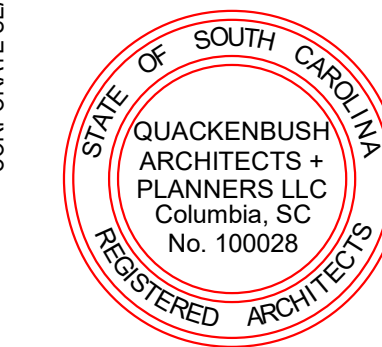


ARE SEAL



CORPORATE SEAL



PROJECT TITLE

CAROLINA FOREST HIGH SCHOOL WINDOW REPLACEMENT - ESSER

Horry County Schools

700 GARDNER LACY RD., MYRTLE BEACH, SC 29579

PHASE

CONSTRUCTION DOCUMENTS

ISSUE DATE 09.02.22
PROJECT NO. 21.295.02

REVISION DATE
1 ADDENDUM 1 11.17.22

TITLE

OVERALL FLOOR PLAN

SHEET NO. A-101



GENERAL DEMOLITION / RENOVATION NOTES

- EXISTING CONDITIONS ILLUSTRATED AS OF MAY 2022. AFTER SURVEY AND PRIOR TO CONSTRUCTION, OWNER MAY REMOVE SOME ITEMS NOTED TO BE REMOVED AS A PART OF THIS CONTRACT.
- PRIOR TO PREPARING THE BID, THE CONTRACTOR AND SUBCONTRACTORS SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS. MAKE ALL NECESSARY INVESTIGATIONS AS TO LOCATIONS OF UTILITIES AND ALL OTHER MATTERS WHICH CAN AFFECT THE WORK. NO ADDITIONAL COMPENSATION WILL BE MADE TO THE CONTRACTOR AS A RESULT OF HIS FAILURE TO FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS UNDER WHICH THE WORK MUST BE PERFORMED.
- VERIFY DIMENSIONS, ELEVATIONS AND EXISTING CONDITIONS AT THE SITE BEFORE COMMENCING WORK AND REPORT DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION PRIOR TO THE START OF WORK.
- ALL ITEMS INDICATED TO REMAIN AND FURNITURE, FIXTURES AND EQUIPMENT THAT ARE PERMANENTLY MOUNTED SHALL BE PROTECTED DURING DEMOLITION AND NEW CONSTRUCTION.
- PROVIDE WEATHER TIGHT BARRIERS AT EXISTING EXTERIOR WALLS AND DOORS TO BE REMOVED TO PROTECT ALL INTERIOR FINISHES, MATERIALS, AND EQUIPMENT TO REMAIN.
- SHOULD THE CONTRACTOR ENCOUNTER ANY MATERIALS IDENTIFIED AS HAZARDOUS MATERIALS HE SHALL IMMEDIATELY REFER TO THE GENERAL CONDITIONS AND NOTIFY THE OWNER AND THE ARCHITECT.
- CONTRACTORS' MATERIALS AND ACTIVITIES SHALL NOT BLOCK ANY EXIT WHILE THE BUILDING IS OCCUPIED.
- AT AREAS OF WORK, PROVIDE FLYWOOD, STUD WALL, 10 MIL POLY AND INSULATION TO PROTECT ADJACENT AREAS AND EQUIPMENT FROM DUST, DAMAGE, AND NOISE. SEAL TO MAINTAIN THERMAL AND WEATHER BARRIER.
- ALL NEW WORK ADJOINING EXISTING CONSTRUCTION SHALL ALIGN WITH AND MATCH EXISTING CONSTRUCTION UNLESS OTHERWISE DIMENSIONED OR DETAILED.
- CONTRACTOR IS RESPONSIBLE FOR KNOWING AND COMPLYING WITH REGULATION REQUIREMENTS, INCLUDING BUT NOT LIMITED TO FEDERAL, STATE AND LOCAL REQUIREMENTS, PERTAINING TO LEGAL DISPOSAL OF ALL CONSTRUCTION AND DEMOLITION WASTE MATERIALS.

DEMOLITION & COORDINATION NOTES

- COORDINATE EXACT SEQUENCE AND SCHEDULE OF DEMOLITION WITH OWNER AND ARCHITECT PRIOR TO BEGINNING. DO NOT REMOVE ENVELOPE SYSTEMS UNTIL TEMPORARY WATER TIGHT BARRIERS ARE IN PLACE OR NEW SYSTEMS ARE ON SITE READY FOR INSTALLATION. TEMPORARY CONSTRUCTION BARRIERS SHALL REMAIN IN PLACE BETWEEN THE BUILDINGS DURING ENTIRE CONSTRUCTION SCHEDULE. WHEN TEMPORARY BARRIERS IMPEDS NEW WORK, CONTRACTOR SHALL RECEIVE PERMISSION FROM OWNER & ARCHITECT TO TEMPORARILY REMOVE BARRIER.
- EXISTING FIRE ALARM PULL STATIONS AND STROBES SHALL REMAIN FUNCTIONAL DURING EXTENT OF CONSTRUCTION. EXISTING SMOKE DETECTORS ON CONSTRUCTION SIDE AND NEAR TEMPORARY WALLS SHALL BE COVERED OR DEACTIVATED FROM MAIN BUILDING SYSTEM DURING CONSTRUCTION.
- THE MAJORITY OF DEMOLITION AND RENOVATION WORK INSIDE THE EXISTING BUILDING SHALL OCCUR DURING OFF-HOURS AND BREAKS (NOT DURING SCHOOL HOURS). COORDINATE EXACT SCHEDULE WITH OWNER TO MINIMIZE DISRUPTION.

GENERAL NOTES

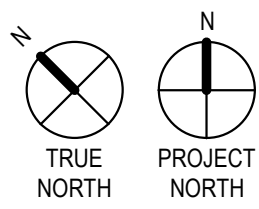
- PROTECT ALL INTERIOR SPACES DURING DEMOLITION AND REPLACEMENT.
- COORDINATE SCHEDULE OF REMOVAL AND REPLACEMENT WITH OWNER.
- NEW STOREFRONT FRAMES SHALL MATCH LAYOUT OF EXISTING FRAMES (FIELD VERIFY ALL DIMENSIONS). NEW FRAMES SHALL MATCH EXISTING FRAME COLOR. NEW SEALANT COLOR SHALL MATCH EXISTING SEALANT COLOR.
- AT FRAME REMOVAL AND REPLACEMENT, TOUCH UP PAINT AT INTERIOR TO MATCH EXISTING.
- AT INDIVIDUAL GLASS PANEL REPLACEMENT, FIELD VERIFY ALL DIMENSIONS BEFORE ORDERING GLASS.
- REMOVE AND REINSTALL EXISTING BLINDS AS REQUIRED TO INSTALL NEW WINDOWS / STOREFRONT / GLASS. REMOVE EXISTING DRAPES IN AREAS OF WORK AND TURN OVER TO OWNER. AS PART OF ALTERNATE NO. 1, REMOVE EXISTING BLINDS FOR INSTALLATION OF NEW MANUAL SHADDES.
- PROTECT ALL EXISTING LANDSCAPE MATERIALS IN AREAS OF WORK.
- TOUCH UP PAINT AT INTERIOR TO MATCH EXISTING WHERE WINDOWS / STOREFRONT ARE BEING REMOVED AND REPLACED.
- PROVIDE TEMPORARY WEATHER BARRIER PROTECTION AS REQUIRED. DO NOT REMOVE EXISTING STOREFRONT UNTIL NEW STOREFRONT MATERIALS ARE IN HAND. DO NOT REMOVE EXISTING GLASS UNTIL NEW GLASS IS IN HAND.

