



ADDENDA #2
ITB NO. 1004-0-2019, JENSEN BEACH HIGH SCHOOL (JBHS)
PARTIAL ROOF REPLACEMENT PROJECT

DATE: 07/31/19

A. Please see the following:

1. The bid opening date has been changed to 2:00pm, August 14, 2019. Contractors shall address their questions to bids@martin.k12.fl.us until 2:00 pm, August 7, 2019.
2. **Working Hours:** All Work at the site shall be performed daily, including weekends from the hours of 7:00 am until 7:00 pm. No additional expenses shall be granted for work performed after hours. Contractor is not permitted to perform work on any District observed holiday, without the written consent of the District Project Manager. Detailed work schedule shall be determined in advance at the preconstruction meeting.
3. The awarded contractor must provide as part of the project a 6' high chain link temporary construction fence with fabric wind screen system & gates on the east, west, and south side of bldg. # 6. This fence is to be used as a separation between the area of work and the active campus.
4. There is a an overhead access door to the courtyard located just south of Bldg. #6 that will allow access to the east side of Bldg. #6.
5. The lay down yard for the project is east of the south service drive and dumpsters in the grassy area of the site. South east side of the campus.
6. Any requests for substitutions shall be in accordance with Section III, Item 14.

B. Attached are the following:

- Prebid sign-in log
- Architect Notes of Changes
- G-001 Coversheet
- A-100 Overall Site Plan
- A-101 Demolition Roof Plan
- A-102 Partial Roof Plan
- S01 Roof Wind Zones & Design Information

C. Please see the following response for clarification:

The District has been previously advised by its Council not to pursue warranty claims for the roof repair work with the existing roof manufacturer.

All other terms and conditions of this ITB remain unchanged.

This Addendum shall be considered an integral part of the ITB and Contract Documents and this Addendum must be signed and returned with your submittal **by 2:00 p.m. on August 14, 2019**, and acceptance on the Bid Form designated in Section 7.2. Failure to comply may result in disqualification of your bid submittal.

Lenora S. Darden

Lenora Darden, MCPP, CPPB, CPSM
 Purchasing Supervisor



Acknowledgement is hereby made of Addenda #2 to ITB# 1004-0-2019: JBHS Partial Roof Replacement Project.

Authorized Signature

Firm

Printed, Title

Date

Email Address



PRE-BID CONFERENCE

SIGN-IN SHEET-MCSD STAFF

Service Center Conference Room

ITB #: 1004-0-2019 PROJECT NAME: JBHS PARTIAL ROOF REPLACEMENT PROJECT DATE: 07/17/19 @ 10AM

District Department	District Representative / Title	✓ Initial	Engineer of Record	Representative / Title	✓ Initial
Purchasing Email:	Lenora Darden, Purchasing Supervisor bids@martin.k12.fl.us	<input checked="" type="checkbox"/> <i>LD</i>	Harvard Jolly, Inc.	Michael Hewes, Jr.	<input checked="" type="checkbox"/> <i>MHJ</i>
Purchasing	Justin Sage, Purchasing Director	<input type="checkbox"/>			<input type="checkbox"/>
Facilities	Mark Sechrist, Facilities Director	<input checked="" type="checkbox"/> <i>MS</i>			<input type="checkbox"/>
		<input type="checkbox"/>			<input type="checkbox"/>
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		<input type="checkbox"/>			<input type="checkbox"/>



PRE-BID CONFERENCE

SIGN-IN SHEET-(CONTRACTORS)

Service Center Conference Room

ITB #: 1004-0-2019 PROJECT NAME: JBHS PARTIAL ROOF REPLACEMENT PROJECT DATE: 07/17/19 @ 10AM

#	Company/Representative	Address	Phone & Fax #	Email
1	Thermasent Roofing Mickey Huffman	1421 Oglethorpe Rd WPalM	501-223-2096	MHuffman@ThermasentRoofing.com
2	Extrem Metal Fabrications Richard McKueh	34990 2160 SW Poma Dr, Palm City	772-872-8034 772-985-8325	richard@emfab.net
3	Remnant Construction Brandon Noble	201 S 2nd St, Suite 100 Fort Pierce, FL 34950	772-577-5850 772-264-5108	brnoble@remnantconstruction.com
4	T46 Corp / Bowhead Roofing DANIEL SIFAR	8623 COMMUNITY CIRCLE - ORLANDO, FL 32819	772-348-3447 772-348-3447	DSIFAR@BOWHEADROOFING.COM
5	Atlas Apex Roofing Tim Burris	281 NE 32nd St Caldland Park Fl. 33334	954-565-1567	Estimating1@atlasapexusa.com
6	Re Roof USA / SSI Bill Ward	357 Main St Atlantic Beach FL 32233	931-384-8230	bill@re-roofusa.com
7	SM Hill Engineering Rick Jenkins	940 Sunbeam Ctr Dr Jacksonville, FL 32207	321 505 6469	rick.jenkins@smhilleng.com
8				
9				
10				

July 22, 2019

SECOND ADDENDUM

ITB NO.: 1004-0-2019

JENSEN BEACH HIGH SCHOOL – PARTIAL ROOF REPLACEMENT

Following are the description of changes to the original contract documents:

1. G-001 Cover Sheet REV 01:

Sheet Index has been updated to reflect the revision one documents that have been updated.

2. A-100 Overall Site Plan REV 01:

Shaded area of scope of work has been extended to show new area of roof replacement.

3. A-101 Demolition Roof Plan REV 01:

Area of roof demolition has been revised to exclude the high roof area over the stage and include the mid-height area north of high roof area. The existing gutters and downspouts on the high roof area east courtyard side are included to be replaced. The gutters and downspouts and on the mid-height area are identified to be replaced on the east and west sides. Detail 2 has been added.

4. A-102 Partial Roof Plan REV 01:

Area of partial roof replacement has been revised to indicate the mid-height area and lean to on the south side only. The high roof over the stage has been removed from the scope of work except for the replacement of the gutters and downspouts on the east side only.

5. S01 Roof Wind Zones & Design Information REV 01:

Wind Zone areas have been updated to reflect the new area of roof replacement scope.

Michael F. Hewes, Jr., Architect
Harvard Jolly Architecture

**ATTACHMENTS: G-001 Cover Sheet REV 01
A-100 Overall Site Plan REV 01
A-101 Demolition Roof Plan REV 01
A-102 Partial Roof Plan REV 01
S01 Roof Wind Zones & Design Information REV 01**

JENSEN BEACH HIGH SCHOOL

PARTIAL ROOF REPLACEMENT: BUILDING 6

MARTIN COUNTY SCHOOL DISTRICT

100% CONSTRUCTION DOCUMENTS

ARCHITECTURAL DESIGN CONSULTANT:

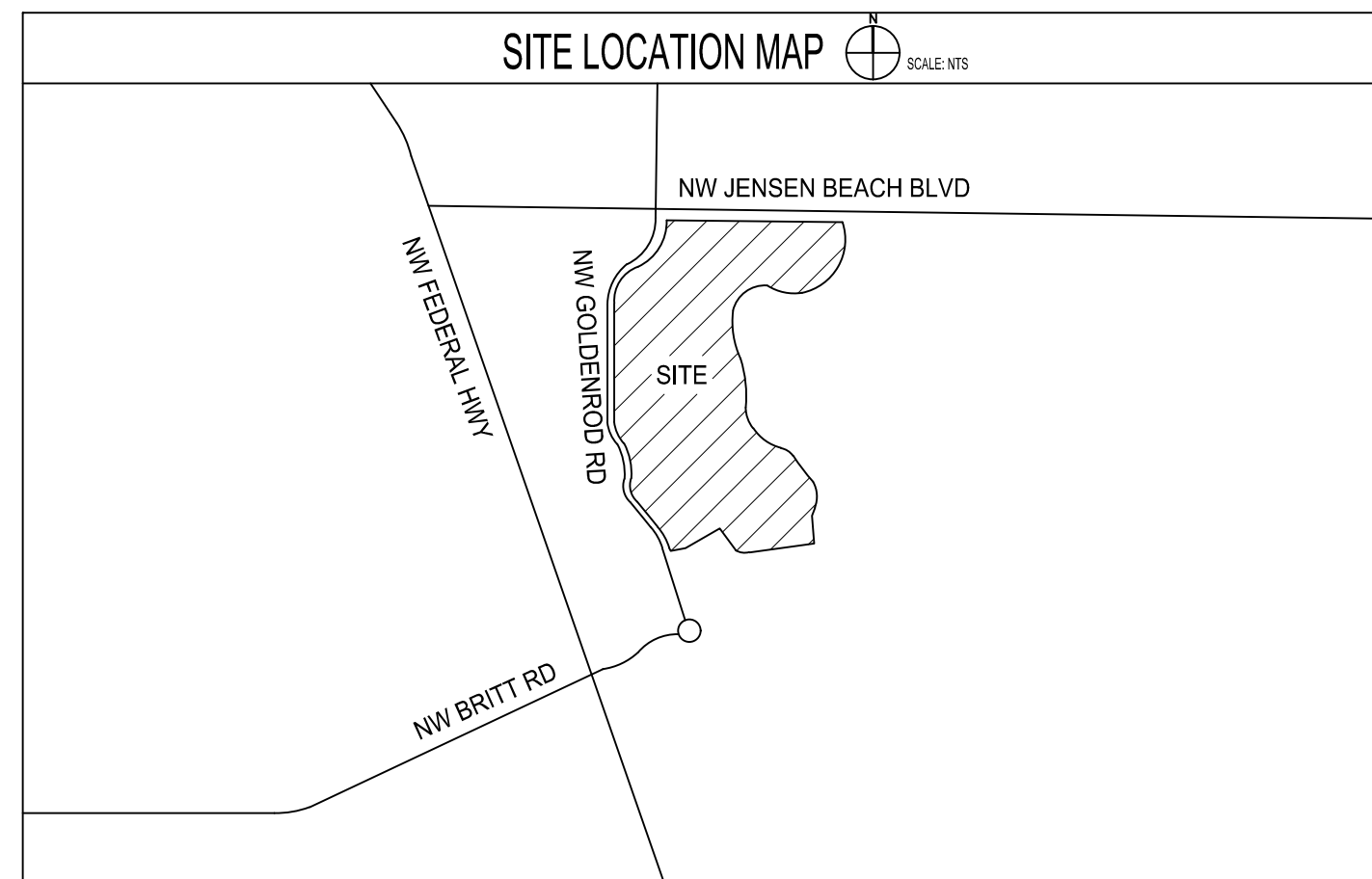
HARVARD JOLLY ARCHITECTURE

2047 VISTA PARKWAY, SUITE 100
WEST PALM BEACH, FL 33411
PHONE: 561-478-4457 FAX: 561-478-4102

STRUCTURAL DESIGN CONSULTANT:

ANDREW MORGAN SERVICES

513 US 1, SUITE 109
NORTH PALM BEACH, FL 33408
PHONE: 561-881-8999



BOARD MEMBERS:

CHRISTIA LI ROBERTS
MICHAEL DITERLIZZI
MARSHA POWERS
VICTORIA DEFENTHALER
TONY ANDERSON

LAURIE J GAYLORD

CHAIR
VICE CHAIR
MEMBER
MEMBER
MEMBER

SUPERINTENDENT

PROJECT NARRATIVE

THIS PROJECT INCLUDES THE PARTIAL ROOF REPLACEMENTS AT JENSEN BEACH HIGH SCHOOL, BUILDING 6, LOCATED IN MARTIN COUNTY SCHOOL DISTRICT. THE PARTIAL REPLACEMENT OF THE ROOF SHALL BE IN ACCORDANCE WITH DRAWINGS AND SPECIFICATIONS SET FORTH IN THESE DOCUMENTS AND FROM DIRECTION GIVEN FROM THE MARTIN COUNTY SCHOOL DISTRICT. THE WORK INVOLVED WILL INCLUDE BUT IS NOT LIMITED TO THE REMOVAL OF THE EXISTING ROOF PARTIALLY OVER BUILDING 6 AS REQUIRED. NEW CONSTRUCTION IS SET FORTH IN THE DOCUMENTS AS REQUIRED TO INSTALL THE NEW ROOF OVER A PORTION OF BUILDING 6. ALL AREAS, REGARDLESS OF LOCATION, WILL BE REQUIRED TO BE REPAIRED IF DISTURBED BY THE CONSTRUCTION. CONTRACTOR TO REVIEW ALL AS-BUILT DOCUMENTS AND EXISTING FIELD CONDITIONS BEFORE COMMENCING CONSTRUCTION AND VISIT THE SITE TO RECOGNIZE THE AREAS WITHIN THE SCOPE OF WORK.

ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MARTIN COUNTY SCHOOL DISTRICT STANDARDS, APPLICABLE CODES AND AUTHORITY HAVING JURISDICTION.

ARCHITECT'S STATEMENT OF COMPLIANCE:
TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS AND PROJECT MANUAL ARE COMPLETE AND COMPLY WITH THE MINIMUM REQUIREMENTS OF THE 2017 FLORIDA BUILDING CODE SIXTH EDITION.

SHEET NO.	TITLE	ORIGINAL DATE	REVISION NO.	LATEST REVISION DATE
ARCHITECTURAL				
G-001	COVER SHEET & INDEX	02/22/19	1	07/18/19
G-002	SPECIFICATIONS	02/22/19		
G-003	SPECIFICATIONS	02/22/19		
A-100	OVERALL SITE PLAN	02/22/19	1	07/18/19
A-101	PARTIAL ROOF DEMOLITION PLAN	02/22/19	1	07/18/19
A-102	PARTIAL ROOF PLAN & DETAILS	02/22/19	1	07/18/19
STRUCTURAL				
S01	GENERAL NOTES & SPECIFICATIONS	02/22/19	1	07/18/19

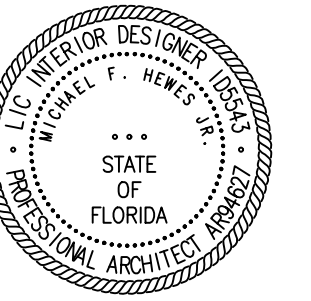
Comm. No: 16025.08

Date: 02/22/2019

Drawn: MFH

Revisions		
No.	Date	Note
1	07/18/19	OWNER CHANGES

TO THE BEST OF MY KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES.



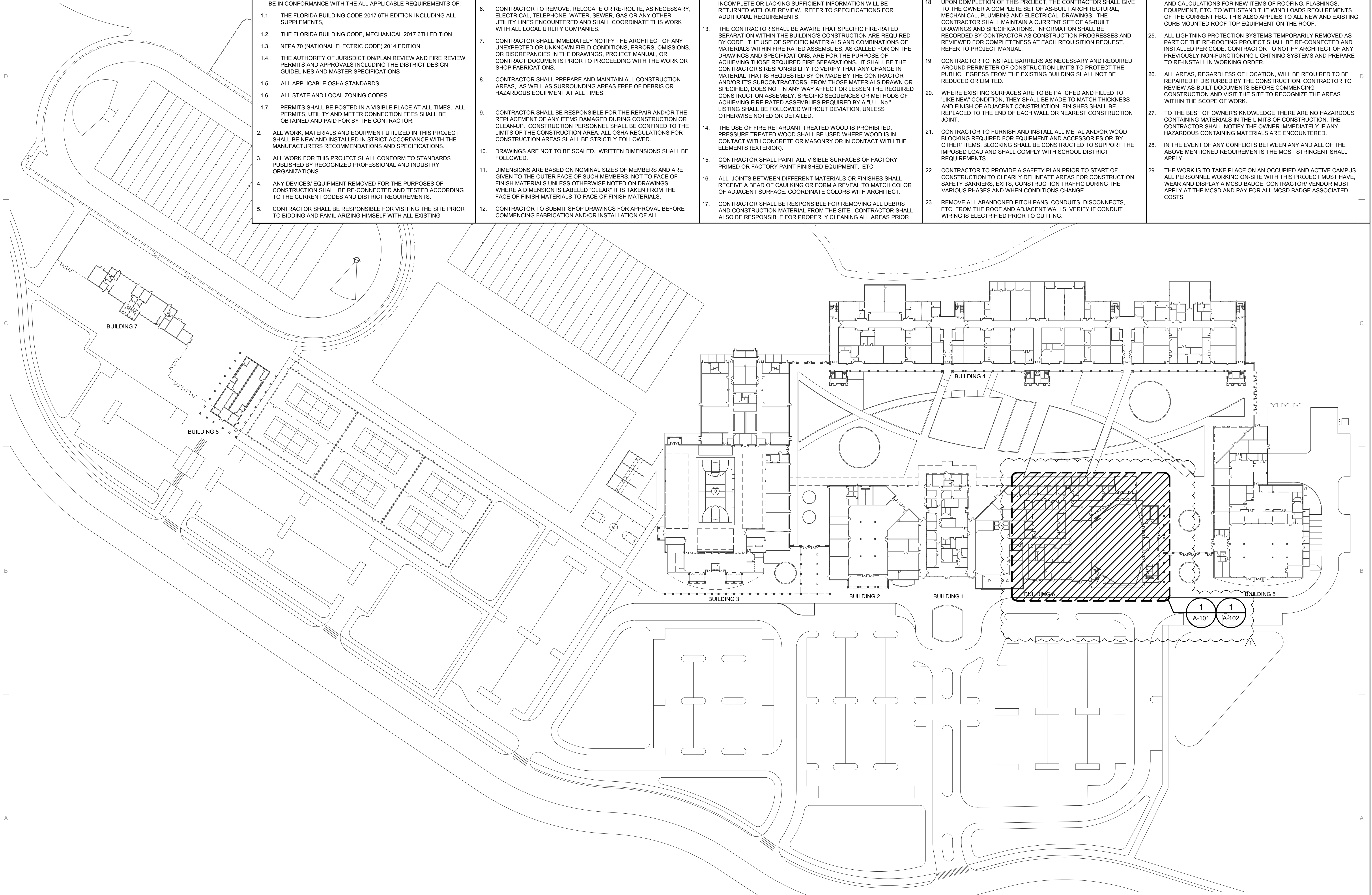
Michael F Hewes Jr, AIA
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COVER SHEET

