governing the overlay district shall control.

(C) ESTABLISHMENT OF ZONING FOR PARCELS DE-ANNEXED BY MUNICIPALITIES OF WILLIAMSON COUNTY

Upon notification of a legal de-annexation by any municipality of Williamson County of any parcel, said parcel shall be a part of Williamson County's jurisdiction. In order to assure that this parcel conforms to the Williamson County Comprehensive Land Use Plan, the following zoning provisions shall apply:

- (1) Upon notification of legal de-annexation, said parcel shall be designated a part of the RP-5 zoning district if the parcel is located west of Interstate 65 and designated a part of the RD-5 zoning district if the parcel is located east of Interstate 65.
- (2) No later than 90 days following this notice of legal de-annexation, the Planning Commission shall recommend to the County Commission a zoning classification that conforms to the Williamson County Comprehensive Land Use Plan pursuant to a zoning map amendment procedure (See [Section 4.05: Zoning Map Amendment](#) Standards.).

Section 10.02: Base Zoning Districts

(A) VOLUNTARY AGRICULTURAL DISTRICT (A)

(1) Purpose and Intent

- a) The primary purpose of the Voluntary Agricultural District (A) is to provide for areas in the County where the primary use of the land is in support of rural economy uses, with residential uses allowed secondarily in a form and context that is consistent with the general open and rural character of the rural economy uses. Furthermore, it is the intent of this district to protect the agricultural industry of Williamson County by allowing for a broader range of rural economy uses, including traditional and new agricultural uses (agriculture, horticulture and animal husbandry), agriculture support and basic services directly associated with on-going agricultural activities, and low impact non-rural uses that can be developed in ways that are consistent with the rural character of the rural economy uses through mitigation or other standards.

- b) This district is a voluntary district in that only a property owner or an agent, with authorization from the property owner, may submit an application requesting a zoning map amendment to the A district.

(2) Dimensional Standards

- a) [Table 10.02-1](#) establishes the dimensional standards for the A district.
- b) Additional standards related to accessory uses are located in [Section 11.04: Accessory Uses and Structures](#).

TABLE 10.02-1: DIMENSIONAL STANDARDS FOR THE VOLUNTARY AGRICULTURAL DISTRICT

DIMENSIONAL STANDARDS	RESIDENTIAL STRUCTURES	NONRESIDENTIAL STRUCTURES
Minimum Lot Area	15 acres	15 acres
Minimum Lot Width	200 feet	200 feet
Front Yard Setback	100 feet	100 feet
Side Yard Setback	50 feet	50 feet
Rear Yard Setback	100 feet	50 feet
Maximum Height	Not Applicable	Not Applicable

(B) RURAL PRESERVATION DISTRICT-5 (RP-5)

(1) Purpose and Intent

The purpose of the Rural Preservation District-5 (RP-5) is to support and protect the rural character of Williamson County west of I-65 by allowing for a broad range of agricultural, rural, and low-density residential development. It is the intent of this district to continue to promote the agricultural and rural use of land within this district while providing for limited, low-density residential development that is consistent with the conservation design principles emphasized in the Williamson County Comprehensive Land Use Plan.

(2) Dimensional Standards

- a) [Table 10.02-2](#) establishes the dimensional standards for the RP-5 district.
- b) Additional standards related to accessory uses are located in [Section 11.04: Accessory Uses and Structures](#).

TABLE 10.02-2: DIMENSIONAL STANDARDS FOR THE RURAL PRESERVATION DISTRICT-5

DIMENSIONAL STANDARDS		RESIDENTIAL STRUCTURES	NONRESIDENTIAL STRUCTURES
Minimum Lot Area [1]	Traditional Subdivisions	5 acres	5 acres
	Conservation Subdivisions	Average Lot Size $\frac{3}{4}$ of an acre	
		Minimum Lot Size $\frac{1}{4}$ of an acre	
Maximum Gross Residential Density	All Subdivisions	1 unit per 5 acres	Not Applicable
Minimum Lot Width	Traditional Subdivisions	200 feet	200 feet
	Conservation Subdivisions	100 feet	
Front Yard Setback	Traditional Subdivisions	100 feet	100 feet
	Conservation Subdivisions	50 feet	

TABLE 10.02-2: DIMENSIONAL STANDARDS FOR THE RURAL PRESERVATION DISTRICT-5

DIMENSIONAL STANDARDS		RESIDENTIAL STRUCTURES	NONRESIDENTIAL STRUCTURES
Side Yard Setback	Traditional Subdivisions	25 feet	50 feet
	Conservation Subdivisions	20 feet	
Rear Yard Setback	Traditional Subdivisions	50 feet	50 feet
	Conservation Subdivisions	30 feet	
Maximum Height	All Subdivisions	Not Applicable	Not Applicable

[1] Any lots less than $\frac{3}{4}$ acre in size must be located internally within the development where they are surrounded by lots of at least $\frac{3}{4}$ acre in size or in a location where homes on these lots will not be visible from adjacent properties or roadway rights-of-ways

(C) RURAL DEVELOPMENT DISTRICT-5 (RD-5)

(1) Purpose and Intent

The purpose of the Rural Development District-5 (RD-5) is to support and protect the rural character and agricultural uses of Williamson County east of I-65 by allowing for a broad range of agricultural, rural, and low-density residential development. It is the intent of this district to continue to promote the agricultural and rural uses of land within this district while providing for limited, low-density residential development that is consistent with the conservation design principles emphasized in the Williamson County Comprehensive Land Use Plan.

(2) Dimensional Standards

- a) [Table 10.02-3](#) establishes the dimensional standards for the RD-5 district.
- b) Additional standards related to accessory uses are located in [Section 11.04: Accessory Uses and Structures](#).

TABLE 10.02-3: DIMENSIONAL STANDARDS FOR THE RURAL DEVELOPMENT DISTRICT-5

DIMENSIONAL STANDARDS		RESIDENTIAL STRUCTURES	NONRESIDENTIAL STRUCTURES
Minimum Lot Area [1]	Traditional Subdivisions	5 acres	5 acres
	Conservation Subdivisions	Average Lot Size $\frac{3}{4}$ of an acre	
		Minimum Lot Size $\frac{1}{4}$ of an acre	
Maximum Gross Residential Density	All Subdivisions	1 unit per 5 acres	Not Applicable
Minimum Lot Width	Traditional Subdivisions	200 feet	200 feet
	Conservation Subdivisions	100 feet	
Front Yard Setback	Traditional Subdivisions	100 feet	100 feet
	Conservation Subdivisions	50 feet	
Side Yard Setback	Traditional Subdivisions	25 feet	50 feet
	Conservation Subdivisions	20 feet	
Rear Yard Setback	Traditional Subdivisions	50 feet	50 feet
	Conservation Subdivisions	30 feet	

TABLE 10.02-3: DIMENSIONAL STANDARDS FOR THE RURAL DEVELOPMENT DISTRICT-5

DIMENSIONAL STANDARDS		RESIDENTIAL STRUCTURES	NONRESIDENTIAL STRUCTURES
Maximum Height	All Subdivisions	Not Applicable	Not Applicable
[1] Any lots less than ¾ acre in size must be located internally within the development where they are surrounded by lots of at least ¾ acre in size or in a location where homes on these lots will not be visible from adjacent properties or roadway rights-of-ways			

(D) RURAL PRESERVATION DISTRICT 1 (RP-1)

(1) Purpose and Intent

The purpose of the Rural Preservation District I (RP-I) is to support and protect the rural character of Williamson County west of I-65 but also allow for low-density residential development where appropriate infrastructure is available. Development in the RP-I district should respect the natural resources with a focus on conservation subdivisions as the primary form of residential development emphasized in the Williamson County Comprehensive Land Use Plan.

(2) Dimensional Standards

- a) [Table 10.02-4](#) establishes the dimensional standards for the RP-I district.
- b) Additional standards related to accessory uses are located in [Section 11.04: Accessory Uses and Structures](#).

TABLE 10.02-4: DIMENSIONAL STANDARDS FOR THE RURAL PRESERVATION DISTRICT-I

DIMENSIONAL STANDARDS		RESIDENTIAL STRUCTURES	NONRESIDENTIAL STRUCTURES
Minimum Lot Area	Traditional Subdivisions	1 acre	1 acre
	Conservation Subdivisions	10,000 square feet	
Maximum Gross Residential Density	All Subdivisions	1 unit per acre	Not Applicable
Minimum Lot Width	Traditional Subdivisions 1 acre to 2.99 acres	130 feet	130 feet
	Traditional Subdivisions 3 acres to 4.99 acres	160 feet	
	Traditional Subdivisions 5 acres or Greater	200 feet	
	Conservation Subdivisions	60 feet	
Front Yard Setback	Traditional Subdivisions 1 acre to 4.99 acres	60 feet	60 feet
	Traditional Subdivisions 5 acres or Greater	100 feet	
	Conservation Subdivisions	35 feet	
Side Yard Setback	Traditional Subdivisions	20 feet	35 feet
	Conservation Subdivisions	5 feet	
Rear Yard Setback	Traditional Subdivisions	60 feet	60 feet
	Conservation Subdivisions	30 feet	

TABLE 10.02-4: DIMENSIONAL STANDARDS FOR THE RURAL PRESERVATION DISTRICT-I

DIMENSIONAL STANDARDS		RESIDENTIAL STRUCTURES	NONRESIDENTIAL STRUCTURES
Maximum Height	All Subdivisions	3.0 stories	3.0 stories

(E) RURAL DEVELOPMENT DISTRICT 1 (RD-1)

(1) Purpose and Intent

The purpose of the Rural Development District I (RD-I) is to support and protect the rural character of Williamson County east of I-65 but also allow for low-density residential development where appropriate infrastructure is available. This district is also intended to support agricultural uses that are more prevalent in the eastern areas of the County. Development in the RD-I district should respect the natural resources with a focus on conservation subdivisions as the primary form of residential development emphasized in the Williamson County Comprehensive Land Use Plan.

(2) Dimensional Standards

- a) [Table 10.02-5](#) establishes the dimensional standards for the RD-I District.
- b) Additional standards related to accessory uses are located in [Section 11.04: Accessory Uses and Structures](#).

TABLE 10.02-5: DIMENSIONAL STANDARDS FOR THE RURAL DEVELOPMENT DISTRICT -I

DIMENSIONAL STANDARDS		RESIDENTIAL STRUCTURES	NONRESIDENTIAL STRUCTURES
Minimum Lot Area	Traditional Subdivisions	1 acre	1 acre
	Conservation Subdivisions	10,000 square feet	
Maximum Gross Residential Density	All Subdivisions	1 unit per acre	Not Applicable
Minimum Lot Width	Traditional Subdivisions 1 acre to 2.99 acres	130 feet	130 feet
	Traditional Subdivisions 3 to 4.99 acres	160 feet	
	Traditional Subdivisions 5 acres or Greater	200 feet	
	Conservation Subdivisions	60 feet	
Front Yard Setback	Traditional Subdivisions 1 acre to 4.99 acres	60 feet	60 feet
	Traditional Subdivisions 5 acres or Greater	100 feet	
	Conservation Subdivisions	35 feet	
Side Yard Setback	Traditional Subdivisions	20 feet	35 feet
	Conservation Subdivisions	5 feet	
Rear Yard Setback	Traditional Subdivisions	60 feet	60 feet
	Conservation Subdivisions	30 feet	
Maximum Height	All Subdivisions	3.0 stories	3.0 stories

(F) SUBURBAN INFILL AND CONSERVATION DISTRICT (SIC)

(1) Purpose and Intent

The purpose of the Suburban Infill and Conservation District (SIC) is to provide for moderate intensity residential and limited commercial development in the Planned Growth Areas 1, 2, and 3 as defined by the Williamson County Growth Plan, adopted April 5, 2001, as amended. The intent of this district is to provide for moderate densities while maintaining a high level of protection for sensitive natural resources and ensuring compatible design with surrounding neighborhoods.

(2) Dimensional Standards

- a) [Table 10.02-6](#) establishes the dimensional standards for the SIC District.
- b) Additional standards related to accessory uses are located in [Section 11.04: Accessory Uses and Structures](#).

TABLE 10.02-6: DIMENSIONAL STANDARDS FOR THE SUBURBAN INFILL AND CONSERVATION DISTRICT			
DIMENSIONAL STANDARDS		RESIDENTIAL STRUCTURES	NONRESIDENTIAL STRUCTURES
Minimum Lot Area	Traditional Subdivisions	1 acre	1 acre
	Conservation Subdivisions	8,000 square feet [See Section 10.02:(F)(2)c).]	
Maximum Gross Residential Density	Traditional Subdivisions	1.0 unit per acre	Not Applicable
	Conservation Subdivisions	1.2 units per acre	
Minimum Lot Width	Traditional Subdivisions 1 acre to 2.99 acres	130 feet	130 feet
	Traditional Subdivisions 3 acres to 4.99 acres	160 feet	
	Traditional Subdivisions 5 acres or Greater	200 feet	
	Conservation Subdivisions	60 feet (See Section 10.02(F)(2)c))	
Front Yard Setback	Traditional Subdivisions 1 acre to 4.99 acres	60 feet	60 feet
	Traditional Subdivisions 5 acres or Greater	100 feet	
	Conservation Subdivisions	25 feet 15 feet for alley-loaded lots	
Side Yard Setback	Traditional Subdivisions	20 feet	35 feet
	Conservation Subdivisions	5 feet	
Rear Yard Setback	Traditional Subdivisions	60 feet	60 feet
	Conservation Subdivisions	30 feet 15 feet for alley-loaded lots	
Maximum Height	All Subdivisions	3.0 stories	3.0 stories

- c) The minimum lot size and/or width expressed in Table 10.02-6 above may be reduced for up to 25 percent of the total lots within a Conservation Subdivision in accordance with the following:
- i) In no case shall any lots be reduced below 6,000 square feet in size or below 40 feet in width.
 - ii) Lots with an area of less than 8,000 square feet in size or less than 60 feet in width shall be located internally within the development where they are surrounded by open space or lots of 8,000 square feet or greater in size and 60 feet or greater in width.
 - iii) All lots with a width of less than 60 feet shall have garage access from a rear alley. Alleys shall be privately maintained by the subdivision's Homeowner's Association and this maintenance responsibility shall be specifically noted in the covenants and restrictions for the subdivision.
 - iv) Additional Open Space beyond the 50% required by Article 14: Open Space Set-Aside Standards shall be provided according to Table 10.02-6A below.

TABLE 10.02-6A: INCREASED OPEN SPACE REQUIREMENTS	
PERCENTAGE OF LOTS UNDER 8,000 SQ. FT. IN SIZE AND/OR 60 FEET IN WIDTH	MINIMUM PERCENTAGE OF GROSS SITE AREA DESIGNATED AS OPEN SPACE
0-5%	52%
5-10%	54%
10-15%	56%
15-20%	58%
20-25%	60%

- v) A minimum of 10 percent of the Open Space provided within the subdivision must be located outside the natural resources areas required to be protected per Article 13: Resource Protection Standards.

(G) MUNICIPAL GROWTH AREA DISTRICT 1 (MGA-1)

(1) Purpose and Intent

The purpose of the Municipal Growth Area District I (MGA-I) is for this area to remain largely undeveloped until such a time as the land may be annexed into a municipality. Until such annexation, the municipal growth areas are considered a part of the County's rural landscape and as such, this district is established to protect the rural character of Williamson County by allowing for agricultural, rural, and low-density residential development.

(2) Dimensional Standards

- a) [Table 10.02-7](#) establishes the dimensional standards for the MGA-I District.
- b) Additional standards related to accessory uses are located in [Section 11.04: Accessory Uses and Structures](#).

TABLE 10.02-7: DIMENSIONAL STANDARDS FOR THE MUNICIPAL GROWTH AREA DISTRICT-1			
DIMENSIONAL STANDARDS	RESIDENTIAL STRUCTURES		NONRESIDENTIAL STRUCTURES
Minimum Lot Area	1 acre		1 acre
Maximum Gross Density	1.0 unit per acre		Not Applicable
Minimum Lot Width	Traditional Subdivisions 1 acre to 2.99 acres	130 feet	130 feet
	Traditional Subdivisions 3 acres to 4.99 acres	160 feet	
	Traditional Subdivisions 5 acres or Greater	200 feet	
Front Yard Setback	Traditional Subdivisions 1 acre to 4.99 acres	60 feet	60 feet
	Traditional Subdivisions 5 acres or Greater	100 feet	
Side Yard Setback	20 feet		35 feet
Rear Yard Setback	60 feet		60 feet
Maximum Height	3.0 stories		3.0 stories

(H) MUNICIPAL GROWTH AREA DISTRICT 5 (MGA-5)

(1) Purpose and Intent

The purpose of the Municipal Growth Area District 5 (MGA-5) is for this area to remain largely undeveloped until such a time as the land may be annexed into a municipality. Until such annexation, the municipal growth areas are considered a part of the County's rural landscape and as such, this district is established to protect the rural character of Williamson County by allowing for agricultural, rural, and low-density residential development.

(2) Dimensional Standards

- a) Table 10.02-8 establishes the dimensional standards for the MGA-5 District.
- b) Additional standards related to accessory uses are located in [Section 11.04: Accessory Uses and Structures](#).

TABLE 10.02-8: DIMENSIONAL STANDARDS FOR THE MUNICIPAL GROWTH AREA DISTRICT-5			
DIMENSIONAL STANDARDS	RESIDENTIAL STRUCTURES		NONRESIDENTIAL STRUCTURES
Minimum Lot Area	5 acres		5 acres
Maximum Gross Density	1.0 unit per 5 acres		Not Applicable
Minimum Lot Width	200 feet		130 Feet
Front Yard Setback	100 feet		60 Feet
Side Yard Setback	20 feet		35 feet
Rear Yard Setback	60 feet		60 feet
Maximum Height	3.0 stories		3.0 stories

(I) MUNICIPAL GROWTH AREA-HAMLET DISTRICT (MGA-H)

(1) Purpose and Intent

The purpose of the Municipal Growth Area-Hamlet District (MGA-H) is for the area to remain largely undeveloped until such time as the land may be annexed into a municipality. Until such annexation, the municipal growth areas are considered as part of the County's rural landscape and as such, this district is established to protect the rural character of Williamson County by allowing for agricultural, rural, low-density residential development, a small number of clustered residential, commercial, and/or institutional uses that are often tied to historic sites or place names. Hamlets are important to Williamson County in that they provide small but historic focal points within the rural landscape. For this reason, the preservation of the historic character of Hamlets is an important goal of the County's Comprehensive Plan. The intent of this district is to preserve and enhance the unique character of these hamlets areas through standards that maintain the traditional form and use of the hamlet. New development within Hamlets should respect the existing pattern and scale of development, should be compatible with existing buildings in character, configuration, orientation and materials, and should be consistent with the policies of the Comprehensive Plan.

(2) Dimensional Standards

- a) [Table 10.02-9](#) establishes the dimensional standards for the MGA-H District that may be modified in accordance with [Section 10.02:\(J\)\(3\): Nonresidential Development Contextual Design Standards](#).
- b) Additional standards related to accessory uses are located in [Section 11.04: Accessory Uses and Structures](#).