ALTERNATES

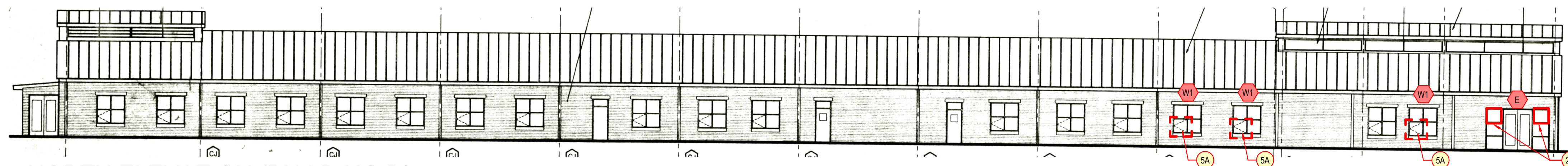
- ALTERNATE NO. 1: NEW MANUAL ROLLERSHADE WITH FASCIA AND END CAPS FULL WIDTH OF WINDOW (6A)
- ALTERNATE NO. 2: REMOVE STOREFRONT SYSTEM IN ITS ENTIRETY, INCLUDING ALL SEALANT AND EXPOSED FLASHING. NEW STOREFRONT SYSTEM AND GLASS. STOREFRONT MULLION LAYOUT TO MATCH EXISTING.

KEYNOTES

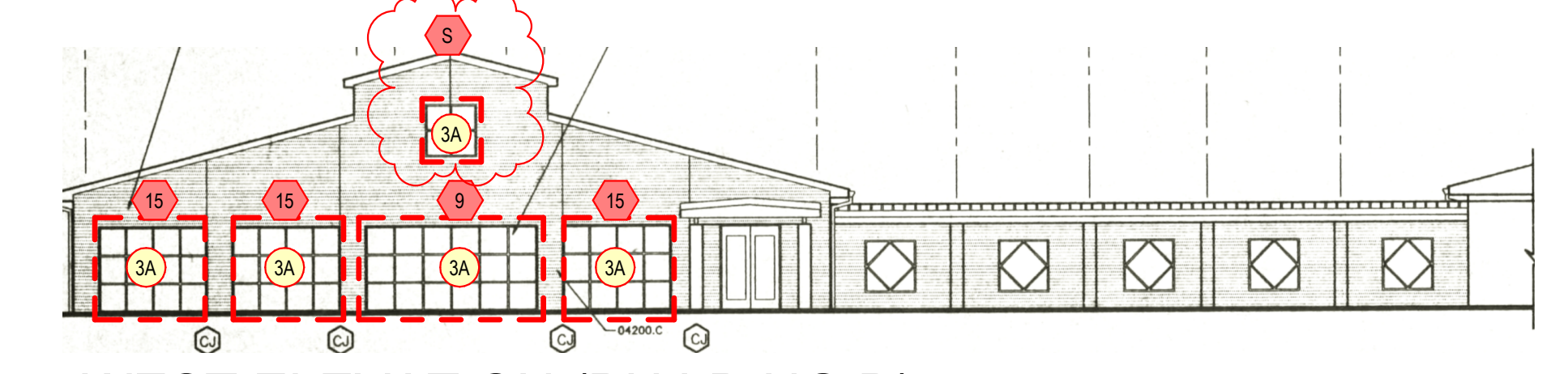
- REMOVE AND REPLACE BROKEN GLASS PANEL(S) IN STOREFRONT SYSTEM. INSTALL NEW GASKETS AT PANEL PERIMETER INSIDE AND OUTSIDE. (NUMBER OF PANELS NOTED AT EACH LOCATION).
- REMOVE AND REPLACE BROKEN GLASS PANEL IN OPERABLE WINDOW SYSTEM.
- REMOVE AND REPLACE BROKEN SEAL GLASS PANEL(S) IN STOREFRONT SYSTEM. REMOVE METAL GLASS BEAD. INSTALL NEW METAL GLASS BEADS AT PERIMETER OF REPLACED GLASS. PAINT METAL GLASS BEAD AND FRAME TO MATCH EXISTING FRAME. (NUMBER OF PANELS NOTED AT EACH LOCATION).
- REMOVE STOREFRONT SYSTEM IN ITS ENTIRETY, INCLUDING ALL SEALANT AND EXPOSED FLASHING. NEW STOREFRONT SYSTEM AND GLASS. STOREFRONT MULLION LAYOUT TO MATCH EXISTING.
- ALTERNATE NO. 2: REMOVE STOREFRONT SYSTEM IN ITS ENTIRETY, INCLUDING ALL SEALANT AND EXPOSED FLASHING. NEW STOREFRONT SYSTEM AND GLASS. STOREFRONT MULLION LAYOUT TO MATCH EXISTING.
- REPLACE DAMAGED GLASS CASING AT GLASS PERIMETER AT STOREFRONT SYSTEM. (NUMBER OF PANELS NOTED AT EACH LOCATION).
- OPERABLE WINDOW - REPLACE GLASS PANEL AT CASEMENT WINDOW, INCLUDING ALL GASKETING.
- FIXED WINDOW - REPLACE GLASS PANEL AT FIXED WINDOW, INCLUDING ALL GASKETING.
- ALTERNATE NO. 1: NEW MANUAL ROLLERSHADE WITH FASCIA AND END CAPS FULL WIDTH OF WINDOW.



OVERALL FLOOR PLAN
SCALE: 1" = 40'-0"