G-001

GENERAL NOTES

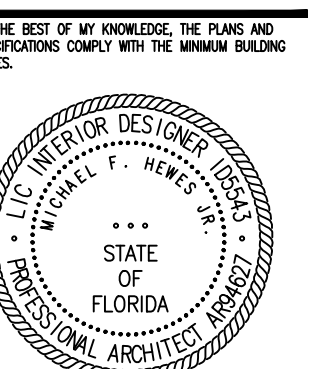
1. ALL CONSTRUCTION SHALL COMPLY WITH SREF 2014, THE FLORIDA BUILDING CODE 6TH EDITION (2017) (WITH ALL APPLICABLE REVISIONS), FLA. FIRE PREVENTION CODE 6TH EDITION. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE ALL APPLICABLE REQUIREMENTS OF:
 - 1.1. THE FLORIDA BUILDING CODE 2017 6TH EDITION INCLUDING ALL SUPPLEMENTS.
 - 1.2. THE FLORIDA BUILDING CODE, MECHANICAL 2017 6TH EDITION
 - 1.3. NFPA 70 (NATIONAL ELECTRIC CODE) 2014 EDITION
 - 1.4. THE AUTHORITY OF JURISDICTION PLAN REVIEW AND FIRE REVIEW PERMITS AND APPROVALS INCLUDING THE DISTRICT DESIGN GUIDELINES AND MASTER SPECIFICATIONS
 - 1.5. ALL APPLICABLE OSHA STANDARDS
 - 1.6. ALL STATE AND LOCAL ZONING CODES
 - 1.7. PERMITS SHALL BE POSTED IN A VISIBLE PLACE AT ALL TIMES. ALL PERMITS, UTILITY AND METER CONNECTION FEES SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR.
2. ALL WORK, MATERIALS AND EQUIPMENT UTILIZED IN THIS PROJECT SHALL BE NEW AND INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.
3. ALL WORK FOR THIS PROJECT SHALL CONFORM TO STANDARDS PUBLISHED BY RECOGNIZED PROFESSIONAL AND INDUSTRY ORGANIZATIONS.
4. ANY DEVICES/ EQUIPMENT REMOVED FOR THE PURPOSES OF CONSTRUCTION SHALL BE RE-CONNECTED AND TESTED ACCORDING TO THE CURRENT CODES AND DISTRICT REQUIREMENTS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE PRIOR TO BIDDING AND FAMILIARIZING HIMSELF WITH ALL EXISTING CONDITIONS AFFECTING THE WORK, INCLUDING BUT NOT LIMITED TO PRIVATE AND PUBLIC UTILITIES, ON AND OFF SITE, ACCESS ROADS AND OTHER SUPPORT FACILITIES.
6. CONTRACTOR TO REMOVE, RELOCATE OR RE-ROUTE, AS NECESSARY, ELECTRICAL, TELEPHONE, WATER, SEWER, GAS OR ANY OTHER UTILITY LINES ENCOUNTERED AND SHALL COORDINATE THIS WORK WITH ALL LOCAL UTILITY COMPANIES.
7. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY UNEXPECTED OR UNKNOWN FIELD CONDITIONS, ERRORS, OMISSIONS, OR DISCREPANCIES IN THE DRAWINGS, PROJECT MANUAL, OR CONTRACT DOCUMENTS PRIOR TO PROCEEDING WITH THE WORK OR SHOP FABRICATIONS.
8. CONTRACTOR SHALL PREPARE AND MAINTAIN ALL CONSTRUCTION AREAS, AS WELL AS SURROUNDING AREAS FREE OF DEBRIS OR HAZARDOUS EQUIPMENT AT ALL TIMES.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR THE REPLACEMENT OF ANY ITEMS DAMAGED DURING CONSTRUCTION OR CLEAN-UP. CONSTRUCTION PERSONNEL SHALL BE CONFINED TO THE LIMITS OF THE CONSTRUCTION AREA. ALL OSHA REGULATIONS FOR CONSTRUCTION AREAS SHALL BE STRICTLY FOLLOWED.
10. DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS SHALL BE FOLLOWED.
11. DIMENSIONS ARE BASED ON NOMINAL SIZES OF MEMBERS AND ARE GIVEN TO THE OUTER FACE OF SUCH MEMBERS, NOT TO FACE OF FINISH MATERIALS UNLESS OTHERWISE NOTED ON DRAWINGS. WHERE A DIMENSION IS LABELED "CLEAR" IT IS TAKEN FROM THE FACE OF FINISH MATERIALS TO FACE OF FINISH MATERIALS.
12. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL BEFORE COMMENCING FABRICATION AND/OR INSTALLATION OF ALL APPLICABLE ITEMS FOR CONSTRUCTION. ALL SHOP DRAWINGS DIMENSIONS SHALL BE FIELD VERIFIED, REVIEWED AND APPROVED BY CONTRACTOR BEFORE SUBMITTAL. SHOP DRAWINGS WHICH ARE INCOMPLETE OR LACKING SUFFICIENT INFORMATION WILL BE RETURNED WITHOUT REVIEW. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
13. THE CONTRACTOR SHALL BE AWARE THAT SPECIFIC FIRE-RATED SEPARATION WITHIN THE BUILDING'S CONSTRUCTION ARE REQUIRED BY CODE. THE USE OF SPECIFIC MATERIALS AND COMBINATIONS OF MATERIALS WITHIN FIRE RATED ASSEMBLIES, AS CALLED FOR ON THE DRAWINGS AND SPECIFICATIONS, ARE FOR THE PURPOSE OF ACHIEVING THOSE REQUIRED FIRE SEPARATIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ANY CHANGE IN MATERIAL THAT IS REQUESTED BY OR MADE BY THE CONTRACTOR AND/OR IT'S SUBCONTRACTORS, FROM THOSE MATERIALS DRAWN OR SPECIFIED, DOES NOT IN ANY WAY AFFECT OR LESSEN THE REQUIRED CONSTRUCTION ASSEMBLY. SPECIFIC SEQUENCES OR METHODS OF ACHIEVING FIRE RATED ASSEMBLIES REQUIRED BY A "U.L. No." LISTING SHALL BE FOLLOWED WITHOUT DEVIATION, UNLESS OTHERWISE NOTED OR DETAILED.
14. THE USE OF FIRE RETARDANT TREATED WOOD IS PROHIBITED. PRESSURE TREATED WOOD SHALL BE USED WHERE WOOD IS IN CONTACT WITH CONCRETE OR MASONRY OR IN CONTACT WITH THE ELEMENTS (EXTERIOR).
15. CONTRACTOR SHALL PAINT ALL VISIBLE SURFACES OF FACTORY PRIMED OR FACTORY PAINT FINISHED EQUIPMENT, ETC.
16. ALL JOINTS BETWEEN DIFFERENT MATERIALS OR FINISHES SHALL RECEIVE A BEAD OF CAULKING OR FORM A REVEAL TO MATCH COLOR OF ADJACENT SURFACE. COORDINATE COLORS WITH ARCHITECT.
17. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL DEBRIS AND CONSTRUCTION MATERIAL FROM THE SITE. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR PROPERLY CLEANING ALL AREAS PRIOR TO FINAL ACCEPTANCE BY THE OWNER INCLUDING BUT NOT LIMITED TO WINDOWS, FLOORS, CARPETS, WALLS, DOORS, EQUIPMENT, ETC.
18. UPON COMPLETION OF THIS PROJECT, THE CONTRACTOR SHALL GIVE TO THE OWNER A COMPLETE SET OF AS-BUILT ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS. THE CONTRACTOR SHALL MAINTAIN A CURRENT SET OF AS-BUILT DRAWINGS AND SPECIFICATIONS. INFORMATION SHALL BE RECORDED BY CONTRACTOR AS CONSTRUCTION PROGRESSES AND REVIEWED FOR COMPLETENESS AT EACH REQUISITION REQUEST. REFER TO PROJECT MANUAL.
19. CONTRACTOR TO INSTALL BARRIERS AS NECESSARY AND REQUIRED AROUND PERIMETER OF CONSTRUCTION LIMITS TO PROTECT THE PUBLIC. EGRESS FROM THE EXISTING BUILDING SHALL NOT BE REDUCED OR LIMITED.
20. WHERE EXISTING SURFACES ARE TO BE PATCHED AND FILLED TO 'LIKE NEW' CONDITION, THEY SHALL BE MADE TO MATCH THICKNESS AND FINISH OF ADJACENT CONSTRUCTION. FINISHES SHALL BE REPLACED TO THE END OF EACH WALL OR NEAREST CONSTRUCTION JOINT.
21. CONTRACTOR TO FURNISH AND INSTALL ALL METAL AND/OR WOOD BLOCKING REQUIRED FOR EQUIPMENT AND ACCESSORIES OR 'BY OTHER' ITEMS. BLOCKING SHALL BE CONSTRUCTED TO SUPPORT THE IMPOSED LOAD AND SHALL COMPLY WITH SCHOOL DISTRICT REQUIREMENTS.
22. CONTRACTOR TO PROVIDE A SAFETY PLAN PRIOR TO START OF CONSTRUCTION TO CLEARLY DELINEATE AREAS FOR CONSTRUCTION, SAFETY BARRIERS, EXITS, CONSTRUCTION TRAFFIC DURING THE VARIOUS PHASES AND WHEN CONDITIONS CHANGE.
23. REMOVE ALL ABANDONED PITCH PANS, CONDUITS, DISCONNECTS, ETC. FROM THE ROOF AND ADJACENT WALLS. VERIFY IF CONDUIT WIRING IS ELECTRIFIED PRIOR TO CUTTING.
24. ALL ROOF TOP MOUNTED EQUIPMENT, CURBS, SHEET METAL, ETC. SHALL BE FASTENED IN COMPLIANCE WITH THE REQUIREMENTS OF THE FBC. PROVIDE SIGNED AND SEALED ENGINEERING DRAWINGS AND CALCULATIONS FOR NEW ITEMS OF ROOFING, FLASHINGS, EQUIPMENT, ETC. TO WITHSTAND THE WIND LOADS REQUIREMENTS OF THE CURRENT FBC. THIS ALSO APPLIES TO ALL NEW AND EXISTING CURB MOUNTED ROOF TOP EQUIPMENT ON THE ROOF.
25. ALL LIGHTNING PROTECTION SYSTEMS TEMPORARILY REMOVED AS PART OF THE RE-ROOFING PROJECT SHALL BE RE-CONNECTED AND INSTALLED PER CODE. CONTRACTOR TO NOTIFY ARCHITECT OF ANY PREVIOUSLY NON-FUNCTIONING LIGHTNING SYSTEMS AND PREPARE TO RE-INSTALL IN WORKING ORDER.
26. ALL AREAS, REGARDLESS OF LOCATION, WILL BE REQUIRED TO BE REPAIRED IF DISTURBED BY THE CONSTRUCTION. CONTRACTOR TO REVIEW AS-BUILT DOCUMENTS BEFORE COMMENCING CONSTRUCTION AND VISIT THE SITE TO RECOGNIZE THE AREAS WITHIN THE SCOPE OF WORK.
27. TO THE BEST OF OWNER'S KNOWLEDGE THERE ARE NO HAZARDOUS CONTAINING MATERIALS IN THE LIMITS OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY IF ANY HAZARDOUS CONTAINING MATERIALS ARE ENCOUNTERED.
28. IN THE EVENT OF ANY CONFLICTS BETWEEN ANY AND ALL OF THE ABOVE MENTIONED REQUIREMENTS THE MOST STRINGENT SHALL APPLY.
29. THE WORK IS TO TAKE PLACE ON AN OCCUPIED AND ACTIVE CAMPUS. ALL PERSONNEL WORKING ON-SITE WITH THIS PROJECT MUST HAVE WEAR AND DISPLAY A MCSDBADGE. CONTRACTOR/ VENDOR MUST APPLY AT THE MCSDBADGE AND PAY FOR ALL MCSDBADGE ASSOCIATED COSTS.



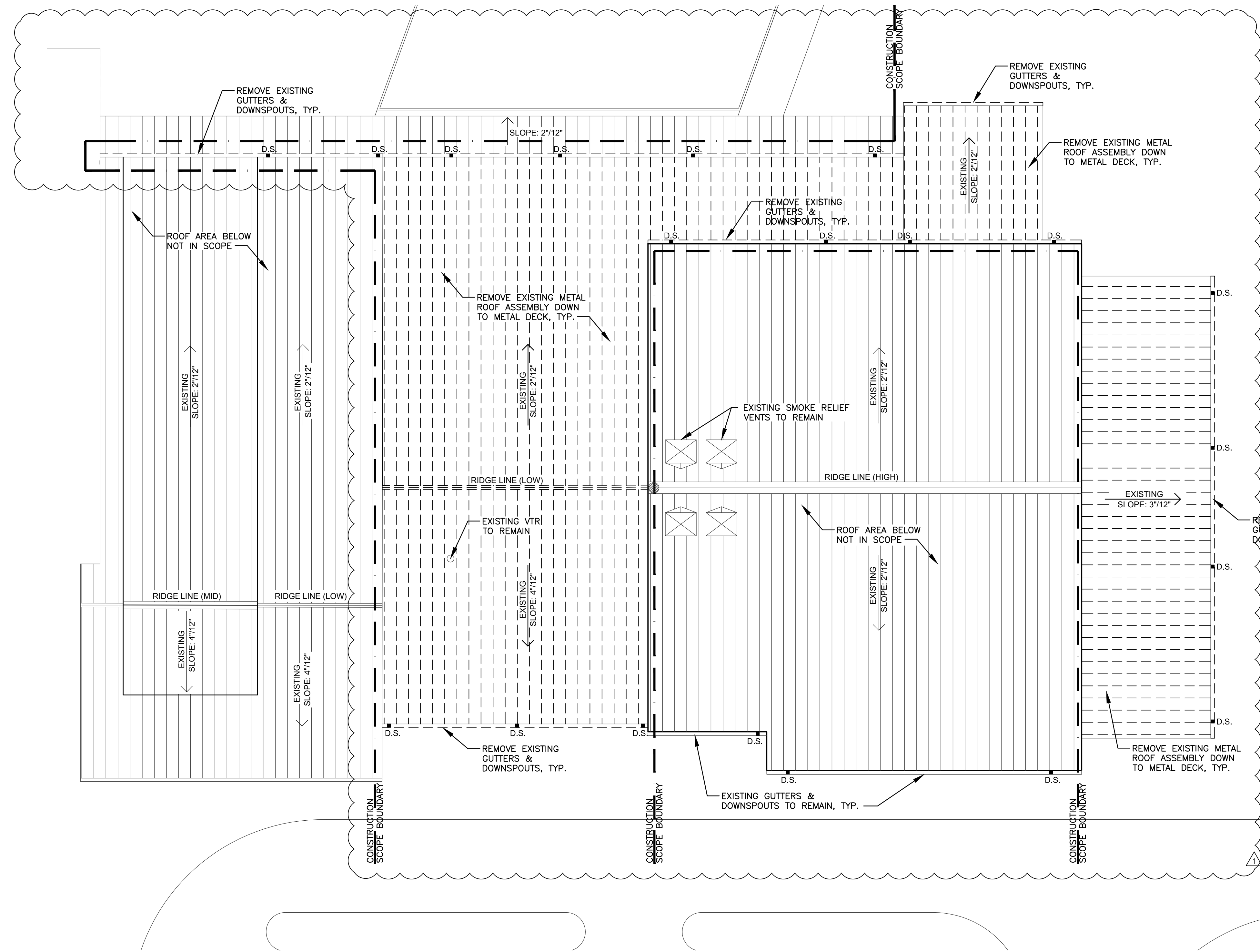
1 OVERALL SITE PLAN
SCALE: 1/64" = 1'-0"