TABLE 10.02-9: DIMENSIONAL STANDARDS FOR THE MUNICIPAL GROWTH AREA-HAMLET DISTRICT			
DIMENSIONAL STANDARDS	RESIDENTIAL STRUCTURES		NONRESIDENTIAL STRUCTURES
Minimum Lot Area	20,000 square feet		15,000 square feet
Maximum Gross Residential Density	2.0 units per acre		Not Applicable
Minimum Lot Width	Traditional Subdivisions 1 acre to 2.99 acres	80 feet	80 feet
	Traditional Subdivisions 3 acres to 4.99 acres		
	Traditional Subdivisions 5 acres or Greater	150 feet	
Front Yard Setback	Traditional Subdivisions 1 acre to 4.99 acres	35 feet	35 feet
	Traditional Subdivisions 5 acres or Greater	100 feet	
Side Yard Setback	15 feet		15 feet
Rear Yard Setback	25 feet		25 feet

TABLE 10.02-9: DIMENSIONAL STANDARDS FOR THE MUNICIPAL GROWTH AREA-HAMLET DISTRICT		
DIMENSIONAL STANDARDS	RESIDENTIAL STRUCTURES	NONRESIDENTIAL STRUCTURES
Maximum Size of Individual Commercial and Industrial Buildings	Not Applicable	5,000 square feet for parcels less than 1 acre in size
		10,000 square feet for parcels between 1 and 10 acres in size
		15,000 square feet for parcels greater than 10 acres in size
Maximum Height	3.0 stories	3.0 stories

(3) Nonresidential Development Contextual Design Standards

The dimensional standards in Table 10.029: Dimensional Standards for the Municipal Growth Area-Hamlet District may be modified as follows:

a) Lot Area

- i) The minimum lot area requirement may be reduced if the average lot area of all lots on the same block face within 300 feet of the subject lot is smaller than that required by Table 10.02-9.
- ii) The minimum area shall not be reduced below the average lot areas of all lots on the same block face within 300 feet of the subject lot.

b) Lot Width

- i) The minimum lot width requirement may be reduced if the average lot width of all lots on the same block face within 300 feet of the subject lot is smaller than that required by Table 10.02-9.
- ii) The minimum width shall not be reduced below the average lot widths of all lots on the same block face within 300 feet of the subject lot.

(4) Potential Transition to Village (V) District

Changing conditions and/or an increase in demand for new development in Hamlet (H) areas may warrant consideration by the County of a map amendment (rezoning) of an individual Hamlet (H) or MGA-Hamlet (MGA-H) District to the Village (V) District. If such a map amendment is approved by the County in accordance with the procedures outlined in Article 4: Official Zoning Map or Zoning Text Amendments, the County should conduct a Special Area Plan to help determine how the area should grow and develop in the future, and, based on that Plan, a customized Zoning District for that new Village should be created and incorporated into this Ordinance.

In addition to the Map Amendment Standards outlined in Section 4.05 of this Ordinance, the following criteria should be taken into account when considering a rezoning request from Hamlet (H) or MGA-Hamlet (MGA-H) to Village (V):

- a) Whether the combination of existing and approved development within a Hamlet (H) area exceeds 100 dwelling units or 50,000 square feet of commercial building floor area; and
- b) Whether the owners of at least 2/3 of the properties within the Hamlet (H) area have requested the rezoning in writing.

(J) HAMLET DISTRICT (H)

(1) Purpose and Intent

The purpose of the Hamlet District (H) is to preserve and enhance the small-scale hamlets of Williamson County, as identified in the Williamson County Comprehensive Land Use Plan. These hamlets are often considered as crossroad communities that are the location of a small number of clustered residential, commercial, and/or institutional uses that are often tied to historic sites or place names. Hamlets are important to Williamson County in that they provide small but historic focal points within the rural landscape. For this reason, the preservation of the historic character of Hamlets is an important goal of the County's Comprehensive Plan. The intent of this district is to preserve and enhance the unique character of these hamlets areas through standards that maintain the traditional form and use of the hamlet. New development within Hamlets should respect the existing pattern and scale of development, should be compatible with existing buildings in character, configuration, orientation and materials, and should be consistent with the policies of the Comprehensive Plan.

(2) Dimensional Standards

- a) [Table 10.02-10](#) establishes the dimensional standards for the H District that may be modified in accordance with [Section 10.02:\(J\)\(3\): Nonresidential Development Contextual Design Standards](#).
- b) Additional standards related to accessory uses are located in [Section 11.04: Accessory Uses and Structures](#).

TABLE 10.02-10: DIMENSIONAL STANDARDS FOR THE HAMLET DISTRICT			
DIMENSIONAL STANDARDS	RESIDENTIAL STRUCTURES		NONRESIDENTIAL STRUCTURES
Minimum Lot Area	Traditional Subdivisions	20,000 square feet	15,000 square feet
	Conservation Subdivisions	8,000 square feet [See Section 10.02:(J)(2)(c)]	
Maximum Gross Residential Density	Traditional Subdivisions	2.0 units per acre	Not Applicable
	Conservation Subdivisions	1.2 units per acre	
Minimum Lot Width	Traditional Subdivisions 1 acre to 4.99 acres	80 feet	80 feet
	Traditional Subdivisions 5 acres or Greater	150 feet	
	Conservation Subdivisions	60 feet	
Front Yard Setback	Traditional Subdivisions 1 acre to 4.99 acres	35 feet	35 feet
	Traditional Subdivisions 5 acres or Greater	100 feet	

TABLE 10.02-10: DIMENSIONAL STANDARDS FOR THE HAMLET DISTRICT			
DIMENSIONAL STANDARDS	RESIDENTIAL STRUCTURES		NONRESIDENTIAL STRUCTURES
	Conservation Subdivisions	25 feet	
Side Yard Setback	Traditional Subdivisions	15 feet	15 feet
	Conservation Subdivisions	5 feet	
Rear Yard Setback	Traditional Subdivisions	25 feet	25 feet
	Conservation Subdivisions	30 feet	
Maximum Size of Individual Commercial and Industrial Buildings	Not Applicable		5,000 square feet for parcels less than 1 acre in size
			10,000 square feet for parcels between 1 and 10 acres in size
			15,000 square feet for parcels greater than 10 acres in size
Maximum Height	3.0 stories		3.0 stories

- c) Up to 15 percent of the total lots within a Conservation Subdivision may be reduced to a minimum of 6,000 square feet provided that lots with an area of less than 8,000 square feet shall be located internally within the development where they are surrounded by open space or lots of 8,000 square feet or larger.

(3) Nonresidential Development Contextual Design Standards

The dimensional standards in Table 10.02-10: Dimensional Standards for the Hamlet District may be modified as follows:

a) Lot Area

- i) The minimum lot area requirement may be reduced if the average lot area of all lots on the same block face within 300 feet of the subject lot is smaller than that required by Table 10.02-10.
- ii) The minimum area shall not be reduced below the average lot areas of all lots on the same block face within 300 feet of the subject lot.

b) Lot Width

- i) The minimum lot width requirement may be reduced if the average lot width of all lots on the same block face within 300 feet of the subject lot is smaller than that required by Table 10.02-10.
- ii) The minimum width shall not be reduced below the average lot widths of all lots on the same block face within 300 feet of the subject lot.

(4) Maximum Size Limitations

Changing conditions and/or an increase in demand for new development in Hamlet (H) areas may warrant consideration by the County of a map amendment (rezoning) of an individual Hamlet (H) or MGA-Hamlet (MGA-H) District to the Village (V) District. If such a map amendment is approved by the County in accordance with the procedures outlined in Article 4: Official Zoning Map or Zoning Text Amendments, the County should conduct a Special Area Plan to help determine how the area should grow and develop in the future, and, based on that Plan, a customized Zoning District for that new Village should be created and incorporated into this Ordinance.

In addition to the Map Amendment Standards outlined in Section 4.05 of this Ordinance, the following criteria should be taken into account when considering a rezoning request from Hamlet (H) or MGA-Hamlet (MGA-H) to Village (V):

- a) Whether the combination of existing and approved development within a Hamlet (H) area exceeds 100 dwelling units or 50,000 square feet of commercial building floor area; and
- b) Whether the owners of at least 2/3 of the properties within the Hamlet (H) area have requested the rezoning in writing.

(K) VILLAGE DISTRICT (V)

(1) Purpose and Intent

The purpose of the Village District (V) is to preserve and protect the unique and historic small-town character of the villages found in Williamson County as identified in the Williamson County Comprehensive Land Use Plan. These villages are activity centers that serve as focal points in the rural areas of the County and provide for areas of concentrated development of residential, commercial, industrial, and institutional uses. The intent of this district is to protect and enhance existing village areas by allowing for the continuation and limited expansion of those residential and nonresidential uses typically found in the villages in accordance with a set of development standards that ensures new development is compatible with the scale and character of the existing village form.

(2) Dimensional Standards

- a) Table 10.02-11 establishes the dimensional standards for the V District that may be modified in accordance with [Section 10.02:\(K\)\(3\): Nonresidential Development Contextual Design Standards](#).
- b) Additional standards related to accessory uses are located in [Section 11.04: Accessory Uses and Structures](#).

TABLE 10.02-11: DIMENSIONAL STANDARDS FOR THE VILLAGE DISTRICT

DIMENSIONAL STANDARDS	RESIDENTIAL STRUCTURES		NONRESIDENTIAL STRUCTURES
Minimum Lot Area	15,000 square feet		10,000 square feet
Maximum Gross Residential Density	3.0 units per acre		Not Applicable
Minimum Lot Width	Traditional Subdivisions 1 acre to 2.99 acres	50 feet	50 feet

TABLE 10.02-11: DIMENSIONAL STANDARDS FOR THE VILLAGE DISTRICT

DIMENSIONAL STANDARDS	RESIDENTIAL STRUCTURES		NONRESIDENTIAL STRUCTURES
	Traditional Subdivisions 3 acres to 4.99 acres		
	Traditional Subdivisions 5 acres or Greater	150 feet	
Front Yard Setback	Traditional Subdivisions 1 acre to 4.99 acres	50 feet	50 feet
	Traditional Subdivisions 5 acres or Greater	100 feet	
Side Yard Setback	15 feet		15 feet
Rear Yard Setback	30 feet		30 feet
Maximum Building Size	Not Applicable		10,000 square feet for commercial and industrial uses
Maximum Height	3.5 stories		3.5 stories

(3) Nonresidential Development Contextual Design Standards

The dimensional standards in Table 10.02-11: Dimensional Standards for the Village District may be modified as follows:

a) Lot Area

- i) The minimum lot area may be reduced if the average lot area of all lots on the same block face within 300 feet of the subject lot is smaller than that required by Table 10.02-11.
- ii) The minimum area shall not be reduced below the average lot areas of all lots on the same block face within 300 feet of the subject lot.

b) Lot Width

- i) The minimum lot width requirement may be reduced if the average lot width of all lots on the same block face within 300 feet of the subject lot is smaller than that required by Table 10.02-11.
- ii) The minimum width shall not be reduced below the average lot widths of all lots on the same block face within 300 feet of the subject lot.

c) Front Yard and Side Yard Setbacks

- i) The minimum front and side yard setbacks may be reduced if the average front or side yard setbacks of buildings along the same block face and within 300 feet of the subject lot is smaller than that required by Table 10.02-11.
- ii) The minimum front yard and side yard setbacks shall not be reduced below the average front or side yard setbacks of all lots on the same block face within 300 feet of the subject lot.

d) Building Height and Massing

- i) No principal building shall be constructed which is more than 10 feet taller than the average height of principal buildings along the block face within 300 feet of the subject lot.

- ii) No principal building shall be constructed where the front facade is more than 50 percent wider or narrower than the average width of principal buildings along the block face and within 300 feet of the subject lot.

(L) NEIGHBORHOOD CONSERVATION DISTRICT (NC)

(1) Purpose and Intent

The purpose of the Neighborhood Conservation District (NC) is to preserve the character of neighborhoods and developments that were classified NC on April 18, 1988. This district is designed to prevent these neighborhoods and developments from becoming nonconforming under the terms of this Ordinance. This district is also intended to provide for minor in-filling of these existing neighborhoods consistent with the applicable zoning and approval at the time these were established. The regulations of this Ordinance permit future development consistent with existing character.

(2) Dimensional Standards

- a) The lot area, lot width, and setbacks of lots within the NC District shall be governed as noted on the recorded final plat of subdivision.
- b) In cases where such information was not incorporated in the instruments listed above, the minimum lot area and lot width shall be based on the smallest lot area or lot width of all lots within the same platted subdivision, as determined by the Planning Director.
- c) In cases such information was not incorporated on the instruments listed above, the minimum setbacks shall be the lesser of:
 - i) The smallest setbacks of all lots within the same platted subdivision, as determined by the Planning Director; or
 - ii) The required minimum setbacks for Traditional Subdivisions in the Rural Development-I (RD-I) Zoning District.
- d) Additional standards related to accessory uses are located in [Section 11.04: Accessory Uses and Structures](#).

(M) NEIGHBORHOOD CONSERVATION MANUFACTURED HOUSING DISTRICT (NCMH)

(1) Purpose and Intent

The purpose of the Neighborhood Conservation Manufactured Housing District (NCMH) is to provide locations for manufactured housing including mobile homes and mobile home parks that are distinct from the other residential zoning districts so as to minimize land use conflicts.

(2) Dimensional Standards

- a) The minimum lot area shall be one acre.
- b) The lot width and setbacks of lots within the NCMH District shall be governed as noted on the recorded final plat of subdivision.
- c) In cases where such information was not incorporated in the instruments listed above, the Planning Director is authorized to establish minimum standards based upon the smallest lot area, width, or setbacks of all lots on the block face within the same platted subdivision.
- d) The standards of this Section apply to both residential and nonresidential uses.
- e) Additional standards related to accessory uses are located in [Section 11.04: Accessory Uses and Structures](#).

(N) 840 CENTER DISTRICT (840C)

(1) Purpose

The purpose of the 840 Center District (840C) is to provide locations for the development of a range of nonresidential and moderate density residential uses while discouraging speculative land development patterns. This district will initially be applied only at the State Route 840 interchange with U.S. Highway 31A/41A (at Triune). It is not anticipated that every SR-840 interchange will be suited to this zoning district, and such district will not be applied to other interchanges until completion of an individual special area plan.

(2) Dimensional Standards

- a) Table 10.02-12 establishes the dimensional standards for the 840C District.
- b) Additional standards related to accessory uses are located in [Section 11.04: Accessory Uses and Structures](#).

TABLE 10.02-12: DIMENSIONAL STANDARDS FOR THE 840 CENTER DISTRICT

DIMENSIONAL STANDARDS		RESIDENTIAL STRUCTURES	NONRESIDENTIAL STRUCTURES
Minimum Lot Area	Traditional Subdivisions	1 acre	1 acre
	Conservation Subdivisions	8,000 square feet [See Section 10.02:(N)(2)c .]	
Maximum Gross Residential Density	Traditional Subdivisions	1.0 unit per acre	Not Applicable
	Conservation Subdivisions	1.2 units per acre	
Minimum Lot Width	Traditional Subdivisions 1 acre to 2.99 acres	130 feet	100 feet
	Traditional Subdivisions 3 acres to 4.99 acres	160 feet	
	Traditional Subdivisions 5 acres or Greater	200 feet	
	Conservation Subdivisions	60 feet	
Front Yard Setback	Traditional Subdivisions 1 acre to 4.99 acres	60 feet	60 feet
	Traditional Subdivisions 5 acres or Greater	100 feet	
	Conservation Subdivisions	25 feet	
Side Yard Setback	Traditional Subdivisions	20 feet	30 feet
	Conservation Subdivisions	5 feet	
Rear Yard Setback	Traditional Subdivisions	60 feet	60 feet
	Conservation Subdivisions	30 feet	
Maximum Height		3.0 stories	5.0 stories

- c) Up to 15 percent of the total lots within a Conservation Subdivision may be reduced to a minimum of 6,000 square feet provided that lots with an area of less than 8,000 square feet shall be located internally within the development where they are surrounded by open space or lots of 8,000 square feet or larger.

(0) COLLEGE GROVE VILLAGE DISTRICT (CGV)

(1) Purpose and Intent

The purpose of the College Grove Village District (CVG) is to implement the vision and policies of the College Grove Village Special Area Plan, which strives to preserve, protect, and enhance the Village's unique, small town character. The development standards established for this District are intended to:

- Ensure new development is compatible with the scale and character of the Village and complements the Village's unique identity and sense of place;
- Encourage a continuation of the Village's traditional development pattern;
- Encourage and allow complementary land uses while discouraging those that are inconsistent with the character of the village; and
- Preserve and enhance open space and natural resources within the Village.

(2) Establishment of the College Grove Village District Subareas

The College Grove Village consists of two distinctly different areas from the standpoint of overall character and historic patterns of development. In recognition of these differences, and to help ensure that new development is compatible with its surroundings, this Section establishes two subareas: the Village Core Subarea and the General Village Subarea.

a) Village Core Subarea

For the purposes of this Ordinance, the Village Core Subarea is defined as that area generally bounded on the north by Bellenfant Road/Arno-College Grove Road, on the west by Depot Street, on the south by Harper Street, and on the east by the eastern edge of the properties fronting on Horton Highway from Harper Street to Bellenfant Road. See Figure 10.02-A below.

b) General Village Subarea

For the purposes of this Ordinance, the General Village Subarea is defined as that area located outside the Village Core Subarea, but within the boundary of the College Grove Village District.

c) Village Core Subarea Map

Figure 10.02-A illustrates the boundaries of the Village Core Subarea.

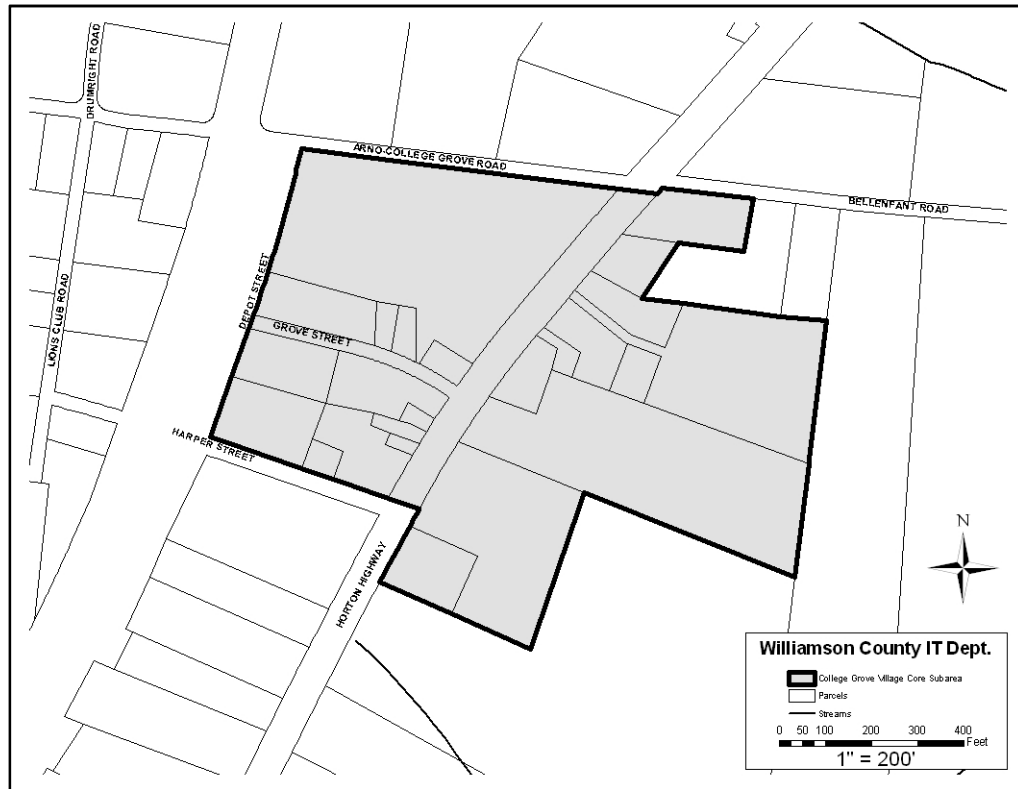


Figure 10.02-A: College Grove Village Core Subarea

(3) Village Core Subarea Standards

a) Dimensional Standards

- i) Table 10.02-13 establishes the dimensional standards for the College Grove Village Core Subarea.
- ii) Additional standards related to accessory uses are located in [Section 11.04: Accessory Uses and Structures](#).