1 NORTH ELEVATION (BUILDING D)
A-201 SCALE: 1/16" = 1'-0"



2 WEST ELEVATION (BUILDING D)
A-201 SCALE: 1/16" = 1'-0"



PHOTO D4

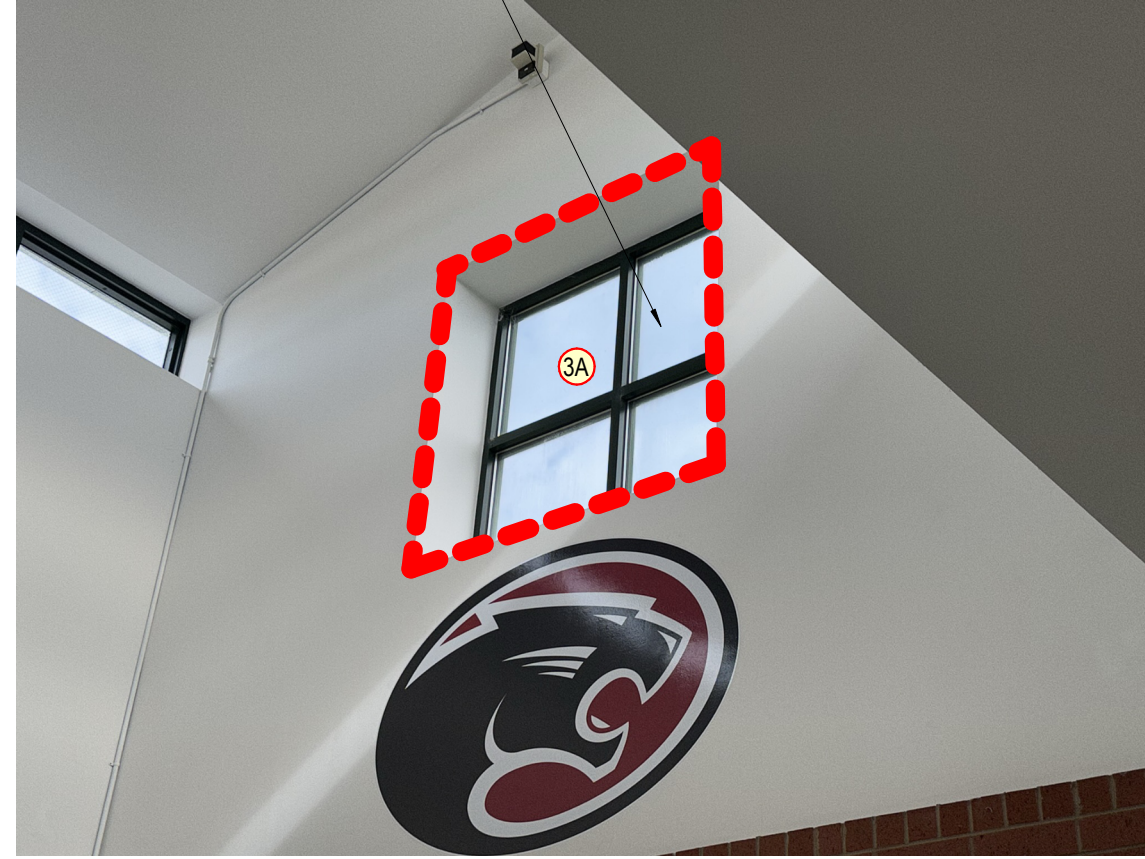
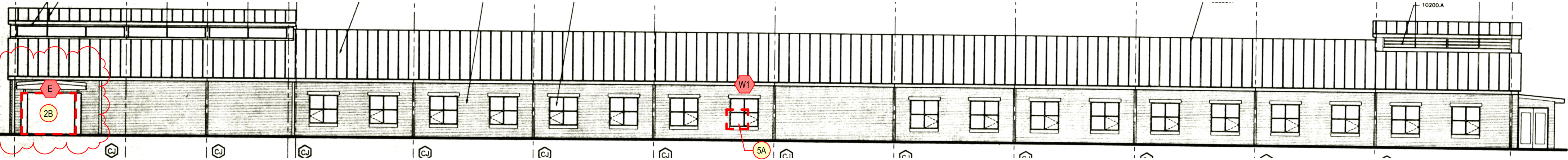
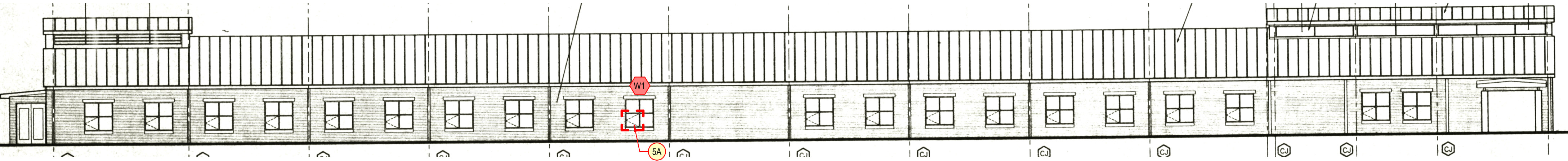


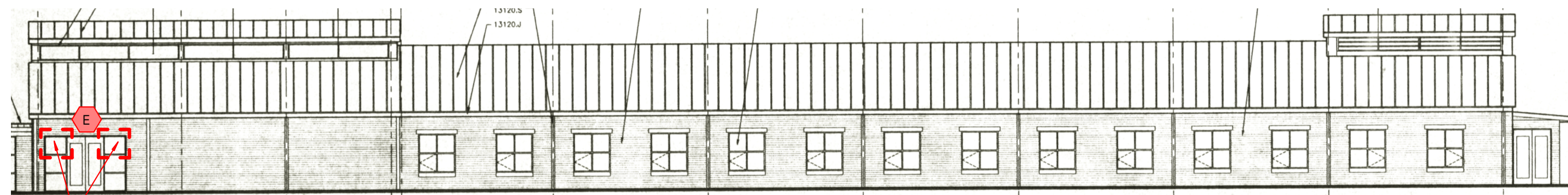
PHOTO D5 (E2,F4,G SIM)



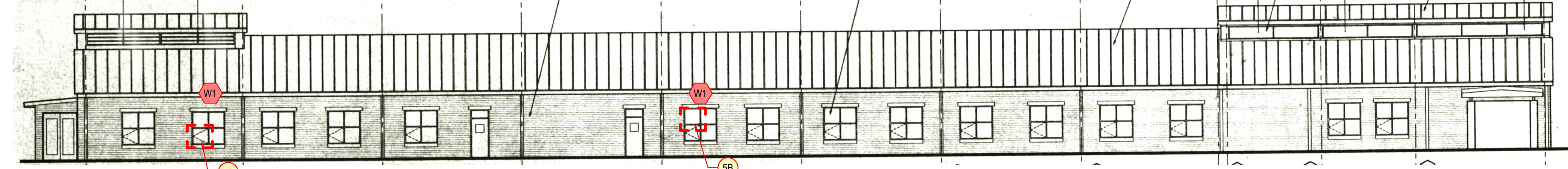
3 SOUTH ELEVATION (BUILDING D)
A-201 SCALE: 1/16" = 1'-0"



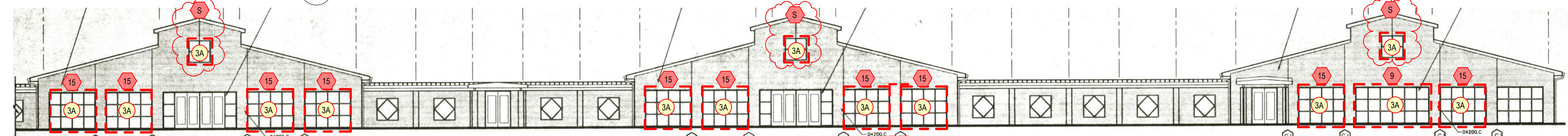
4 NORTH ELEVATION (BUILDING E)
A-201 SCALE: 1/16" = 1'-0"



