

---

**SUPPLEMENTAL INFORMATION  
ADDENDUM NO. 1**

PROJECT: ITB No. 17-55-001 – Stillwell-Clyo Road Fire Station

CONTACT: Fiona Charleton, Purchasing Agent  
912-754-2159 [fcharleton@effinghamcounty.org](mailto:fcharleton@effinghamcounty.org)

DATE ISSUED: March 31, 2017

---

---

ITB No.17-55-001 dated February, 2017 is hereby amended as noted herein : BIDDER TO ACKNOWLEDGE RECEIPT OF ADDENDUM BY SIGNING ON THE SIGNATURE LINE BELOW AND INCLUDING A COPY WITH SUBMITTED BID. FAILURE TO DO SO MAY, AT THE OWNER’S DISCRETION, SUBJECT THE BIDDER TO DISQUALIFICATION

- 1) QUESTION: There is a stockpile of dirt on the site – do we need to remove from site in our bid?  
ANSWER: No.
  
- 2) QUESTION: Please advise acceptable Steel Building manufacturers.  
ANSWER: CanAm Steel Building Systems; Vulcan Steel Structures; Star Building Systems; Inland Buildings, Shulte Building Systems (SBS) and A&S Building Systems, Steel Building Systems, Inc.  
  
Any other steel building manufacturers not listed here will be deemed acceptable if they provide a letter stating that they are in total compliance with all listed specifications in section 13-3419 of our bid documents.
  
- 3) QUESTION: Please confirm if there still site work to be performed for this project?  
ANSWER: The site work has been performed by our Public Works Department. The only thing remaining will be some fine grading underneath the driveway and building pad.
  
- 4) QUESTION: What is the key way?  
ANSWER: Schlage C Key way.
  
- 5) QUESTION: Is an Effingham County Business License required?  
ANSWER: No.
  
- 6) QUESTION: What does the site currently look like?  
ANSWER: Site has been cleared, some rough grading has been done. The County will complete the rough grading.
  
- 7) QUESTION: Is more than an acre being disturbed?  
ANSWER: No it is 0.86 acres.

- 8) QUESTION: Has there been any testing of the soil?  
ANSWER: Yes – Terracon has done the testing – the Geotechnical Engineering Report can be found in the combined technical specs.
- 9) QUESTION: Was there anything notable discovered?  
ANSWER: Yes – due to the area being low lying, the soils are not good. During rough grading of the building pad the County brought in a load of dirt and left it in-situ for 90 days or so Terracon has evaluated it and has said it is all right.
- 10) QUESTION: What type of license is required for a contractor to bid on the project?  
ANSWER: A General Contractors license.
- 11) QUESTION: If mucking is required to be performed by the contractor how will the unit price be determined?  
ANSWER: If mucking is required, it will be performed by the County.
- 12) QUESTION: Who is responsible for the erosion control – silt fence etc.?  
ANSWER: The County.
- 13) QUESTION: The soils report calls for settlement plates – who is responsible for those?  
ANSWER: The settlement plates have already been placed onsite for surcharge settling monitoring and are no longer necessary.
- 14) QUESTION: The County will have a pad on grade so the contractor will only need to come in and put down the slab?  
ANSWER: The building pad will be installed to  $\pm 0.10'$ . The contractor shall be responsible for fine grading the building pad.
- 15) QUESTION: Will the county test before proof roll?  
ANSWER: The County will perform a proof roll on its rough grading portion to ensure rough grading compaction; however, the contractor shall be responsible for his own proof roll after he has completed his fine grading.
- 16) QUESTION: Dirtwork – please clarify exactly what the contractor is responsible for?  
ANSWER: The County shall supply and place to fine grade conditions the required asphalt millings at the back and along the side of the building for the looped driveway. The contractor shall be responsible for fine grading of the subbase for the 4" GAB and 8" concrete approach drive, sidewalks, and building slab. The contractor should allow within the contract contingent monies to ensure necessary compaction for these fine grading areas.
- 17) QUESTION: If contractor wishes to use a metal building company not listed in the specs or above in question 2, what does the county need to approve a metal building company?  
ANSWER: Any other steel building manufacturers not listed here will be deemed acceptable if they provide a letter stating that they are in total compliance with all listed specifications in section 13-3419 of our bid documents.