TABLE 10.02-13: DIMENSIONAL STANDARDS FOR THE COLLEGE GROVE VILLAGE CORE SUBAREA

DIMENSIONAL STANDARDS	RESIDENTIAL STRUCTURES		NONRESIDENTIAL STRUCTURES
MINIMUM LOT AREA	15,000 square feet		Not Applicable
MAXIMUM GROSS RESIDENTIAL DENSITY	3.0 units per acre		Not Applicable
MINIMUM LOT WIDTH	Traditional Subdivisions 1 Acre to 2.99 acres	50 feet	No minimum
	Traditional Subdivisions 3 Acres to 4.99 acres		
	Traditional Subdivisions 5 Acres or greater	150 feet	
FRONT YARD SETBACK	Traditional Subdivisions 1 Acre to 4.99 acres	20 feet 30 feet maximum	5 feet 15 feet maximum ¹
	Traditional Subdivisions 5 Acres or greater		
SIDE YARD SETBACK	5 feet 20 feet on corner lot		0 feet 10 feet on corner lot
REAR YARD SETBACK	30 feet		30 feet
MAXIMUM BUILDING SIZE	Not Applicable		10,000 square feet ¹
MAXIMUM HEIGHT	3.0 stories		3.0 stories

¹ The maximum Front Yard Setback and the maximum Building Size requirements do not apply to Religious Institutions or Educational Facilities

b) Contextual Design Standards

- i) The minimum lot area, minimum lot width, front yard setback and side yard setback may be reduced if the average lot area, lot width, front yard setback and/or side yard setback along the same block face and within 100 feet of the subject lot are smaller than those required in Table 10.02 – 13: Dimensional Standards for the College Grove Village Core Subarea.
- ii) The minimum lot area, minimum lot width, front yard setback and side yard setback shall not be reduced below the average of all lots on the same block face within 100 feet of the subject lot.
- iii) No principal building shall be constructed which is more than 10 feet taller than the average height of principal buildings along the block face within 100 feet of the subject lot.
- iv) No principal building shall be constructed where the front façade is more than 50 percent wider than the average width of principal buildings along the block face and within 100 feet of the subject lot.
- v) Where the building façade is wider than 50 feet, the façade shall be broken up into increments not exceeding this width by varying setbacks, roof forms, materials, etc.
- vi) New buildings shall be oriented towards the street rather than the parking area and shall provide at least one entrance on the street-facing façade.

- vii) A sidewalk, with a minimum width of five feet, shall be provided between the building and the front property line.

c) Parking Standards

- i) The number of parking spaces required as outlined in Section 17.06, may be reduced by up to 50 percent for uses within the Village Core Subarea.
- ii) Off-street parking areas must be located to the side or rear of buildings and may be no closer to the street than the building's edge.
- iii) On-street parking is permitted, subject to the following:
- A. Such parking must be approved by the County Highway Department or the Tennessee Department of Transportation (TDOT), as applicable.
 - B. On-street parking spaces on Horton Highway must be arranged at a 90-degree angle to the street.
 - C. On-street parking spaces on other streets within the Village Core must be parallel to the street.

(4) General Village Subarea Standards

a) Dimensional Standards

- i) Table 10.02-14 establishes the dimensional standards for the College Grove General Village Subarea.
- ii) Additional standards related to accessory uses are located in [Section 11.04: Accessory Uses and Structures](#).

TABLE 10.02-14: DIMENSIONAL STANDARDS FOR THE COLLEGE GROVE GENERAL VILLAGE SUBAREA

DIMENSIONAL STANDARDS	RESIDENTIAL STRUCTURES		NONRESIDENTIAL STRUCTURES
MINIMUM LOT AREA	½ acre		1 acre
MAXIMUM GROSS RESIDENTIAL DENSITY	2.0 units per acre		Not Applicable
MINIMUM LOT WIDTH	Traditional Subdivisions 1 Acre to 2.99 acres	75 feet	100 feet
	Traditional Subdivisions 3 Acres to 4.99 acres		
	Traditional Subdivisions 5 Acres or greater	150 feet	
FRONT YARD SETBACK	Traditional Subdivisions 1 Acre to 4.99 acres	50 feet	50 feet
	Traditional Subdivisions 5 Acres or greater		
SIDE YARD SETBACK	20 feet		25 feet
REAR YARD SETBACK	30 feet		30 feet
MAXIMUM BUILDING SIZE	Not Applicable		10,000 square feet ¹
MAXIMUM HEIGHT	3.0 stories		3.0 stories

¹ The Maximum Building Size requirement does not apply to Religious Institutions or Educational Facilities.

¹ The Maximum Building Size requirement does not apply to Religious Institutions or Educational Facilities.

b) Contextual Design Standards

i) Lot Area

- A.** The minimum lot area may be reduced if the average lot area of all lots on the same block face within 300 feet of the subject lot is smaller than that required by Table 10.02 – 14: Dimensional Standards for the College Grove General Village Subarea.
- B.** The minimum lot area shall not be reduced below the average lot area of all lots on the same block face within 300 feet of the subject lot.

ii) Lot Width

- A.** The minimum lot width may be reduced if the average lot width of all lots on the same block face within 300 feet of the subject lot is smaller than that required by Table 10.02 – 14: Dimensional Standards for the College Grove General Village Subarea.
- B.** The minimum lot width shall not be reduced below the average lot width of all lots on the same block face within 300 feet of the subject lot.

iii) Front and Side Yard Setbacks

- A.** The minimum front and side yard setbacks may be reduced if the average front or side yard setbacks of buildings along the same block face within 300 feet of the subject lot is smaller than that required by Table 10.02 – 14: Dimensional Standards for the College Grove General Village Subarea.
- B.** The minimum front and side yard setbacks shall not be reduced below the average front or side yard setbacks of all lots on the same block face within 300 feet of the subject lot.

(P) LEIPER'S FORK VILLAGE DISTRICT (LFV)

(1) Purpose and Intent

The purpose of the Leiper's Fork Village District (LFV) is to implement the vision and policies of the Leiper's Fork Village Special Area Plan, which strives to preserve, protect, and enhance the village's unique, small town character. The development standards established for this District are intended to:

- Ensure new development is compatible with the scale and character of the Village and complements the Village's unique identity and sense of place;
- Encourage a continuation of the Village's traditional development pattern;
- Encourage and allow complementary land uses that promote a sustainable form of growth and bolster community activity while discouraging those that are inconsistent with the character of the Village; and
- Preserve and enhance open space and natural resources within the Village.

(2) Establishment of the Leiper's Fork Village District Subareas

Leiper's Fork Village consists of two distinctly different community areas in terms of overall character and historic patterns of development. In recognition of these differences, and to help ensure that new development is compatible with its surroundings, this section establishes two subareas; the Village Core Subarea and the General Village Subarea.

a) Village Core Subarea

For the purposes of this Ordinance, the Village Core Subarea is defined as that area generally bounded on the north by the northern boundary of the properties to the north of Sycamore Street, on the south by the southern boundary of the properties south of Old Hillsboro Road, on the west by the properties at the western terminus of Sycamore Street, and on the east by the intersection of Floyd Road with Old Hillsboro Road.

b) General Village Subarea

For the purposes of this Ordinance, the General Village Subarea is defined as that area located outside the Village Core Subarea, but within the boundary of the Leiper's Fork Village District.

c) Village Core Subarea Map

Figure 10.02-B: Leiper's Fork Village Core Subarea illustrates the boundaries of the Village Core Subarea.

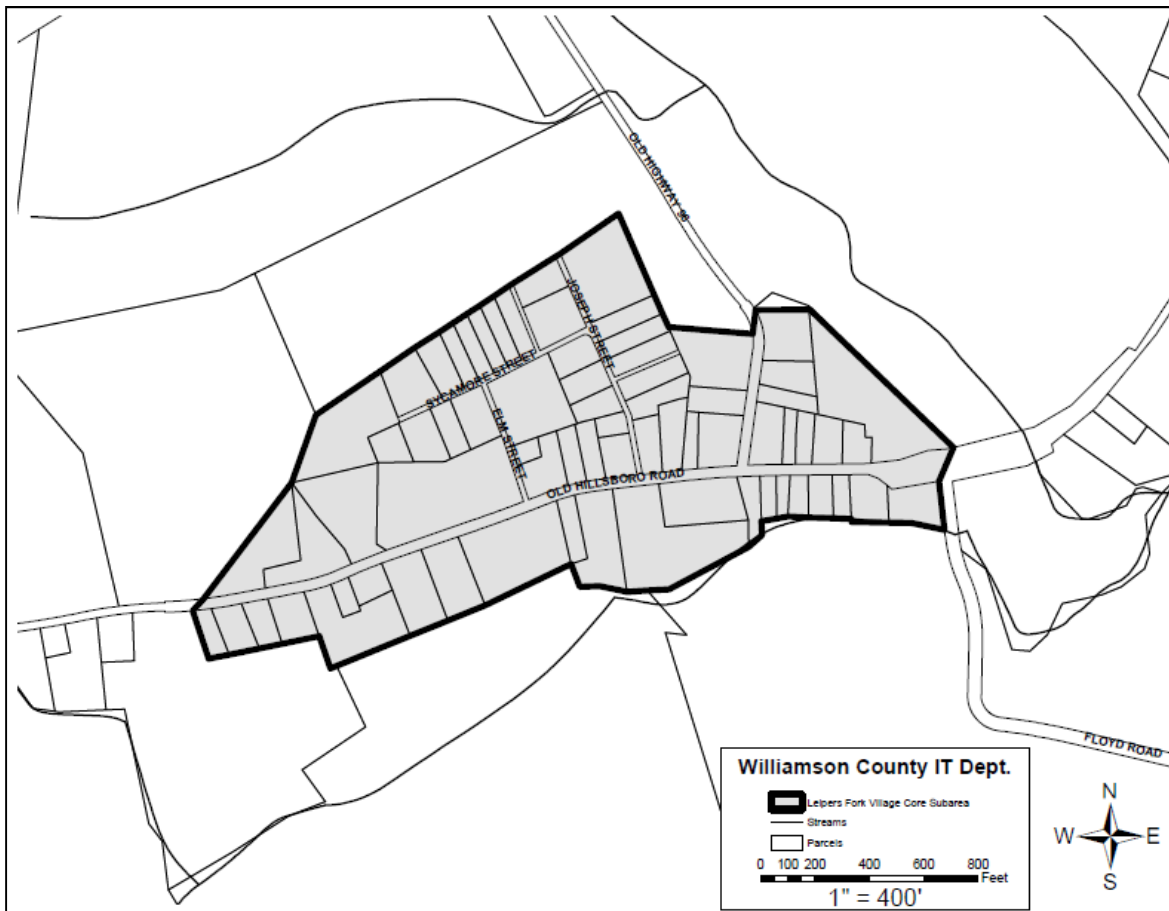


Figure 10.02-B: Leiper's Fork Village Core Subarea

(3) Village Core Subarea Standards

a) Dimensional Standards

- i) Table 10.02-15 establishes the dimensional standards for the Village Core Subarea.
- ii) Additional standards related to accessory uses are located in Section 11.04, Accessory Uses and Structures.

TABLE 10.02-15 : DIMENSIONAL STANDARDS FOR THE LIEPER’S FORK VILLAGE CORE SUBAREA			
DIMENSIONAL STANDARDS	RESIDENTIAL STRUCTURES		NONRESIDENTIAL STRUCTURES
Minimum Lot Area	10,000 square feet		N/A
Max. Gross Res. Density	4 units per acre		N/A
Minimum Lot Width	Traditional Subdivisions 1 acre to 2.99 acres	40 feet	40 feet
	Traditional Subdivisions 3 acres to 4.99 acres		
	Traditional Subdivisions 5 acres or Greater	150 feet	
Front Yard Setback	Traditional Subdivisions 1 acre to 4.99 acres	20 feet 40 feet maximum	5 feet 25 feet maximum¹
	Traditional Subdivisions 5 acres or Greater		
Side Yard Setback	5 feet 20 feet on corner lot		0 feet 10 feet on corner lot
Rear Yard Setback	30 feet		30 feet
Maximum Building Size	N/A		7,500 square feet¹
Maximum Height	2 stories		2 stories
¹ The maximum Front Yard Setback and the maximum Building Size requirements do not apply to Religious Institutions or Educational Facilities.			

b) Contextual Design Standards

- i) The minimum lot area, minimum lot width, front yard setback and side yard setback may be reduced if the average lot area, lot width, front yard setback and/or side yard setback along the same block face and within 200 feet of the subject lot are smaller than those required in Table 10.02-15: Dimensional Standards for the Village Core Subarea.

- ii) The minimum lot area, minimum lot width, front yard setback and side yard setback shall not be reduced below the average of all lots on the same block face within 200 feet of the subject lot.
- iii) No principal building shall be constructed where the front façade is more than 50 percent wider than the average width of principal buildings along the block face and within 200 feet of the subject lot.
- iv) Where the building façade is wider than 60 feet, the façade shall be broken up into increments not exceeding this width by varying setbacks, roof forms, materials, etc.
- v) New buildings shall be oriented towards the street rather than the parking area and shall provide at least one entrance on the street-facing façade.

c) Parking Standards

- i) The number of parking spaces required as outlined in Article 17.06, may be reduced by up to 50 percent for uses within the Village Core Subarea.
- ii) New off-street parking areas must be located to the side or rear of buildings and may be no closer to the street than the building's edge.
- iii) On-street parking is permitted, subject to approval by the County Highway Department or the Tennessee Department of Transportation (TDOT), as applicable.

(4) General Village Subarea Standards

a) Dimensional Standards

- i) Table 10.02-16 establishes the dimensional standards for the General Village Subarea.
- ii) Additional standards related to accessory uses are located in Section 11.04, Accessory Uses and Structures.

TABLE 10.02-16: DIMENSIONAL STANDARDS FOR THE LEIPER'S FORK VILLAGE GENERAL SUBAREA			
DIMENSIONAL STANDARDS	RESIDENTIAL STRUCTURES		NONRESIDENTIAL STRUCTURES
Minimum Lot Area	1 Acre		1 Acre
Max. Gross Res. Density	2 units per acre		N/A
Minimum Lot Width	Traditional Subdivisions 1 acre to 2.99 acres	75 feet	100 feet
	Traditional Subdivisions 3 acres to 4.99 acres		
	Traditional Subdivisions 5 acres or Greater	150 feet	
Front Yard Setback	Traditional Subdivisions 1 acre to 4.99 acres	30 feet	50 feet
	Traditional Subdivisions 5 acres or Greater		
Side Yard Setback	20 feet		25 feet
Rear Yard Setback	30 feet		30 feet
Maximum Building Size	N/A		7,500 square feet ¹
Maximum Height	2 stories		2 stories
¹ The Maximum Building Size requirement does not apply to Religious Institutions or Educational Facilities.			

b) Contextual Design Standards

i) Lot Area

- A.** The minimum lot area may be reduced if the average lot area of all lots on the same block face within 400 feet of the subject lot is smaller than that required by Table 10.02-16: Dimensional Standards for the General Village Subarea.
- B.** The minimum lot area shall not be reduced below the average lot area of all lots on the same block face within 400 feet of the subject lot.

ii) Lot Width

- A.** The minimum lot width may be reduced if the average lot width of all lots on the same block face within 400 feet of the subject lot is smaller than that required by Table 10.02-16: Dimensional Standards for the General Village Subarea.
- B.** The minimum lot width shall not be reduced below the average lot width of all lots on the same block face within 400 feet of the subject lot.

iii) Front and Side Yard Setbacks

- A. The minimum front and side yard setbacks may be reduced if the average front or side yard setbacks of buildings along the same block face within 400 feet of the subject lot is smaller than that required by Table 10.02-16: Dimensional Standards for the General Village Subarea.
- B. The minimum front and side yard setbacks shall not be reduced below the average front or side yard setbacks of all lots on the same block face within 400 feet of the subject lot.

iv) **Open Space**

There shall be a minimum of 25% open space required in all traditional subdivisions.

(Q) **GRASSLAND VILLAGE DISTRICT CHARACTER 1(GVC1)**

(1) **Purpose and Intent**

The purpose of the Grassland Village District Character I (GVC1) is to help implement the vision and policies of the Grassland Village Special Area Plan. The development standards established for this District are intended to help insure that future development is consistent with the recommendations for Character Area I of the Plan.

(2) **Dimensional Standards**

- a) Table 10.02-17 establishes the dimensional standards for the GVC1 district.
- b) Additional standards related to accessory uses are located in Section 11.04: Accessory Uses and Structures.

TABLE 10.02-17: DIMENSIONAL STANDARDS FOR GRASSLAND VILLAGE CHARACTER I (GVC1)			
DIMENSIONAL STANDARDS	RESIDENTIAL STRUCTURES		NONRESIDENTIAL STRUCTURES
Minimum Lot Area	1 Acre		1 Acre
Max. Gross Res. Density	1 unit per acre		N/A
Minimum Lot Width	Traditional Subdivisions 1 acre to 2.99 acres	130 feet	130 feet
	Traditional Subdivisions 3 acres to 4.99 acres	160 feet	
	Traditional Subdivisions 5 acres or Greater	200 feet	
Front Yard Setback	Traditional Subdivisions 1 acre to 4.99 acres	60 feet	60 feet
	Traditional Subdivisions 5 acres or Greater	100 feet	
Side Yard Setback	20 feet		35 feet
Rear Yard Setback	60 feet		60 feet
Maximum Building Size	N/A		N/A
Maximum Height	2 stories		2 stories

(3) Design Standards

a) Parking and Access

A traffic study or analysis must be conducted for all developments in accordance with the criteria outlined in Article 17: Access, Off-Street Parking, and Loading Standards, and in accordance with the County's Traffic Study Guidelines.

b) Open Space

New non-residential development projects which utilize pervious paving materials, such as pervious concrete, to meet parking requirements may reduce their open space requirement by ten (10) percent from the requirements outlined in Table 14.03-1: Open Space Set-Aside.

(R) Grassland Village District Character 2 (GVC2)

(1) Purpose and Intent

The purpose of the Grassland Village District Character 2 (GVC2) is to help implement the vision and policies of the Grassland Village Special Area Plan. The development standards established for this District are intended to help ensure that future development is consistent with the Character Area 2 recommendations outlined in the Plan.

(2) Dimensional Standards

a) Table 10.02-18 establishes the dimensional standards for the GVC2 district.

b) Additional standards related to accessory uses are located in Section 11.04, Accessory Uses and Structures.

TABLE 10.02-18: DIMENSIONAL STANDARDS FOR GRASSLAND VILLAGE CHARACTER 2 (GVC2)

Dimensional Standards		Parcels Abutting Hillsboro Road		All Other Parcels	
		Residential	Nonresidential	Residential	Nonresidential
Minimum Lot Area		1 acre		20,000 sq ft	
Max. Gross Res. Density	Single Family Dwellings	1 unit/acre		2 units/acre	
	Multi-Family Dwellings	Not Permitted			
Minimum Lot Width	Traditional Subdivisions 1 – 2.99 acres	150 feet		60 feet	60 feet
	Traditional Subdivisions 3 – 4.99 acres			150 feet	
	Traditional Subdivisions 5 acres or greater				
Front Yard Setback		20 feet, with a maximum setback distance of 40 feet ^{1 2}	20 feet, with a maximum setback distance of 30 feet ^{1 2}	20 feet, with a maximum setback distance of 40 feet ¹	20 feet, with a maximum setback distance of 30 feet ¹
Side Yard Setback		5 feet, 20 feet on corner lots ²			
Rear Yard Setback		30 feet			
Maximum Building Size	1 Story Structure	N/A	15,000 sq ft ¹	N/A	10,000 sq ft ¹
	2 Story Structure				15,000 sq ft ¹
Maximum Building Footprint	1 Story Structure	N/A	N/A	N/A	10,000 sq ft ¹
	2 Story Structure				7,500 sq ft ¹
Maximum Height		2 stories		2 stories	

General Notes:

¹The Maximum Front Yard Setback and Maximum Building Size requirements do not apply to Religious Institutions or Educational Facilities.

²Structures shall be setback a minimum of 50 feet from Hillsboro Road in all cases, regardless of the setback type applied.

