

**ADDENDUM NO. 04**

Issued: May 8, 2020

Project: Maintenance Offices Exterior Circulation Repair  
2220 N. 59th Street, Kansas City, Kansas 66104

Project No. 18002

Owner: Kansas City Kansas Public Schools  
2010 N. 59th Street  
Kansas City, Kansas 66106

Bidding Documents Issued: April 15, 2020

This Addendum includes this 1 page, and the following attachments:

Project Manual:

- Bidders Questions, attached, consisting of 1 page.
- JE Dunn Addendum #4 dated May 8, 2020, consisting of 5 pages.
  - Section 00 24 13 – Scopes of Work
    - 1. Revised Scope of Work 033000 – Concrete Repair
    - 2. Revised Scope of Work 079200 – Joint Sealants

Drawings:

Revised Structural Sheets: D02, D03 and S32.

**GENERAL – BIDDER'S QUESTIONS**

**G1 REFER TO ATTACHED BIDDERS QUESTIONS.**

**PROJECT MANUAL REVISIONS**

**A1 SECTION 03 30 00 – CAST IN PLACE CONCRETE**

A1.1 ADD the following to Section 03 30 00:

2.8 VAPOR RETARDERS (033000.A14)

A. Sheet Vapor Retarder: ASTM E 1745, Class A except with maximum perm rating of 0.01 US perms, a minimum puncture resistance of 2260 grams and a minimum tensile strength of 57 lb/f/in. Include manufacturer's recommended adhesive or pressure sensitive tape.

1. Products: Subject to compliance with requirements, provide one of the following:

- a. Insulations Solutions, Inc.; Viper VaporCheck II, 15 mil, Class A
- b. Inteplast Group; Barrier-Bac VB-350, 16 mil
- c. Meadows, W.R., Inc.; Perminator 15 mil
- d. Poly-America; Husky Yellow Guard, 15 mil
- e. Raven Industries, ; Vapor Block 15



f. Stego Industries,; Stego Wrap Vapor Barrier 15 mil

**DRAWINGS REVISIONS**

**S1 SHEET D02 – LEVEL 2 - WEST**

S1.1 REPLACE Sheet D02, with attached Sheet D02, dated 04/30/2020.

**S2 SHEET D03 – LEVEL 1 & 2 – WEST CIRCULATION**

S2.1 REPLACE Sheet D03, with attached Sheet D03, dated 04/30/2020.

**S3 SHEET S32 – STAIR SECTIONS**

S3.1 REPLACE Sheet S32, with attached Sheet S32, dated 04/30/2020.

**END OF ADDENDUM NO. 04**



**KCKPS Maintenance Office Exterior Circulation Repairs - Bidder Questions List**  
**Kansas City, KS**  
**Last Updated: 5/5/20**

	Bid Package No.	Drawing or Specification	Question	Who asked it?	Submission No.	Response
1	Concrete	Bid Set 20200415	Please confirm trench drain Note D on D03 at N1 Gridline 2-3 applies to gridlines 11-12 as well.	JEDSP	1	This will be clarified in Addendum 02.
2	Concrete	Bid Set 20200415	Please confirm concrete repair SOW is responsible for dumpsters within its own scope. Ref Page 01 74 19 Para 3.1 B	JEDSP	1	See Revised Scope of Work included in Addendum 02. The concrete Contractor will be responsible for removal of all concrete, reinforcing and asphalt debris in a separate dumpster as required to complete this Scope of Work.
3	Concrete	Bid Set 20200415	Please confirm trench drain cover will be supplied by the misc. steel SOW and installed by the Concrete SOW. See D03, Plan Note - D	JEDSP	1	Confirmed.
4	Concrete	Bid Set 20200415	Pease confirm is it acceptable to use drill and epoxy bolts similar to page S32 detail E1 in lieu of the typical core drill and grout at pipe posts.	JEDSP	1	Bid project per details as documented. Different conditions require different details.
5	Concrete	Bid Set 20200415	SOW 033000 concrete scope item number 1 includes handrail demolition. 050000 misc. metals SOW item number 11 seam to conflict with the concrete SOW. 1. Please confirm removal of hand and guardrails are in the Demolition SOW. 2. Please indicate which SOW is responsible for temporary handrails at these locations. 3. Please clarify the intent of SOW 050000 item number 11.	JEDSP	1	Question 1: Confirmed. Question 2: Concrete Contractor shall provide and maintain temporary safety handrails at all locations required per the Contract Documents. Question 3: Line item 11 in SOW 055000 has been revised in Addendum 02 to state that Steel Contractor shall only remove sections of safety rail that can be replaced with permanent rail by the end of the work day. Final removal of railings shall be by Concrete Contractor.
6	Concrete	Bid Set 20200415	Milestone schedule section 003113 indicates multiple phases, please describe activities and extent in each phase.	JEDSP	1	This will be clarified via phasing plan included in Addendum 02.
7	Concrete	Bid Set 20200415	Ref Plan Note 1 on S05, "patch and repair roofing material per tremco requirements" please indicate SOW responsible for this activity.	JEDSP	1	Concrete Contractor shall be responsible for concrete roof repair surrounding column. If metal roof flashing needs replacement, the Owner will hire a roofing contractor to complete this work.
8	Concrete	Bid Set 20200415	Which scope of responsible for relocating electrical or mechanical systems for demo/patching work? See Specifications 033000, Page 1, Concrete; Para 3.	JEDSP	1	The electrical/mechanical system relocation will be done by the School District's hired MEP Contractor. See revised Concrete SOW in Addendum 02.
9	Traffic Coatings	Bid Set 20200415	Is the intent to have the contractor responsible for installing new coating also remove the existing coating? Typically the removal of existing coating would be on the contractor responsible for installation due to the required prep and surface profile necessary for coating application.	Western Specialties	1	In areas where the concrete is scheduled to be repaired, the Concrete Contractor shall remove the existing coatings. If Alternate #1 is accepted, the Traffic Coating Contractor shall be responsible for removal and replacement of traffic coatings at all other locations not scheduled for demolition by the Concrete Contractor.
10	Concrete	Bid Set 20200415	There is a note on some of the plan view drawings referencing 2,000 sf of concrete repair at roof underside, top and bottom side of elevated slabs. The quantities for each of those types of repairs would have to be determined for bidding purposes as they each have a different unit price.	Western Specialties	1	Refer to Addendum 02 for updated Note C
11	Concrete	Bid Set 20200415	On sheet D01 – Note #7 refers to areas on the elevated – is it the intent of this note to say the entire section of slab is to be removed and replaced or is it the intent of the hatched area to be patched and repaired to the extent of the delamination and scaling of the concrete?	Lithko	1	The intent is for the hatched area be patched and repaired to the extent of the delamination and scaling of the concrete.
12	Concrete	Bid Set 20200415	On sheet D01 – Note 10 – To provide an allowance for the full removed of the hatch elevated deck – Does the elevated deck continue into the office of the building? What is the existing condition at this location?	Lithko	1	Elevated deck does continue into office of the building, however interior condition of slab appears to be acceptable.
13	Concrete	Bid Set 20200415	Below the pedestrian bridge on the west side of the building is the air intake for the building. Is there need to be additional protection from Silica dust during the removal of the stairs and pedestrian walkway that needs to be accounted for in our scope of work?	Lithko	1	See Addendum 02 Scope Revisions.
14	Concrete	Bid Set 20200415	Please provide the dimensions for the footing located at gridlines E/7. There is a note for refer to the footing schedule, however, no schedule has been provided.	JEDSP	1	Footing at E/7 and new columns/column replacement is existing; re: Detail E9/S61 for base connection detail. Information on existing footing to be added in Addendum 02.
15	Steel/Concrete	Bid Set 20200415	The stair nosing spec included in spec 033000. Can you confirm the nosing spec is held under the Concrete Contactor's SOW?	Builders Steel	1	Stair nosing removed in Addendum 04.
16	Steel	Bid Set 20200415	Please specify trench drain cover.	Builders Steel	1	This will be clarified in Addendum 04.
17	Concrete	Bid Set - 20200415	Per drawing sheets D00, D01, D02 and D03 - Does note C to each separately or should this be 2000 SF total of concrete repairs?	Western Specialties	2	All areas/square footage quantified on documents to be included plus an additional (total) of 2,000 sf of repairs per Note C.
	Concrete	Bid Set 20200415	On the demolition sheets (D01, D02, D03), plan notes B and C reference direct the bidder to include additional 250 square feet slab on grade demolition. Please confirm this is for the total project and not each individual level.	JEDSP	2	Confirmed; 2,000 additional square foot for entire project, not per level.