- 18) QUESTION: Surcharge on top of pad – what to do now?  
ANSWER: The surcharge will be removed from the building pad by the county. The building pad will be installed to  $\pm 0.10'$ . The contractor shall be responsible for fine grading the building pad.
- 19) QUESTION: Who is responsible for the building permit?  
ANSWER: The contractor is responsible for obtaining the building permit.
- 20) QUESTION: Is there an estimated budget for the project?  
ANSWER: No.
- 21) QUESTION: Are any substitutions allowed for the metal building?  
ANSWER: Substitutions need to be approved by the County – see Question 17 above.
- 22) QUESTION: What type of Cypress trees are required?  
ANSWER: A Leyland Cypress tree is required.
- 23) QUESTION: Dirtwork specifications say contractor is responsible for unsuitable materials? – Please clarify.  
ANSWER: Please see answer to Question #11.
- 24) QUESTION: Who is responsible for drilling the well?  
ANSWER: The County will arrange for the well to be drilled.
- 25) QUESTION: Who is responsible for the electrical service to the well?  
ANSWER: Contractors shall supply the electrical service to the well to be stubbed at the well site. The site plan should provide sufficient approximate wiring distance.
- 26) QUESTION: Who is responsible for the septic?  
ANSWER: Contractor.
- 27) QUESTION: Is there any water onsite?  
ANSWER: No contractor will have to haul their own water.
- 28) QUESTION: Are any alarms required for the building?  
ANSWER: No.
- 29) QUESTION: Is there any certified payroll? Davis-Bacon Act?  
ANSWER: No.
- 30) QUESTION: When is the approximate start date?  
ANSWER: The bid and contract are scheduled to go before the Board of Commissioners on April 18, 2017. If approved, the Notice to Proceed (Section K of ITB) will be issued requiring work to commence within 10 days of receipt.
- 31) QUESTION: There is white PVC pipe sticking up in the building pad – what is that for?  
ANSWER: This was for the installed settlement plates. All of this will be removed by the County.

- 32) **QUESTION:** The finish Schedule indicates that there is an office, but there is not one drawn on the floor plan – please advise.  
**ANSWER:** There is not an office associated with this project. Please see revised Room Finish Schedule.
- 33) **QUESTION:** Based on the questions regarding the fire alarm requirements for this project, will the bid date be pushed out?  
**ANSWER:** A fire alarm is not required. Therefore, no.
- 34) **QUESTION:** The roof plan calls for Galvalume panels and the specs call for hot-dipped galvanized steel sheet. I would request acceptance to propose coated Galvalume metal panels which is typical metal building construction.  
**ANSWER:** Please follow the plans, not the specs, regarding the roofing panels. Please also use Galvalume for the wall panels.
- 35) **QUESTION:** Based on the instruction at the site visit, the contractor is to utilize the stockpiled fill to bring the rest of the site to grade. In our opinion most of the stockpiled material would be considered unsuitable fill as there is biodegradable material. You will not get a full compaction with this material and settling will occur over time. Please advise.  
**ANSWER:** The County will rough grade the site utilizing off-site fill for compacted areas and some stockpile material for non-compacted areas. Any fine grading fill required would be from offsite.
- 36) **QUESTION:** The elevation at the existing roadway and where the building are seems higher than the location of the new septic tank and septic field. It is our opinion that in the event of a heavy rain this will be a problem. Please advise.  
**ANSWER:** The drain field will be mounded, and the area immediately around it will be graded for positive drainage primarily toward Stillwell-Clyo’s ditch area.
- 37) **QUESTION:** The interior of the building calls for a plywood finish (T-111) in the apparatus bay. A cleaner finish would be to use a metal wall panel liner of 26 or 29 gauge. Please advise.  
**ANSWER:** The T-111 is called for on the outside of Room 101 (Bathroom). The remainder of the Apparatus Bay is to receive 26 gauge painted “U” panel metal liner panels to 8’-0” A.F.F. See revised Room Finish Schedule and Sheet A3.0.
- 38) **QUESTION:** Sheet A1.0 Room Finish Schedule shows three rooms, R-100(Apparatus Bay), R-101(Office), R-102(Bathroom). The drawing however reflect two rooms, R-100(Apparatus Bay), R-101(Bathroom). Please revise the drawing to reflect the required rooms.  
**ANSWER:** There is not an office associated with this project. Please see revised Room Finish Schedule.
- 39) **QUESTION:** Sheet E1.0 Shows a 2”conduit running underground to the property line and a stub up for telephone service. Please confirm there are no other telecommunication requirements or fees associated with telecommunication.  
**ANSWER:** There are no other telecommunication requirements or fees associated with telecommunication.