(3) Design Standards

a) Parking and Access

- i) A traffic study or analysis must be conducted for all developments in accordance with the criteria outlined in Article 17: Access, Off-Street Parking, and Loading Standards, and in accordance with the County's Traffic Study Guidelines.
- ii) New off-street parking along Old Hillsboro Road must be located to the side or rear of buildings and may be no closer to the street than the front façade of the building. See Section 17.06: Off-Street Parking Standards for additional parking requirements.

b) Open Space

New non-residential development projects which utilize pervious paving materials, such as pervious concrete, to meet parking requirements may reduce their open space requirement by ten (10) percent from the requirements outlined in Table 14.03-1: Open Space Set-Aside.

c) Pedestrian Amenities

i) Sidewalks

- A. For properties along Old Hillsboro Road and Bethlehem Loop Road, a sidewalk with a minimum width of five (5) feet shall be required along the front of the property for all new construction, renovations, additions, or expansions to existing structures which fall into one of the following categories:
 - 1) All new single family residential development which consists of two (2) or more single-family dwellings;
 - 2) All new non-residential development;
 - 3) All additions or expansions of existing nonresidential uses where the addition or expansion exceeds fifty (50) percent of the size of the existing structure; or
 - 4) All renovations of existing nonresidential uses resulting in an increase of more than fifty (50) percent of the value of the structure.
- B. Where a sidewalk is required, the property owner shall also record a ten (10) foot public access easement running the length of the property frontage.
- C. For properties along Old Hillsboro Road and Bethlehem Loop Road which do not meet the above criteria, but for which County approval is required, the property owner shall record a ten (10) foot public access easement running the length of the property frontage in order to accommodate the future construction of a sidewalk.

ii) Greenways and Nature Trails

- A. For properties abutting Cartwright Creek or its tributaries, a ten (10) foot asphalt trail shall be required adjacent to the creek for all new construction, renovations, additions, or expansions to existing structures which fall into one of the following categories:
 - 1) All new single family residential development which consists of two (2) or more single-family dwellings;
 - 2) All new non-residential development;
 - 3) All additions or expansions of existing nonresidential uses where the addition or expansion exceeds fifty (50) percent of the size of the existing structure; or
 - 4) All renovations of existing nonresidential uses resulting in an increase of more than fifty (50) percent of the value of the structure.
- B. Where a trail is required, the property owner shall also record a fifteen (15) foot public access easement running the length of the property's abutment on the creek.
- C. Trails may exist within the required landscape buffering.
- D. For properties along Cartwright Creek or its tributaries that do not meet the above criteria, but for which County approval is required, the property owner shall record a fifteen (15) foot public access easement running the length of the property's abutment to the creek in order to accommodate the future construction of a trail.

d) Building Orientation and Setbacks

- i) New buildings on Old Hillsboro Road shall be oriented toward the street rather than the parking area and shall provide at least one entrance on the street-facing façade.
- ii) In cases where there is more than one building on a parcel, the orientation requirement shall only apply to the structure(s) closest to the right-of-way.
- iii) Parcels along Hillsboro Road must maintain a fifty (50) foot building setback from the Hillsboro Road right-of-way.
- iv) In cases where a maximum setback is required by Table 10.02-18, the following standards shall apply:
 - A. The maximum setback applies to new structures, not additions to existing structures;
 - B. The maximum setback is met if a minimum of sixty (60) percent of the front building façade does not exceed this distance;
 - C. In cases where there is more than one building on the parcel, the maximum building setback applies to the structure with the largest street-facing façade; and
 - D. Structures with front facing patios for outdoor dining falling between the building and the front property line may be set back to maximum distance of forty (40) feet from the front property line.

e) Façade Articulation and Fenestration

- i) Building facades should be varied and articulated to provide visual interest. A minimum of forty (40) percent of the first floor and twenty (20) percent of the second floor (as applicable) on the front façade shall have window/door fenestration.
- ii) A minimum of thirty (30) percent of the front façade shall either be two (2) stories in height, or shall be designed so as to appear to be two (2) stories in height. This can be accomplished by providing “upper story” windows on one or more of the following:
 - A. Gable walls
 - B. Non-gabled walls with a height of at least twenty (20) feet
 - C. Dormers
- iii) In cases where building facades will be wider than thirty-five (35) feet in width, the façade shall be broken up into increments not exceeding this width by varying setbacks and roof forms.
- iv) In multi-tenant retail buildings, each individual tenant façade shall be differentiated from adjoining tenant facades through the techniques outlined above.

f) Roof Form

- i) Roof forms shall be gabled or hipped, with at least one (1) gable end facing the street.

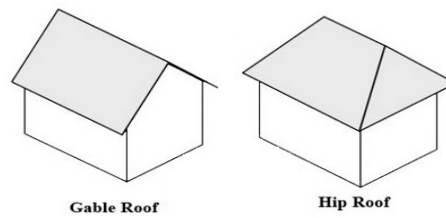


Figure 10.02-A: Permissible Roof Form Styles

- ii) The minimum roof pitch required is as follows (see Figure 10.02-B: Roof Pitch Illustration):
 - A. Buildings along Old Hillsboro Road must have a minimum roof pitch of 7:12; and
 - B. Buildings along Hillsboro Road must have a minimum roof pitch of 5:12.

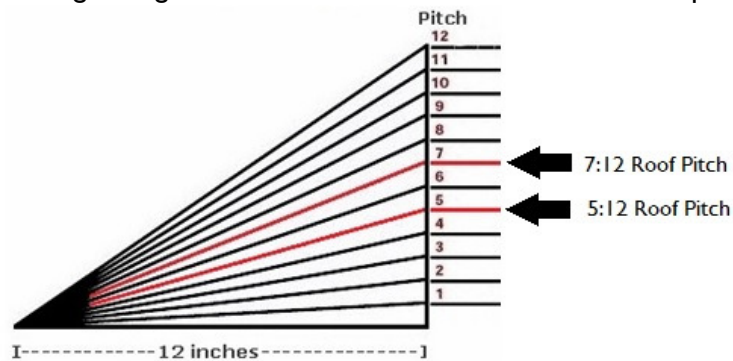
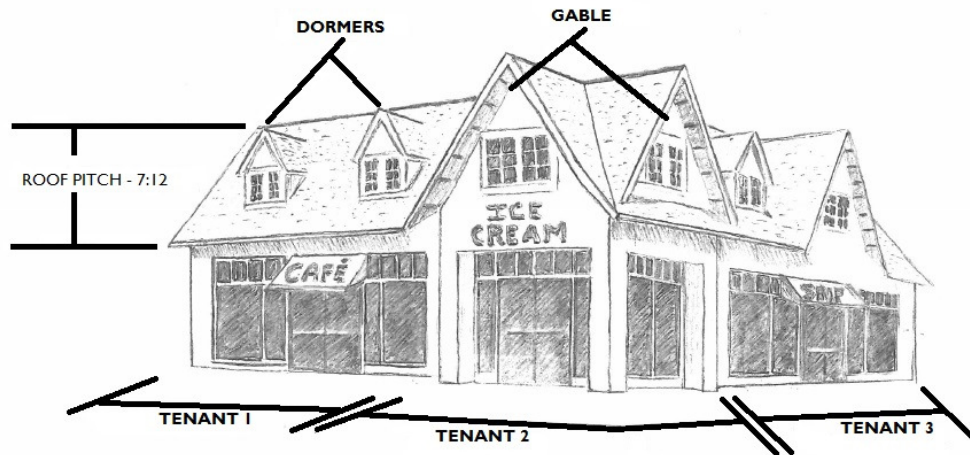


Figure 10.02-B: Roof Pitch illustration.

- iii) Buildings with a footprint of greater than 7,500 square feet may have a flat roof-well located in the central area of the roof, not to exceed fifty (50) percent of the roof area, with a pitched roof design on all sides of the building. The height of the partial pitched roof profile must be at least fifty (50) percent of the height of the façade for two-story structures, and at least 75% of the height of the façade for one-story structures.
- iv) Roof eave overhangs shall be a minimum of one (1) foot.
- v) Mechanical and other roof-mounted equipment shall be screened from view.

Figure 10.02-C:
Façade and Roof
Example
Illustration



g) Signage

- i) All signage requirements of Article 18: Signage must be met. In addition, ground signs shall only be permitted for parcels containing multiple businesses or tenants.
- ii) New ground signs shall be monument style signs with a masonry base.

(S) Grassland Village District Character 3 (GVC3)

(1) Purpose and Intent

The purpose of the Grassland Village District Character 3 (GVC3) is to help implement the vision and policies of the Grassland Village Special Area Plan. The development standards established for this District are intended to help ensure that future development is consistent with the recommendations for Character Area 3 contained in the Plan.

(2) Dimensional Standards

- a) Table 10.02-19 establishes the dimensional standards for the GVC3 district.
- b) Additional standards related to accessory uses are located in Section 11.04: Accessory Uses and Structures.

TABLE 10.02-19: DIMENSIONAL STANDARDS FOR GRASSLAND VILLAGE CHARACTER 3 (GVC3)

Dimensional Standards		Residential Structures		Nonresidential Structures
Minimum Lot Area		1 acre		
Max. Gross Res. Density	Single Family Dwellings	1 unit/acre		N/A
	Multi Family Dwellings	3 units/acre		
Minimum Lot Width		Traditional Subdivisions 1 – 2.99 acres	130 feet	130 feet
		Traditional Subdivisions 3 – 4.99 acres	160 feet	
		Traditional Subdivisions 5 acres or greater	200 feet	
Front Yard Setback		50 feet		
Side Yard Setback		20 feet		
Rear Yard Setback		50 feet		
Maximum Building Size		N/A		
Maximum Building Footprint		N/A		
Maximum Height		2 stories		

(3) Design Standards

a) Parking and Access

- i) A traffic study or analysis must be conducted for all developments in accordance with the criteria outlined in Article 17: Access, Off-Street Parking, and Loading Standards, and in accordance with the County's Traffic Study Guidelines.
- ii) New off-street parking along Hillsboro Road must be located to the side or rear of buildings and may be no closer to the street than the front façade of the building. See Section 17.06: Off-Street Parking Standards for additional parking requirements.

b) Open Space

New non-residential development projects which utilize pervious paving materials, such as pervious concrete, to meet parking requirements may reduce their open space requirement by a maximum of ten (10) percent from the requirements outlined in Table 14.03-1: Open Space Set-Aside.

c) Pedestrian Amenities

- i) Sidewalks
 - A. For properties along Bethlehem Loop Road, a sidewalk with a minimum width of five (5) feet shall be required along the front of the property for all new construction, renovations, additions, or expansions to existing structures which fall into one of the following categories:

- 1) All new single family residential development which consists of two (2) or more single-family dwellings;
 - 2) All new non-residential development;
 - 3) All additions or expansions of existing nonresidential uses where the addition or expansion exceeds fifty (50) percent of the size of the existing structure; or
 - 4) All renovations of existing nonresidential uses resulting in an increase of more than fifty (50) percent of the value of the structure.
- B. Where a sidewalk is required, the property owner shall also record a ten (10) foot public access easement running the length of the property frontage.
- C. For properties along Bethlehem Loop Road which do not meet the above criteria, but for which County approval is required, the property owner shall record a ten (10) foot public access easement running the length of the property frontage in order to accommodate the future construction of a sidewalk.

ii) **Greenways and Nature Trails**

- A. For properties abutting Cartwright Creek or its tributaries, a ten (10) foot asphalt trail shall be required adjacent to the creek for all new construction, renovations, additions, or expansions to existing structures which fall into one of the following categories:
- 1) All new single family residential development which consists of two (2) or more single-family dwellings;
 - 2) All new non-residential development;
 - 3) All additions or expansions of existing nonresidential uses where the addition or expansion exceeds fifty (50) percent of the size of the existing structure; or
 - 4) All renovations of existing nonresidential uses resulting in an increase of more than fifty (50) percent of the value of the structure.
- B. Where a trail is required, the property owner shall also record a fifteen (15) foot public access easement running the length of the property's abutment on the creek.
- C. Trails may exist within the required landscape buffering.
- D. For properties along Cartwright Creek or its tributaries that do not meet the above criteria, but for which County approval is required, the property owner shall record a fifteen (15) foot public access easement running the length of the property's abutment to the creek in order to accommodate the future construction of a trail.

d) Building Orientation and Setbacks

New buildings shall be oriented toward the street rather than the parking area and shall provide at least one entrance on the street-facing façade.

e) Façade Articulation and Fenestration

Building façades should be varied and articulated to provide visual interest. A minimum of forty (40) percent of the first floor and twenty (20) percent of the second floor (as applicable) on the front façade shall have window/door fenestration.

f) Roof Form

- i) Roof forms shall be gabled or hipped, with gable ends facing the street. See Figure 10.02-E: Examples of Gable and Hip Roof Forms.
- ii) The minimum roof pitch required shall be a minimum roof pitch of 7:12 (See Figure 10.02-F: Roof Pitch Illustration).
- iii) Religious Institutions and Educational Facilities shall be exempt from these roof form standards.

g) Multi-Family Dwellings

Multi-family dwellings shall meet the Special Use Review Standards established in Section 5.01: Special Use and shall meet each of the following standards:

- i) Each individual dwelling unit must be owned independently along with the land on which the dwelling unit sits.
- ii) There shall be a maximum of six (6) dwelling units in any single building.
- iii) Dwelling units shall be arranged horizontally in a linear arrangement, having a totally exposed front and rear wall to be used for access, light, and ventilation. See Figure 10.02-D: Linear Multi-Family Dwelling Arrangement.

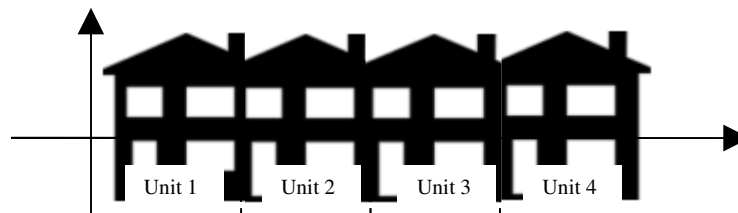


Figure 10.02-D: Linear Multi-Family Dwelling Arrangement

- iv) Each dwelling unit shall have at least one (1) separate, exterior entrance on ground level, with no common interior space shared between dwelling units.
- v) Individual dwelling units shall be distinguished from adjacent dwelling units by creating variations within the front façade. Such variations may include changes in materials, texture, color or detail, a change in wall plane, or a change in roofline.
- vi) Side elevations visible from a public street shall be designed in keeping with the design elements of the front façade of the corresponding dwelling unit and shall, at a minimum, provide fifteen (15) percent door and window fenestration on exterior walls.
- vii) Buildings shall be oriented toward the street, or private drive if internal to the development, and designed with front porches or stoops along the front façade.
- viii) There shall be a minimum of forty (40) feet of separation between buildings.
- ix) The elevation of the ground floor shall be a minimum of twenty-four (24) inches above the finished grade at the front of the building.
- x) Parking areas, including garages, shall be located in the rear of the building.

- xi) A minimum five (5) foot continuous sidewalk shall be required along the entire length of the front façade of each building within the development. These sidewalks shall also provide access to rear parking areas.
- xii) Each dwelling unit shall include a private, ground level outdoor open space area such as a patio, porch, or small yard.
- xiii) All trash storage areas and mechanical equipment shall be located in the rear of buildings and shall be screened from streets and surrounding properties.
- xiv) If the development site abuts one or more side streets, access must be taken from a side street, rather than from an arterial or collector road.

(T) Grassland Village District Character 4 (GVC4)

(1) Purpose and Intent

The purpose of the Grassland Village District Character 4 (GVC4) is to help implement the vision and policies of the Grassland Village Special Area Plan. The development standards established for this District are intended to help ensure that future development is consistent with the recommendations for Character Area 4 contained in the Plan.

(2) Dimensional Standards

- a) Table 10.02-20 establishes the dimensional standards for the GVC4 district.
- b) Additional standards related to accessory uses are located in Section 11.04: Accessory Uses and Structures.

TABLE 10.02-20: DIMENSIONAL STANDARDS FOR GRASSLAND VILLAGE CHARACTER 4 (GVC4)

Dimensional Standards			Residential Structures	Nonresidential Structures	
				Lots Abutting Hillsboro Road	All Other Lots
Minimum Lot Area			1 acre	20,000 sq ft	
Max. Gross Res. Density	Single Family Dwellings		1 unit/acre	N/A	
	Multi-Family Dwellings	Slopes <15%	6 units/acre		
		Slopes >15%	2 units/acre		
Minimum Lot Width		Traditional Subdivisions 1 – 2.99 acres	130 feet	60 ft	
		Traditional Subdivisions 3 – 4.99 acres	160 feet		
		Traditional Subdivisions 5 acres or greater	200 feet		
Front Yard Setback			30 feet	25 feet	15 feet
Side Yard Setback			20 feet	5 feet, 20 feet on corner lots	
Rear Yard Setback			30 feet	30 feet	
Maximum Building Size			N/A	N/A	
Maximum Building Footprint			N/A	25,000 sq ft	
Maximum Height			2 stories	2 stories	
General Notes: The Maximum Building Size requirements do not apply to Religious Institutions or Educational Facilities.					

(3) Design Standards

a) Parking and Access

- i) A traffic study or analysis must be conducted for all developments in accordance with the criteria outlined in Article 17: Access, Off-Street Parking, and Loading Standards, and in accordance with the County's Traffic Study Guidelines.
- ii) New off-street parking along Hillsboro Road must be located to the side or rear of buildings and may be no closer to the street than the front façade of the building. See Section 17.06: Off-Street Parking Standards for additional parking requirements.
- iii) If the development site abuts one or more side streets, access must be taken from the side street, rather than from an arterial or collector road.
- iv) On-Street Parking
 - A. Shall be approved by the Williamson County Highway Commission;
 - B. Shall not be permitted on Hillsboro Road; and
 - C. May be counted toward the fulfillment of off-street parking requirements as outlined in Section 17.06: Off-Street Parking Standards, subject to the following standards:
 - 1) The on-street parking areas are newly constructed as part of a new development.
 - 2) There shall be a minimum of three (3) contiguous on-street parking spaces constructed for the development.
 - 3) Sidewalks with a minimum width of five (5) feet shall be required adjacent to the on-street parking areas.

b) Open Space

New non-residential development projects which utilize pervious paving materials, such as pervious concrete, to meet parking requirements may reduce their open space requirement by ten (10) percent from the requirements outlined in Table 14.03-1: Open Space Set-Aside.

c) Pedestrian Amenities

- i) Sidewalks
 - A. Sidewalks with a minimum width of five (5) feet shall be required along the front of the property for all new construction, renovations, additions, or expansions to existing structures which fall into one of the following categories:
 - 1) All new single family residential development which consists of two (2) or more single-family dwellings;
 - 2) All new non-residential development;
 - 3) All additions or expansions of existing nonresidential uses where the addition or expansion exceeds fifty (50) percent of the size of the existing structure; or
 - 4) All renovations of existing nonresidential uses resulting in an increase of more than fifty (50) percent of the value of the structure.
 - B. Where a sidewalk is required, the property owner shall also record a ten (10) foot public access easement running the length of the property frontage.