Comm. No: 16025.08
Date: 02/22/2019
Drawn: MFH

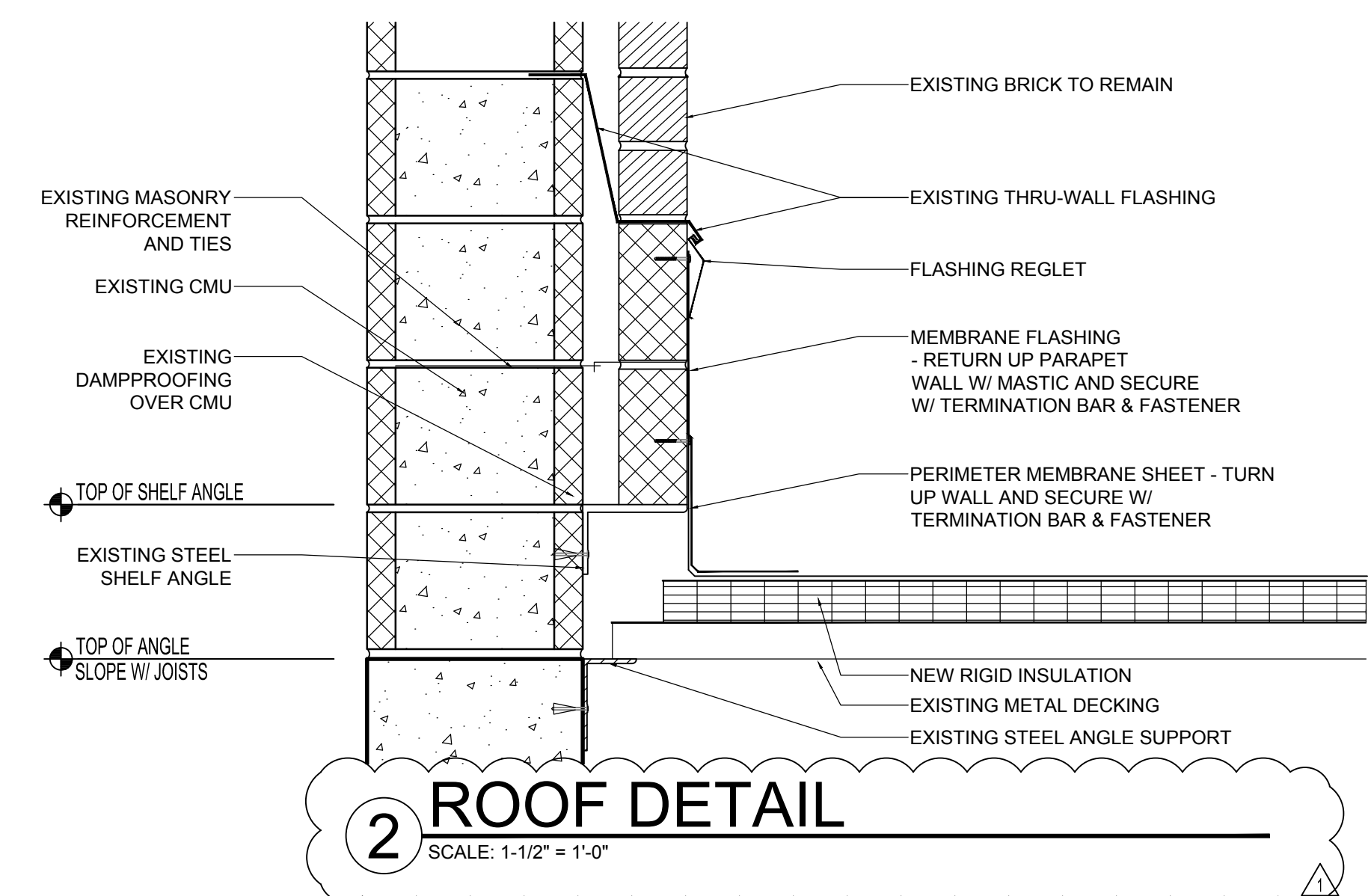
Revisions		
No.	Date	Note
1	07/18/19	OWNER CHANGES



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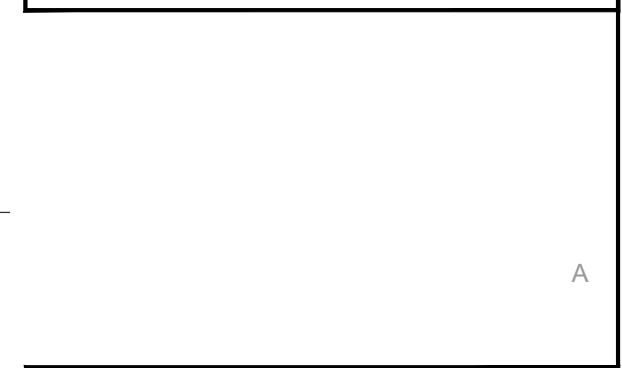
1 PARTIAL ROOF DEMO PLAN
SCALE: 1/16" = 1'-0"



2 ROOF DETAIL
SCALE: 1-1/2" = 1'-0"

- LEGEND**
- ROOF TO BE DEMOLISHED AND REPLACED
 - EXISTING ROOF TO REMAIN
 - EXISTING ROOF SLOPE DIRECTION
 - D.S. NEW STAINLESS STEEL DOWNSPOUT
- DEMOLITION NOTES**
1. ALL WORK, MATERIALS AND EQUIPMENT UTILIZED IN THIS PROJECT SHALL BE NEW AND INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS. DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS SHALL BE FOLLOWED.
 2. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY UNEXPECTED OR UNKNOWN FIELD CONDITIONS, ERRORS, OMISSIONS, OR DISCREPANCIES IN THE DRAWINGS, PROJECT MANUAL OR CONTRACT DOCUMENTS PRIOR TO PROCEEDING WITH THE WORK OR SHOP FABRICATIONS.
 3. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL BEFORE COMMENCING FABRICATION AND/OR INSTALLATION OF ALL APPLICABLE ITEMS FOR CONSTRUCTION. ALL SHOP DRAWINGS DIMENSIONS SHALL BE FIELD VERIFIED, REVIEWED AND APPROVED BY CONTRACTOR BEFORE SUBMITTAL.
 4. REMOVE EXISTING METAL ROOF PANELS AND PREPARE EXISTING STRUCTURE AS REQUIRED FOR THE INSTALLATION OF NEW METAL ROOF SYSTEM AT A MINIMUM SLOPE OF 1/4" PER FOOT.
 5. NEW METAL ROOF ASSEMBLY SHALL MATCH EXISTING IN COLOR AND PROFILE.
 6. INSTALL NEW STAINLESS STEEL GUTTERS AND DOWNSPOUTS IN SIMILAR LOCATION. MATCH PROFILES AND SIZES AND RECONNECT TO UNDERGROUND UTILITIES AS REQUIRED.
 7. CONTRACTOR SHALL PROVIDE NEW SPLASH BLOCKS TO REPLACE EXISTING (IF REQUIRED).
 8. REPAIR DAMAGED FLASHING AS REQUIRED.
 9. CLEAN AND REPAINT EXISTING ROOF SMOKE RELIEF VENTS TO REMAIN. PROVIDE NEW ROOF CRICKETS ON HIGH SIDE TO PROVIDE POSITIVE DRAINAGE.
 10. CONTRACTOR SHALL CAREFULLY REMOVE AND REINSTALL IDENTIFIED ROOF MOUNTED EQUIPMENT.

- GENERAL NOTES**
1. DEMOLITION KEY NOTES - REFER TO DEMOLITION KEYNOTES FOR SPECIFIC DEMOLITION REQUIREMENTS. SPECIFIC DEMOLITION ITEMS ARE NOT TO BE CONSIDERED ALL INCLUSIVE OR COMPLETE IN THEMSELVES. PERFORM ADDITIONAL DEMOLITION THAT MIGHT REASONABLY BE REQUIRED FOR THE PREPARATION OF INSTALLATION OF NEW CONSTRUCTION OR SPECIFIED FINISHES. DEMOLITION SHALL BE PERFORMED IN A MANNER THAT WILL NOT DAMAGE ADJOINING SURFACES INDICATED TO REMAIN. SURFACES SHALL BE PATCHED IF NECESSARY TO PROVIDE A SUITABLE SUBSTRATE FOR NEW FINISHES. SITE VISIT - PRIOR TO BIDDING, THE CONTRACTOR SHALL VISIT THE FACILITY AND THOROUGHLY FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS. NO CLAIMS FOR ADDITIONAL WORK DUE TO REASONABLY INFERRED OBSERVABLE CONDITIONS WILL BE CONSIDERED.
 2. SCHEDULING - SCHEDULE DEMOLITION WORK WITH OWNER'S PROJECT MANAGER PRIOR TO START OF WORK TO MAXIMIZE PRODUCTIVITY.
 3. PROTECTION - EXERCISE CARE DURING WORK TO PROTECT INTERIOR AND EXTERIOR EXISTING CONSTRUCTION TO REMAIN. REPAIR TO EXISTING CONSTRUCTION DUE TO DAMAGE SHALL BE DONE AT NO COST TO THE OWNER.
 4. HAZARDOUS MATERIALS - THE CONTRACTOR SHALL IMMEDIATELY REPORT ANY HAZARDOUS OR TOXIC MATERIALS DISCOVERED TO ARCHITECT, OWNER AND AUTHORITIES HAVING JURISDICTION.
 5. CUTTING AND PATCHING REQUIRED FOR THE INSTALLATION OF WORK OF OTHER TRADES SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
 6. THE WORK IS TO TAKE PLACE ON AN OCCUPIED AND ACTIVE CAMPUS. ALL PERSONNEL WORKING ON-SITE WITH THIS PROJECT MUST HAVE, WEAR AND DISPLAY A MCSD BADGE. CONTRACTOR/VENDOR MUST APPLY AT THE MCSD AND PAY FOR ALL MCSD BADGE ASSOCIATED COSTS.
 7. NEW STANDING SEAM METAL ROOF BASIS OF DESIGN IS MERCHANT & EVANS, INC. ZIP-LOCK 2" x 18" WIDE ALUMINUM PANELS 0.032" THICK; FINISH TO MATCH EXISTING ADJACENT PANELS. FLORIDA PRODUCT APPROVAL #16111.4
 8. GENERAL CONTRACTOR SHALL PROVIDE AN ICE & WATER SHIELD IN THE ROOF REPLACEMENT ASSEMBLY.

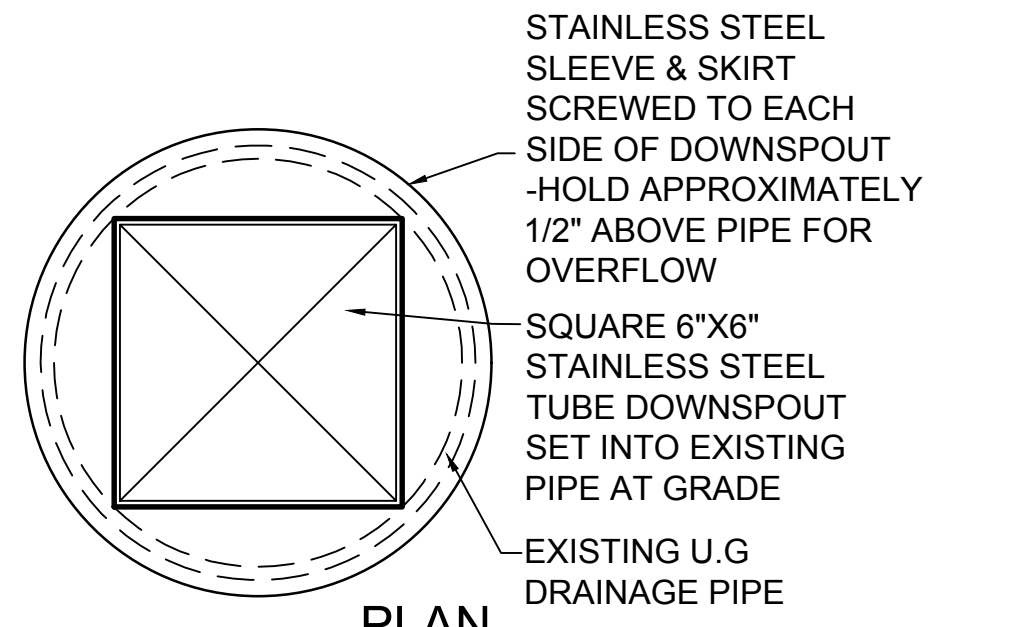


TO THE BEST OF MY KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES.