ITB No. 17-55-001 – Stillwell-Clyo Road Fire Station

- 40) **QUESTION:** In reviewing the drawings I did not notice a backflow preventer or RPZ. Please confirm they are not required.  
**ANSWER:** They are not required.
- 41) **QUESTION:** There are not any fire alarm or fire suppression drawing for this project. This is a remote building built with some combustible material. Please confirm this requirement.  
**ANSWER:** There are no fire alarms or fire suppression for this project.
- 42) **QUESTION:** The rough grade the county provided is 50’x50’ for the building. With your footings you will require a larger area due to the footing size and to insure the footings are not undermined at a later date. Will the county be providing the additional rough grading or will it be the responsibility of the contractor?  
**ANSWER:** The county will provide sufficient room around the building pad to accommodate the required footings.
- 43) **QUESTION:** How can there be an approved alternate for overhead doors?  
**ANSWER:** A letter must be provided by the manufacturer stating that they fully comply with all reference standards as listed in section 08-3323, part 1.3 of our bid documents.

**END OF QUESTIONS**

**ADDITIONAL CHANGES :**

**PLEASE AMEND** Page 01 1100 of the combined technical specs as shown below:

**1.3 WORK COVERED BY CONTRACT DOCUMENTS**

- A. Project Identification: ~~Pooler Fire Station #5~~ **Stillwell-Clyo Road Fire Station**
  - 1. Project Location: ~~204 Nordic Way, Pooler, GA 31322~~ **Stillwell-Clyo Road, Effingham County, GA**
- C. Owner: ~~The City of Pooler~~ **Effingham County Board of Commissioners**
  - 1. Owner’s Representative: ~~Matt Saxon~~ **Wesley Sherrod**
- D. The Work consists of the following:
  - 1. The Work includes: Construction and erection of a metal building located in ~~The City of Pooler~~ **Effingham County** to be used for a fire station as shown on construction drawings.