- C. For properties which do not meet the above criteria, but for which County approval is required, the property owner shall record a ten (10) foot public access easement running the length of the property frontage in order to accommodate the future construction of a sidewalk.
- ii) **Greenways and Nature Trails**
 - A. For properties abutting Cartwright Creek or its tributaries, a ten (10) foot asphalt trail shall be required adjacent to the creek for all new construction, renovations, additions, or expansions to existing structures which fall into one of the following categories:
 - 1) All new single family residential development which consists of two (2) or more single-family dwellings;
 - 2) All new non-residential development;
 - 3) All additions or expansions of existing nonresidential uses where the addition or expansion exceeds fifty (50) percent of the size of the existing structure; or
 - 4) All renovations of existing nonresidential uses resulting in an increase of more than fifty (50) percent of the value of the structure.
 - B. Where a trail is required, the property owner shall also record a fifteen (15) foot public access easement running the length of the property's abutment on the creek.
 - C. Trails may exist within the required landscape buffering.
 - D. For properties along Cartwright Creek or its tributaries that do not meet the above criteria, but for which County approval is required, the property owner shall record a fifteen (15) foot public access easement running the length of the property's abutment to the creek in order to accommodate the future construction of a trail.
- d) **Building Orientation and Setbacks**
 - i) The front façade of new buildings shall be oriented toward the street rather than the parking area and shall provide at least one entrance on the street-facing façade.
 - ii) In cases where there is more than one building on the parcel, the orientation requirement shall only apply to the structure(s) closest to the established right-of-way.
- e) **Façade Articulation/Fenestration**
 - i) Building facades should be varied and articulated to provide visual interest. A minimum of forty (40) percent of the first floor and twenty (20) percent of the second floor (as applicable) on the front façade shall have window/door fenestration.
 - ii) In cases where building facades will be wider than forty (40) feet in width, the façade shall be broken up into increments not exceeding this width by varying setback and roof forms.
- f) **Multi-Family Dwellings**

Multi-family dwellings shall meet the general Special Use criteria established in Section 5.01: Special Use and shall meet either of the following standards:

 - i) Townhomes

- A. Each individual dwelling unit must be owned independently along with the land on which the dwelling unit sits.
 - B. There shall be a maximum of six dwelling units in any single building.
 - C. Dwelling units shall be arranged horizontally in a linear arrangement, having a totally exposed front and rear wall to be used for access, light, and ventilation. See Figure 10.02-H: Linear Multi-Family Dwelling Arrangement
 - D. Each dwelling unit shall have at least one separate, exterior entrance on ground level, with no common interior space shared between dwelling units.
 - E. Individual dwelling units shall be distinguished from adjacent dwelling units by creating variations within the front façade. Such variations may include changes in materials, texture, color or detail, a change in wall plane, or a change in roofline.
 - F. Side elevations visible from a public street shall be designed in keeping with the design elements of the front façade of the corresponding dwelling unit and shall, at a minimum, provide fifteen (15) percent door and window fenestration on exterior walls.
 - G. Buildings shall be oriented toward the street, or private drive if internal to the development, and designed with front porches or stoops along the front façade.
 - H. There shall be a minimum of forty (40) feet of separation between buildings.
 - I. The elevation of the ground floor shall be a minimum of twenty-four (24) inches above the finished grade at the front of the building.
 - J. Parking areas, including garages, shall be located in the rear of the building.
 - K. A five (5) foot continuous sidewalk shall be required along the entire length of the front façade of each building within the development. These sidewalks shall also provide access to rear parking areas.
 - L. Each dwelling unit shall include a private, ground level outdoor open space area such as a patio, porch, or small yard.
 - M. All trash storage areas and mechanical equipment shall be located in the rear of buildings and shall be screened from streets and surrounding properties.
 - N. If the development site abuts one or more side streets, access must be taken from a side street, rather than from an arterial or collector road.
- ii) Condominiums Associated with Nonresidential Uses
- A. Dwelling units shall be permitted on the second floor of a building in which the first floor is occupied by one or more nonresidential uses. See Figure 10.02-E: Mixed Use Vertical Arrangement.

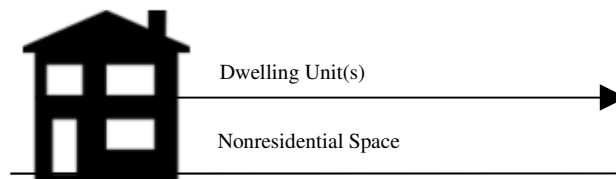


Figure 10.02-E: Mixed Use Vertical Arrangement

- B. Each individual dwelling unit must be owned independently.
- C. All trash storage areas and mechanical equipment shall be located in the rear of buildings and shall be screened from streets and surrounding properties.

g) Signage

- i) All signage requirements of Article 18: Signage of the Zoning Ordinance must be met.
- ii) New ground signs shall be monument style signs with a masonry base.

h) Slope Protection

- i) In addition to the standards outlined in Article 13, Nonresidential Development, including parking areas, may not occur on existing slopes of greater than fifteen (15) percent, except that land with existing slopes between fifteen (15) and twenty (20) percent may be utilized for such uses, provided that such land is located within 600 feet of the Hillsboro Road right-of-way.
- ii) Nonresidential Development may also occur on slopes between fifteen (15) and twenty (20) percent in accordance with the following:
 - A. No more than ten (10) percent of the total square footage of building footprint and parking areas, including drive aisles, may encroach into such slopes; and
 - B. These areas of encroachment must be contiguous with the other ninety (90) percent of the development on which the calculation is based.

(U) TRIUNE CHARACTER AREA-1 (TCA-1)

(1) Purpose and Intent

The purpose of the Triune Character Area-1 (TCA-1) zoning district is to help implement the vision and policies of the Triune Special Area Plan. The development standards established for this district are intended to help ensure that future development is consistent with the Character Area 1 recommendations outlined in the Plan.

(2) Dimensional Standards

- a) Table 10.02-21 establishes the dimensional standards for the TCA-1 district.
- b) Additional standards related to accessory uses are located in Section 11.04: Accessory Uses and Structures.

TABLE 10.02-21: DIMENSIONAL STANDARDS FOR TRIUNE CHARACTER AREA-I (TCA-I)

Dimensional Standards		Residential Structures		Nonresidential Structures
Minimum Lot Area		Traditional Subdivision	5 acres	5 acres
		Conservation Subdivision	1.5 acres	
Maximum Gross Residential Density		1 unit per 5 acres (0.20 DU/A)		N/A
Minimum Lot Width	1 – 2.99 acres	130 feet		60 feet
	3 – 4.99 acres	160 feet		
	5 acres or greater	200 feet		
Front Yard Setback		0.0-4.99 acres	60 feet	100 feet
		5.00 acres or greater	100 feet	
Side Yard Setback		0.0-4.99 acres	20 feet	50 feet
		5.00 acres or greater	30 feet	
Rear Yard Setback		60 feet		50 feet
Maximum Height		3.0 stories		3.0 stories

(3) Additional Conservation Subdivision Standards

- a)** A minimum of twenty-five (25) percent of the Open Space provided in Conservation Subdivisions within the TCA-I zoning district must consist of unconstrained land that does not contain natural resources as outlined in Article 13 of the Zoning Ordinance.
- b)** All healthy deciduous trees with a diameter at breast height (DBH) of 28 inches or greater, along with the drip line of such trees, shall be preserved in permanently protected Open Space. Such trees shall only be allowed to be removed according to the following:
 - i) If a certified arborist has determined that the tree is dying or structurally unsound; or
 - ii) If it can be demonstrated that removal of such tree(s) is necessary in order to gain access to the site. In such cases, replacement trees shall be provided at a rate of two (2) caliper inches for each caliper inch of tree removed.
 - iii) If trees meeting the above criteria are removed for any other reason, replacement trees shall be provided at a rate of three (3) caliper inches for each caliper inch of tree removed.

(4) Multi-modal Greenway Trails

- a)** Where the Triune Special Area Plan shows a potential future greenway on a development property, a ten (10) foot asphalt trail, along with a fifteen (15) foot public access easement, shall be required for all new construction, renovations, additions, or expansions to existing structures which fall into one of the following categories:

- i) All new major subdivisions consisting of five (5) or more lots;
 - ii) All new non-residential development;
 - iii) All additions or expansions of existing nonresidential uses where the addition or expansion exceeds fifty (50) percent of the size of the existing structure; or
 - iv) All renovations of existing nonresidential uses resulting in an increase of more than fifty (50) percent of the value of the structure.
- b) Where the Triune Special Area Plan shows a potential future greenway on a development property that does not fall into one of the above categories but for which County approval is required, the property owner shall dedicate to the County or other governmental entity a fifteen (15) foot public access easement in order to accommodate the future construction of a greenway trail that would be owned and maintained by such governmental entity upon acceptance.
- c) Where a trail and/or public access easement is required, the exact location of the trail and/or public access easement must be agreed upon by the Planning Director or the applicable reviewing body (e.g. Planning Commission, Board of Zoning Appeals).

(V) TRIUNE CHARACTER AREA-2 (TCA-2)

(1) Purpose and Intent

The purpose of the Triune Character Area-2 (TCA-2) zoning district is to help implement the vision and policies of the Triune Special Area Plan. The development standards established for this district are intended to help ensure that future development is consistent with the Character Area 2 recommendations outlined in the Plan.

(2) Dimensional Standards

- a) Table 10.02-22 establishes the dimensional standards for the TCA-2 district.
- b) Additional standards related to accessory uses are located in Section 11.04: Accessory Uses and Structures.

TABLE 10.02-22: DIMENSIONAL STANDARDS FOR TRIUNE CHARACTER AREA-2 (TCA-2)

Dimensional Standards			Residential Structures		Nonresidential Structures	
Minimum Lot Area			Parcels on State Highways	1 acre	Parcels on State Highways	1 acre
			All other parcels	½ acre	All other parcels	½ acre
Maximum Gross Residential Density			2.0 units per 1 acre		N/A	
Minimum Lot Width	Parcels on State Highways		150 feet		150 feet	
	All other Parcels	0.50 - 0.99 acre	75 feet		75 feet	
		1.0 – 2.99 acres	100 feet			
		3.0 – 4.99 acres	130 feet			
		5.0 acres or greater	160 feet			

TABLE 10.02-22: DIMENSIONAL STANDARDS FOR TRIUNE CHARACTER AREA-2 (TCA-2)

Dimensional Standards		Residential Structures	Nonresidential Structures
Front Yard Setback	Parcels on State Highways	40 feet, with a maximum setback of 50 feet [1][2]	
	All other Parcels	20 feet, with a maximum setback of 30 feet	
Side Yard Setback		5 feet, but 20 feet on corner lots [1]	
Rear Yard Setback		30 feet	
Maximum Building Size	Parcels on State Highways	25,000 sq. ft. [3]	
	All other Parcels	16,000 sq. ft. [3]	
Maximum Building Footprint	Parcels on State Highways	15,000 sq. ft. [3]	
	All other Parcels	10,000 sq. ft. [3]	
Maximum Height		2.0 stories for street-facing elevations, with a maximum of 3.0 stories on other elevations	
General Notes:			
[1] On corner lots where both streets are State Highways, both street sides shall be considered to be “Front”.			
[2] The Maximum Setback Standards do not apply to religious institutions or educational facilities.			
[3] The Maximum Building Size requirements do not apply to Religious Institutions or Educational Facilities.			

(3) Design Standards

a) Parking and Access

- i) New off-street parking must be located to the side or rear of buildings and may be no closer to the street than the front façade of the building.
- ii) For parcels on State Highways, up to twenty-five (25) percent of the parking may be in the front of buildings.
- iii) Where the Triune Special Area Plan shows a potential future roadway on a development property, the site shall be designed in such a way as to provide an internal drive that is stubbed to adjacent properties as appropriate in order to allow for the future extension of such internal drive.

b) Building Orientation and Setbacks

- i) New buildings shall be oriented toward the street rather than the parking area and shall provide at least one entrance on the street-facing façade.
- ii) In cases where there is more than one building on the parcel, the orientation requirement shall only apply to the structure(s) closest to the right-of-way.
- iii) In cases where a maximum setback is required, the following standards will apply:
- iv) The maximum setback applies to new structures, not additions to existing structures;
 - A. The maximum setback is met if a minimum of 60% of the front building façade does not exceed this distance;
 - B. In cases where there is more than one building on the parcel, the maximum setback applies to the structure with the largest street-facing façade; and

- C. Structures with front facing patios for outdoor dining falling between the building and the front property line may be set back to a maximum distance of forty (40) feet from the front property line.

a) Façade Articulation/Fenestration

- i) Building façades should be varied and articulated to provide visual interest. A minimum of forty (40) percent of the first floor and twenty (20) percent of the second floor (as applicable) on the front façade shall have window/door fenestration.
- ii) A minimum of thirty (30) percent of the front façade shall either be two stories in height, or shall be designed so as to appear to be two stories in height. This can be accomplished by providing “upper story” windows on one or more of the following:
 - A. Gable walls
 - B. Non-gabled walls with a height of at least 20 feet
 - C. Dormers
- iii) In cases where building façades will be wider than 35 feet in width, the façade shall be broken up into increments not exceeding this width by varying setbacks and roof forms.
- iv) In multi-tenant buildings, each individual tenant space with a first floor exterior entrance shall be differentiated from adjoining such tenant spaces by creating variations within the front façade. These variations may include materials, texture, color or detail, a change in wall plane, or a change in roofline.

c) Roof Form

- i) Roof forms shall be gabled or hipped, with at least one gable end facing the street.
- ii) The minimum roof pitch required is as follows:
 - A. Buildings facing State Highways must have a minimum roof pitch of 5:12; and
 - B. Buildings facing all other streets must have a minimum roof pitch of 7:12.

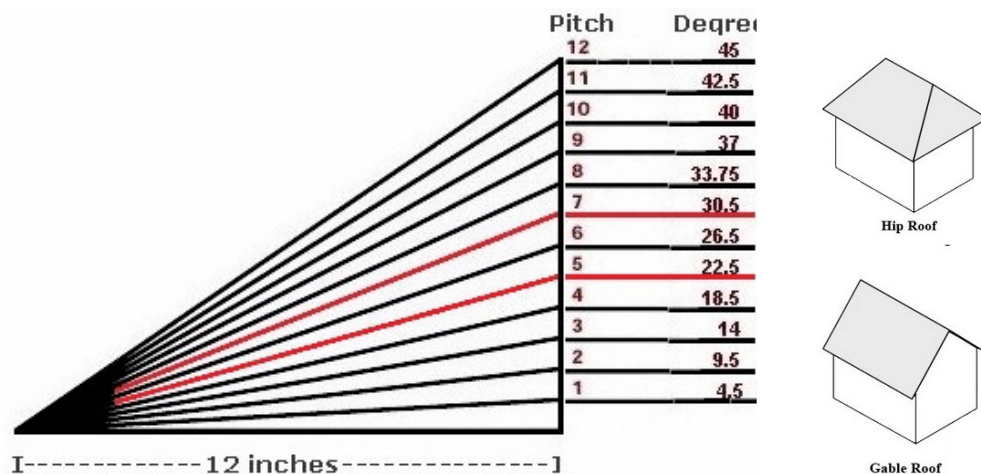


Figure 10.02-F: Minimum Required Roof Pitch

- iii) Buildings with a footprint of greater than 7,500 feet may have a flat roofwell located in the central area of the roof, not to exceed fifty (50) percent of the roof

area, with a pitched roof design on all sides of the building. The height of the partial pitched roof profile must be at least fifty (50) percent of the height of the façade when two-stories and at least seventy-five (75) percent of the height of the façade when one-story.

- iv) Roof eave overhangs shall be a minimum of 1 foot.
- v) Mechanical and other roof-mounted equipment shall be screened from view.

(4) Pedestrian Amenities

a) Sidewalks

- i) A sidewalk with a minimum width of five (5) feet shall be required along the front of the property for all new construction, renovations, additions, or expansions to existing structures which fall into one of the following categories:
 - A. All new single family dwellings;
 - B. Major subdivisions;
 - C. All new non-residential development;
 - D. All additions or expansions of existing non-residential uses where the addition or expansion exceeds fifty (50) percent of the size of the existing structure; or
 - E. All renovations of existing non-residential uses resulting in an increase of more than fifty (50) percent of the value of the structure.
- ii) Where a sidewalk is required, the property owner shall also record a ten (10) foot public access easement running the length of the property frontage.
- iii) For properties that do not meet the above criteria, but for which County approval is required, the property owner shall record a ten (10) foot public access easement running the length of the property frontage in order to accommodate the future construction of a sidewalk.

b) Multi-modal Greenway Trails

- i) Where the Triune Special Area Plan shows a potential future greenway on a development property, a ten (10) foot asphalt trail, along with a fifteen (15) foot public access easement, shall be required for all new major subdivisions consisting of five (5) or more lots.
- ii) Where the Triune Special Area Plan shows a potential future greenway on a development property falling into one of the following categories, the property owner shall dedicate to the County or other governmental entity a fifteen (15) foot public access easement in order to accommodate the future construction of a greenway trail that would be owned and maintained by such governmental entity upon acceptance:
 - A. All new nonresidential development;
 - B. All additions or expansions of existing nonresidential uses where the addition or expansion exceeds fifty (50) percent of the size of the existing structure; or
 - C. All renovations of existing nonresidential uses resulting in an increase of more than fifty (50) percent of the value of the structure.
- iii) Development that does not fall within one of the above categories but for which County approval is required.
- iv) Where a trail and/or public access easement is required, the exact location of the trail and/or public access easement must be agreed upon by the Planning Director

or the applicable reviewing body (e.g. Planning Commission, Board of Zoning Appeals).

(5) Multi-Family Dwellings

Multi-family dwellings shall meet the Special Use Review Standards established in Section 5.01: Special Use and shall meet each of the following standards:

- a) Each individual dwelling unit must be owned independently along with the land on which the dwelling unit sits.
- b) There shall be a maximum of six (6) dwelling units in any single building.
- c) Dwelling units shall be arranged horizontally in a linear arrangement, having a totally exposed front and rear wall to be used for access, light, and ventilation. See Figure 10.02-G: Linear Multi-Family Dwelling Arrangement.

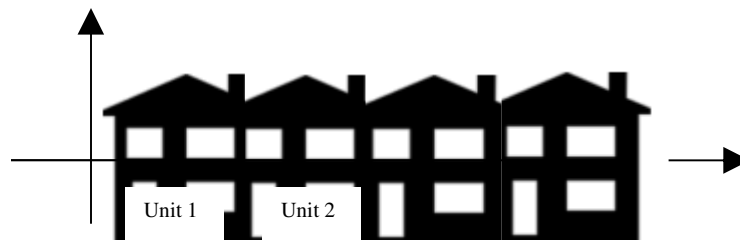


Figure 10.02-G: Linear Multi-Family Dwelling Arrangement

- d) Each dwelling unit shall have at least one (1) separate, exterior entrance on ground level, with no common interior space shared between dwelling units.
- e) Individual dwelling units shall be distinguished from adjacent dwelling units by creating variations within the front façade. Such variations may include changes in materials, texture, color or detail, a change in wall plane, or a change in roofline.
- f) Side elevations visible from a public street shall be designed in keeping with the design elements of the front façade of the corresponding dwelling unit and shall, at a minimum, provide fifteen (15) percent door and window fenestration on exterior walls.
- g) Buildings shall be oriented toward the street, or private drive if internal to the development, and designed with front porches or stoops along the front façade.
- h) There shall be a minimum of forty (40) feet of separation between buildings.
- i) The elevation of the ground floor shall be a minimum of twenty-four (24) inches above the finished grade at the front of the building.
- j) Parking areas, including garages, shall be located in the rear of the building.
- k) A minimum five (5) foot continuous sidewalk shall be required along the entire length of the front façade of each building within the development. These sidewalks shall also provide access to rear parking areas.
- l) Each dwelling unit shall include a private, ground level outdoor open space area such as a patio, porch, or small yard.
- m) All trash storage areas and mechanical equipment shall be located in the rear of buildings and shall be screened from streets and surrounding properties.
- n) If the development site abuts one or more side street, access must be taken from a side street, rather than from an arterial or collector road.

(6) Open Space

a) Non-Residential Development

- i) A minimum of thirty five (35) percent open space shall be required.
- ii) New non-residential development projects which utilize pervious paving materials, such as pervious concrete, to meet parking requirements may reduce their open space requirement to twenty five (25) percent.

b) Major Traditional Subdivisions

- i) A minimum of twenty (20) percent open space shall be required.

(7) Signage

- a) All signage requirements of Article 18 of the Zoning Ordinance must be met. In addition, ground signs shall only be permitted for parcels containing multiple businesses or tenants.
- b) New ground signs must be monument style signs with a masonry base.

(W) TRIUNE CHARACTER AREA-3 (TCA-3)

(1) Purpose and Intent

The purpose of the Triune Character Area-3 (TCA-3) zoning district is to help implement the vision and policies of the Triune Special Area Plan. The development standards established for this district are intended to help ensure that future development is consistent with the Character Area 3 recommendations outlined in the Plan.

(2) Dimensional Standards

- a) Table 10.02-23 establishes the dimensional standards for the TCA-3 district.
- b) Additional standards related to accessory uses are located in Section 11.04: Accessory Uses and Structures.