5 SOUTH ELEVATION (BUILDING G)
A-201 SCALE: 1/16" = 1'-0"



6 NORTH ELEVATION (BUILDING F)
A-201 SCALE: 1/16" = 1'-0"



7 WEST ELEVATION (BUILDING E, F, G)
A-201 SCALE: 1/16" = 1'-0"



PHOTO D3

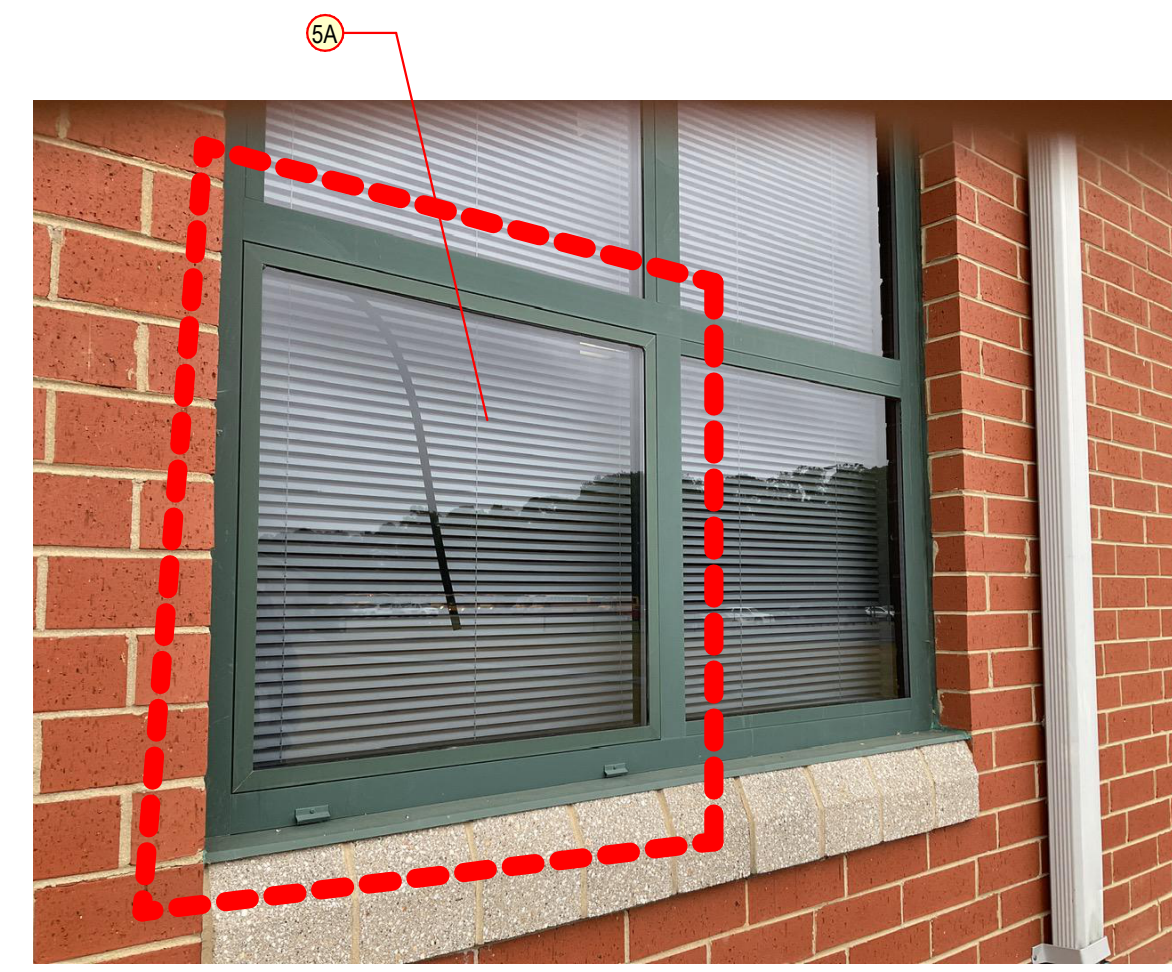


PHOTO D4

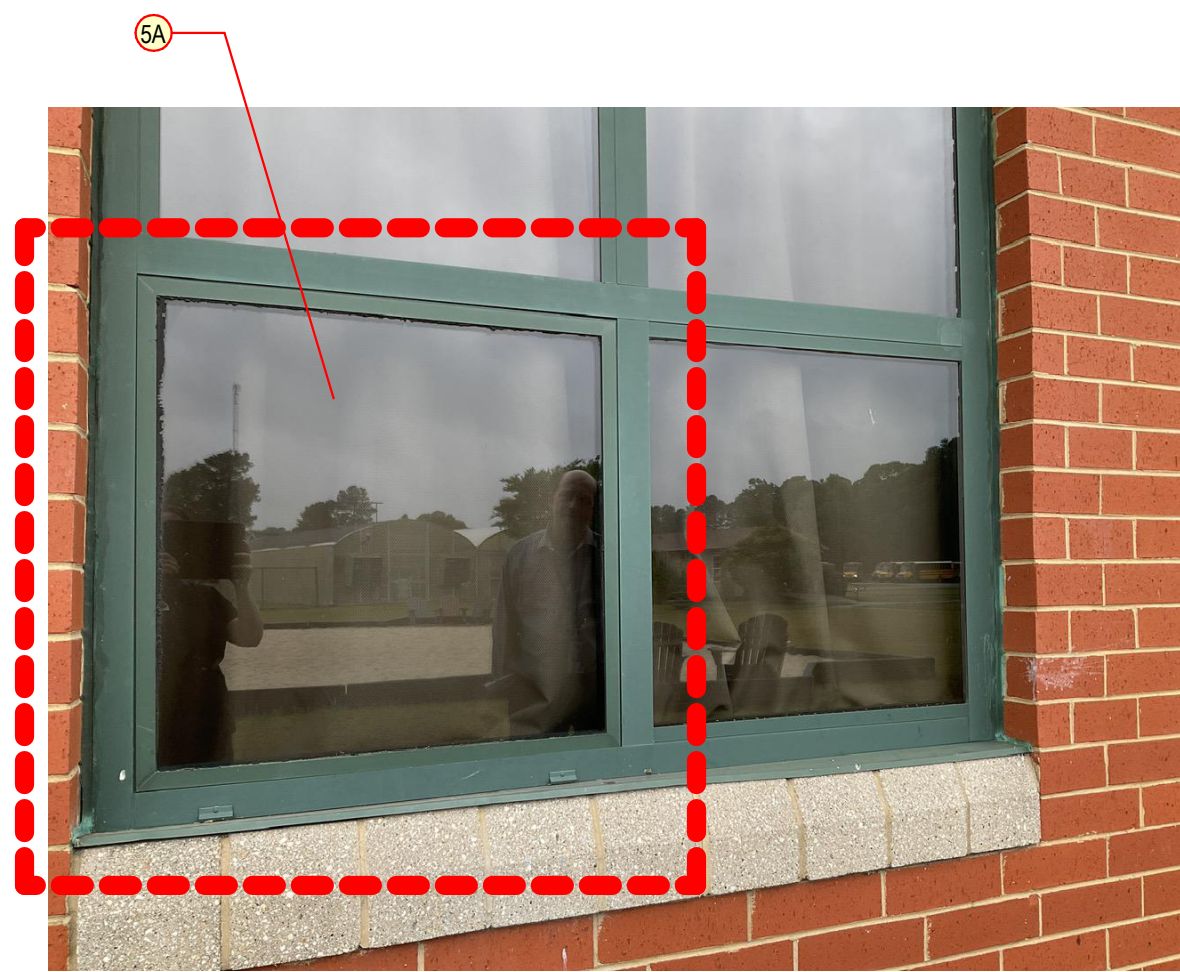


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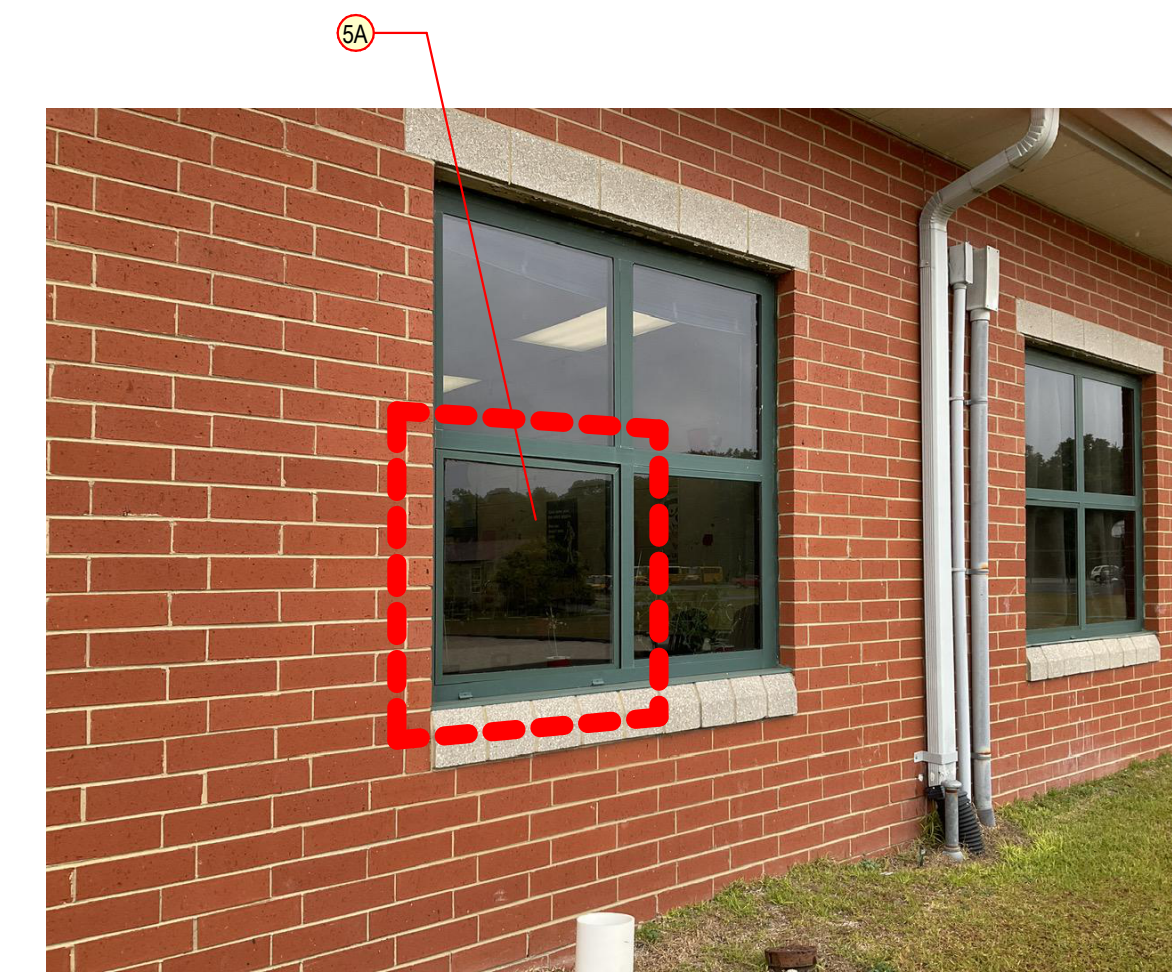