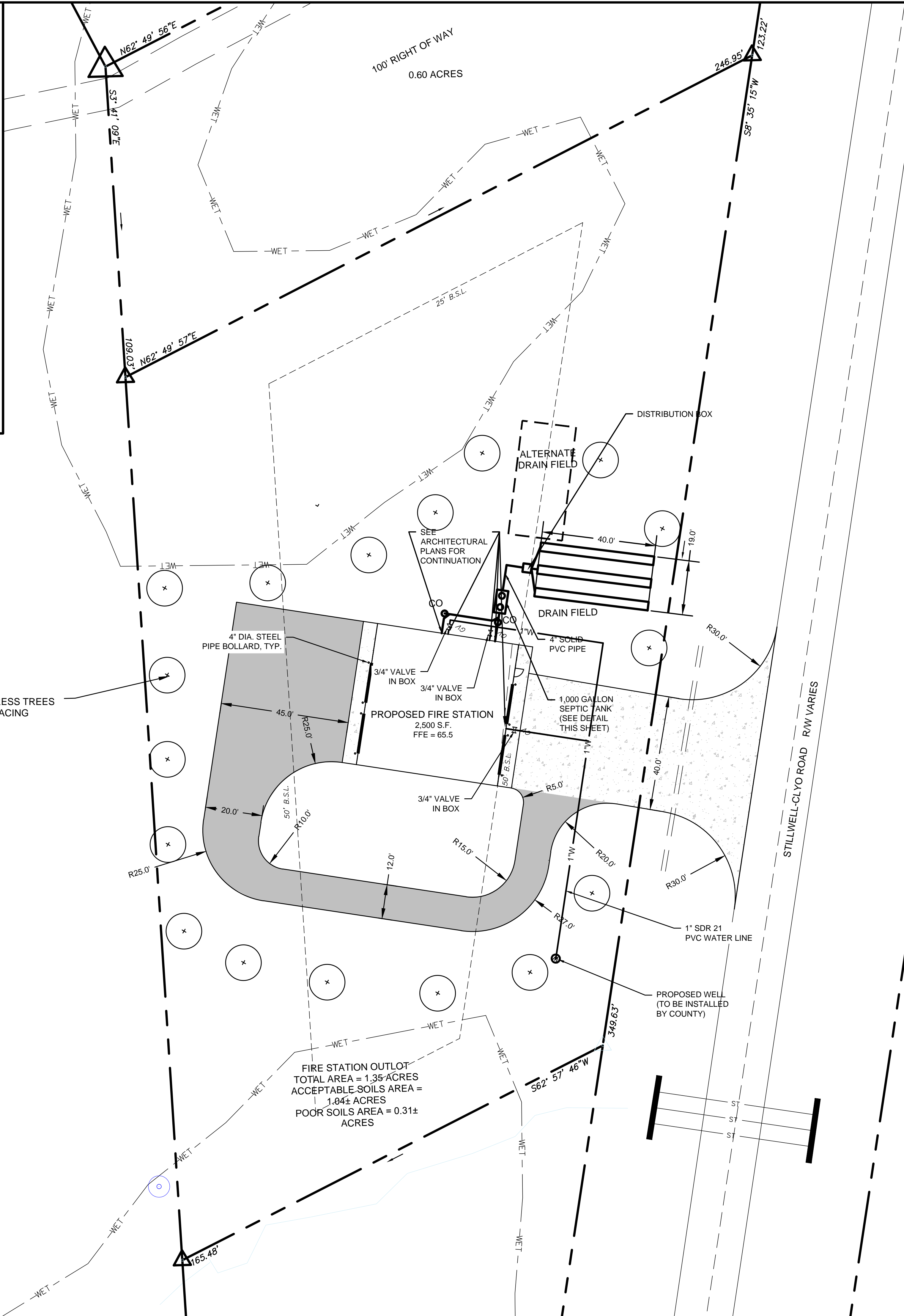
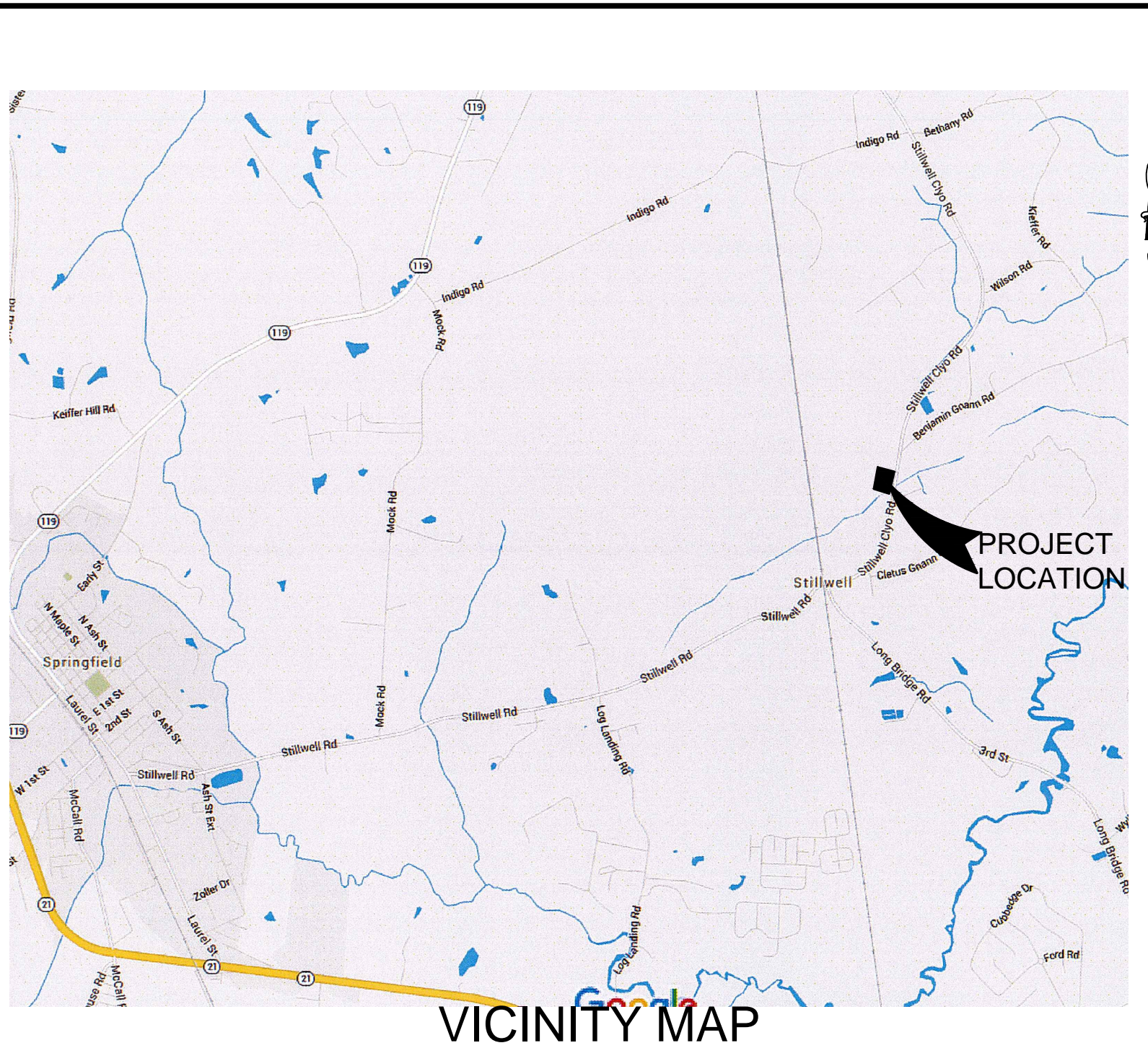
**PLEASE DELETE** from Page 13 3419 – 3 of the combined technical specs:

- H. Add Alternate #1 - Premanufactured Stucco Textured Metal Panels - See drawings for location and details.

**PLEASE REPLACE** C2.0 with the included revised Staking and Utility Plan indicating a 40’ long, not 35’ long, drain field (and corresponding alternate drain field location), and a dimension provided for the width (which is unchanged). Also, please see revised health department report for your information. Please replace A1.0 with the included Floorplan which contains a revised Room Finish Schedule.





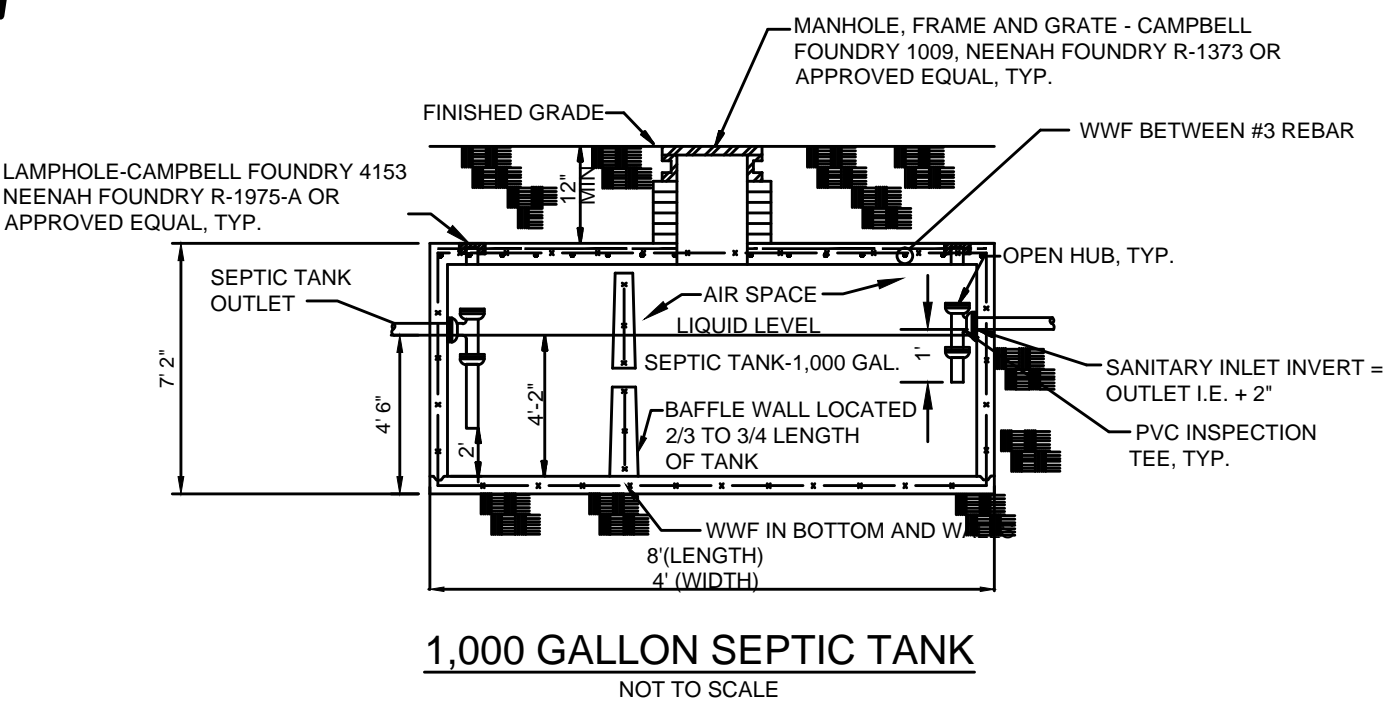
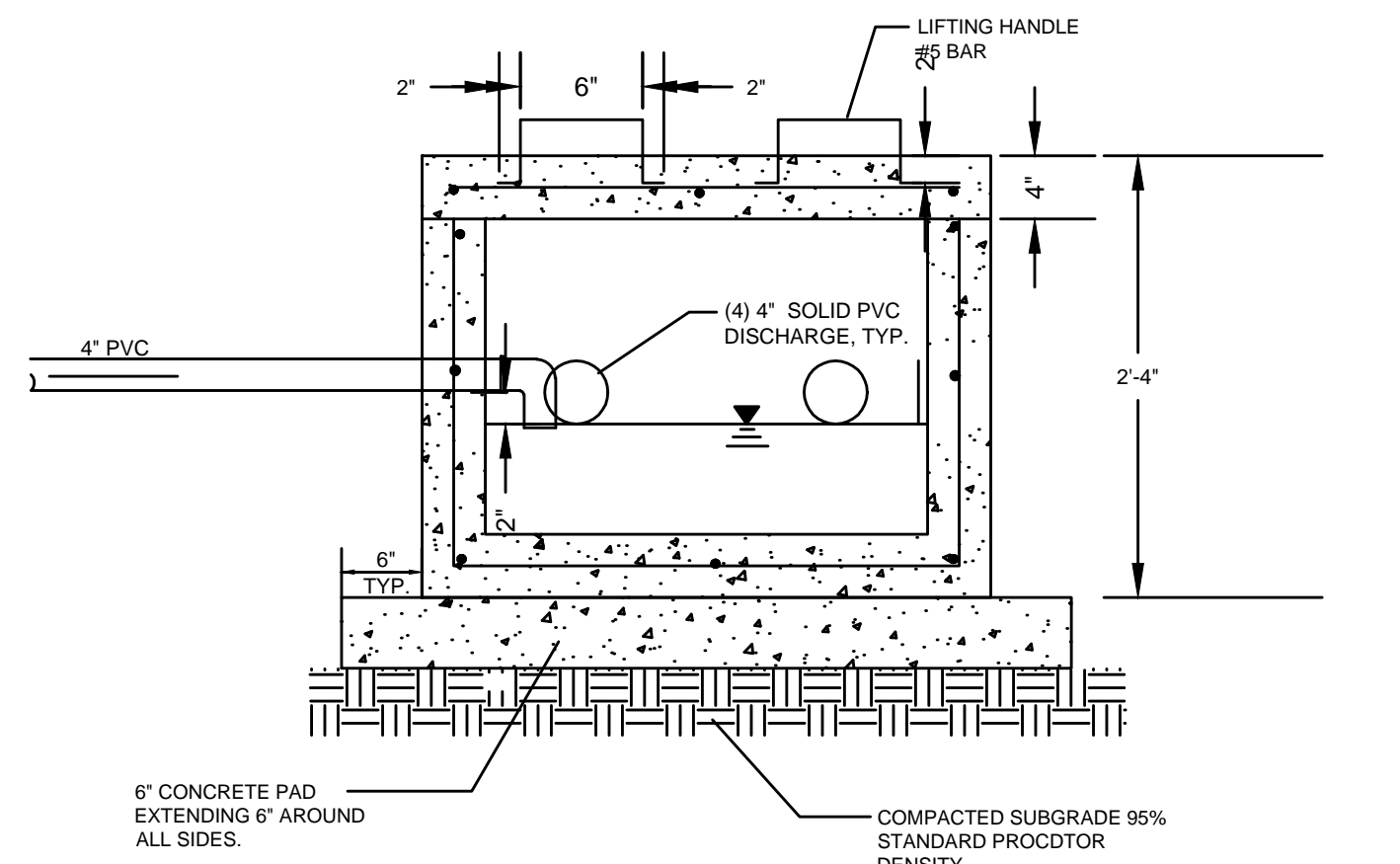
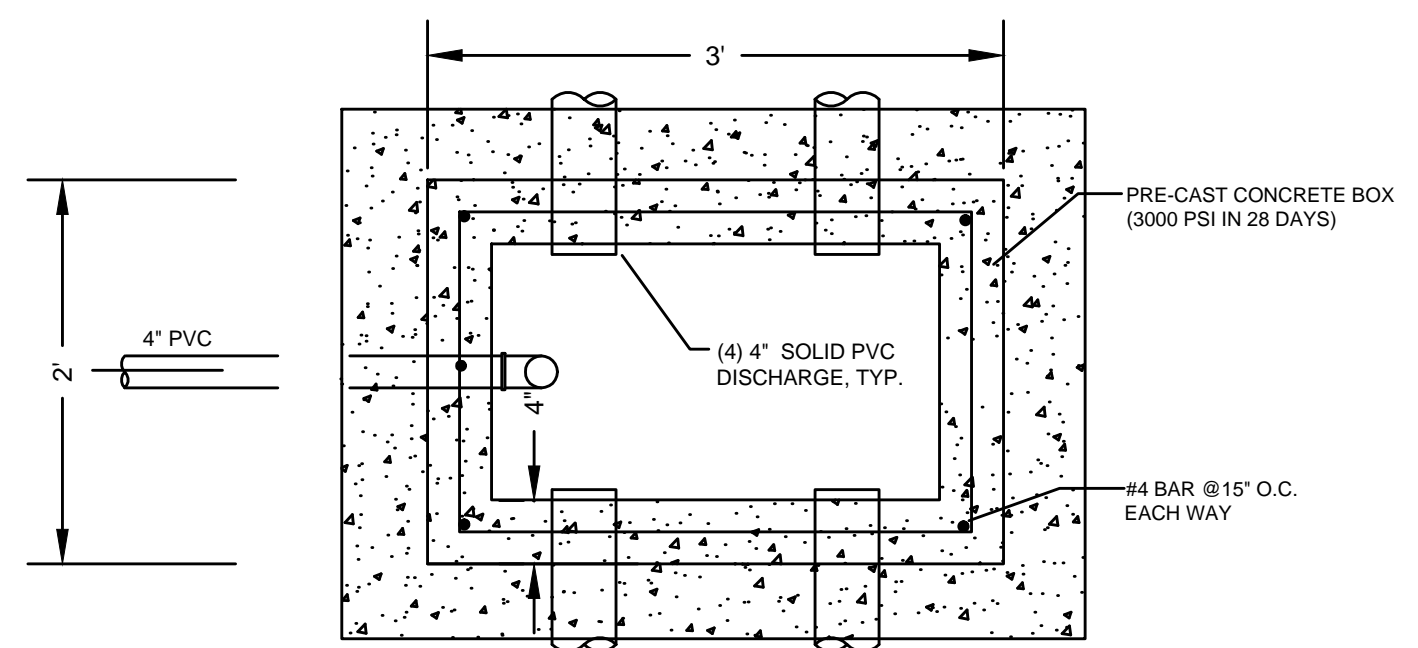