TABLE 10.02-23: DIMENSIONAL STANDARDS FOR TRIUNE CHARACTER AREA-3 (TCA-3)

Dimensional Standards	Residential Structures		Nonresidential Structures
Minimum Lot Area	Traditional Subdivision	½ acre	1 acre
	Conservation Subdivision	8,000 sq. ft [1]	
	Multi-Family Uses	1 acre	
Maximum Gross Residential Density	2.0 units per 1 acre		N/A
Minimum Lot Width	Traditional Subdivision	75 feet	150 feet
	Conservation Subdivision	40 feet	
	Multi-Family Uses	150 feet	

TABLE 10.02-23: DIMENSIONAL STANDARDS FOR TRIUNE CHARACTER AREA-3 (TCA-3)

Dimensional Standards		Residential Structures	Nonresidential Structures
Front Yard Setback	Parcels on State Highways	50 feet, with a maximum setback of 75 feet [2][3]	
	Traditional Subdivision	35 feet	35 feet, with a maximum setback of 50 feet [3]
	Conservation Subdivision	25 feet, 15 feet for alley loaded lots	
	Multi-Family Uses	35 feet	
Side Yard Setback	Traditional Subdivision	10 feet	5 feet, but 20 feet on corner lots [2]
	Conservation Subdivision	5 feet	
	Multi-Family Uses	10 feet	
Rear Yard Setback	Traditional Subdivision	30 feet	30 feet
	Conservation Subdivision	30 feet, 15 feet for alley loaded lots	
	Multi-Family Uses	30 feet	
Maximum Building Size		N/A	70,000 sq. ft. [4]
Maximum Building Footprint		N/A	45,000 sq. ft. [4]
Maximum Height		3.0 stories	

General Notes:

[1] The minimum lot size may be reduced to 6,000 square feet for up to 50% of the lots provided that any lot that is less than 8,000 square feet is surrounded by Open Space or lots of 8,000 square feet or greater.

[2] On corner lots where both streets are State Highways, both street sides shall be considered to be "Front".

[3] The Maximum Setback Standards do not apply to Religious Institutions or Educational Facilities.

[4] The Maximum Building Size requirements do not apply to Religious Institutions or Educational Facilities.

(3) Design Standards

a) Parking and Access

- i) A minimum of seventy-five (75) percent of new off-street parking must be located to the side or rear of buildings and may be no closer to the street than the front façade of the building.
- ii) Where the Triune Special Area Plan shows a potential future roadway on a development property, the site shall be designed in such a way as to provide an internal drive that is stubbed to adjacent properties as appropriate in order to allow for the future extension of such internal drive.

b) Building Orientation and Setbacks

- i) New buildings shall be oriented toward the street rather than the parking area and shall provide at least one entrance on the street-facing façade.
- ii) In cases where there is more than one building on the parcel, the orientation requirement shall only apply to the structure(s) closest to the right-of-way.
- iii) In cases where a maximum setback is required, the following standards will apply:
 - A. The maximum setback applies to new structures, not additions to existing structures;
 - B. The maximum setback is met if a minimum of 60% of the front building façade does not exceed this distance; and
 - C. In cases where there is more than one building on the parcel, the maximum setback applies to the structure with the largest street-facing façade.

c) Façade Articulation/Fenestration

- i) Building facades should be varied and articulated to provide visual interest. A minimum of forty (40) percent of the first floor and twenty (20) percent of the second floor (as applicable) on the front façade shall have window/door fenestration.
- ii) In cases where building facades will be wider than 35 feet in width, the façade shall be broken up into increments not exceeding this width by varying setbacks and roof forms.

d) Trash Storage and Mechanical Equipment

- i) All trash storage areas shall be located in the rear of buildings and shall be screened from streets and surrounding properties.
- ii) All mechanical equipment shall either:
 - A. Be located in the rear of buildings and shall be screened from streets and surrounding properties; or
 - B. If located on a roof, be screened from view from adjacent streets and properties. Acceptable screening techniques include a parapet wall made of a primary exterior finish material used on other portions of the building, or setting the equipment back toward the center of the roof so that it won't be visible.

e) Gas Station Canopies

- i) The design, materials, roof pitch and other architectural details used for the canopy, including the columns, shall match those used for the principal building and shall

ensure that the canopy will appear as a subordinate structure through one or more of the following:

- A. The canopy is located behind the principal building;
 - B. The canopy is physically connected to the principal building and the connection shall be wide enough to cover a pedestrian walkway;
 - C. The length of the canopy is less than the length of the principal building; or
 - D. The height of the canopy is less than the average height of the principal building.
- ii) The canopy shall have a maximum clearance height of 16 feet, as measured from the finished grade to the underside of the canopy.
 - iii) Canopy lighting shall be fully recessed into the canopy and the roof structure shall not be internally illuminated in such a way as to allow light to show through the roof structure.
 - iv) All signage, including logos and trademarks, are prohibited on the canopy and canopy supports. This prohibition does not include noncommercial information located on support structures provided the size of the information shall be the minimum necessary to convey such noncommercial information.

(3) Pedestrian Access

a) Sidewalks

- i) A sidewalk with a minimum width of five (5) feet shall be required along the front of the property for all new construction, renovations, additions, or expansions to existing structures which fall into one of the following categories:
 - A. All new single family dwellings;
 - B. Major subdivisions;
 - C. All new non-residential development;
 - D. All additions or expansions of existing non-residential uses where the addition or expansion exceeds fifty (50) percent of the size of the existing structure; or
 - E. All renovations of existing non-residential uses resulting in an increase of more than fifty (50) percent of the value of the structure.
- ii) Where a sidewalk is required, the property owner shall also record a ten (10) foot public access easement running the length of the property frontage.
- iii) For properties that do not meet the above criteria, but for which County approval is required, the property owner shall record a ten (10) foot public access easement running the length of the property frontage in order to accommodate the future construction of a sidewalk.

b) Multi-modal Greenway Trails

- i) Where the Triune Special Area Plan shows a potential future greenway on a development property, a ten (10) foot asphalt trail, along with a fifteen (15) foot public access easement, shall be required for all new major subdivisions consisting of five (5) or more lots.
- ii) Where the Triune Special Area Plan shows a potential future greenway on a development property falling into one of the following categories, the property owner shall dedicate to the County or other governmental entity a fifteen (15) foot public access easement in order to accommodate the future construction of a greenway trail that would be owned and maintained by such governmental entity upon acceptance:

- A. All new nonresidential development;
 - B. All additions or expansions of existing nonresidential uses where the addition or expansion exceeds fifty (50) percent of the size of the existing structure; or
 - C. All renovations of existing nonresidential uses resulting in an increase of more than fifty (50) percent of the value of the structure.
 - D. Development that does not fall within one of the above categories but for which County approval is required.
- iii) Where a trail and/or public access easement is required, the exact location of the trail and/or public access easement must be agreed upon by the Planning Director or the applicable reviewing body (e.g. Planning Commission, Board of Zoning Appeals).

(4) Open Space

a) Non-Residential Development

- i) A minimum of thirty five (35) percent open space shall be required.
- ii) New non-residential development projects which utilize pervious paving materials, such as pervious concrete, to meet parking requirements may reduce their open space requirement to twenty five (25) percent.

b) Major Traditional Subdivisions

- i) A minimum of twenty (20) percent open space shall be required.

c) Conservation Subdivisions

- i) A minimum of fifty (50) percent open space shall be required.

(5) Signage

New ground signs must be monument style signs with a masonry base.

(6) Additional Standards for Multi-tenant developments

- a)** In multi-tenant buildings, each individual tenant space with a first floor exterior entrance shall be differentiated from adjoining such tenant spaces by creating variations within the front façade. These variations may include materials, texture, color or detail, a change in wall plane, or a change in roofline.
- b)** Multi-tenant developments consisting of 5 or more tenant spaces shall incorporate on-site outdoor common spaces or community amenities as visible, accessible, focal points. Common spaces shall be connected, to the maximum extent practicable, to pedestrian areas, sidewalks, trails or public open space in order to create functional pedestrian connectors. The following features may be used to satisfy the common space or community amenity standard:
 - i) Patio or plaza with seating and landscaping;
 - ii) Landscaped mini-park or square;
 - iii) Rooftop or community garden; or
 - iv) Similar features as approved by the Planning Commission upon recommendation of the Planning Director.

- c) Common spaces and community amenities shall be constructed of materials that are of a comparable quality and of a compatible design as the building they are attached to or the public space in which they are placed.

(7) Additional Conservation Subdivision Standards

- a) A minimum of 25% of the Open Space provided in Conservation Subdivisions within the TCA-3 zoning district must consist of unconstrained land that does not contain natural resources as outlined in Article 13 of the Zoning Ordinance.
- b) All healthy deciduous trees with a diameter at breast height (DBH) of 28 inches or greater, along with the drip line of such trees, shall be preserved in permanently protected Open Space. Such trees shall only be allowed to be removed according to the following:
 - i) If a certified arborist has determined that the tree is dying or structurally unsound; or
 - ii) If it can be demonstrated that removal of such tree(s) is necessary in order to gain access to the site. In such cases, replacement trees shall be provided at a rate of two (2) caliper inches for each caliper inch of tree removed.
 - iii) If trees meeting the above criteria are removed for any other reason, replacement trees shall be provided at a rate of three (3) caliper inches for each caliper inch of tree removed.
- c) All lots with an area of less than 8,000 square feet or a width of less than 60 feet shall have garage access from a rear alley. Alleys shall be privately owned and maintained by the subdivision's Homeowner's Association and this maintenance responsibility shall be specifically noted in the covenants and restrictions for the subdivision.

(8) Multi-Family Dwellings

Multi-family dwellings shall meet the Special Use Review Standards established in Section 5.01: Special Use and shall meet each of the following standards:

- a) Each individual dwelling unit must be owned independently along with the land on which the dwelling unit sits.
- b) There shall be a maximum of ten (10) dwelling units in any single building.
- c) Dwelling units shall be arranged horizontally in a linear arrangement, having a totally exposed front and rear wall to be used for access, light, and ventilation. See Figure 10.02-H: Linear Multi-Family Dwelling Arrangement.



Figure 10.02-H: Linear Multi-Family Dwelling Arrangement

- d) Each dwelling unit shall have at least one (1) separate, exterior entrance on ground level, with no common interior space shared between dwelling units.

- e) Individual dwelling units shall be distinguished from adjacent dwelling units by creating variations within the front façade. Such variations may include changes in materials, texture, color or detail, a change in wall plane, or a change in roofline.
- f) Side elevations visible from a public street shall be designed in keeping with the design elements of the front façade of the corresponding dwelling unit and shall, at a minimum, provide fifteen (15) percent door and window fenestration on exterior walls.
- g) Buildings shall be oriented toward the street, or private drive if internal to the development, and designed with front porches or stoops along the front façade.
- h) There shall be a minimum of forty (40) feet of separation between buildings.
- i) The elevation of the ground floor shall be a minimum of twenty-four (24) inches above the finished grade at the front of the building.
- j) Parking areas, including garages, shall be located in the rear of the building.
- k) A minimum five (5) foot continuous sidewalk shall be required along the entire length of the front façade of each building within the development. These sidewalks shall also provide access to rear parking areas.
- l) Each dwelling unit shall include a private, ground level outdoor open space area such as a patio, porch, or small yard.
- m) All trash storage areas and mechanical equipment shall be located in the rear of buildings and shall be screened from streets and surrounding properties.
- n) If the development site abuts one or more side streets, access must be taken from a side street, rather than from an arterial or collector road.

(X) TRIUNE CHARACTER AREA-4 (TCA-4)

(1) Purpose and Intent

The purpose of the Triune Character Area-4 (TCA-4) zoning district is to help implement the vision and policies of the Triune Special Area Plan. The development standards established for this district are intended to help ensure that future development is consistent with the Character Area 4 recommendations outlined in the Plan.

(2) Dimensional Standards

- a) Table 10.02-24 establishes the dimensional standards for the TCA-4 district.
- b) Additional standards related to accessory uses are located in Section 11.04: Accessory Uses and Structures.

TABLE 10.02-23: DIMENSIONAL STANDARDS FOR TRIUNE CHARACTER AREA-4 (TCA-4)

Dimensional Standards	Residential Structures		Nonresidential Structures
Minimum Lot Area	Traditional Subdivision	½ acre	1 acre
	Conservation Subdivision	8,000 sq. ft [1]	
	Multi-Family Uses	1 acre	
Maximum Gross Residential Density	2.0 units per 1 acre		N/A

TABLE 10.02-23: DIMENSIONAL STANDARDS FOR TRIUNE CHARACTER AREA-4 (TCA-4)

Dimensional Standards		Residential Structures		Nonresidential Structures
Minimum Lot Width		Traditional Subdivision	75 feet	150 feet
		Conservation Subdivision	40 feet	
		Multi-Family Uses	150 feet	
Front Yard Setback	Parcels on State Highways	50 feet, with a maximum setback of 75 feet [2][3]		
	Traditional Subdivision	35 feet		35 feet, with a maximum setback of 50 feet [3]
	Conservation Subdivision	25 feet, 15 feet for alley loaded lots		
	Multi-Family Uses	35 feet		
Side Yard Setback	Traditional Subdivision	10 feet		5 feet, but 20 feet on corner lots [2]
	Conservation Subdivision	5 feet		
	Multi-Family Uses	10 feet		
Rear Yard Setback	Traditional Subdivision	30 feet		30 feet
	Conservation Subdivision	30 feet, 15 feet for alley loaded lots		
	Multi-Family Uses	30 feet		
Maximum Height		3.0 stories		

General Notes:

[1] The minimum lot size may be reduced to 6,000 square feet for up to 50% of the lots provided that any lot that is less than 8,000 square feet is surrounded by Open Space or lots of 8,000 square feet or greater.

[2] On corner lots where both streets are State Highways, both street sides shall be considered to be "Front".

[3] The Maximum Setback Standards do not apply to Religious Institutions or Educational Facilities.

(3) Pedestrian Access

a) Sidewalks

- i) A sidewalk with a minimum width of five (5) feet shall be required along the front of the property for all new construction, renovations, additions, or expansions to existing structures which fall into one of the following categories:
 - A. All new single family dwellings;
 - B. Major subdivisions;
 - C. All new non-residential development;
 - D. All additions or expansions of existing non-residential uses where the addition or expansion exceeds fifty (50) percent of the size of the existing structure; or
 - E. All renovations of existing non-residential uses resulting in an increase of more than fifty (50) percent of the value of the structure.
- ii) Where a sidewalk is required, the property owner shall also record a ten (10) foot public access easement running the length of the property frontage.
- iii) For properties that do not meet the above criteria, but for which County approval is required, the property owner shall record a ten (10) foot public access easement running the length of the property frontage in order to accommodate the future construction of a sidewalk.

b) Multi-modal Greenway Trails

- i) Where the Triune Special Area Plan shows a potential future greenway on a development property, a ten (10) foot asphalt trail, along with a fifteen (15) foot public access easement, shall be required for all new major subdivisions consisting of five (5) or more lots.
- ii) Where the Triune Special Area Plan shows a potential future greenway on a development property falling into one of the following categories, the property owner shall dedicate to the County or other governmental entity a fifteen (15) foot public access easement in order to accommodate the future construction of a greenway trail that would be owned and maintained by such governmental entity upon acceptance:
 - A. All new nonresidential development;
 - B. All additions or expansions of existing nonresidential uses where the addition or expansion exceeds fifty (50) percent of the size of the existing structure; or
 - C. All renovations of existing nonresidential uses resulting in an increase of more than fifty (50) percent of the value of the structure.
 - D. Development that does not fall within one of the above categories but for which County approval is required.
- iii) Where a trail and/or public access easement is required, the exact location of the trail and/or public access easement must be agreed upon by the Planning Director or the applicable reviewing body (e.g. Planning Commission, Board of Zoning Appeals).

(4) Additional Conservation Subdivision Standards

- a) A minimum of 25% of the Open Space provided in Conservation Subdivisions within the TCA-4 zoning district must consist of unconstrained land that does not contain natural resources as outlined in Article 13 of the Zoning Ordinance.

- b) All healthy deciduous trees with a diameter at breast height (DBH) of 28 inches or greater, along with the drip line of such trees, shall be preserved in permanently protected Open Space. Such trees shall only be allowed to be removed according to the following:
 - i) If a certified arborist has determined that the tree is dying or structurally unsound; or
 - ii) If it can be demonstrated that removal of such tree(s) is necessary in order to gain access to the site. In such cases, replacement trees shall be provided at a rate of two (2) caliper inches for each caliper inch of tree removed.
 - iii) If trees meeting the above criteria are removed for any other reason, replacement trees shall be provided at a rate of three (3) caliper inches for each caliper inch of tree removed.
- c) All lots with an area of less than 8,000 square feet or a width of less than sixty (60) feet shall have garage access from a rear alley. Alleys shall be privately owned and maintained by the subdivision's Homeowner's Association and this maintenance responsibility shall be specifically noted in the covenants and restrictions for the subdivision.

(5) Multi-Family Dwellings

Multi-family dwellings shall meet the Special Use Review Standards established in Section 5.01: Special Use and shall meet each of the following standards:

- a) Each individual dwelling unit must be owned independently along with the land on which the dwelling unit sits.
- b) There shall be a maximum of ten (10) dwelling units in any single building.
- c) Dwelling units shall be arranged horizontally in a linear arrangement, having a totally exposed front and rear wall to be used for access, light, and ventilation. See Figure 10.02-I: Linear Multi-Family Dwelling Arrangement.



Figure 10.02-I: Linear Multi-Family Dwelling Arrangement

- d) Each dwelling unit shall have at least one (1) separate, exterior entrance on ground level, with no common interior space shared between dwelling units.
- e) Individual dwelling units shall be distinguished from adjacent dwelling units by creating variations within the front façade. Such variations may include changes in materials, texture, color or detail, a change in wall plane, or a change in roofline.
- f) Side elevations visible from a public street shall be designed in keeping with the design elements of the front façade of the corresponding dwelling unit and shall, at a minimum, provide fifteen (15) percent door and window fenestration on exterior walls.
- g) Buildings shall be oriented toward the street, or private drive if internal to the development, and designed with front porches or stoops along the front façade.
- h) There shall be a minimum of forty (40) feet of separation between buildings.

- i) The elevation of the ground floor shall be a minimum of twenty-four (24) inches above the finished grade at the front of the building.
- j) Parking areas, including garages, shall be located in the rear of the building.
- k) A minimum five (5) foot continuous sidewalk shall be required along the entire length of the front façade of each building within the development. These sidewalks shall also provide access to rear parking areas.
- l) Each dwelling unit shall include a private, ground level outdoor open space area such as a patio, porch, or small yard.
- m) All trash storage areas and mechanical equipment shall be located in the rear of buildings and shall be screened from streets and surrounding properties.
- n) If the development site abuts one or more side street, access must be taken from a side street, rather than from an arterial or collector road.

(6) Open Space

a) Non-Residential Development

- a) A minimum of thirty five (35) percent open space shall be required.
- b) New non-residential development projects which utilize pervious paving materials, such as pervious concrete, to meet parking requirements may reduce their open space requirement to twenty five (25) percent.

b) Major Traditional Subdivisions

- a) A minimum of twenty (20) percent open space shall be required.

c) Conservation Subdivisions

- a) A minimum of fifty (50) percent open space shall be required.

(7) Signage

New ground signs must be monument style signs with a masonry base.

Section 10.03: Overlay District

(A) AIRPORT OVERLAY DISTRICT (AP)

(1) Purpose

The purpose of the Airport Overlay District (AP) is to provide locations where airports may be developed, and to ensure that surrounding land uses are compatible with airport operations.

(2) Dimensional Standards

Specifications of this district will be established in conjunction with its application to a specific land area.

(3) Development Standards

Specifications of this district will be established in conjunction with its application to a specific land area.