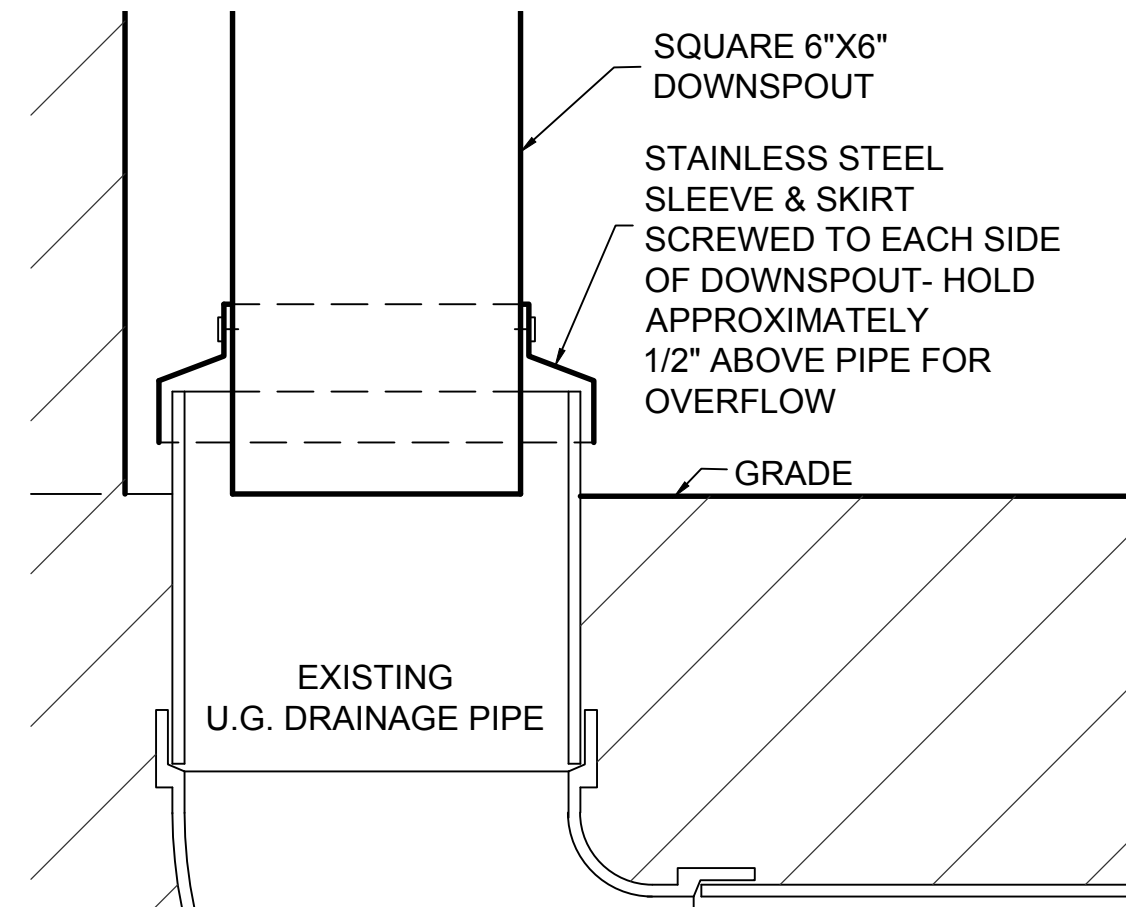
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DEMOLITION ROOF PLAN

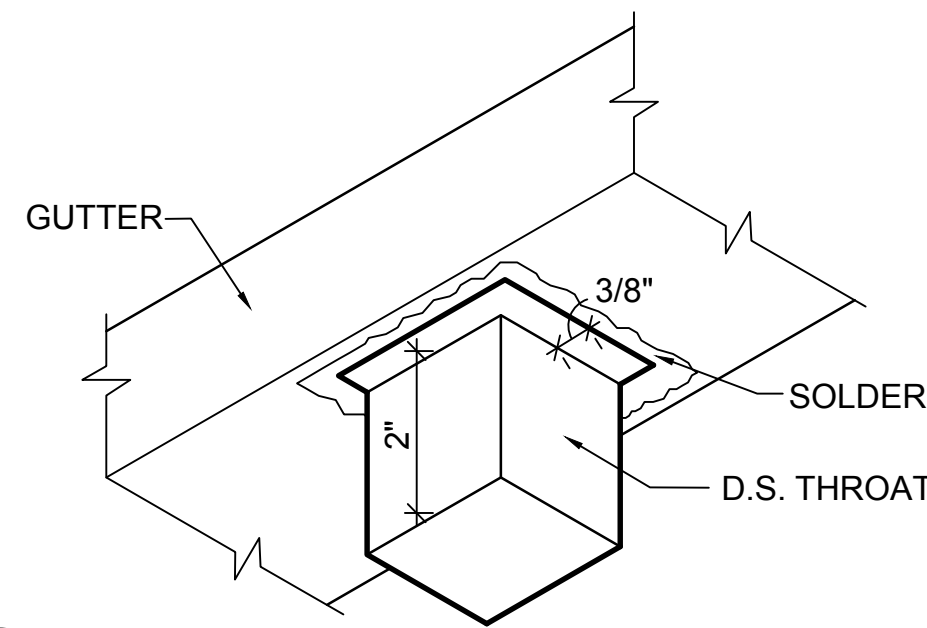
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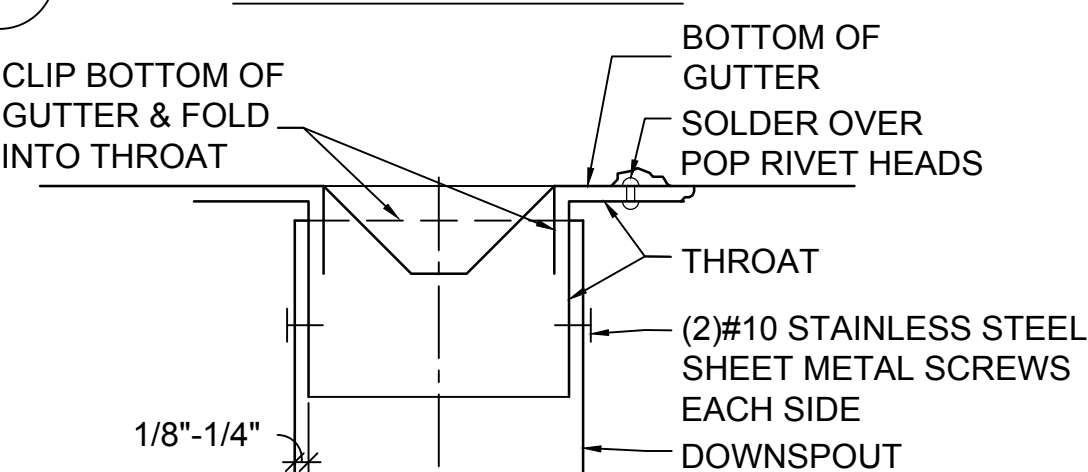
PLAN



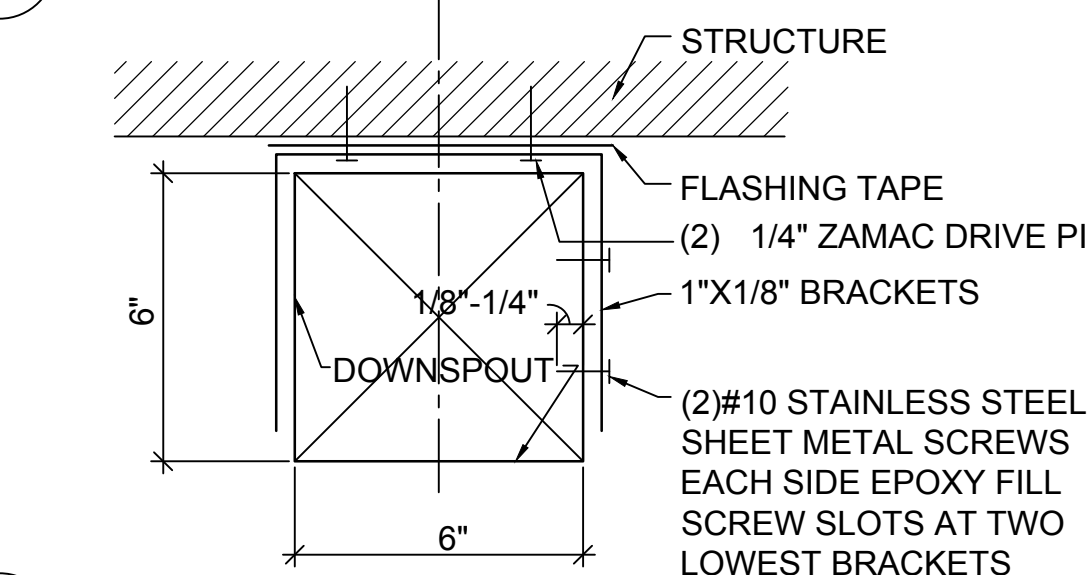
8 **DOWNSPOUT DETAIL**
SCALE: 3" = 1'-0"