**KCKPS Maintenance Office Exterior Circulation Repairs - Bidder Questions List**

**Kansas City, KS**

**Last Updated: 5/5/20**

Bid Package No.	Drawing or Specification	Question	Who asked it?	Submission No.	Response
Concrete	Bid Set 20200415	Structural note C on sheets S03, S04, S05, direct the bidder to include additional 250 square feet slab on grade replacement. Please confirm this is for the total project and not each individual level.	JEDSP	2	Confirmed; 250 additional square foot for entire project, not per level.
Concrete	Bid Set 20200415	On sheet D02, reference notes 7(patch) and 10(full replacement) are indicated at the same hatched area between grids 11 and 12. What is the intent of this duplication?	JEDSP	2	Refer to Notes 7 & Note 10; repair to occur if possible but it is anticipated that the 240 sf will need full replacement. This is outlined in Note 10.
Concrete	Bid Set 20200415	On sheet D02, reference note 10 is indicated between grids 11 and 12. What is the required reinforcing for this detail?	JEDSP	2	Design of reinforcing will be based on field conditions. Provide 1 Ton allowance for reinforcing to be used as directed in field for special conditions by the engineer of record.
Concrete	Bid Set 20200415	Detail N13 on sheet S61 notes below the slab on grade, "specified moisture retarder". Is this required? If so, provide a specification.	JEDSP	2	Product data will be clarified in Addendum 04.
Concrete	Bid Set 20200415	Specification 033000 page 4 section 2.7 describes an anti-spalling treatment. Is this required on this project? If so, please indicate where this is to be used.	JEDSP	2	Within base bid, provide treatment at elevated walkways that do not already have pedestrian coating (Level 1 between grid E & F, Level 1 adjacent to stairs near grid 3 and grid 11; Level 2, two areas west of grid A). In Alternate #1, provide credit for this product.
Concrete	Bid Set 20200415	Please confirm all handrail / guardrail are to be galvanized.	JEDSP	2	Confirmed.
Concrete	Bid Set 20200415	Structural sheet plan note A refers to all existing reinforcement. Please confirm this applies to JUST the identified hatched areas of work and additional square foot areas noted.	JEDSP	2	Confirmed.
Steel	Bid Set 20200415	The drawings call for 1/2" STD pipe for the picket infill. Please confirm it is acceptable to use 1/2" diameter <i>solid</i> rod pickets. This will eliminate vent holes (required for the galvanizing process) drilled in the horizontal 1-1/2" pipe at each picket.	Builders Steel	2	Bid per documents; provide voluntary alternate if desired.
Steel	Bid Set 20200415	Please confirm that only (1) wall mounted handrail is to be replaced as noted per drawing S03. Note '4' on D00 appears to point to the same location and states to "remove broken handrail." If other wall mounted rails are to be replaced, please advise.	Builders Steel	2	Confirmed.
Steel	Bid Set 20200415	Per alternate #3, it is noted to remove on-grade stairs. Will the aluminum nosings be required at these locations? If so, please provide a specification.	Builders Steel	2	Refer to Addendum 04; no aluminum nosings required. Refer to typical details for saw cut required at stair treads.
Steel	Bid Set 20200415	Per S04, section K5/S32 reference stair replacement. Are both stairs on grade scheduled for replacement?	Builders Steel	2	Confirmed.
Steel	Bid Set 20200415	Per S05, is the intent for the rails to be continuous on each side of the (2) bridges? Section N13/S62 does not show the rail. The rail is shown per N9/S62.	Builders Steel	2	Rails to be continous to match existing conditions at bridge. Section N13/S62 is a typical slab section.
Steel	Bid Set 20200415	Please confirm the alternate rail on level 1 should be figured as alternate #2. Elevation A9/S61 is noted alternate #3.	Builders Steel	2	Confimed; rail alternate is incorrect on A9/S61. Alternates to match descriptions on cover sheets.





**SECTION 00 24 13  
SCOPE(S) OF WORK**

**INDEX TO SCOPES OF WORK**

- A. SCOPE OF WORK 033000 - CONCRETE REPAIR



**SCOPE OF WORK 033000 - CONCRETE REPAIR**

**SCOPE OF WORK**

The Contractor shall execute the following portion of the Work described in the Contract Documents, including all labor, materials, equipment, services, superintendence, and other items required to complete such portion of the Work:

**CONCRETE REPAIR** - Including but not limited to, Specification Sections:

**02 41 19 Selective Demolition**

**03 30 00 Cast-in-Place Concrete**

**This Work specifically includes, but is not limited to:**

General

1. Provide all temporary measures necessary to protect the existing property, occupants and users of the structure during all phases of the project.
2. Provide and maintain on-site dumpsters solely for the safe removal of asphalt and concrete debris. The Construction Manager will provide separate dumpsters to facilitate the removal of non-concrete waste material.
3. Hoisting and lifting required to complete the Work.
4. Provide layout as required to perform Scope of Work. Layout markings that will not permanently mark concrete finishes.
5. Remove concrete spoils and washouts weekly as directed by the Construction Manager.
6. Cover and maintain protection of holes in concrete decks/slabs.
7. Provide temporary fall protection and safety railings during and after scheduled demolition of existing guardrail and slabs have been completed. Safety railings shall be maintained and removed by the Concrete Contractor after permanent handrail has been installed. Safety railings to be compliant with OSHA requirements and to include toe boards, as well as, debris netting.
8. Provide all required concrete forming, pumping and placement necessary to complete this Scope of Work.

Concrete

1. Provide all concrete demolition, handrail demolition, and other miscellaneous demolition necessary to complete this Scope of Work.
2. Include all concrete patching, sawcutting, repair, reinforcing, slabs, stairs, elevated slabs, footings, columns, and any other concrete related items necessary to complete this Scope of Work.
3. Protect adjacent surfaces from damage during demolition. Removal and replacement of existing conduit and piping shall be done by the Owner prior to concrete demolition. Notify Construction Manager if unforeseen existing MEP systems are found during demolition.

Initial: \_\_\_\_\_  
Date: \_\_\_\_\_

4. Rebar splices either called for or needed for constructability purposes.
5. Provide all granular fill below concrete. Include fine grading as required to complete this Scope of Work.
6. Structural Excavation.
7. Provide core drilling and infill of core drill as required.
8. Provide erosion control as needed or directed by the Construction Manager.
9. Provide daily clean up of this Scope.
10. Hot weather concrete placement requirements, including but not limited to chilled water and ice. Follow all Specifications and ACI guidelines to ensure successful hot weather concrete placement.
11. Provide shoring and reshoring as necessary. Shoring (as required) must be in place prior to selective demolition and reinforcement installation.
12. Typical Concrete Repair Sequence:
  1. Properly shore and secure concrete scheduled for repair.
  2. Remove all loose, fractured, contaminated &/or deteriorated concrete.
  3. Clean and prep exposed reinforcing steel.
  4. Clean all surfaces and apply bonding agent per manufacturers recommendations.
  5. Apply approved concrete patch material.
  6. Maintain required shoring for at least 7 days or until concrete has reached required compressive strength
13. Provide complete demolition and replacement of column located at gridline E/7.
14. Provide removal of traffic coatings at locations scheduled for concrete repair.
15. Provide all expansion joints, bond breakers, control joints, keyways, waterstops and dowels as required by the Drawings and Specifications.
16. Provide reveals, drips, form liners, rustifications, chamfered corners, and any architectural elements/details.
17. Include below allowance pricing in Phase 1 base bid:
  1. General cleanup and safety: \$25,000
  2. Site remediation: \$30,000
  3. Asphalt and concrete curb replacement: \$15,000
18. Provide allowance for 1 ton of epoxy-coated rebar to be used as directed in field for special conditions by the engineer of record.

**The following work is excluded:**

1. Permanent handrails.
2. Removal of existing traffic coatings at locations not scheduled for concrete repair.
3. Joint sealants.



**SECTION 00 24 13  
SCOPE(S) OF WORK**

**INDEX TO SCOPES OF WORK**

A. SCOPE OF WORK 079200 - JOINT SEALANTS

**SCOPE OF WORK 079200 - JOINT SEALANTS**

**SCOPE OF WORK**

The Subcontractor shall execute the following portion of the Work described in the Subcontract Documents, including all labor, materials, equipment, services, superintendence, and other items required to complete such portion of the Work:

**JOINT SEALANTS** - Including but not limited to, Specification Sections:

**07 92 00                      Joint Sealants**

**This Work specifically includes, but is not limited to:**

Joint Sealants

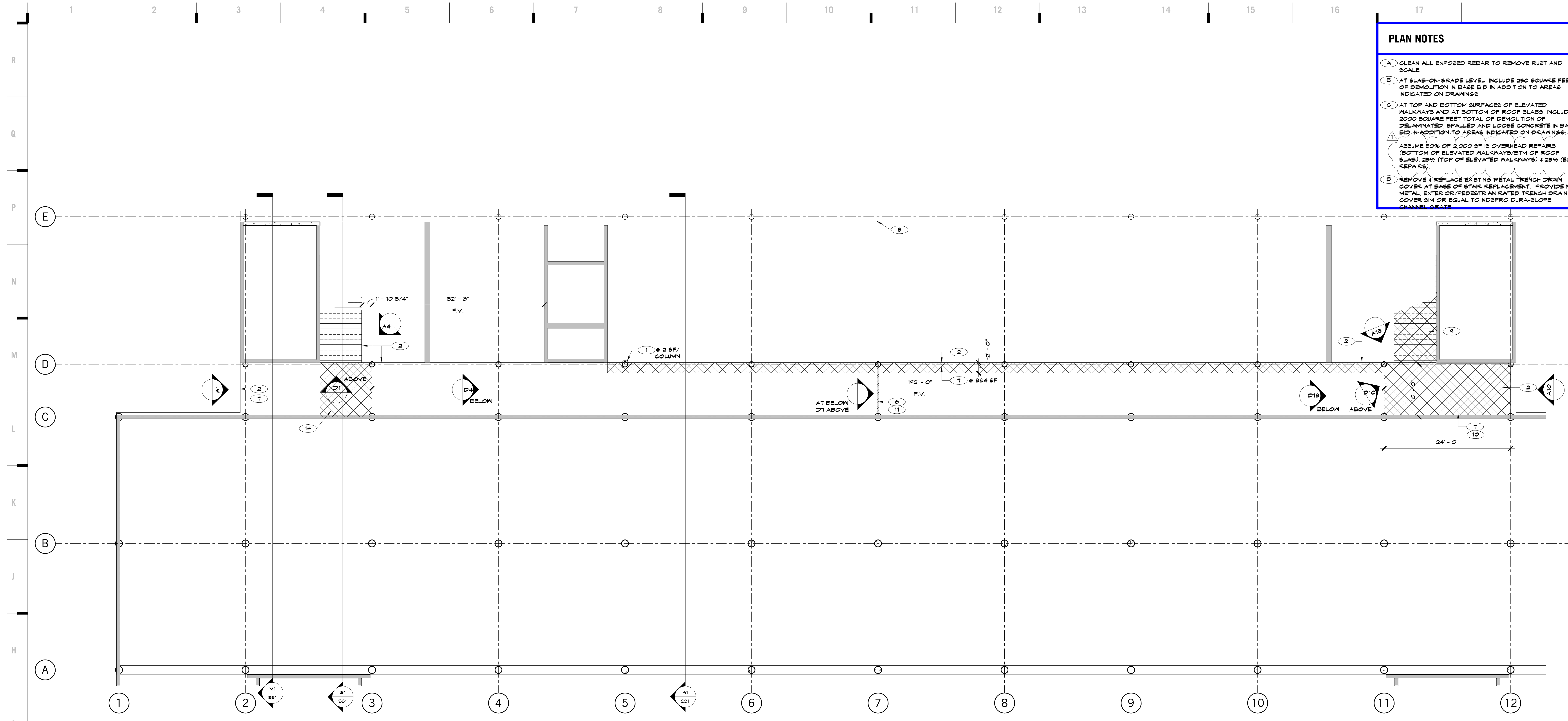
1. Provide joint sealants and backer rod per Contract Documents including, but not limited to, vertical and horizontal cast in place concrete joints, concrete paving joints, concrete stairs, and handrails.
2. Exterior joint sealants as required for a complete system.
3. Sealants for exterior paving construction joints and termination joints.
4. Mock-up of each of each type of system to be used and each condition.
5. Sealants are to be provided by a single-source manufacturer where required by the Subcontract Documents.
6. Install work in accordance with the manufacturer’s printed instructions for the application.
7. Backer rods and required materials to complete all caulking. Backer rod shall form to joint configuration indicated and shall maintain sealant bead size specified.
8. Install all joint sealants free of air pockets, ridges, sags and foreign embedded matter.
9. Coordination and cooperation with other Contractors that interface with this Scope of Work.
10. Multiple mobilizations.
11. Provide protection of joint sealants per specifications.
12. Clean and prepare surfaces to receive joint sealants.
13. Include \$10,000 allowance for additional areas not shown to receive joint sealants in Contract Documents.
14. Provide custom color joint sealants as required.