Section 10.04: Permitted Encroachments into Required Setbacks

(A) The following features may be located within required setbacks:

- (1) Sidewalks and landscaping;**

- (2) Clotheslines and uncovered ramps for the handicapped provided they do not violate any other provision of this Ordinance;
 - (3) HVAC units; and
 - (4) Fences and walls, except retaining walls.
- (B) The following appurtenances are permitted to encroach into required setbacks as provided:
- (1) Awnings, canopies, marquees, bay windows, patios, porch stoops, steps, eaves, gutters, sills, belt courses, buttresses, cornices, ornamental features, chimneys, and other similar features as determined by the Planning Director, provided they do not encroach into the setback more than three feet;
 - (2) Driveways as provided in Section 17.02:(B): General Access Standards;
 - (3) Retaining walls; and;
 - (4) Accessory uses and structures as allowed in Section 11.04: Accessory Uses and Structures.

Section 10.05: Exempt Lots

The dimensional standards for exempt lots, as defined by Tennessee Code Annotated Section 13-3-401 as amended, shall be the same as those for Traditional Subdivisions located within the RP-5 district.

Section 10.06: Setbacks for Nonconforming Lots That Do Not Meet the Minimum Lot Size for the Subject Zoning District

The minimum setbacks for a lot that does not meet the lot size requirements for the zoning district in which it is located shall meet one of the following:

- (A) For lots that have been platted in accordance with the Williamson County Subdivision Regulations, the setbacks shall be governed by that noted on the subdivision plat; or
- (B) For lots that have not been platted in accordance with the Williamson County Subdivision Regulations, the setbacks in place at the time the lot was created shall govern; or
- (C) For lots created prior to zoning regulations being enacted in Williamson County, the setbacks shall meet one of the following:
 - (1) For lots of less than 1 acre in size, the setbacks shall be the same as for Conservation Subdivisions located within the RP-1 District; or
 - (2) For lots that are 1 acre or greater in size, the setbacks shall be the same as for Traditional Subdivisions located within the RP-1 District.

Section 10.07: Summary Table of Dimensional Standards

(A) **SUMMARY TABLES OF DIMENSIONAL STANDARDS**

Tables 10.07-1, 10.07-2, and 10.07-3, which begin on the next page, are summary tables of the dimensional standards established for all the zoning districts established in this Article. Where the standards in this table conflict with those set forth in this Ordinance, the most restrictive standards shall apply.

- (B) Additional standards related to accessory uses are located in [Section 11.04: Accessory Uses and Structures](#).

TABLE 10.07-1: SUMMARY TABLE OF DIMENSIONAL STANDARDS						
DISTRICT	STRUCTURE TYPE	MINIMUM LOT AREA		MAXIMUM GROSS RESIDENTIAL DENSITY		MAXIMUM HEIGHT
		TRADITIONAL SUBDIVISIONS	CONSERVATION SUBDIVISIONS	TRADITIONAL SUBDIVISIONS	CONSERVATION SUBDIVISIONS	
A	Residential Structures	15 acres	Not Applicable	Not Applicable		Not Applicable
	Nonresidential Structures	15 acres	Not Applicable	Not Applicable		Not Applicable
RP-5	Residential Structures	5 acres	Average Lot Size $\frac{3}{4}$ of an acre [3]	1 unit per 5.0 acres		Not Applicable
			Minimum Lot Size $\frac{1}{4}$ of an acre [3]			
	Nonresidential Structures	5 acres		Not Applicable		Not Applicable
RD-5	Residential Structures	5 acres	Average Lot Size $\frac{3}{4}$ of an acre [3]	1 unit per 5.0 acres		Not Applicable
			Minimum Lot Size $\frac{1}{4}$ of an acre [3]			
	Nonresidential Structures	5 acres		Not Applicable		Not Applicable
RP-1	Residential Structures	1 acre	10,000 square feet	1 unit per acre		3.0 stories
	Nonresidential Structures	1 acre		Not Applicable		3.0 stories
RD-1	Residential Structures	1 acre	10,000 square feet	1 unit per acre		3.0 stories
	Nonresidential Structures	1 acre		Not Applicable		3.0 stories
SIC	Residential Structures	1 acre	8,000 square feet [1]	1.0 unit per acre	1.2 units per acre	3.0 stories
	Nonresidential Structures	1 acre		Not Applicable		3.0 stories
MGA-1	Residential Structures	1 acre	Not Applicable	1 unit per acre		3.0 stories
	Nonresidential Structures	1 acre	Not Applicable	Not Applicable		3.0 stories
MGA-5	Residential Structures	5 acres	Not Applicable	1 unit per 5 acres		3.0 stories
MGA-5	Nonresidential Structures	5 acres	Not Applicable	Not Applicable		3.0 stories
MGA-H	Residential Structures	20,000 square feet	Not Applicable	2.0 units per acre		3.0 stories

TABLE 10.07-1: SUMMARY TABLE OF DIMENSIONAL STANDARDS						
DISTRICT	STRUCTURE TYPE	MINIMUM LOT AREA		MAXIMUM GROSS RESIDENTIAL DENSITY		MAXIMUM HEIGHT
		TRADITIONAL SUBDIVISIONS	CONSERVATION SUBDIVISIONS	TRADITIONAL SUBDIVISIONS	CONSERVATION SUBDIVISIONS	
	Nonresidential Structures	15,000 square feet	Not Applicable	Not Applicable		3.0 stories
H [2]	Residential Structures	20,000 square feet	8,000 square feet [See Section 10.02:(j)(2)(c)]	2.0 units per acre	1.2 units per acre	3.0 stories
	Nonresidential Structures	15,000 square feet	Not Applicable	Not Applicable		3.0 stories
NC	See Section 10.02:(L): Neighborhood Conservation District (NC).					
NCMH	See Section 10.02:(M): Neighborhood Conservation Manufactured Housing District (NCMH).					
840C	Residential Structures	1 acre	8,000 square feet [1]	1.0 unit per acre	1.2 units per acre	3.0 stories
	Nonresidential Structures	1 acre		Not Applicable		5.0 stories
NOTES:						
[1] Up to 15 percent of the total lots may be reduced to 6,000 square feet in compliance with Section 10.02:(F)(2)c) or Section 10.02:(N)(2)c), as applicable.						
[2] See also Section 10.02:(j)(3): Nonresidential Development Contextual Design Standards.						
[3] Any lots less than ¾ acre in size must be located internally within the development where they are surrounded by lots of at least ¾ acre in size or in a location where homes on these lots will not be visible from adjacent properties or roadway rights-of-ways						

TABLE 10.07-2: SUMMARY TABLE OF MINIMUM SETBACKS								
DISTRICT	STRUCTURE TYPE	FRONT YARD SETBACK			SIDE YARD SETBACK		REAR YARD SETBACK	
		TRADITIONAL SUBDIVISIONS 1 ACRE TO 4.99 ACRES	TRADITIONAL SUBDIVISIONS 5 ACRES OR GREATER	CONSERVATION SUBDIVISIONS	TRADITIONAL SUBDIVISIONS	CONSERVATION SUBDIVISIONS	TRADITIONAL SUBDIVISIONS	CONSERVATION SUBDIVISIONS
A	Residential Structures	Not Applicable	100 feet	Not Applicable	50 feet	Not Applicable	100 feet	Not Applicable
	Nonresidential Structures	100 feet			50 feet	Not Applicable	50 feet	Not Applicable
RP-5	Residential Structures	Not Applicable	100 feet	50 feet	25 feet	20 feet	50 feet	30 feet
	Nonresidential Structures	100 feet			50 feet		50 feet	
RD-5	Residential Structures	Not Applicable	100 feet	50 feet	25 feet	20 feet	50 feet	30 feet
	Nonresidential Structures	100 feet			50 feet		50 feet	
RP-1	Residential Structures	60 feet	100 feet	35 feet	20 feet	5 feet	60 feet	30 feet
	Nonresidential Structures	60 feet			35 feet		60 feet	
RD-1	Residential Structures	60 feet	100 feet	35 feet	20 feet	5 feet	60 feet	30 feet
	Nonresidential Structures	60 feet			35 feet		60 feet	
SIC	Residential Structures	60 feet	100 feet	25 feet	20 feet	5 feet	60 feet	30 feet
	Nonresidential Structures	60 feet			35 feet		60 feet	
MGA-1	Residential Structures	60 feet	100 feet	Not Applicable	20 feet	Not Applicable	60 feet	Not Applicable
	Nonresidential Structures	60 feet			35 feet	Not Applicable	60 feet	Not Applicable
MGA-5	Residential Structures	Not Applicable	100 feet	Not Applicable	20 feet	Not Applicable	60 feet	Not Applicable
	Nonresidential Structures	60 feet			35 feet	Not Applicable	60 feet	Not Applicable
MGA-H	Residential Structures	35 feet	100 feet	Not Applicable	15 feet	Not Applicable	25 feet	Not Applicable
	Nonresidential Structures	35 feet			15 feet	Not Applicable	25 feet	Not Applicable
H[1]	Residential Structures	35 feet	100 feet	Not Applicable	15 feet	Not Applicable	25 feet	Not Applicable
	Nonresidential Structures	35 feet			15 feet	Not Applicable	25 feet	Not Applicable
NC	See Section 10.02:(L): Neighborhood Conservation District (NC) .							
NCMH	See Section 10.02:(M): Neighborhood Conservation Manufactured Housing District (NCMH) .							

TABLE 10.07-2: SUMMARY TABLE OF MINIMUM SETBACKS								
DISTRICT	STRUCTURE TYPE	FRONT YARD SETBACK			SIDE YARD SETBACK		REAR YARD SETBACK	
		TRADITIONAL SUBDIVISIONS 1 ACRE TO 4.99 ACRES	TRADITIONAL SUBDIVISIONS 5 ACRES OR GREATER	CONSERVATION SUBDIVISIONS	TRADITIONAL SUBDIVISIONS	CONSERVATION SUBDIVISIONS	TRADITIONAL SUBDIVISIONS	CONSERVATION SUBDIVISIONS
840C	Residential Structures	60 feet	100 feet	25 feet	20 feet	5 feet	60 feet	30 feet
	Nonresidential Structures	60 feet			30 feet		60 feet	
NOTES:								
[1] See also Section 10.02:(j)(3): Nonresidential Development Contextual Design Standards.								

TABLE 10.07-3: SUMMARY TABLE OF MINIMUM LOT WIDTHS

DISTRICT	STRUCTURE TYPE	MINIMUM LOT WIDTH			
		TRADITIONAL SUBDIVISIONS 1 ACRE TO 2.99 ACRES	TRADITIONAL SUBDIVISIONS 3 ACRES TO 4.99 ACRES	TRADITIONAL SUBDIVISIONS 5 ACRES OR GREATER	CONSERVATION SUBDIVISIONS
A	Residential Structures	Not Applicable		200 feet	Not Applicable
	Nonresidential Structures	Not Applicable		200 feet	Not Applicable
RP-5	Residential Structures	Not Applicable		200 feet	100 feet
	Nonresidential Structures	Not Applicable		200 feet	
RD-5	Residential Structures	Not Applicable		200 feet	100 feet
	Nonresidential Structures	Not Applicable		200 feet	
RP-1	Residential Structures	130 feet	160 feet	200 feet	60 feet
	Nonresidential Structures	130 feet			
RD-1	Residential Structures	130 feet	160 feet	200 feet	60 feet
	Nonresidential Structures	130 feet			
SIC	Residential Structures	130 feet	160 feet	200 feet	60 feet
	Nonresidential Structures	130 feet			
MGA-1	Residential Structures	130 feet	160 feet	200 feet	Not Applicable
	Nonresidential Structures	130 feet			Not Applicable
MGA-5	Residential Structures	Not Applicable		200 feet	Not Applicable
	Nonresidential Structures	130 feet			Not Applicable
MGA-H	Residential Structures	80 feet		150 feet	Not Applicable
	Nonresidential Structures	80 feet			Not Applicable
H [1]	Residential Structures	80 feet		150 feet	Not Applicable
	Nonresidential Structures	80 feet			Not Applicable
NC	See Section 10.02:(L): Neighborhood Conservation District (NC) .				
NCMH	See Section 10.02:(M): Neighborhood Conservation Manufactured Housing District (NCMH) .				

TABLE 10.07-3: SUMMARY TABLE OF MINIMUM LOT WIDTHS					
DISTRICT	STRUCTURE TYPE	MINIMUM LOT WIDTH			
		TRADITIONAL SUBDIVISIONS 1 ACRE TO 2.99 ACRES	TRADITIONAL SUBDIVISIONS 3 ACRES TO 4.99 ACRES	TRADITIONAL SUBDIVISIONS 5 ACRES OR GREATER	CONSERVATION SUBDIVISIONS
840C	Residential Structures	130 feet	160 feet	200 feet	60 feet
	Nonresidential Structures	100 feet			
NOTES: [1] See also Section 10.02:(j)(3): Nonresidential Development Contextual Design Standards.					

TABLE 10.07-4: SUMMARY TABLE OF DIMENSIONAL STANDARDS – VILLAGE DISTRICTS [1]

District	Structure Type	Minimum Lot Area		Maximum Gross Residential Density			Maximum Height	
V [2]	Residential Structures	15,000 square feet		3.0 units per acre			3.5 stories	
	Nonresidential Structures	10,000 square feet		Not Applicable				
CGV Core Subarea	Residential Structures	15,000 square feet		3.0 units per acre			3.0 stories	
	Nonresidential Structures	Not Applicable		Not Applicable				
CGV General Subarea	Residential Structures	½ Acre		2.0 units per acre			3.0 stories	
	Nonresidential Structures	1 Acre		Not Applicable				
LFV Core Subarea	Residential Structures	10,000 square feet		4.0 units per acre			2.0 stories	
	Nonresidential Structures	Not Applicable		Not Applicable				
LFV General Subarea	Residential Structures	1 acre		2.0 units per acre			2.0 stories	
	Nonresidential Structures			Not Applicable				
GVC1	Residential Structures	1 acre		1.0 unit per acre			2.0 stories	
	Nonresidential Structures			Not Applicable				
GVC2	Residential Structures	Lots Abutting Hillsboro Road	1 acre	Lots Abutting Hillsboro Road		1.0 unit per acre	2.0 stories	
		All Other Lots	20,000 square feet	All Other Lots		2.0 units per acre		
	Nonresidential Structures	Lots Abutting Hillsboro Road	1 acre	Not Applicable				
		All Other Lots	20,000 square feet					
GVC3	Residential Structures	1 acre		Single Family Dwellings		1.0 unit per acre	2.0 stories	
				Multi-Family Dwellings		3.0 units per acre		
	Nonresidential Structures			Not Applicable				
GVC4	Residential Structures	1 acre		Single Family Dwellings		1.0 unit per acre	2.0 stories	
				Multi-Family Dwellings	Townhomes	Slopes <15%		6.0 units per acre
						Slopes >15%		2.0 units per acre
					Condos Above Residential	Slopes <15%		6.0 units per acre
	Nonresidential Structures	20,000 square feet		Not Applicable				

TABLE 10.07-4: SUMMARY TABLE OF DIMENSIONAL STANDARDS – VILLAGE DISTRICTS [1]

District	Structure Type	Minimum Lot Area		Maximum Gross Residential Density	Maximum Height
TCA-1	Residential Structures	Traditional Subdivisions	5 acres	1.0 units per 5 acres (0.20 DU/A)	3.0 stories
		Conservation Subdivisions	1.5 acres		
	Nonresidential Structures	5 acres		Not Applicable	
TCA-2	Residential Structures	Parcels on State Highways	1 acre	2.0 units per 1 acre	2.0 stories for street-facing elevations, with a maximum of 3.0 stories on other elevations
		All other Parcels	½ acre		
	Nonresidential Structures	5 acres		Not Applicable	
TCA-3	Residential Structures	Traditional Subdivisions	½ acre	2.0 units per 1 acre	3.0 stories
		Conservation Subdivisions	8,000 square feet [3]		
		Multi-Family Uses	1 acre		
	Nonresidential Structures	1 Acre		Not Applicable	
TCA-4	Residential Structures	Traditional Subdivisions	½ acre	2.0 units per 1 acre	3.0 stories
		Conservation Subdivisions	8,000 square feet [3]		
		Multi-Family Uses	1 acre		
	Nonresidential Structures	1 Acre		Not Applicable	

[1] Conservation Subdivisions are not permitted in the above mentioned districts, and as such are not represented in the table.

[2] See also Section 10.02(K)(3): Nonresidential Development Contextual Design Standards

[3] The minimum lot size may be reduced to 6,000 square feet for up to 50% of the lots provided that any lot that is less than 8,000 square feet is surrounded by Open Space or lots of 8,000 square feet or greater.

TABLE 10.07-5: SUMMARY TABLE OF MINIMUM SETBACKS – VILLAGE DISTRICTS [1]					
District	Structure Type	Front Yard Setback		Side Yard Setback	Rear Yard Setback
		Traditional Subdivisions 1- 4.99 Ac	Traditional Subdivisions 5 Acres and Greater	Traditional Subdivisions	Traditional Subdivisions
V	Residential Structures	50 feet	100 feet	15 feet	30 feet
	Nonresidential Structures	50 feet			
CGV Core Subarea	Residential Structures	20 feet, 30 feet maximum [3]		5 feet, 20 feet on corner lot	30 feet
	Nonresidential Structures	5 feet, 15 feet maximum [3]		0 feet, 10 feet on corner lot	
CGV General Subarea	Residential Structures	50 feet		20 feet	30 feet
	Nonresidential Structures			25 feet	
LFV Core Subarea	Residential Structures	20 feet, 40 feet maximum [3]		5 feet, 20 feet on corner lot	30 feet
	Nonresidential Structures	5 feet, 25 feet maximum [3]		0 feet, 10 feet on corner lot	
LFV General Subarea	Residential Structures	30 feet		20 feet	30 feet
	Nonresidential Structures			25 feet	
GVC1	Residential Structures	60 feet	100 feet	20 feet	60 feet
	Nonresidential Structures	60 feet		35 feet	
GVC2	Residential Structures	20 feet, 40 feet maximum [3], or 50 feet on Hillsboro Rd		5 feet, 20 feet on corner lot	30 feet
	Nonresidential Structures	20 feet, 30 feet maximum [3], or 50 feet on Hillsboro Rd			
GVC3	Residential Structures	50 feet		20 feet	50 feet
	Nonresidential Structures				
GVC4	Residential Structures	30 feet		20 feet	30 feet
	Nonresidential Structures	15 feet, or 25 feet on Hillsboro Road		5 feet, 20 feet on corner lot	

[1] Conservation Subdivisions are not permitted in the above mentioned districts, and as such are not represented in the table.

[2] See also Section 10.02(K)(3): Nonresidential Development Contextual Design Standards

[3] The maximum front yard setback does not apply to Religious Institutions or Educational Facilities.

TABLE 10.07-6: SUMMARY TABLE OF MINIMUM LOT WIDTHS – VILLAGE DISTRICTS [1]

District	Structure Type		Minimum Lot Width		
			Traditional Subdivisions 1-2.99 Ac	Traditional Subdivisions 3-4.99 Ac	Traditional Subdivisions 5 Acres and Greater
V [2]	Residential Structures		50 feet		150 feet
	Nonresidential Structures		50 feet		
CGV Core Subarea	Residential Structures		50 feet		150 feet
	Nonresidential Structures		Not Applicable		
CGV General Subarea	Residential Structures		75 feet		150 feet
	Nonresidential Structures		Not Applicable		
LFV Core Subarea	Residential Structures		40 feet		150 feet
	Nonresidential Structures		40 feet		
LFV General Subarea	Residential Structures		75 feet		150 feet
	Nonresidential Structures		100 feet		
GVC1	Residential Structures		130 feet	160 feet	200 feet
	Nonresidential Structures		130 feet		
GVC2	Residential Structures	Lots Abutting Hillsboro Road	150 feet		
		All Other Lots	60 feet		150 feet
	Nonresidential Structures	Lots Abutting Hillsboro Road	150 feet		
		All Other Lots	60 feet		
GVC3	Residential Structures		130 feet	160 feet	200 feet
	Nonresidential Structures		130 feet		
GVC4	Residential Structures		130 feet	160 feet	200 feet
	Nonresidential Structures		60 feet		
TV	Residential Structures		PLACEHOLDER		
	Nonresidential Structures				

[1] Conservation Subdivisions are not permitted in the above mentioned districts, and as such are not represented in the table.