A **THROAT IN PLACE**

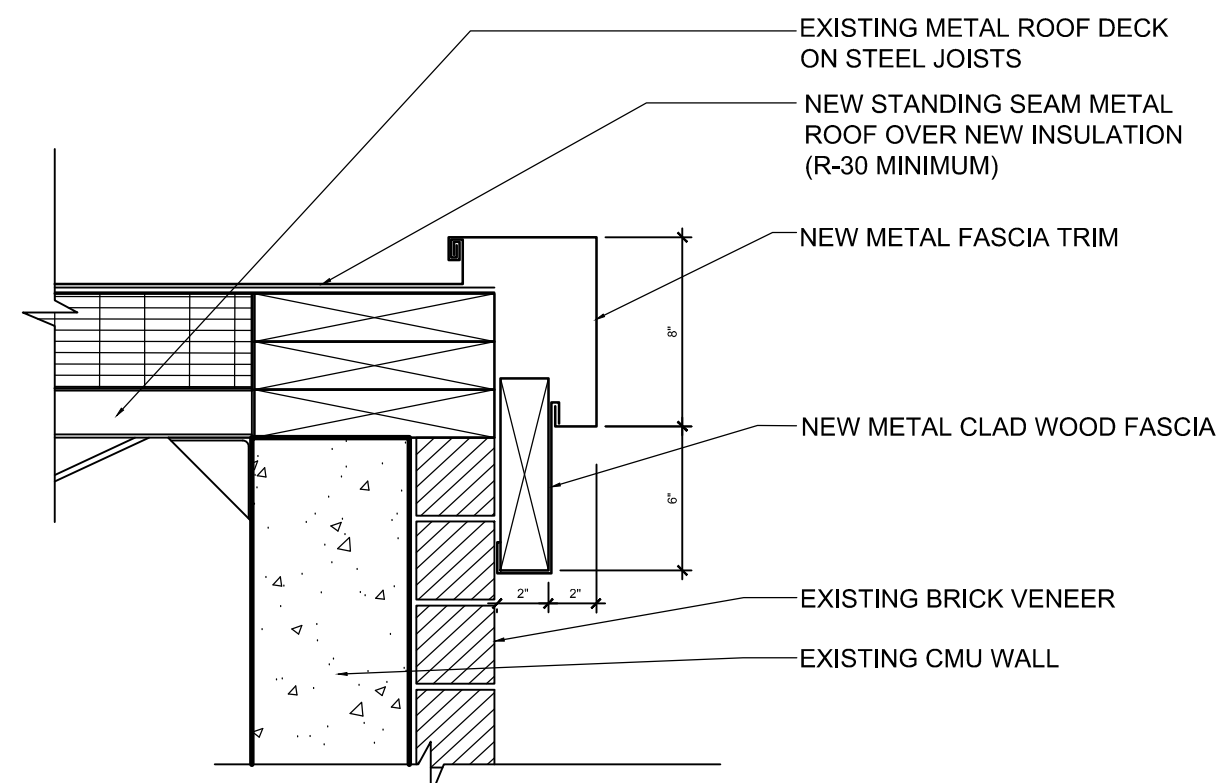


B **D.S. CONNECTION DETAIL**

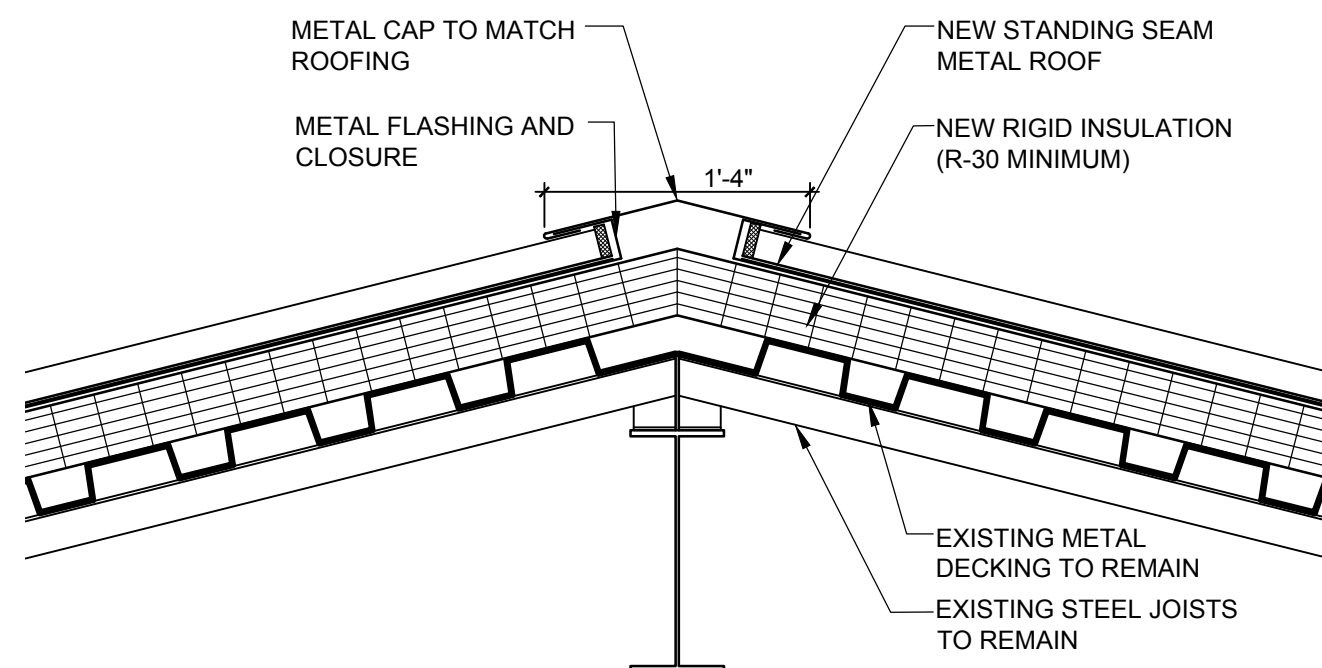


C **D.S. BRACKET SECTION**

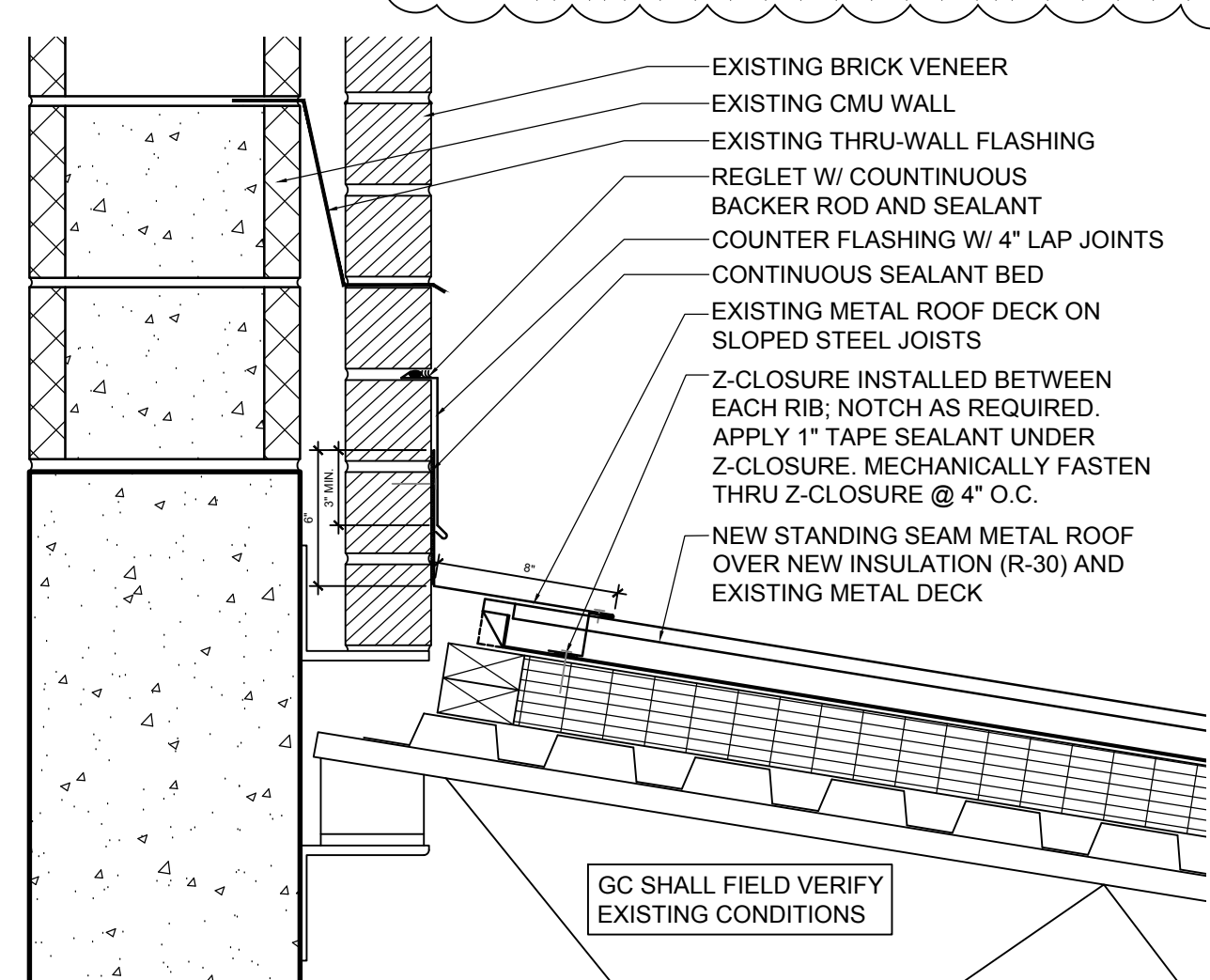
7 **DOWNSPOUT DETAIL**
SCALE: 3" = 1'-0"



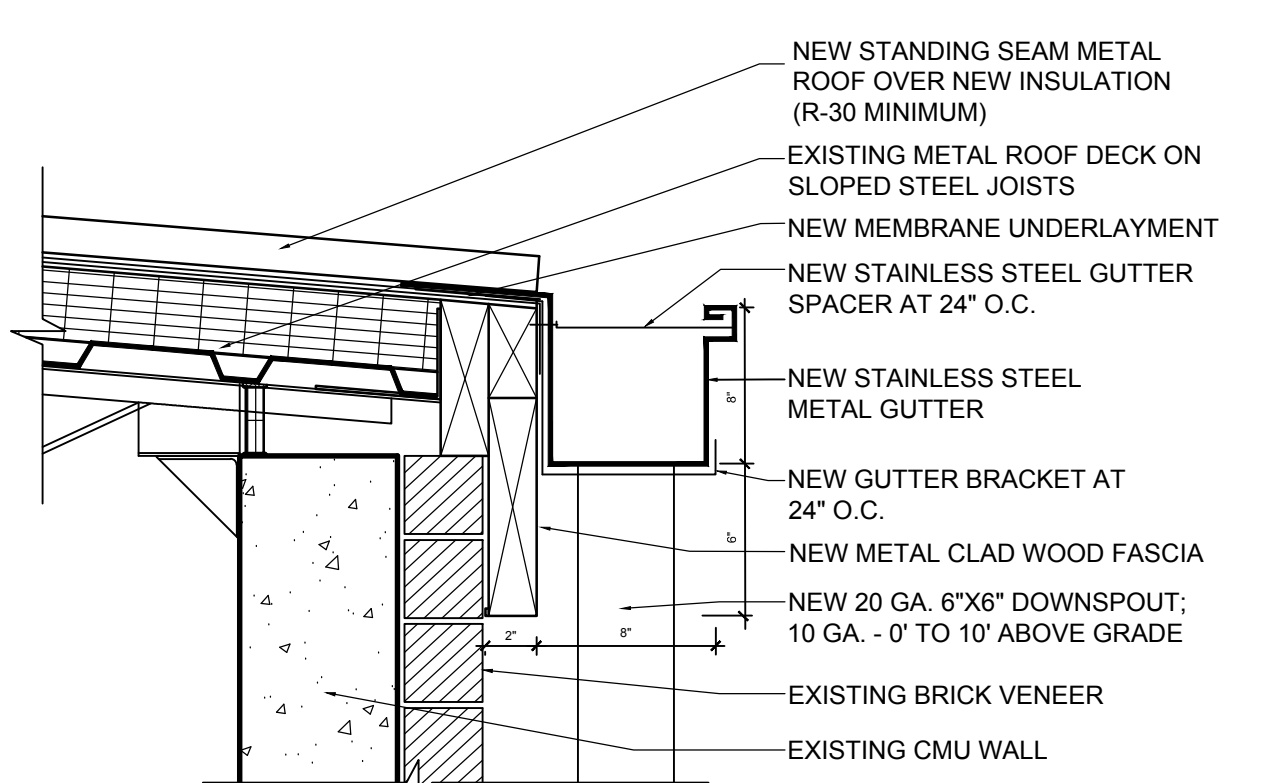
6 **ROOF DETAIL**
SCALE: 1-1/2" = 1'-0"