**The following work is excluded:**

1. Traffic Coatings.

Initial: \_\_\_\_\_  
Date: \_\_\_\_\_





- PLAN NOTES**
- (A) CLEAN ALL EXPOSED REBAR TO REMOVE RUST AND SCALE
  - (B) AT SLAB-ON-GRADE LEVEL, INCLUDE 250 SQUARE FEET OF DEMOLITION IN BASE BID IN ADDITION TO AREAS INDICATED ON DRAWINGS
  - (C) AT TOP AND BOTTOM SURFACES OF ELEVATED WALKWAYS AND AT BOTTOM OF ROOF SLABS, INCLUDE 2000 SQUARE FEET TOTAL OF DEMOLITION OF DELAMINATED, SPALLED AND LOOSE CONCRETE IN BASE BID IN ADDITION TO AREAS INDICATED ON DRAWINGS
  - (1) ASSUME 50% OF 2,000 SF IS OVERHEAD REPAIRS (BOTTOM OF ELEVATED WALKWAYS/BTM OF ROOF SLAB), 25% (TOP OF ELEVATED WALKWAYS) & 25% (EOB REPAIRS)
  - (D) REMOVE & REPLACE EXISTING METAL TRENCH DRAIN COVER AT BASE OF STAIR REPLACEMENT. PROVIDE NEW METAL, EXTERIOR PEDESTRIAN RATED TRENCH DRAIN COVER 3/4" OR EQUAL TO NDSFRG DURA-SLOPE CHANNEL SEAT

we design the future<sup>®</sup>  
 1828 Walnut Street Suite 922  
 Kansas City, MO 64108  
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 333 Perry Street Suite 205  
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 HOLLISANDMILLER.COM

hollis architects  
+ miller

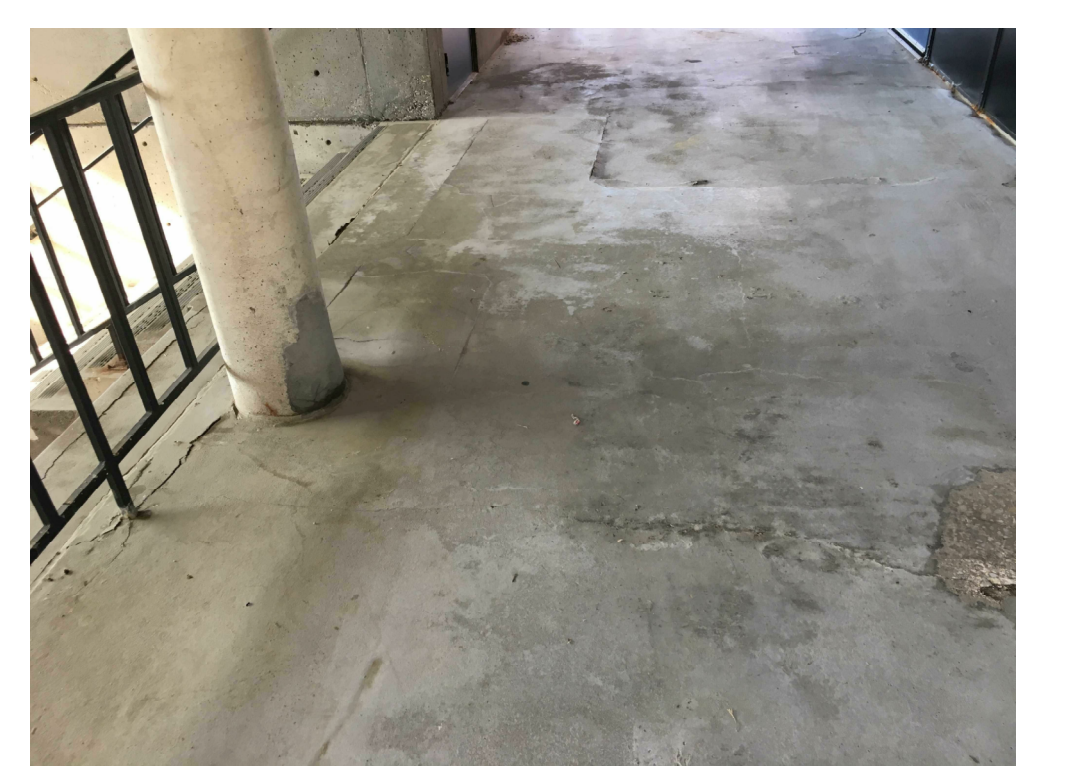
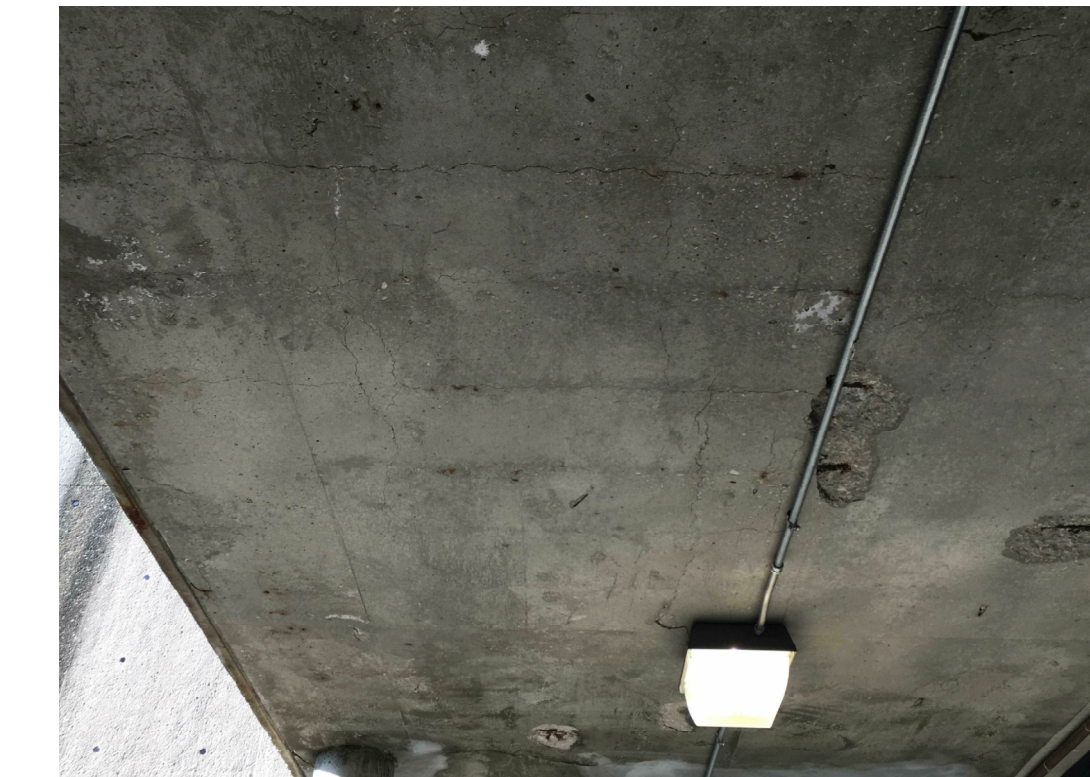
Hollis + Miller Architects  
 Kansas State Certificate of Authority  
 Architecture # A-1104  
 Professional # C-1104

Construction Documents

Maintenance Office Exterior Repairs  
 Kansas City Kansas Public Schools  
 2220 N. 59th Street  
 Kansas City, KS 66104