**STAKING NOTES:**

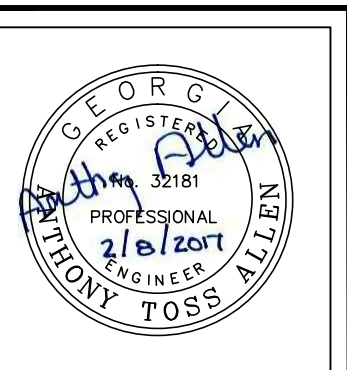
- ALL PAVEMENT MARKINGS SHALL CONFORM TO MUTCD SPECIFICATIONS.
- DIMENSIONS AND CURVE RADII ARE GIVEN TO FACE OF CURB, WHERE CURB AND GUTTER IS SHOWN. OTHERWISE DIMENSIONS ARE GIVEN TO THE EDGE OF PAVEMENT.
- SURVEYOR IS TO NOTIFY THE ENGINEER IMMEDIATELY IF ANY ERRORS OR OMISSIONS ARE FOUND DURING STAKING.
- COORDINATES SHOWN ARE FOR EARTHWORK ONLY. DO NOT USE FOR LAYOUT PURPOSES.

**SITE DATA**

1. MAP AND PARCEL 444-40
2. PROPERTY ADDRESS: 411 CLETUS GNAMN ROAD  
SPRINGFIELD, GEORGIA 31329
3. ZONING: AR-1
4. TOTAL LAND ACREAGE = 1.35 ACRES
5. TOTAL BUILDING AREA = 2,500 S.F. (FIRE STATION)
6. REQUIRED SETBACKS: FRONT YARD = 50 FEET  
REAR YARD = 50 FEET  
SIDE YARD = 25 FEET  
SIDE YARD = 25 FEET
7. ACCORDING TO THE FLOOD INSURANCE RATE MAP, AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, THIS PROPERTY IS LOCATED IN ZONE "X", NOT A SPECIAL FLOOD HAZARD AREA. (COMMUNITY NUMBER 13103, PANEL 0200D. DATED: MARCH 16, 2015)
8. ELEVATIONS SHOWN ARE BASED ON NAVD 88 DATUM.
9. HORIZONTAL COORDINATES ARE BASED ON GEORGIA STATE PLANE, EAST ZONE, US FOOT, NAD 83 DATUM.