[2] See also Section 10.02(K)(3): Nonresidential Development Contextual Design Standards

TABLE 10.07-7: SUMMARY TABLE OF MINIMUM SETBACKS FOR TRIUNE CHARACTER AREA DISTRICTS

District	Structure Type		Front Yard Setback		Side Yard Setback		Rear Yard Setback
TCA-1	Residential Structures		0.0-4.99 acres	60 feet	0.0-4.99 acres	20 feet	60 feet
			5.00 acres or greater	100 feet	5.00 acres or greater	30 feet	
	Nonresidential Structures		100 feet		50 feet		50 feet
TCA-2	Residential Structures		Parcels on State Highways	40 feet, with a maximum setback of 50 feet [1] [2]	5 feet, but 20 feet on corner lots [1]		30 feet
			All other Parcels	20 feet, with a maximum setback of 30 feet			
	Nonresidential Structures		Parcels on State Highways	40 feet, with a maximum setback of 50 feet [1] [2]			
			All other Parcels	20 feet, with a maximum setback of 30 feet			
TCA-3	Residential Structures	Parcels on State Highways	50 feet, with a maximum setback of 75 feet [1][2]		[1]	N/A	
		Traditional Subdivisions	35 feet		10 feet	30 feet	
		Conservation Subdivisions	25 feet, 15 feet for alley loaded lots		5 feet	30 feet, 15 feet for alley loaded lots	
		Multi-Family Uses	35 feet		10 feet	30 feet	
	Nonresidential Structures	Parcels on State Highways	50 feet, with a maximum setback of 75 feet [1][2]		5 feet, but 20 feet on corner lots [1]	30 feet	
		All other Parcels	35 feet, with a maximum setback of 50 feet [2]				
TCA-4	Residential Structures	Parcels on State Highways	50 feet, with a maximum setback of 75 feet [1][2]		[1]	N/A	
		Traditional Subdivisions	35 feet		10 feet	30 feet	
		Conservation Subdivisions	25 feet, 15 feet for alley loaded lots		5 feet	30 feet, 15 feet for alley loaded lots	
		Multi-Family Uses	35 feet		10 feet	30 feet	
	Nonresidential Structures	Parcels on State Highways	50 feet, with a maximum setback of 75 feet [1][2]		5 feet, but 20 feet on corner lots [1]	30 feet	
		All other Parcels	35 feet, with a maximum setback of 50 feet [2]				

[1] On corner lots where both streets are State Highways, both street sides shall be considered to be "Front".

[2] The Maximum Setback Standards do not apply to Religious Institutions or Educational Facilities.

TABLE 10.07-8: SUMMARY TABLE OF MINIMUM LOT WIDTHS FOR TRIUNE CHARACTER DISTRICTS [1]

District			Residential Structures		Nonresidential Structures
TCA-1			1.5 – 2.99 acres	130 feet	60 feet
			3.00 – 4.99 acres	160 feet	
			5.0 acres or greater	200 feet	
TCA-2	Parcels on State Highways		150 feet		150 feet
	All other Parcels	0.50 -0.99 acres	75 feet		75 feet
		1.0 - 2.99 acres	100 feet		
		3.0 – 4.99 acres	130 feet		
		5.0 acres or greater	160 feet		
TCA-3			Traditional Subdivisions	75 feet	150 feet
			Conservation Subdivisions	40 feet	
			Multi-Family Uses	150 feet	
TCA-4			Traditional Subdivisions	75 feet	150 feet
			Conservation Subdivisions	40 feet	
			Multi-Family Uses	150 feet	

Section 17.04: Sidewalks

- (A) Sidewalks shall be required on both sides of the street in developments where the average lot size is 10,000 square feet or less.
- (B) All sidewalks shall meet the requirements of the Williamson County Subdivision Regulations, as applicable, and all applicable State and Federal laws and regulations, including but not limited to the Americans with Disabilities Act.

Rogers C. Anderson
Williamson County Mayor



WILLIAMSON COUNTY GOVERNMENT

September 28, 2021

The Honorable Clay Bright, Commissioner
Tennessee Department of Transportation
505 Deaderick Street, Suite 700
Nashville, TN 37243

Re: Williamson County Access Grant Application

Dear Commissioner Bright:

As Mayor of Williamson County, I am writing in support of the County's 2021 TDOT Multimodal Access Grant application. This opportunity for Williamson County to partner with the State of Tennessee for improved multimodal infrastructure along a state highway that will connect to several county properties is paramount for public health and safety.

In my service as former Chairman of the MPO along with ongoing engagement in transportation discussions, I recognize that these eligible improvements will provide needed pedestrian and bicycle access to Grassland Middle School, Grassland Park and Nature Trail. Grassland Elementary School is situated just beyond these highly utilized properties adjacent to Hillsboro Road, State Route 106/US431.

Williamson County accepts the 5% local match responsibility along with maintenance of respective project portions within its jurisdiction. This proposed project has received positive support from not only the community, Williamson County Schools, and applicable county departments, but also State legislators and the GNRC.

Thank you for your time and consideration of Williamson County's Multimodal Grant application.

Sincerely,

Rogers C. Anderson, Mayor
Williamson County

RCA/dg





September 20, 2021

The Honorable Clay Bright
Commissioner of Transportation
Tennessee Department of Transportation
505 Deaderick Street, Suite 700
Nashville, Tennessee 372430

Subject: Williamson County Multimodal Access Grant Proposal

Dear Commissioner Bright:

I am pleased to offer this letter of support for Williamson County's Multimodal Access Grant (MAG) application on behalf of the Greater Nashville Regional Council's Transportation Policy Board. The County's proposal to improve bicycle and pedestrian access on Hillsboro Road and Manley Lane will create safe access to Grassland Middle School and improve overall connectivity of the active transportation network.

GNRC is recognized by the State of Tennessee Department of Transportation (TDOT) and the United States Department of Transportation Federal Highway Administration (FHWA) and Federal Transit Administration (FTA) as the federally-designated Metropolitan Planning Organization (MPO) for the seven county Nashville metropolitan planning area which includes Davidson, Maury, Robertson, Rutherford, Sumner, Williamson, and Wilson counties.

The Nashville area continues to experience rapid population growth, physical inactivity, and increasingly unsafe roadways. The project includes new sidewalks, crossing improvements, and new bicycle facilities to ensure safe and accessible connections to Grassland Middle School and nearby trails.

This project also aligns with GNRC's Regional Transportation Plan by advancing its goals to improve safety for the traveling public and to increase access to economic opportunity for all Middle Tennesseans. GNRC supports the County's commitment to integrating healthy community design strategies to promote active transportation in their community.

Thank you for your consideration of Williamson County's grant application.

Sincerely,

Sean Pfalzer
Transportation Planning Manager
Greater Nashville Regional Council

**SENATOR
JACK JOHNSON**

702 CORDELL HULL BUILDING
NASHVILLE, TENNESSEE 37243

O: (615) 741-2495
F: (615) 253-0321

Sen.Jack.Johnson@capitol.tn.gov

**SENATE
MAJORITY LEADER**

SENATE REPUBLICAN CAUCUS

COMMITTEES
FINANCE, WAYS AND MEANS
COMMERCE AND LABOR
CALENDAR

Senate Chamber State of Tennessee

NASHVILLE

September 28, 2021
The Honorable Clay Bright
Commissioner of Transportation
Tennessee Department of Transportation
505 Deaderick Street, Suite 700
Nashville, Tennessee 372430

Subject: Williamson County Multimodal Access Grant Proposal

Dear Commissioner Bright:

I am pleased to offer this letter of support for Williamson County's Multimodal Access Grant (MAG) application on behalf of the Greater Nashville Regional Council's Transportation Policy Board. The County's proposal to improve bicycle and pedestrian access on Hillsboro Road and Manley Lane will create safe access to Grassland Middle School and improve overall connectivity of the active transportation network.

GNRC is recognized by the State of Tennessee Department of Transportation (TDOT) and the United States Department of Transportation Federal Highway Administration (FHWA) and Federal Transit Administration (FTA) as the federally designated Metropolitan Planning Organization (MPO) for the seven county Nashville metropolitan planning area which includes Davidson, Maury, Robertson, Rutherford, Sumner, Williamson, and Wilson counties.

The Nashville area continues to experience rapid population growth, physical inactivity, and increasingly unsafe roadways. The project includes new sidewalks, crossing improvements, and new bicycle facilities to ensure safe and accessible connections to Grassland Middle School and nearby trails.

This project also aligns with GNRC's Regional Transportation Plan by advancing its goals to improve safety for the traveling public and to increase access to economic opportunity for all Middle Tennesseans. GNRC supports the County's commitment to integrating healthy community design strategies to promote active transportation in their community. Thank you for your consideration of Williamson County's grant application.

Sincerely,



Senator Jack Johnson

District 23
Williamson County

425 Rep. John Lewis Way North
Suite 660
Nashville, TN 37243



Rep.Brandon.Ogles@capitol.tn.gov
(615) 741 - 6808
Fax (615) 253 - 0217

State Representative Brandon Ogles
District 61

September 28, 2021

The Honorable Clay Bright
Commissioner of Transportation
Tennessee Department of Transportation
505 Deaderick Street, Suite 700
Nashville, TN 37243

Re: Williamson County Multimodal Access Grant Application

Dear Commissioner Bright:

As District 61 State Representative and a lifelong Williamson County resident, I am writing in support of Williamson County's 2021 TDOT Multimodal Access Grant submittal. There are surely transportation needs throughout the State, but this multimodal project is of high visibility and use and will create safe connectivity to school(s), a park and nature trail, which is needed along this State highway.

Grassland Middle School, Grassland Park and Nature Trail are adjacent to Hillsboro Road, State Route 106, and are within the heart of my district is heavily travelled upon. I grew up across from Hillsboro Road and can recall as a child having to go under the bridge because we were not allowed to cross the road due to safety issues. Community members recently met and voiced their support and reinforced the need for safe infrastructure for pedestrian and bicycle behavior that is already occurring with unsafe conditions.

It is my understanding that in addition to the community, Williamson County Schools, the GNRC and other elected officials have expressed their support of this transportation project. It is my opinion that this type of project is what the TDOT Multimodal Access Grant was intended for and is good stewardship of allotted funding with State and County partnership.

Thank you for your consideration of Williamson County's Multimodal Grant application.

Sincerely,

Brandon Ogles
State Representative
District 61

Barb Sturgeon
County Commissioner, District 8



WILLIAMSON COUNTY GOVERNMENT

September 13, 2021

Dear TDOT MULTIMODAL ACCESS GRANT Review Committee,

Thank you for the opportunity for Williamson County government to apply for MULTIMODAL ACCESS Grant funds following the submitted NOI. As an elected Williamson County Commissioner representing District 8, I am in support of the opportunity for safe, multi-modal infrastructure to be funded so that our community can safely walk and bike across Hillsboro Road, and along this state route to access a county school, park and nature trail.

Williamson County is experiencing high levels of growth which require the funding of many new schools. This grant award, matched by the county, will mean residents will have the opportunity for healthier transportation options accessing an established school and trail system.

Thank you for your time and consideration.

Sincerely,

A handwritten signature in blue ink, appearing to read "Barb Sturgeon", is written over a faint, larger blue outline of the same signature.

Barb Sturgeon, District 8 Commissioner
Williamson County Board of Commissioners





WILLIAMSON COUNTY GOVERNMENT

September 28, 2021

Dear TDOT MULTIMODAL ACCESS GRANT Review Committee:

Thank you for your service and the opportunity for Williamson County government to apply for MULTIMODAL ACCESS Grant funds following the submitted NOI. I currently have the honor of representing the Grassland community and the Ninth District for Williamson County as one of its Commissioners. I am in full support of the application seeking multi-modal infrastructure along Hillsboro Road.

With this grant, together we can provide the Grassland community with a safe pedestrian and bicycle access point from which our residents can access their local schools, park and nature trail. Improving this access will promote a healthier community and encourage our residents to leave their automobiles at home. There has already been some anticipatory discussion of extending our "walking school bus" program to the communities adjacent to Grassland Elementary and Grassland Middle School and this grant will make these dreams a reality.

Thank you for your consideration of our application and if I can be of any further assistance, please do not hesitate to call.

Sincerely,

A handwritten signature in blue ink, appearing to be "Chas", is written over a large, stylized blue loop.

Charles E. "Chas" Morton IV
District 9 Commissioner
Williamson County Board of Commissioners





WILLIAMSON COUNTY GOVERNMENT

September 28, 2021

Dear TDOT MULTIMODAL ACCESS GRANT Review Committee,

Thank you for your commitment to improved transportation and accessibility along state routes. I am writing this letter in support of Williamson County's 2021 Multimodal Access grant application for safe infrastructure improvement along State Route 106/US 431, or Hillsboro Road.

My district is directly affected within the proposed project area and would benefit substantially if approved. The current activity involving school children walking to Grassland Middle School from surrounding neighborhoods, and cyclists and pedestrians taking advantage of the Grassland Park and scenic country roads on opposite sides of Hillsboro Road, routinely cross at the intersection of Hillsboro Road/Boxwood. A considerable safety risk has existed and still exists to both them and the motorists traveling on these roads. I am supportive of all efforts around interconnectivity within a community and this has been a point of emphasis for TDOT as well. This proposed Grassland project achieves this goal, increases safety, and can succeed due to a State-County partnership.

Thank you for your consideration of the Williamson County application, which cannot be implemented without this funding source and needed state route multimodal improvements.

Sincerely,

Matt Williams
District 9 Commissioner
Williamson County Board of Commissioners



Charles Edward Hood, Jr.
Highway Superintendent
615-790-5598



WILLIAMSON COUNTY
HIGHWAY DEPARTMENT
302 Beasley Drive
Franklin, TN 37064

September 28, 2021

The Honorable Clay Bright
Commissioner of Transportation
Tennessee Department of Transportation
505 Deaderick Street, Suite 700
Nashville, TN 37243

Subject: Williamson County Multimodal Access Grant Application

Dear Commissioner Bright,

As Director of the Williamson County Highway Department, I am writing in support of the County's 2021 TDOT Multimodal Access Grant application. County areas can be motor vehicle dependent, but this project is an opportunity to safely connect a community to county properties by pedestrian and bicycle access with safety improvements along State Route 106/US 431.

This past summer, the County Highway Department successfully completed a roundabout project near the school to improve vehicle safety accessing Grassland Middle School and creating crosswalk connection north to Hunterwood subdivision. This multimodal project would allow the neighborhoods on the west side of Hillsboro Road to cross and access infrastructure designed for pedestrian and bicycle travel that is designed according to ADA, PROWAG, AASHTO and MUTCD standards.

This State-County partnership can promote public health and safety. Thank you for your consideration of our application.

Sincerely,

A handwritten signature in blue ink that reads "Eddie Hood".

Eddie Hood

Williamson County Highway Superintendent

1320 West Main Street Suite 202
Franklin, Tennessee 37064-3700
Phone (615) 472-4000
Fax (615) 472-4190
Website: <http://www.wcs.edu>



September 28, 2021

The Honorable Clay Bright
Commissioner of Transportation
Tennessee Department of Transportation
505 Deaderick Street, Suite 700
Nashville, TN 37243

RE: Williamson County 2021 Multimodal Access Grant Application

Dear Commissioner Bright,

As Director of Schools for Williamson County, I am writing in support of Williamson County's TDOT Multimodal Access Grant application. Grassland Middle School, with 884 enrolled students, is located adjacent to Hillsboro Road/State Route 106. Many families have expressed to county leaders their desire to improve the safety of the crossing at Hillsboro Road to access Grassland Middle School. These improvements would also connect those families to the Nature Trail that already connects Grassland Middle School to the County's recreation sports fields at Grassland Park.

Williamson County Schools wants to help our students learn how to safely travel to and from school and parks to develop an active, healthy lifestyle. Studies have shown that walking and biking to school provides not only practical transportation, but also includes physical and mental health benefits for students. However, we cannot promote this activity without the support of the safer transportation improvements this grant would provide.

The primary focus of Williamson County Schools' application is to safely access Grassland Middle School and other adjacent county land uses. However, a safer signalization system would also benefit Grassland Elementary School situated east of Grassland Middle School. The elementary school currently has 554 enrolled students. Some of them would be able to benefit from these infrastructure improvements with proper adult assistance.

Thank you for your work to improve transportation within our county with multimodal opportunities. We appreciate your consideration of this proposed intergovernmental project.

Sincerely,

Jason A. Golden
Superintendent



GRASSLAND MIDDLE SCHOOL

Timothy Drinkwine, Ed.D
Principal

Grassland Middle School
2390 Hillsboro Road
Franklin, TN 37069

Wes Hobbs
Assistant Principal
Angie Proise
Assistant Principal

Preparing students to be life-long learners and responsible members of society.

September 30, 2021

The Honorable Clay Bright
Commissioner of Transportation
Tennessee Department of Transportation
505 Deaderick Street, Suite 700
Nashville, TN 37243

Subject: Williamson County TDOT Multimodal Access Grant Application

Dear Commissioner Bright,

I am pleased to serve as principal at Grassland Middle School and to provide this letter of support of the County's 2021 Multimodal Access Grant submittal. We have an enrollment of 884 students, and as you may know, are located adjacent to State Route 106/Hillsboro Road.

Parents have continually emailed me requesting safer transportation infrastructure so that their family members may access not only Grassland Middle School, but Grassland Park and Nature trail with connectivity from the school. It is my understanding that Hillsboro Road is a state road, and other improvements are located on county property, including WCS. This grant project seems the perfect answer for the State and County to work together in improving transportation for pedestrians and bicyclists.

As an educator, my primary concern is for the health and safety of my students. During significant developmental stages, safe independence or increased autonomy is important to their wellbeing. I have been told that students and residents are already attempting to cross this State Road and are doing so without the much-needed infrastructure to ensure their safety.

Thank you for all you do. Thank you for your consideration of this grant application. The award would make a significant difference in the lives of students, parents and residents, to more safely access our school and community assets.

Sincerely,

Timothy Drinkwine, Ed.D.
Principal
Grassland Middle School





September 27, 2021

Dear TDOT MULTIMODAL ACCESS GRANT Review Committee,

Thank you for your consideration of Williamson County's application which would create safe crossing of Hillsboro Road as well as east side improvements for connectivity. As the Board for River Rest Estates Homeowners Association, we are in support of this project as a means to safely access Grassland Middle School, Grassland Park and trails area.

Our neighborhood children are currently walking home from Grassland Middle School and crossing a busy Hillsboro Road at a time with much traffic. Neighbors are also walking across Hillsboro Road to enjoy the park, tennis courts, gardens and trails.

We need these transportation improvements so that we can walk and bike safely on this state route and access our community. A recent HOA meeting and presentation affirmed River Rest's collective support of this project.

We appreciate your time and consideration on this application.

Sincerely,

Elaine Redfern
CSH
Monica Reid
Wm L. Davis
Long H



GRASSLAND COMMUNITY

This site was part of a 1784 land grant to heirs of Wm. Leaton, Jr. The tract was settled in the late 1820s by Wm. Leaton III. By 1801, John Campbell, John Stuart, Ephraim Brown, Wm. Tarkington, and Joseph German were living in this area. Later Grassland families were Leigh, Motheral, Fullton, Sneed, Murrey, Armstrong, Hulme, Greer, Moran, Wray, and Hughes. In 1846, Prior Smith bought the Leaton farm and enlarged the two-room log cabin, the district's first voting place, to a ten-room house known as the Jeff Moran home. The community had blacksmith shops, country stores, a post office (1879-1902), and Grassland School. Bethlehem United Methodist Church was organized in 1848.

WILLIAMSON COUNTY HISTORICAL SOCIETY, 1937

Help Us Clean Up Cartwright Creek!

Saturday, July 31st: 9 am–Noon



Grassland Park:

6759 Manley Ln,
Brentwood, TN 37027

This is a walking creek cleanup event.

Please bring the following:

Gloves

Trash bags

Appropriate creek cleanup attire



TENNESSEE
ENVIRONMENTAL
COUNCIL



Moran House
est. 1804





1300 N. 1st St.
Nashville, TN 37203