**G1** Scale 1/8" = 1'-0"  
 Level 2 - West

**REFERENCE NOTES**



**D1** Scale No Scale  
 Top of Elevated Walkway

**D4** Scale No Scale  
 Bottom of Elevated Walkway

**D7** Scale No Scale  
 Top of Elevated Walkway Exp JT

**D10** Scale No Scale  
 Top of Elevated Walkway

**D13** Scale No Scale  
 Bottom of Elevated Walkway

- (1) REMOVE BROKEN AND LOOSE CONCRETE. PROTECT EXISTING REBAR. CLEAN EXPOSED REBAR TO REMOVE RUST AND SCALE. HATCHED AREAS ARE REPRESENTATIVE OF IDENTIFIED DAMAGE ONLY AND ARE NOT EXHAUSTIVE. PROVIDE SQUARE FOOTAGE OF REPAIRS EXPLICITLY SHOWN ON DRAWINGS PLUS ALLOWANCES PER NOTE B & NOTE C BELOW IN ADDITION TO SCOPE SHOWN ON DRAWINGS
- (2) REMOVE GUARDRAIL/HANDRAIL IN ITS ENTIRETY. CORE CONCRETE TO REMOVE EMBEDDED PORTION. REMOVE ALL DELAMINATED, SPALLED AND LOOSE CONCRETE. PROTECT EXISTING REBAR
- (3) REMOVE EXISTING CONCRETE AND STEEL COLUMN DOWN TO TOP OF FOOTING. SEE A10/D00. REMOVE ENOUGH SLAB ON GRADE TO ALLOW PLACEMENT OF NEW COLUMN. REMOVE PORTION OF ELEVATED SLAB AND ROOF TO TAKE OUT ALL EMBEDDED STRUCTURAL STEEL SHOWN IN D10/D00. PROTECT EXISTING COLUMN DOWN IN FOOTING FOR POTENTIAL RE-USE. PROTECT SLAB AND ROOF REINFORCEMENT
- (4) REMOVE BROKEN HANDRAIL
- (5) ALTERNATE #8: REMOVE ON-GRADE STAIRS AND 2'-0" OF SIDEWALK AT TOP AND BOTTOM
- (6) REMOVE RUST AND SCALE FROM EXPOSED STEEL ANGLE
- (7) AT BOTTOM, EDGE AND TOP OF ELEVATED WALKWAY, REMOVE ALL ALL DELAMINATED, SPALLED AND LOOSE CONCRETE. PROTECT EXISTING REBAR. CLEAN EXPOSED REBAR TO REMOVE RUST AND SCALE. INCLUDE AREA OF DELAMINATED, SPALLED AND LOOSE CONCRETE REMOVAL OF 2'-0" WIDE X LENGTH OF GUARDRAIL
- (8) REMOVE GUARDRAIL/HANDRAIL IN ITS ENTIRETY. REMOVE CORRODED STEEL CHANNEL OVER TO GRID 18. PROTECT PRECAST CONCRETE PLANK.
- (9) REMOVE ELEVATED STAIR FROM LEVEL 1 TO LEVEL 2 IN ITS ENTIRETY. REMOVE BEAM INDICATED AT LEVEL 2. REMOVE PORTION OF WALL EACH SIDE AT LEVEL 1 AND 2 TO ALLOW FOR BEAM POCKETS. PROTECT WALL REINFORCEMENT
- (10) DAMAGE IN THIS AREA AT RISK OF EXCEEDING REPAIR OPTIONS. PROVIDE ALLOWANCE TO INCLUDE FULL REMOVAL AND REPLACEMENT OF APPROXIMATELY 240 SQUARE FEET OF ELEVATED SLAB. ASSUME 1 TON REBAR.
- (11) REMOVE SLAB COATING TO EXPOSE EXISTING STEEL ANGLES
- (12) REMOVE ELEVATED WALKWAY, GUARDRAIL AND 2'-0" OF SUPPORT WALLS DOWN TO GILD JOINT SHOWN IN D10/D00
- (13) PROTECT EXISTING CONCRETE SEATS
- (14) REMOVE PEDESTRIAN TRAFFIC COATING TO EXPOSE EXISTING CONCRETE. REMOVE ALL DELAMINATED, SPALLED LOOSE CONCRETE. CLEAN ANY EXPOSED REBAR TO REMOVE RUST AND SCALE
- (15) REMOVE SIDEWALK TO BACK OF CURB AND TO 2'-0" PAST STAIR WIDTH ON EACH SIDE



**A1** Scale No Scale  
 Elevated Walkway & Guardrail

**A4** Scale No Scale  
 Elevated Stair & Guardrail

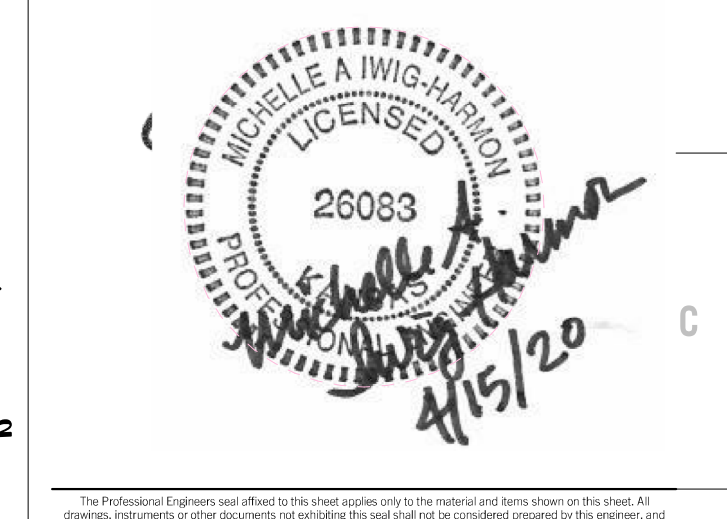
**A7** Scale No Scale  
 Bot of Elevated Walkway Exp JT

**A10** Scale No Scale  
 Elevated Walkway & Guardrail

**A13** Scale No Scale  
 Elevated Stair & Guardrail

REVISIONS:

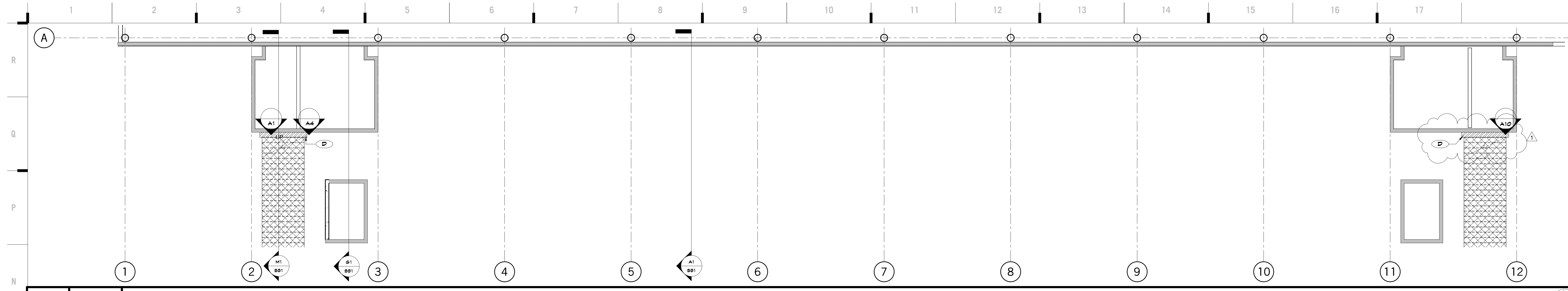
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2	Addendum #4	09.07.2020



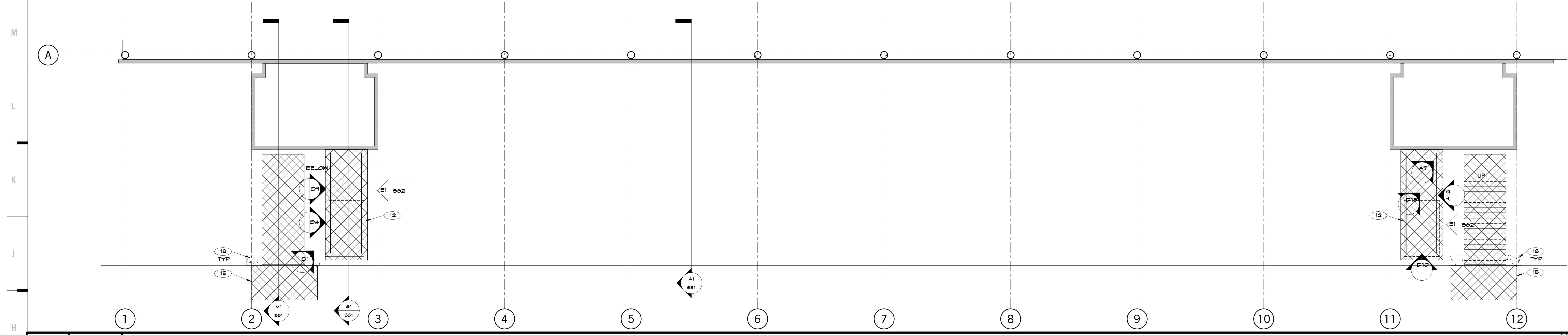
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 CHECKED BY: MAI  
 DATE: 04.15.2020