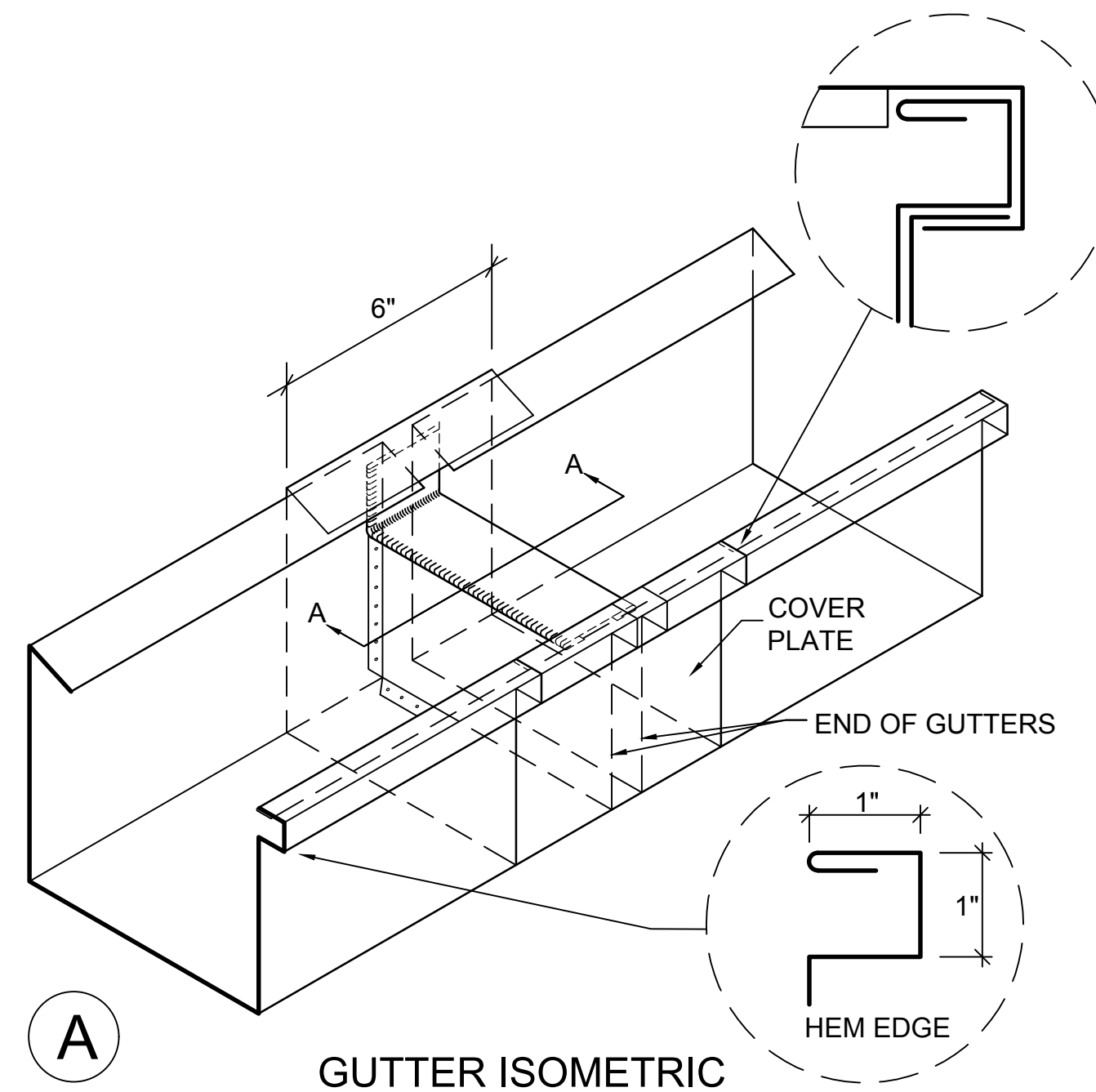
4 **RIDGE CAP FLASHING**
SCALE: 1-1/2" = 1'-0"



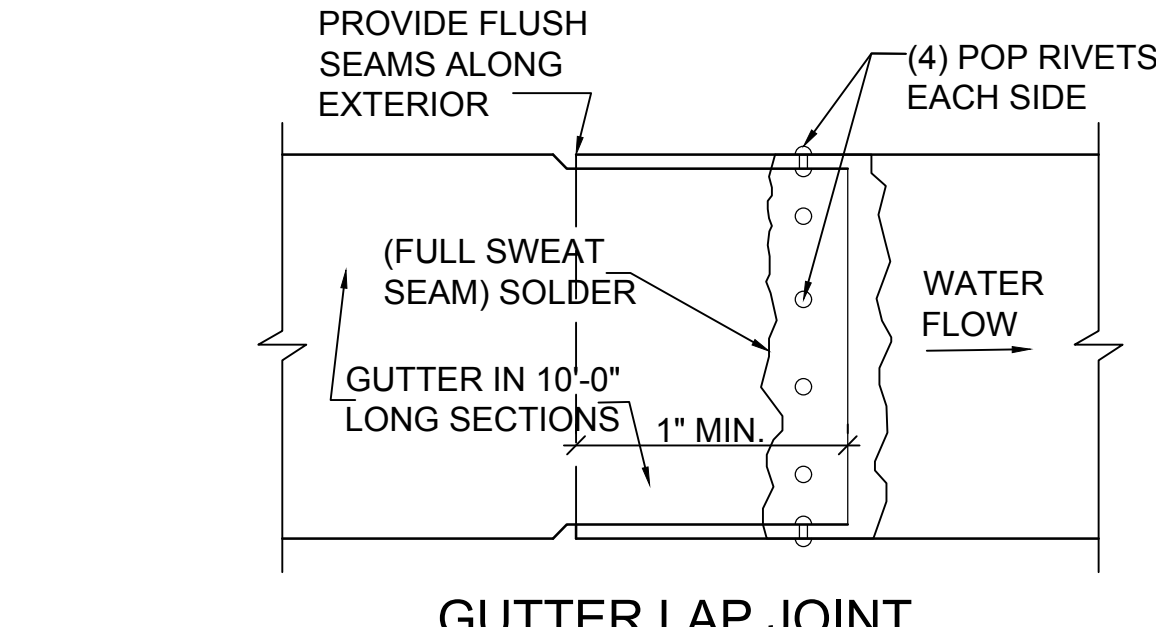
5 **ROOF DETAIL**
SCALE: 1-1/2" = 1'-0"



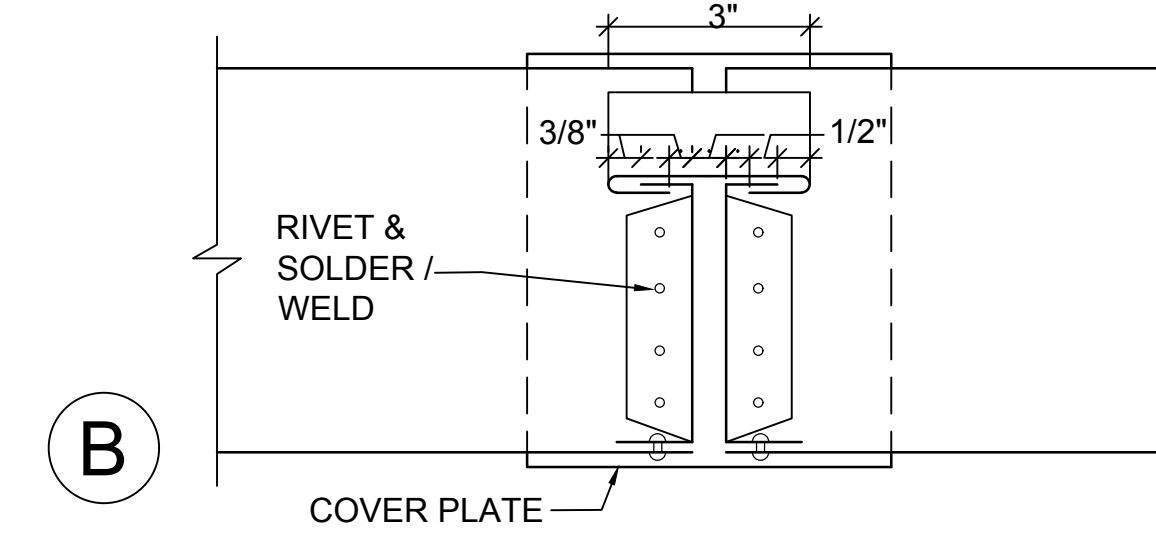
3 **GUTTER DETAIL**
SCALE: 1-1/2" = 1'-0"



A **GUTTER ISOMETRIC**

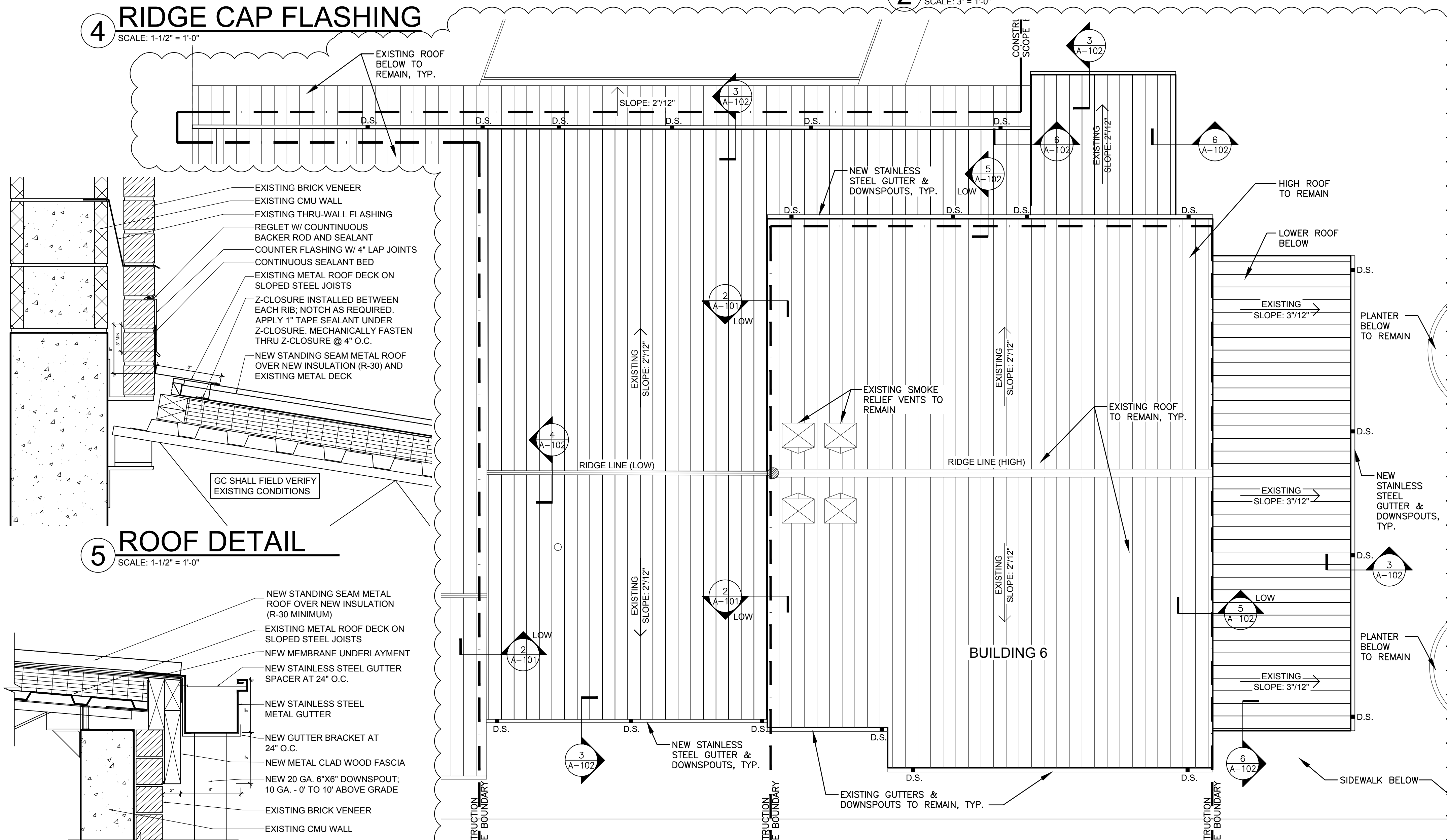


B **GUTTER LAP JOINT**



C **SECTION A-A**

2 **GUTTER DETAIL**
SCALE: 3" = 1'-0"