PHOTO D6



PHOTO E2

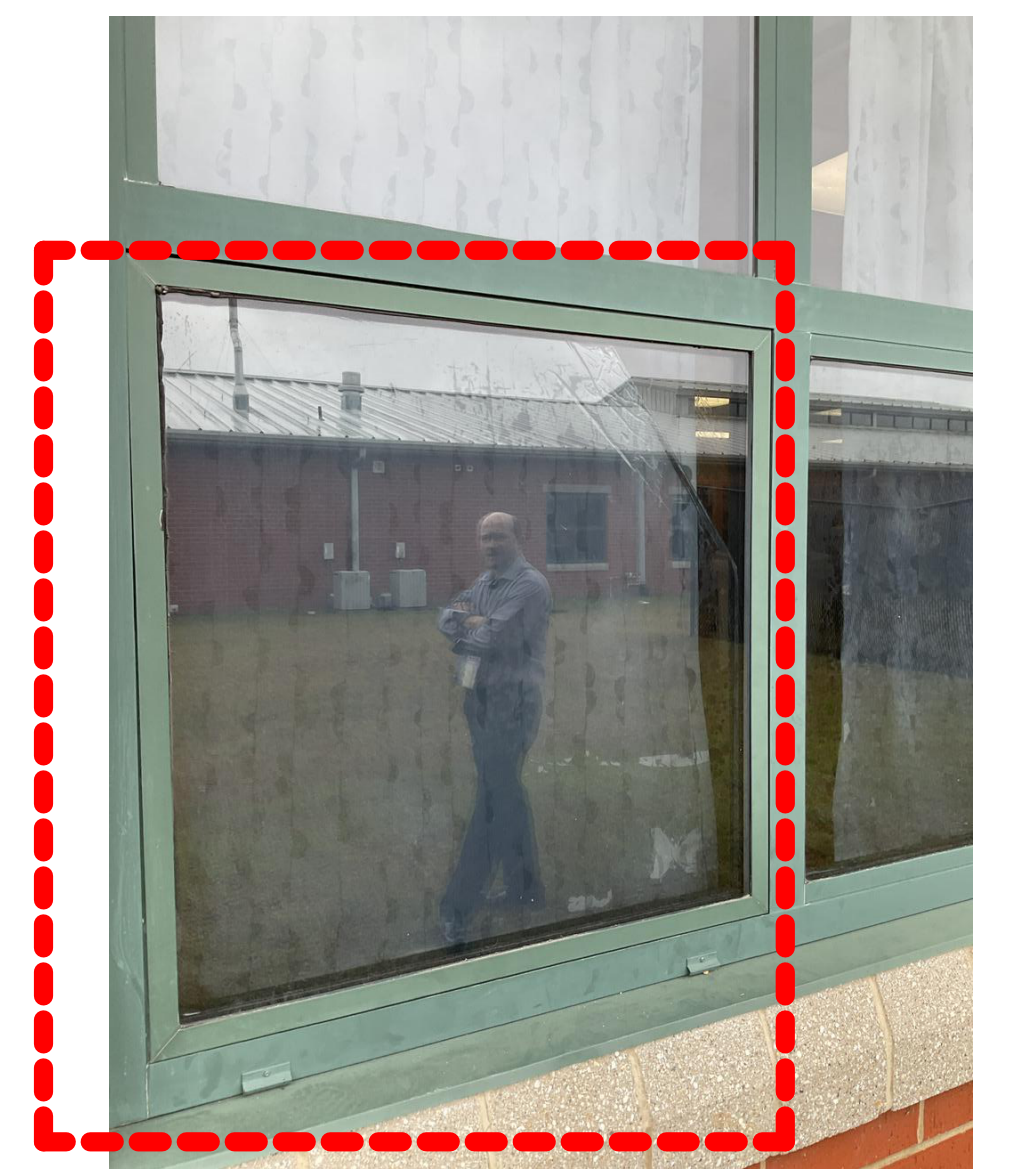


PHOTO E3



PHOTO F3

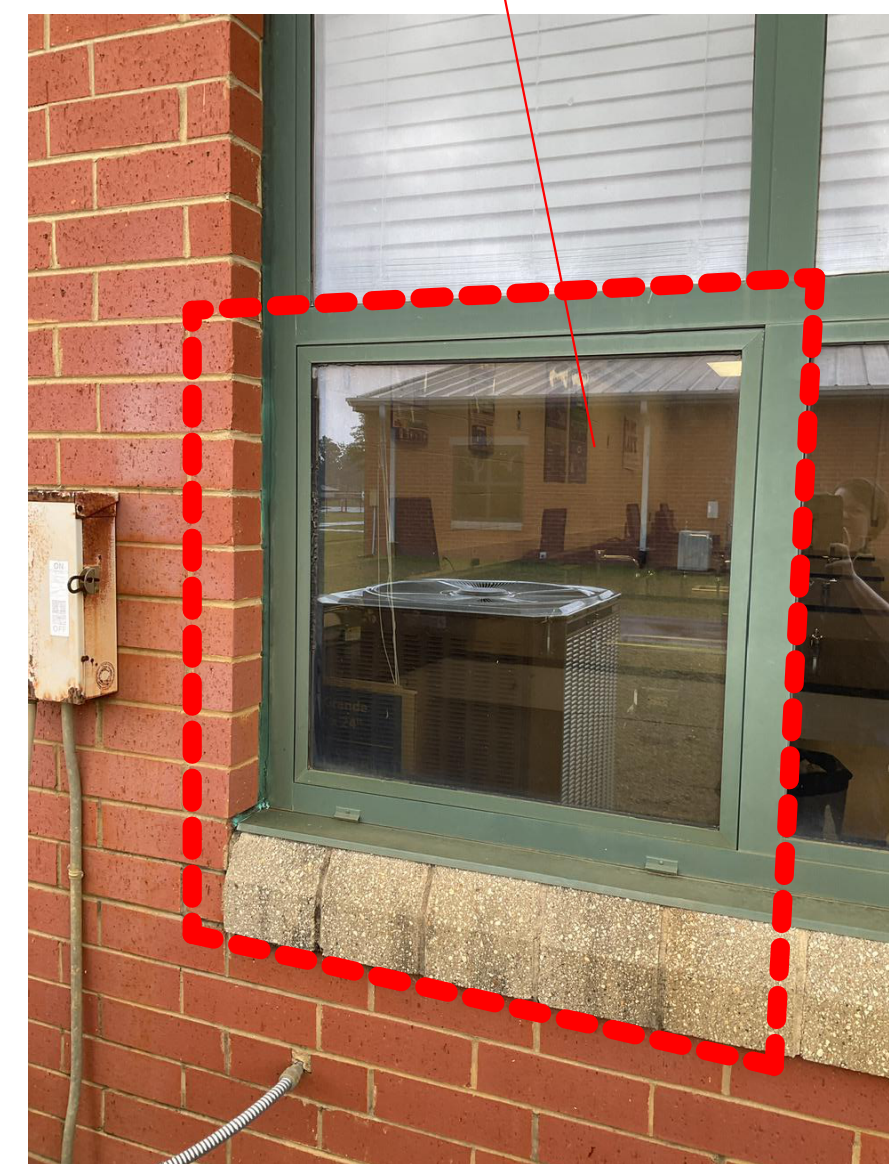


PHOTO F2

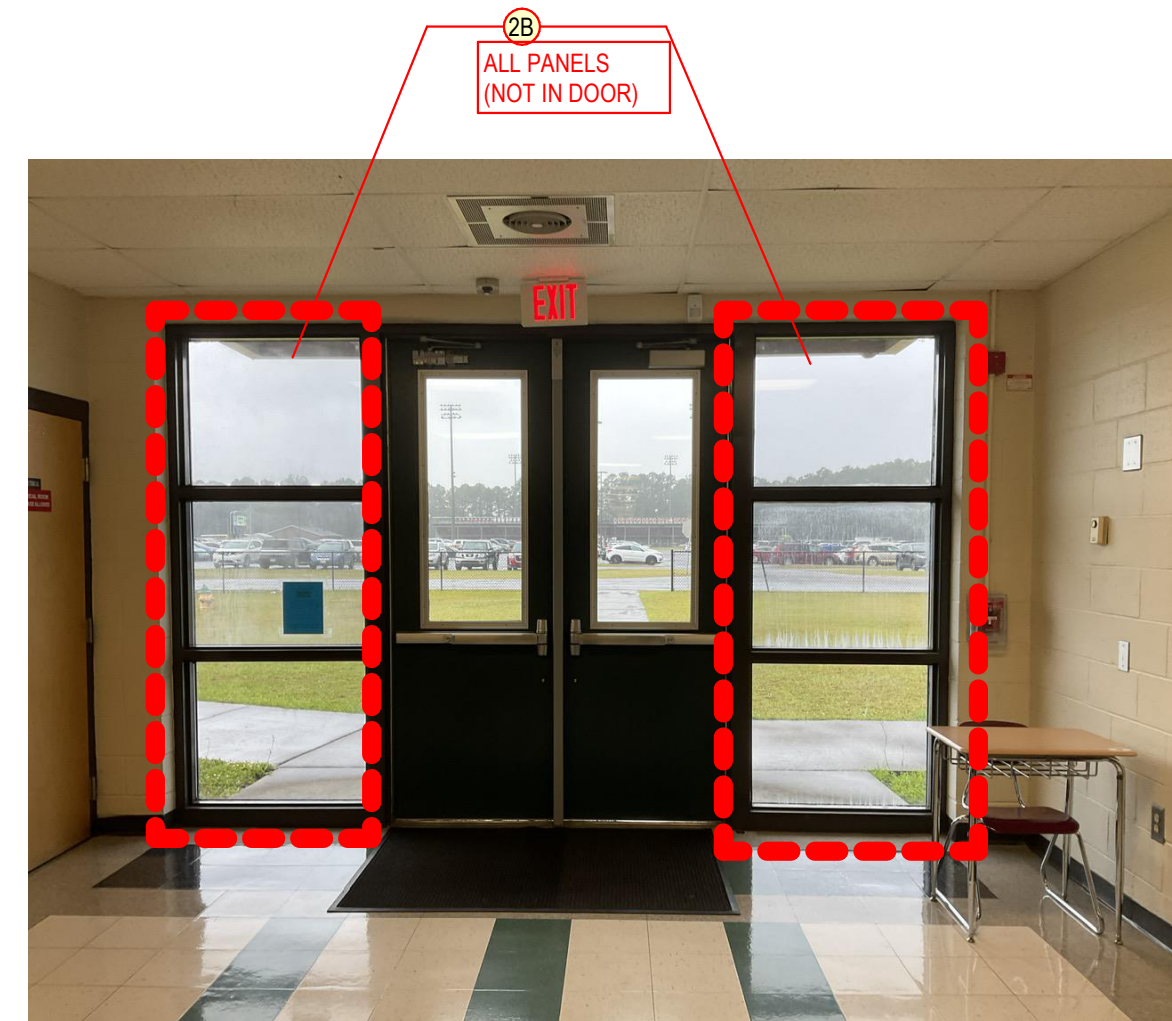


PHOTO F1 (G3, E1, D1 SIM)