**D02**





**N1** Scale 1/8" = 1'-0" Level 1 - West Circulation



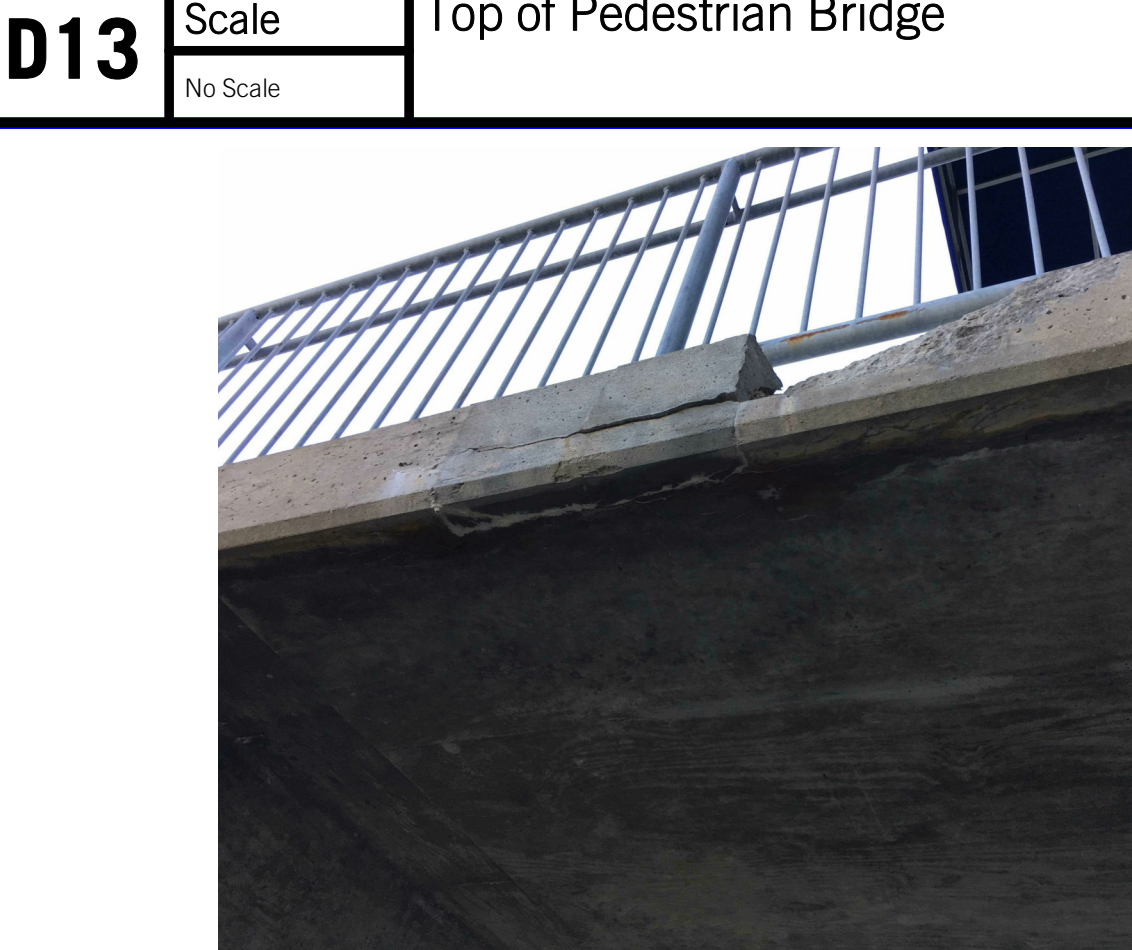
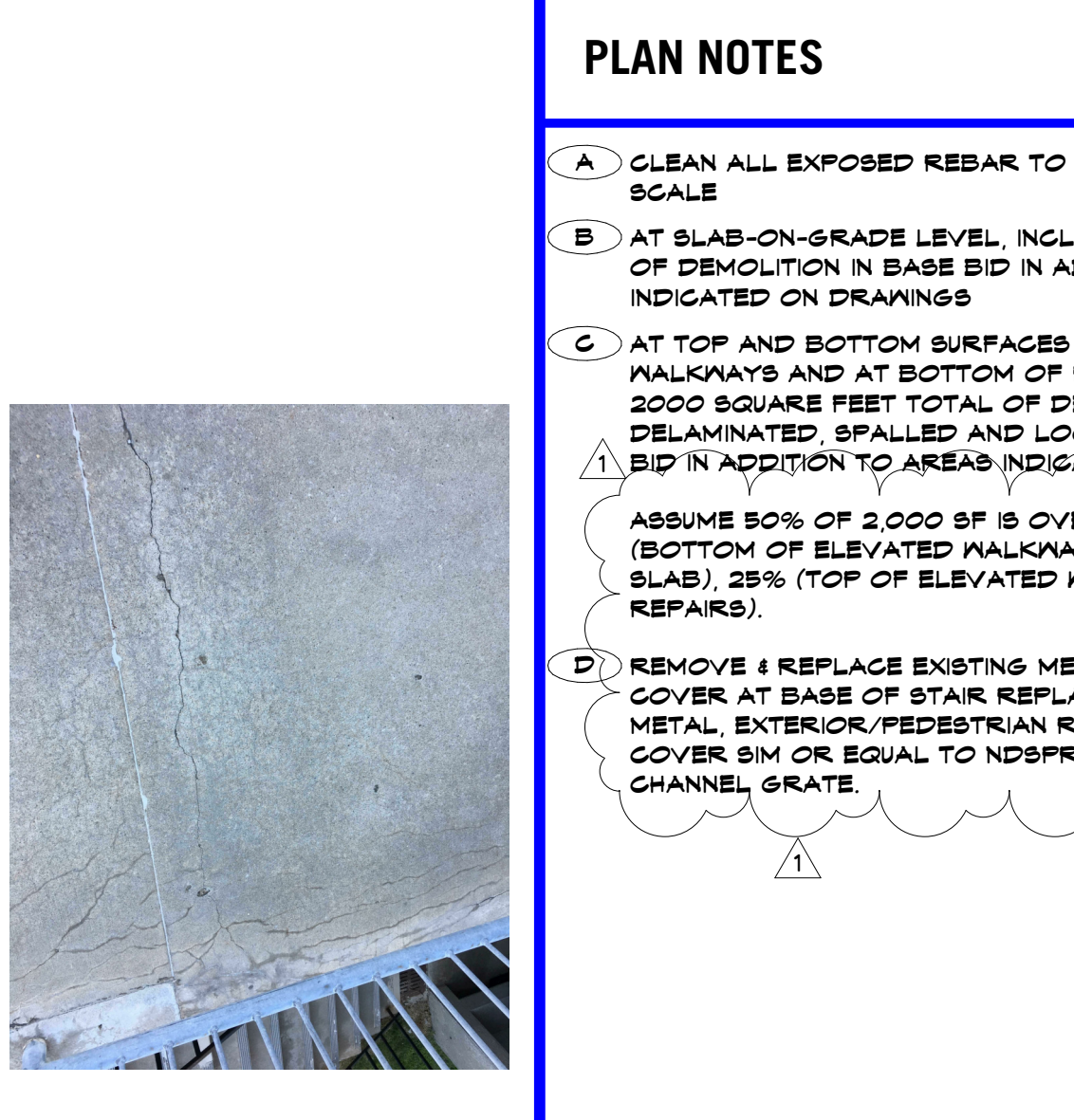
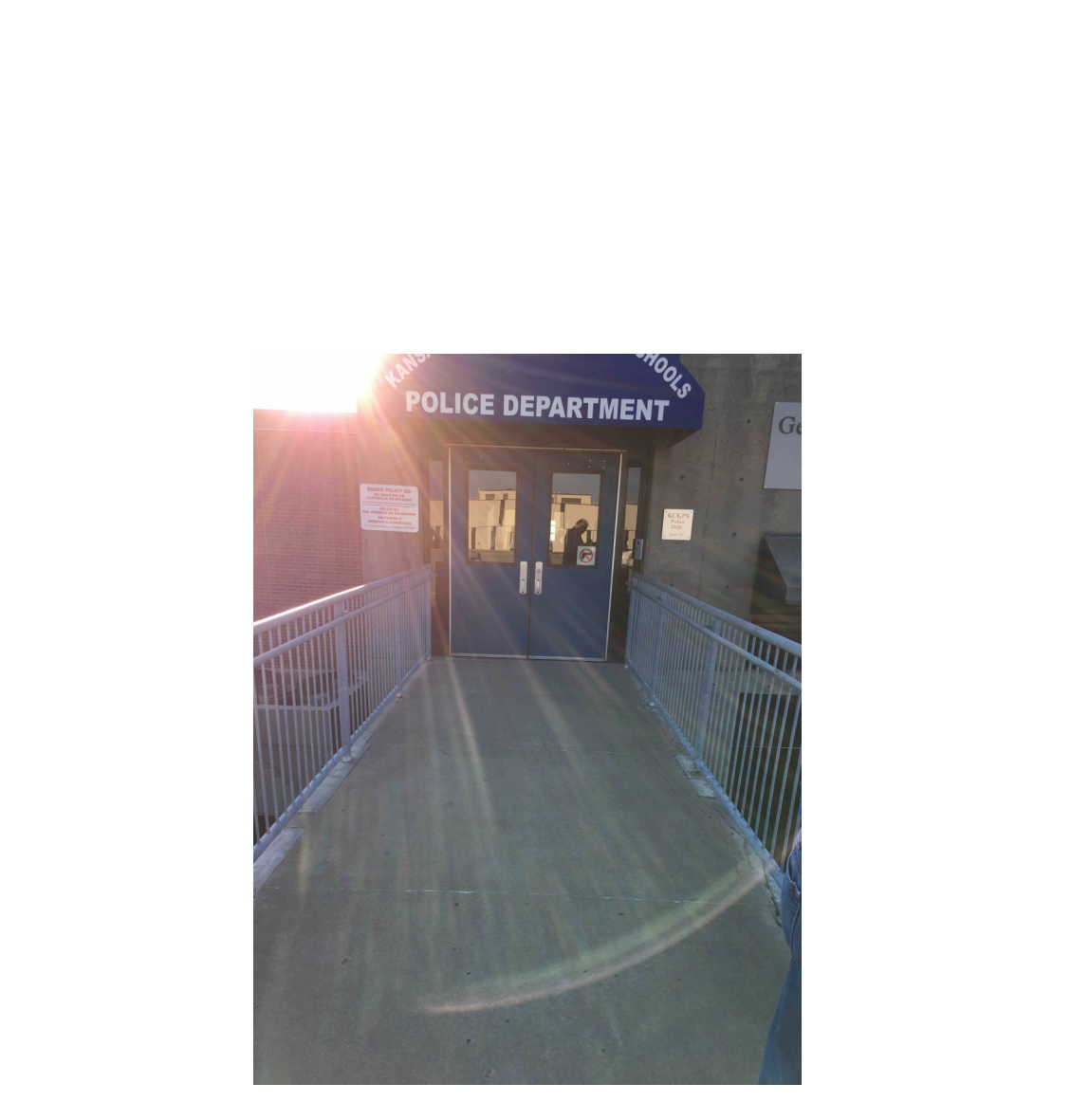
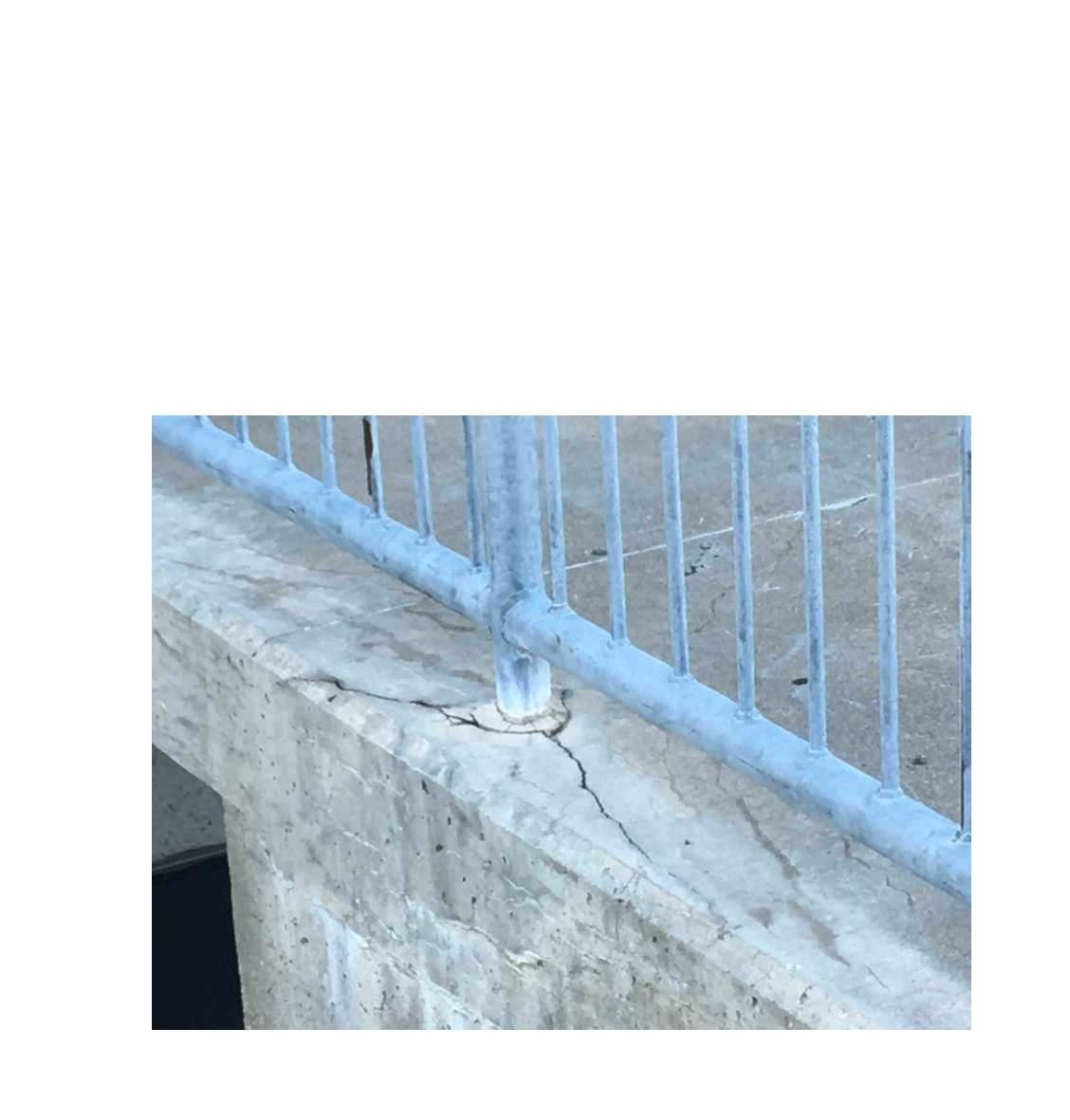
**H1** Scale 1/8" = 1'-0" Level 2 - West Circulation