1 **PARTIAL ROOF PLAN**
SCALE: 1/16" = 1'-0"

LEGEND

- ROOF TO BE DEMOLISHED AND REPLACED
- EXISTING ROOF TO REMAIN
- EXISTING ROOF SLOPE DIRECTION
- D.S. NEW STAINLESS STEEL DOWNSPOUT

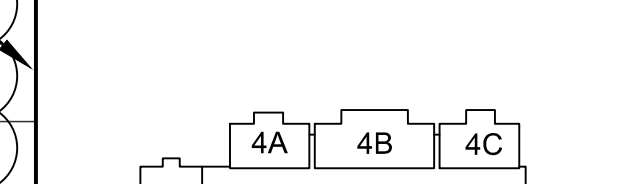
DEMOLITION NOTES

1. ALL WORK, MATERIALS AND EQUIPMENT UTILIZED IN THIS PROJECT SHALL BE NEW AND INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS. DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS SHALL BE FOLLOWED.
2. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY UNEXPECTED OR UNKNOWN FIELD CONDITIONS, ERRORS, OMISSIONS, OR DISCREPANCIES IN THE DRAWINGS, PROJECT MANUAL OR CONTRACT DOCUMENTS PRIOR TO PROCEEDING WITH THE WORK OR SHOP FABRICATIONS.
3. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL BEFORE COMMENCING FABRICATION AND/OR INSTALLATION OF ALL APPLICABLE ITEMS FOR CONSTRUCTION. ALL SHOP DRAWINGS DIMENSIONS SHALL BE FIELD VERIFIED, REVIEWED AND APPROVED BY CONTRACTOR BEFORE SUBMITTAL.
4. REMOVE EXISTING METAL ROOF PANELS AND PREPARE EXISTING STRUCTURE AS REQUIRED FOR THE INSTALLATION OF NEW METAL ROOF SYSTEM AT A MINIMUM SLOPE OF 1/4" PER FOOT.
5. NEW METAL ROOF ASSEMBLY SHALL MATCH EXISTING IN COLOR AND PROFILE.
6. INSTALL NEW STAINLESS STEEL GUTTERS AND DOWNSPOUTS IN SIMILAR LOCATION. MATCH PROFILES AND SIZES AND RECONNECT TO UNDERGROUND UTILITIES AS REQUIRED.
7. CONTRACTOR SHALL PROVIDE NEW SPLASH BLOCKS TO REPLACE EXISTING (IF REQUIRED).
8. REPAIR DAMAGED FLASHING AS REQUIRED.
9. CLEAN AND REPAINT EXISTING ROOF SMOKE RELIEF VENTS TO REMAIN. PROVIDE NEW ROOF CRICKETS ON HIGH SIDE TO PROVIDE POSITIVE DRAINAGE.
10. CONTRACTOR SHALL CAREFULLY REMOVE AND REINSTALL IDENTIFIED ROOF MOUNTED EQUIPMENT.

GENERAL NOTES

1. DEMOLITION KEY NOTES - REFER TO DEMOLITION KEYNOTES FOR SPECIFIC DEMOLITION REQUIREMENTS. SPECIFIC DEMOLITION ITEMS ARE NOT TO BE CONSIDERED ALL INCLUSIVE OR COMPLETE IN THEMSELVES. PERFORM ADDITIONAL DEMOLITION THAT MIGHT REASONABLY BE REQUIRED FOR THE PREPARATION OF INSTALLATION OF NEW CONSTRUCTION OR SPECIFIED FINISHES. DEMOLITION SHALL BE PERFORMED IN A MANNER THAT WILL NOT DAMAGE ADJOINING SURFACES INDICATED TO REMAIN. SURFACES SHALL BE PATCHED IF NECESSARY TO PROVIDE A SUITABLE SUBSTRATE FOR NEW FINISHES.
2. SITE VISIT - PRIOR TO BIDDING, THE CONTRACTOR SHALL VISIT THE FACILITY AND THOROUGHLY FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS. NO CLAIMS FOR ADDITIONAL WORK DUE TO REASONABLY INFERRED OBSERVABLE CONDITIONS WILL BE CONSIDERED.
3. SCHEDULING - SCHEDULE DEMOLITION WORK WITH OWNER'S PROJECT MANAGER PRIOR TO START OF WORK TO MAXIMIZE PRODUCTIVITY. PROTECTION - EXERCISE CARE DURING WORK TO PROTECT INTERIOR AND EXTERIOR EXISTING CONSTRUCTION TO REMAIN. REPAIR TO EXISTING CONSTRUCTION DUE TO DAMAGE SHALL BE DONE AT NO COST TO THE OWNER.
4. HAZARDOUS MATERIALS - THE CONTRACTOR SHALL IMMEDIATELY REPORT ANY HAZARDOUS OR TOXIC MATERIALS DISCOVERED TO ARCHITECT, OWNER AND AUTHORITIES HAVING JURISDICTION.
5. CUTTING AND PATCHING REQUIRED FOR THE INSTALLATION OF WORK OF OTHER TRADES SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
6. THE WORK IS TO TAKE PLACE ON AN OCCUPIED AND ACTIVE CAMPUS. ALL PERSONNEL WORKING ON-SITE WITH THIS PROJECT MUST HAVE, WEAR AND DISPLAY A MCSD BADGE. CONTRACTOR/ VENDOR MUST APPLY AT THE MCSD AND PAY FOR ALL MCSD BADGE ASSOCIATED COSTS.
7. NEW STANDING SEAM METAL ROOF BASIS OF DESIGN IS MERCHANT & EVANS, INC. ZIP-LOK 2 x 18" WIDE ALUMINUM PANELS 0.032" THICK; FINISH TO MATCH EXISTING ADJACENT PANELS. FLORIDA PRODUCT APPROVAL #16111.4
8. GENERAL CONTRACTOR SHALL PROVIDE AN ICE & WATER SHIELD IN THE ROOF REPLACEMENT ASSEMBLY.

No.	Date	Revisions	Note
1	07/18/19	OWNER	CHANGES



KEYPLAN

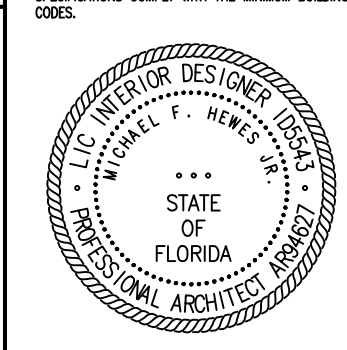
Comm. No: 16025.08

Date: 02/22/2019

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No.	Date	Revisions	Note
1	07/18/19	OWNER	CHANGES

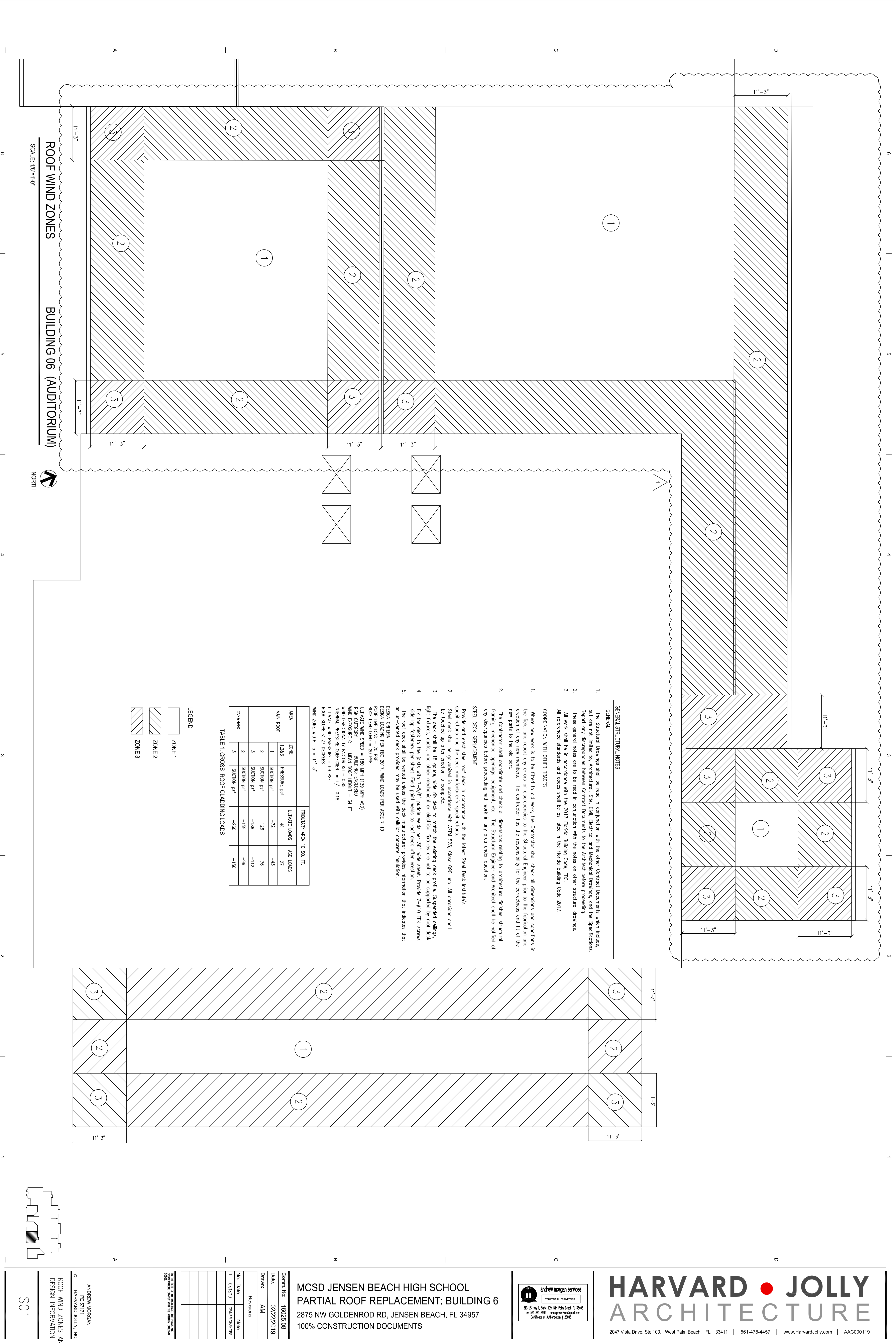
IN THE BEST OF MY KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES.



Michael F. Hewes, Jr., AIA
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PARTIAL ROOF PLAN

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