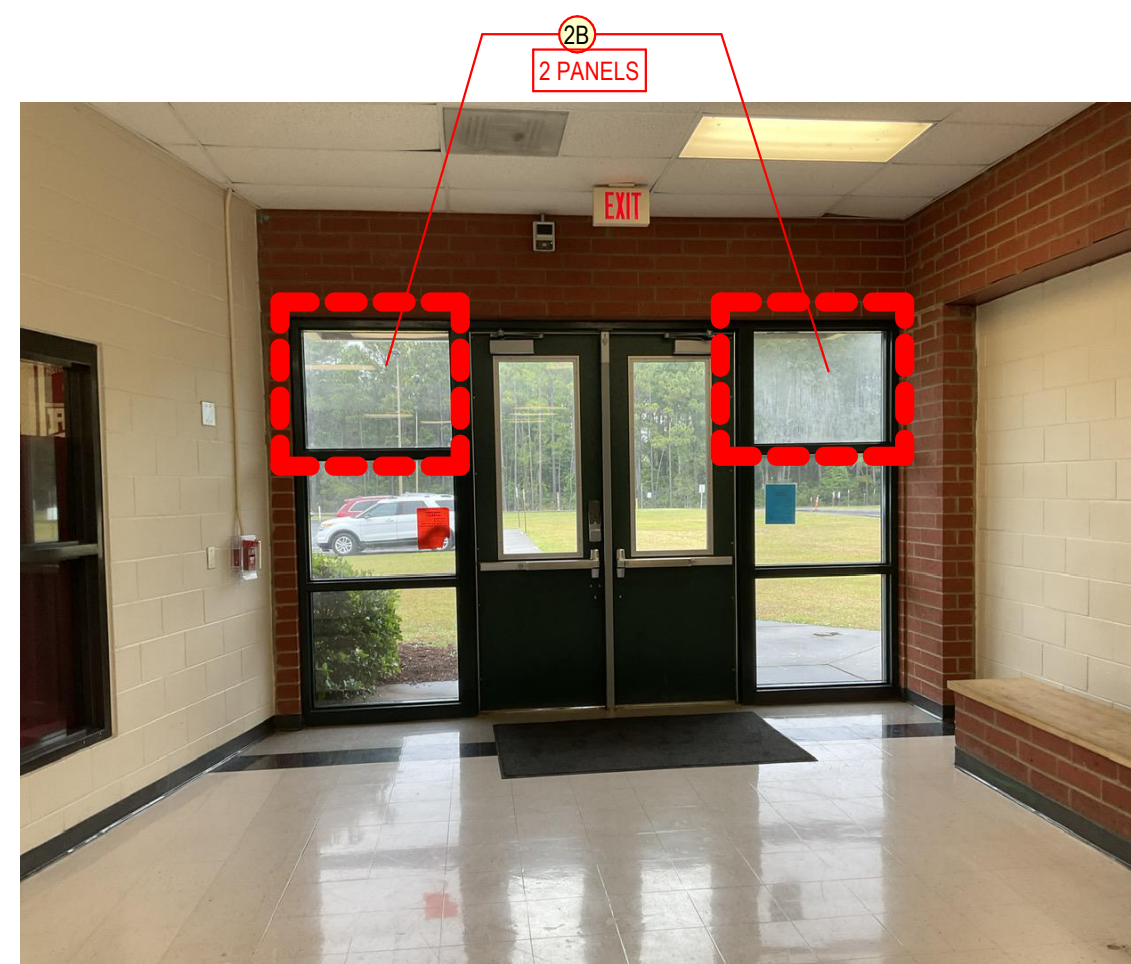
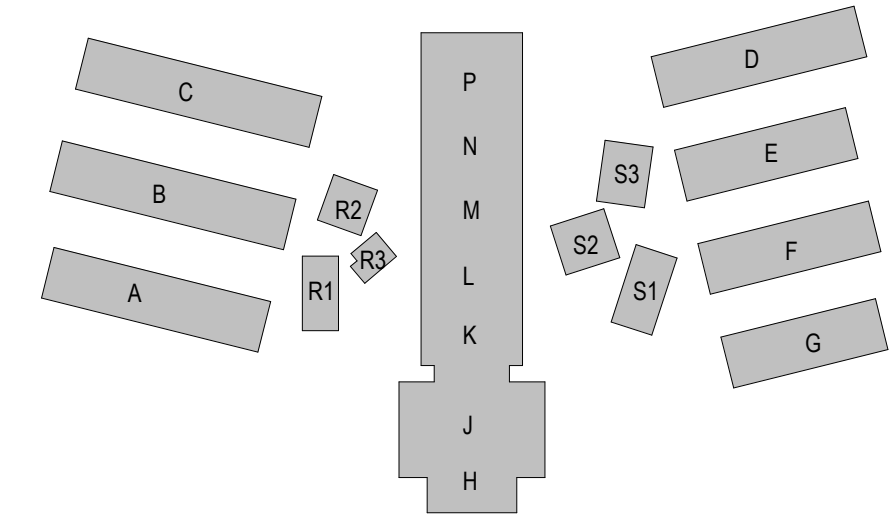


PHOTO G1 (D2 SIM)

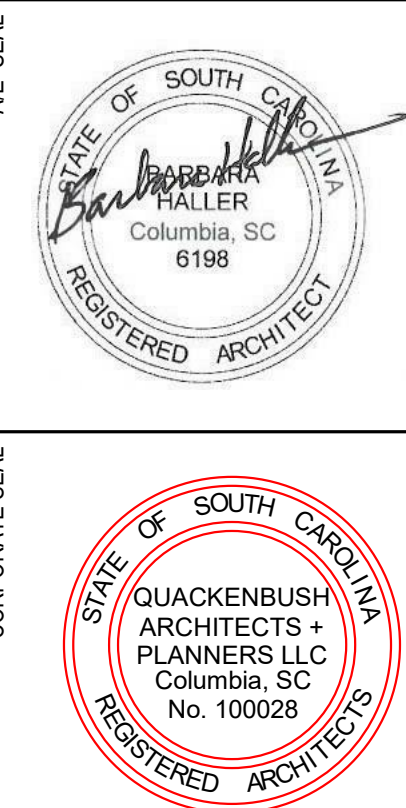


PHOTO G2

NOTE: ALL GLASS REPLACEMENT THIS SHEET (BUILDINGS D, E, F, G) SHALL BE LOW-E, INSULATED, LAMINATED, CLEAR GLASS.