**PLAN NOTES**

- A CLEAN ALL EXPOSED REBAR TO REMOVE RUST AND SCALE
- B AT SLAB-ON-GRADE LEVEL, INCLUDE 250 SQUARE FEET OF DEMOLITION IN BASE BID IN ADDITION TO AREAS INDICATED ON DRAWINGS
- C AT TOP AND BOTTOM SURFACES OF ELEVATED WALKWAYS AND AT BOTTOM OF ROOF SLAB, INCLUDE 2000 SQUARE FEET TOTAL OF DEMOLITION OF DELAMINATED, SPALLED AND LOOSE CONCRETE IN BASE BID IN ADDITION TO AREAS INDICATED ON DRAWINGS.  
ASSUME 50% OF 2,000 SF IS OVERHEAD REPAIRS (BOTTOM OF ELEVATED WALKWAYS/BTM OF ROOF SLAB), 25% (TOP OF ELEVATED WALKWAYS) & 25% (BOG REPAIRS).
- D REMOVE & REPLACE EXISTING METAL TRENCH DRAIN COVER AT BASE OF STAIR REPLACEMENT. PROVIDE NEW METAL EXTERIOR/PEDESTRIAN RATED TRENCH DRAIN COVER 3M OR EQUAL TO NDS/PRO DUKA-SLOPE CHANNEL GRATE

**REFERENCE NOTES**

- 1 REMOVE BROKEN AND LOOSE CONCRETE. PROTECT EXISTING REBAR. CLEAN EXPOSED REBAR TO REMOVE RUST AND SCALE. HATCHED AREAS ARE REPRESENTATIVE OF IDENTIFIED DAMAGE ONLY AND ARE NOT EXHAUSTIVE. PROVIDE SQUARE FOOTAGE OF REPAIRS EXPLICITLY SHOWN ON DRAWINGS PLUS ALLOWANCES PER NOTE B & NOTE C BELOW IN ADDITION TO SCOPE SHOWN ON DRAWINGS.
- 2 REMOVE GUARDRAIL/HANDRAIL IN ITS ENTIRETY. GORE CONCRETE TO REMOVE EMBEDDED PORTION. REMOVE ALL DELAMINATED, SPALLED AND LOOSE CONCRETE. PROTECT EXISTING REBAR.
- 3 REMOVE EXISTING CONCRETE AND STEEL COLUMN DOWN TO TOP OF FOOTINGS. SEE A10/D00. REMOVE ENOUGH SLAB ON GRADE TO ALLOW PLACEMENT OF NEW COLUMNS. REMOVE PORTION OF ELEVATED SLAB AND ROOF TO TAKE OUT ALL EMBEDDED STRUCTURAL STEEL SHOWN IN D10/D00. PROTECT EXISTING COLUMN DOWNELS IN FOOTING FOR POTENTIAL RE-USE. PROTECT SLAB AND ROOF REINFORCEMENT.
- 4 REMOVE BROKEN HANDRAIL.
- 5 ALTERNATE 1B. REMOVE ON-GRADE STAIRS AND 2'-0" OF SIDEWALK AT TOP AND BOTTOM.
- 6 REMOVE RUST AND SCALE FROM EXPOSED STEEL ANGLE
- 7 AT BOTTOM, EDGE AND TOP OF ELEVATED WALKWAY, REMOVE ALL ALL DELAMINATED, SPALLED AND LOOSE CONCRETE. PROTECT EXISTING REBAR. CLEAN EXPOSED REBAR TO REMOVE RUST AND SCALE. INCLUDE AREA OF DELAMINATED, SPALLED AND LOOSE CONCRETE REMOVAL OF 2'-0" WIDE X LENGTH OF GUARDRAIL
- 8 REMOVE GUARDRAIL/HANDRAIL IN ITS ENTIRETY. REMOVE EXPOSED STEEL CHANNEL OVER TO GRID 1B. PROTECT PRECAST CONCRETE PLANK.
- 9 REMOVE ELEVATED STAIR FROM LEVEL 1 TO LEVEL 2 IN ITS ENTIRETY. REMOVE BEAM INDICATED AT LEVEL 2 TO ALLOW FOR BEAM POCKETS. PROTECT WALL REINFORCEMENT.
- 10 DAMAGE IN THIS AREA AT RISK OF EXCEEDING REPAIR OPTIONS. PROVIDE ALLOWANCE TO INCLUDE FULL REMOVAL AND REPLACEMENT OF APPROXIMATELY 240 SQUARE FEET OF ELEVATED SLAB. ASSUME 1 TON REBAR.
- 11 REMOVE SLAB COATING TO EXPOSE EXISTING STEEL ANGLES
- 12 REMOVE ELEVATED WALKWAY, GUARDRAIL AND 2'-0" OF SUPPORT WALLS DOWN TO GOLD JOINT SHOWN IN D1/D00
- 13 PROTECT EXISTING CONCRETE SEATS
- 14 REMOVE PEDESTRIAN TRAFFIC COATING TO EXPOSE EXISTING CONCRETE. REMOVE ALL DELAMINATED, SPALLED LOOSE CONCRETE. CLEAN ANY EXPOSED REBAR TO REMOVE RUST AND SCALE
- 15 REMOVE SIDEWALK TO BACK OF CURB AND TO 2'-0" PAST STAIR WIDTH ON EACH SIDE



**A1** Scale No Scale Existing Stair on Grade

**A4** Scale No Scale Existing Stair & Bridge

**A7** Scale No Scale

**A10** Scale No Scale Existing Stair on Grade

**A13** Scale No Scale Pedestrian Bridge & Guardrail

REVISIONS:

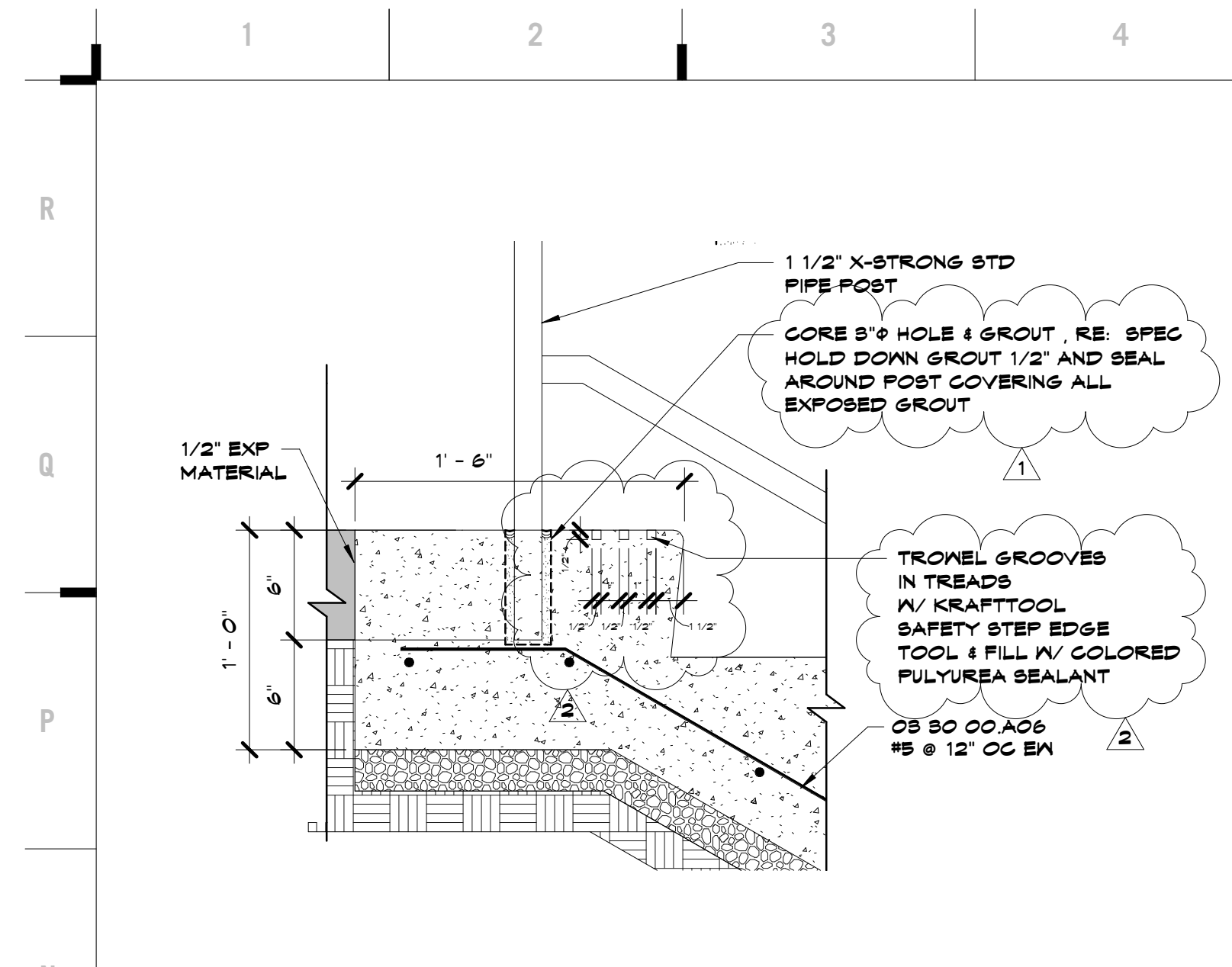
#	Description	Date
1	Addressed	04.10.2020



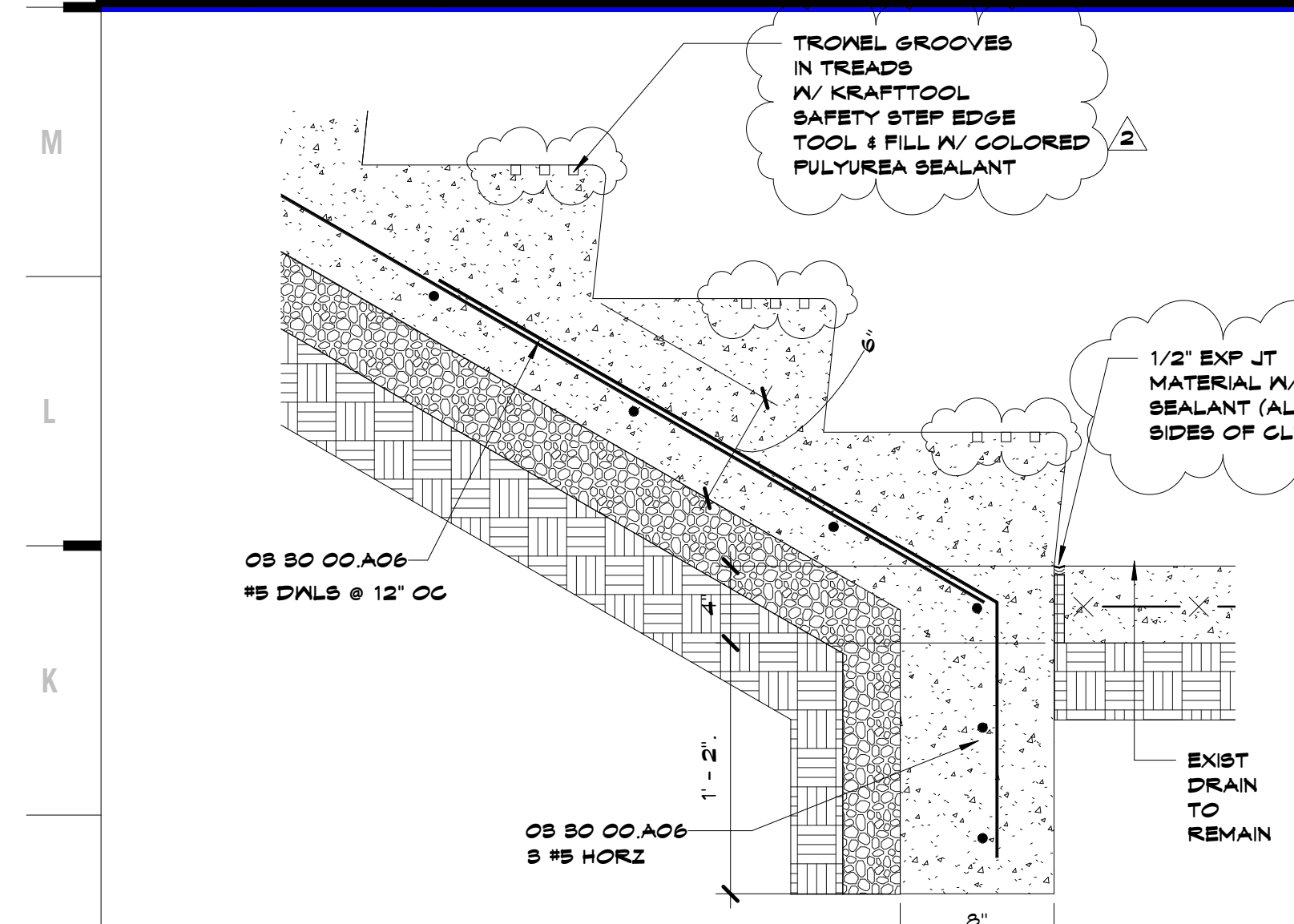
JOB NO: 18002.00  
 DRAWN BY: TJS  
 CHECKED BY: MAI  
 DATE: 04.15.2020

**D03**

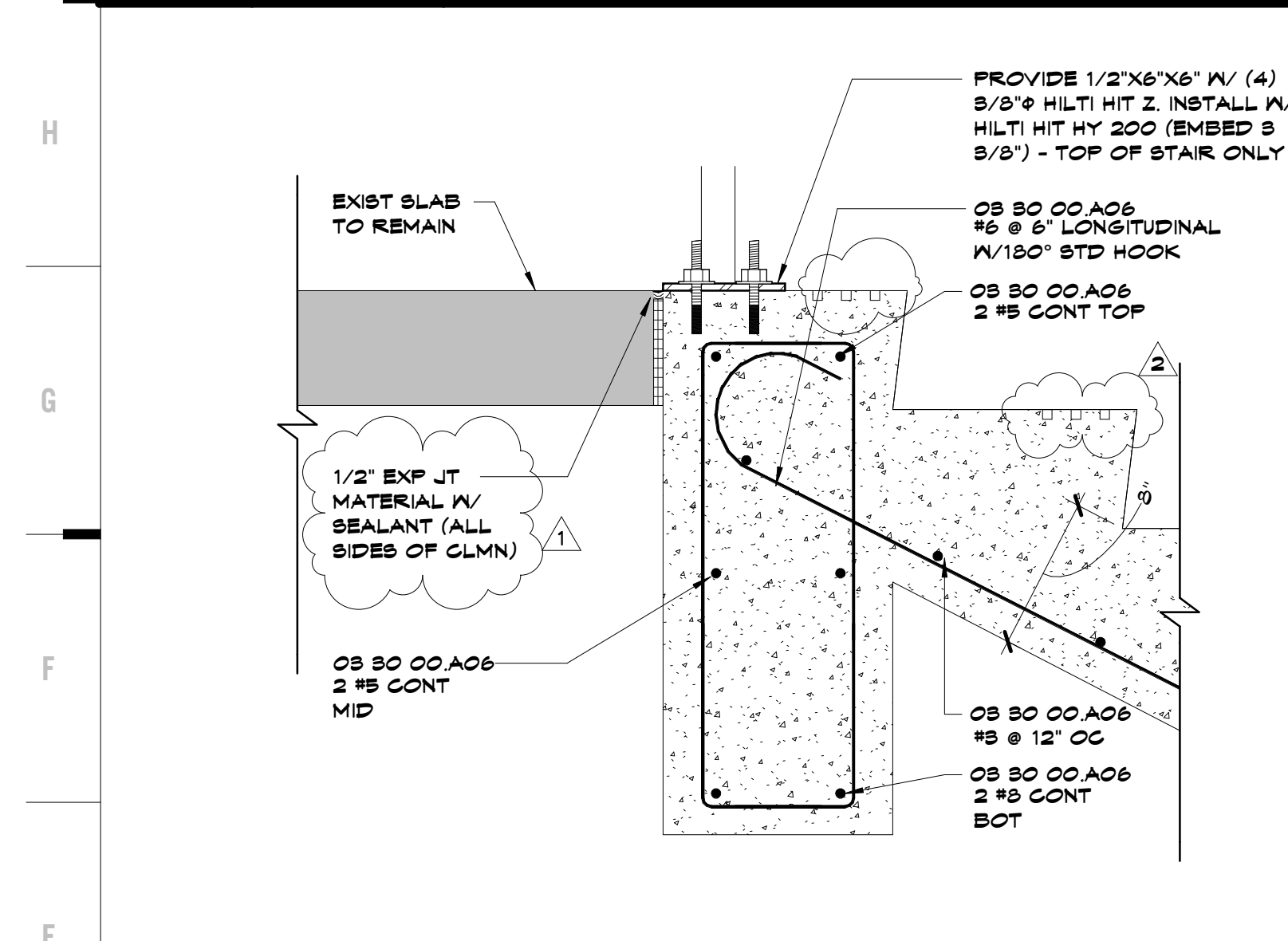




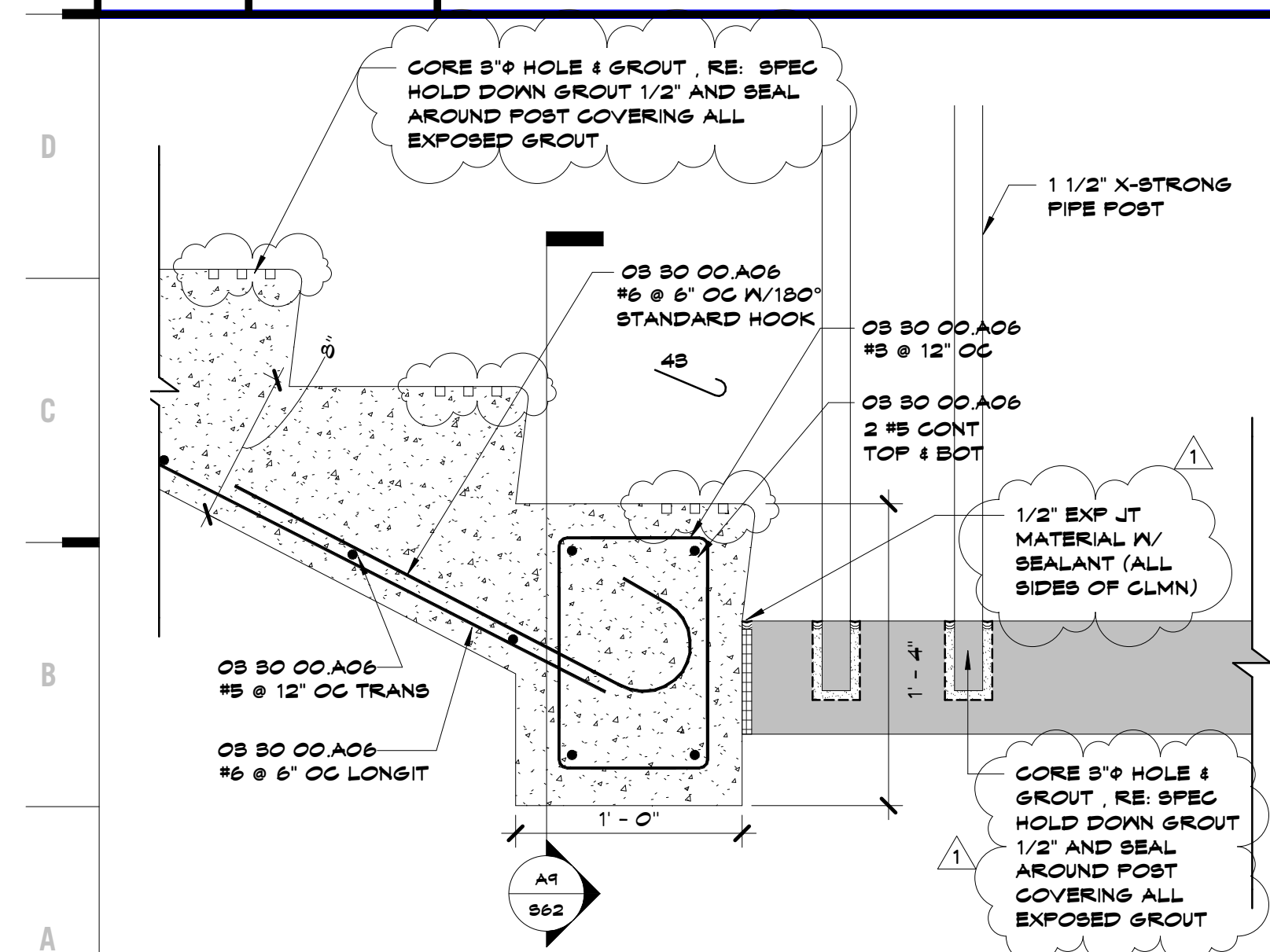
**N1** Scale 1 1/2" = 1'-0" Section 3 - Callout 1