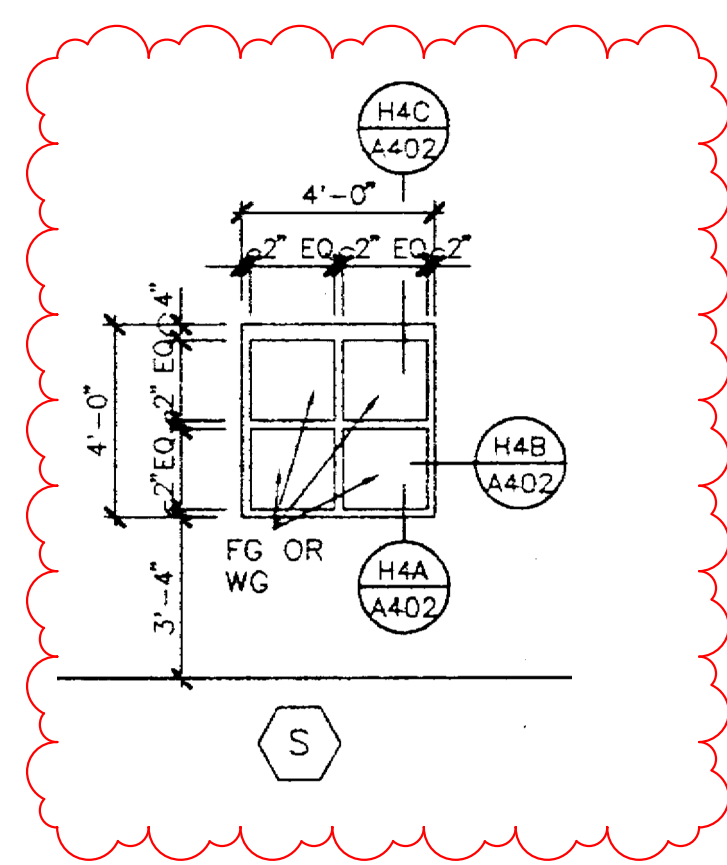
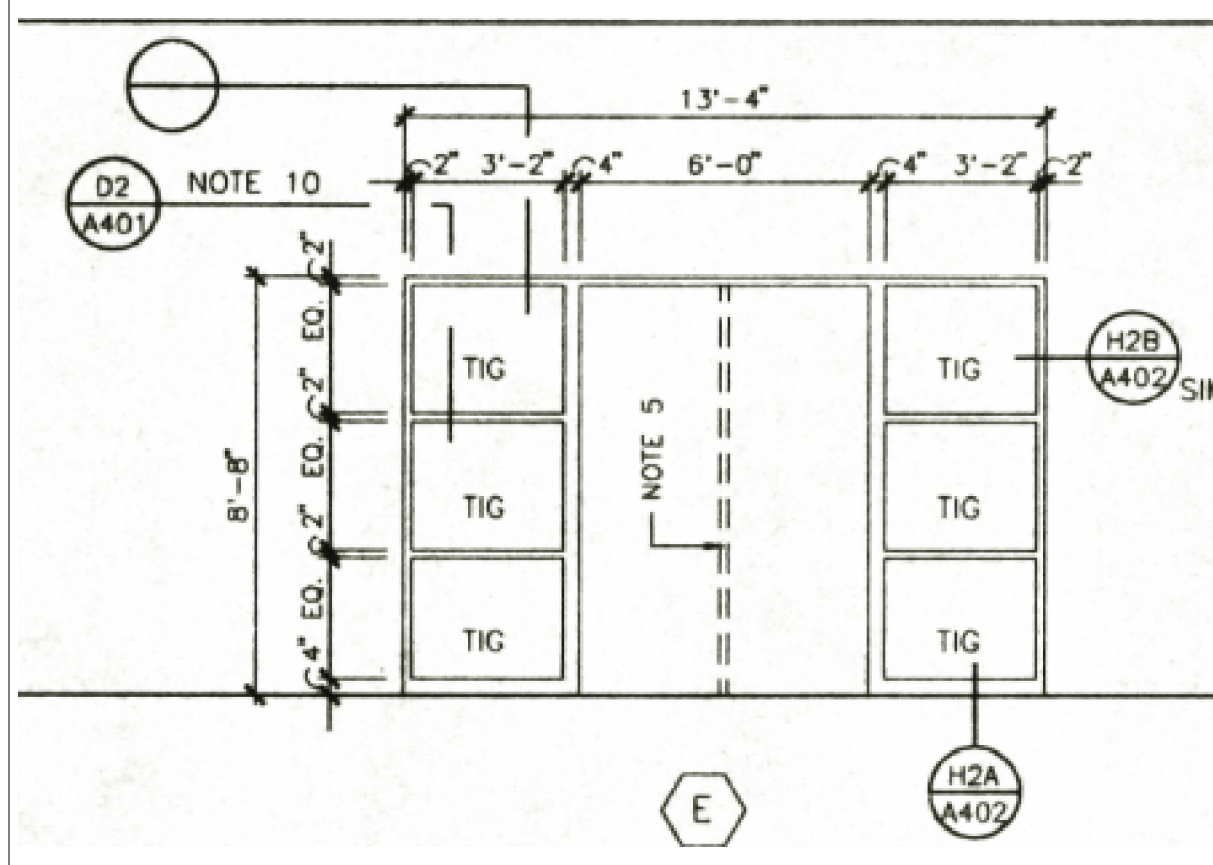
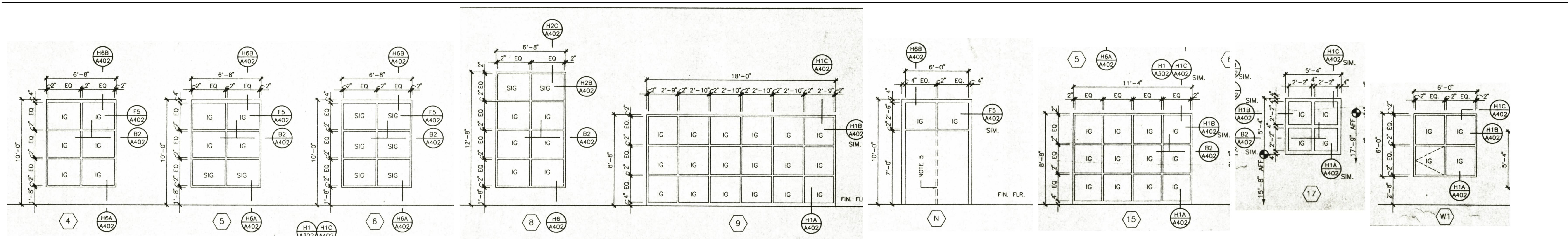


KEY PLAN



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PHASE	ISSUE DATE	REVISION	DATE
CONSTRUCTION DOCUMENTS	09.02.22	1	11.17.22
ISSUE NO.	21.295.02		
REVISION			
1 ADDENDUM 1			



1
A-601
FRAME ELEVATIONS
SCALE: 1/4" = 1'-0"

GENERAL OPENING NOTES

- A. NOTES APPLY TO WINDOWS, STOREFRONT AND HOLLOW METAL FRAMES.
- B. FIELD VERIFY ALL ROUGH OPENINGS PRIOR TO ORDERING OR FABRICATING FRAMES.
- C. FIELD VERIFY ALL EXISTING FRAMES PRIOR TO ORDERING GLASS.
- D. FIELD VERIFY ALL LOCATIONS OF EXISTING SPANDREL GLASS (SPANDREL GLASS SHALL BE USED AT REPLACEMENT). INCLUDE LOCATIONS AND DETAILS IN SHOP DRAWINGS.
- E. ALL HEAD, JAMB, AND SILL CONDITIONS MAY NOT BE INDICATED FOR ALL FRAME TYPES - SEE PLANS, SECTIONS AND DETAILS FOR ADDITIONAL INFORMATION AND SIMILAR CONDITIONS.
- F. STOREFRONT FRAMING SHALL BE ANCHORED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS. DO NOT ANCHOR TO CAST STONE, BRICK OR LOOSE LINTELS. PROVIDE ADDITIONAL BEARING PLATES AND CONCEALED STRAP CONNECTIONS WITH FINISHED TRIM AS REQUIRED TO ANCHOR STOREFRONT TO METAL STUD FRAMING / CMU / CONCRETE SUBSTRATES PER ENGINEERED SUBMITTAL DRAWINGS.
- G. STOREFRONT MULLION SPACINGS SHALL MATCH EXISTING. FIELD VERIFY DIMENSIONS AND INCLUDE IN SHOP DRAWINGS.
- H. GLAZING REQUIREMENTS:
 - a. ALL GLASS REPLACEMENT AT BUILDINGS A, B, C, D, E, F, G SHALL BE LOW-E, INSULATED, LAMINATED, CLEAR GLASS.
 - b. ALL GLASS REPLACEMENT AT BUILDINGS R1, R2, R3 AND S1, S2, S3 SHALL BE LOW-E, INSULATED, LAMINATED, GRAY TINTED GLASS OR SPANDREL LOCATIONS LOW-E, INSULATED, SPANDREL, LAMINATED, GRAY TINTED GLASS.
 - c. WHETHER OR NOT EXPLICITLY INDICATED, ALL GLAZING SHALL BE SAFETY GLAZING WHEN WITHIN 18" OF THE FLOOR OR WITHIN 36" HORIZONTAL DISTANCE FROM ANY DOOR.

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CORPORATE SEAL
STATE OF SOUTH CAROLINA
REGISTERED ARCHITECT
C. HALLER
COLUMBIA, SC
6198

CORPORATE SEAL
STATE OF SOUTH CAROLINA
QUACKENBUSH ARCHITECTS + PLANNERS, LLC
COLUMBIA, SC
No. 100028
REGISTERED ARCHITECTS

PROJECT TITLE
CAROLINA FOREST HIGH SCHOOL WINDOW REPLACEMENT - ESSER
Horry County Schools
700 GARDNER LACY RD., MYRTLE BEACH, SC 29579

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1 ADDENDUM 1 11.17.22

TITLE
FRAME ELEVATIONS

SHEET NO.
A-601