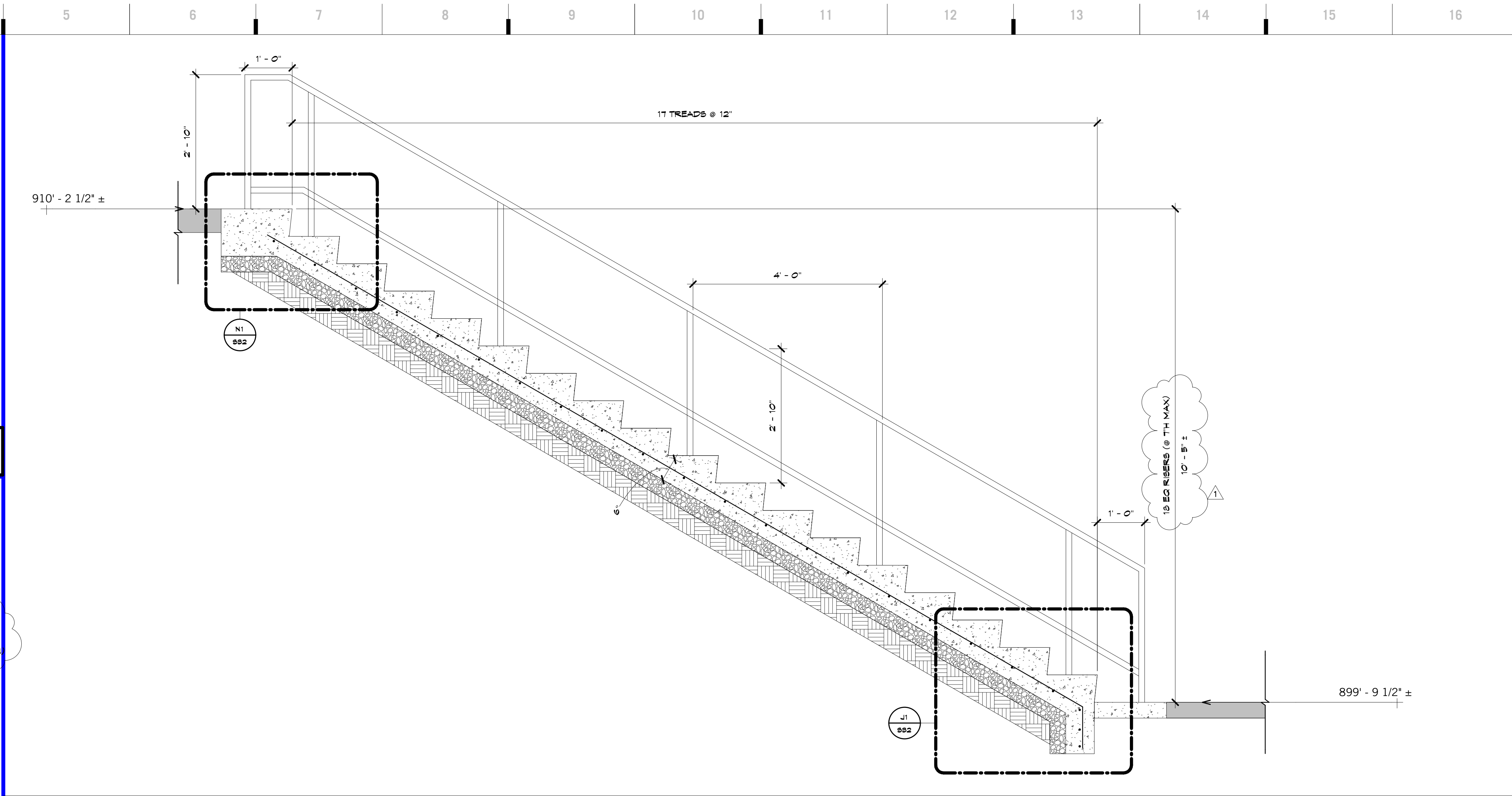
**J1** Scale 1 1/2" = 1'-0" Section 3 - Callout 2



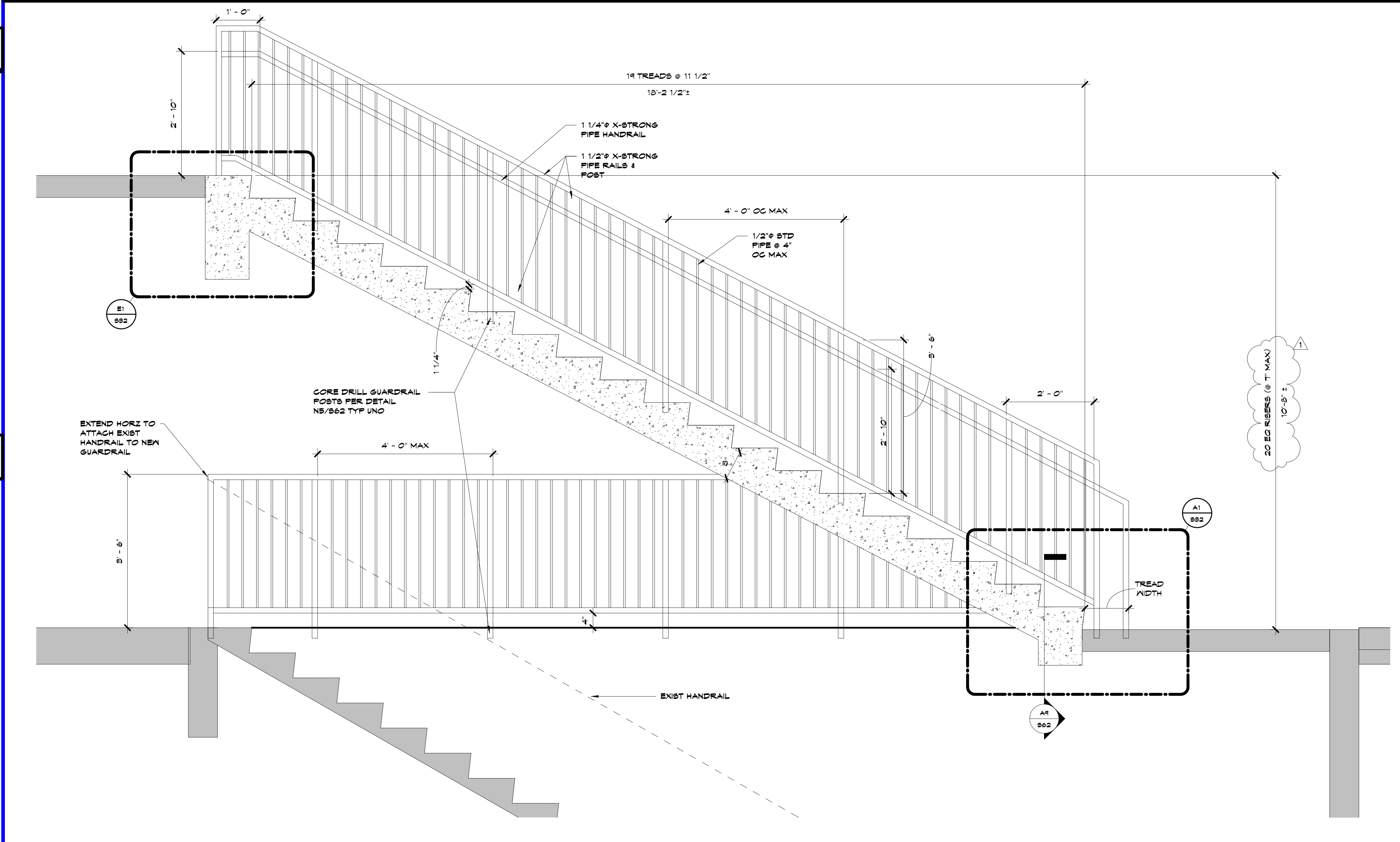
**E1** Scale 1 1/2" = 1'-0" Section 4 - Callout 1



**A1** Scale 1 1/2" = 1'-0" Section 4 - Callout 2



**K5** Scale 3/4" = 1'-0" Section 3



**A5** Scale 3/4" = 1'-0" Section 4

**SHEET KEYNOTE LEGEND**

- OS 80 00 A06 REINFORCING BARS

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Construction Documents

Maintenance Office Exterior Repairs  
 Kansas City Kansas Public Schools  
 2220 N. 59th Street  
 Kansas City, KS 66104

REVISIONS:

#	Description	Date
1	ADDENDUM #3	04.30.2020
2	ADDENDUM #4	09.07.2020

Professional Engineer Seal: MICHELLE A. WIGGAMAN, LICENSED PROFESSIONAL ENGINEER, 28083, 4/15/20

JOB NO: 18002.00  
 DRAWN BY: Author  
 CHECKED BY: Checker  
 DATE: 04.15.2020