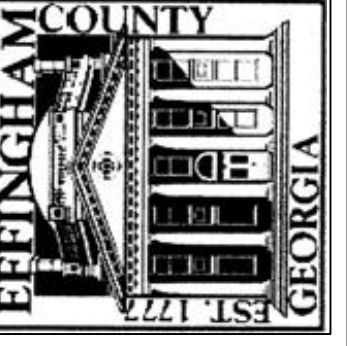


- NOTES:**
1. SEPTIC TANK SHALL BE PLACED ON 12" OF PEA GRAVEL.
  2. CONCRETE THICKNESS AND REINFORCEMENT PROVIDED BY TANK MANUFACTURER FOR STANDARD 1,000 GAL. TANK (NO TRAFFIC LOADINGS).
  3. TRIPLE TANKS TO HAVE AN EQUALIZER PIPE BETWEEN THEM AND ONLY ONE INLET AND ONE OUTLET.
  4. SEPTIC TANK AND DRAIN FIELD SYSTEM TO BE INSTALLED BY CONTRACTOR.



601 NORTH LAUREL STREET  
SPRINGFIELD, GA 31329  
PH: (912) 754-8860  
FX: (912) 754-9869

**EFFINGHAM COUNTY  
BOARD OF COMMISSIONERS  
ENGINEERING DEPARTMENT**



REVISIONS	DATE
NUMBER	

DESIGNED	WAS	WAS	CHECKED	ATA
DRAWN			DATE	FEB 2017
JOB NO.	16-001	SCALE	1" = 20'	

STILLWELL ROAD FIRE STATION  
PREPARED FOR:  
**EFFINGHAM COUNTY BOARD OF COMMISSIONERS**  
STAKING AND UTILITY PLAN



Know what's below.  
Call before you dig.

20' 10' 0' 20'  
GRAPHIC SCALE: 1"=20'-0"

SHEET NUMBER


**C2.0**



**GEORGIA DEPARTMENT OF PUBLIC HEALTH**  
**APPLICATION FOR CONSTRUCTION PERMIT AND SITE APPROVAL**  
**For On-Site Sewage Management System**

COUNTY: <b>Effingham</b>	SUBDIVISION: <b>Fire Station Stillwell-Clyo</b>	LOT NUMBER: <b>40FIR</b>	BLOCK: <b>444</b>
PROPERTY LOCATION (ADDRESS/DIRECTIONS): <b>475 STILLWELL-CLYO RD SPRINGFIELD, GA 31329</b>			

I hereby apply for a construction permit to install an On-Site Sewage Management System and agree that the system will be installed to conform to the requirements of the rules of the Georgia Department of Public Health, Chapter 511-3-1. By my signature, I understand that final inspection is required and will notify the County Health Department upon completion of construction and before applying final cover material to the system.

PROPERTY OWNER'S/AUTHORIZED AGENT'S SIGNATURE: 	DATE: <b>03/06/2017</b> <b>3/29/17</b>	
PROPERTY OWNER'S NAME: <b>Effingham County Board of Commissioners</b>	PHONE NUMBER: <b>(912) 754-8063</b>	ALTERNATE PHONE NUMBER:
PROPERTY OWNER'S ADDRESS: <b>475 STILLWELL-CLYO RD SPRINGFIELD, GA 31329</b>		
AUTHORIZED AGENT'S NAME (IF OTHER THAN OWNER): <b>Brian Alderstein</b>	PHONE NUMBER: <b>(912) 754-8063</b>	RELATIONSHIP TO OWNER:

**Section A — General Information**

1. REQUIRED SETBACK FROM RECEIVING BODIES (wells, lakes, sinkholes, streams, etc.) EVALUATED: <input checked="" type="radio"/> <b>Yes</b> <input type="radio"/> <b>No</b>	5. TYPE OF STRUCTURE (single/multi-family residence, commercial, restaurant, etc.): <b>Commercial &gt; 2001</b>	9. SOIL SERIES (e.g. Pacolet, Orangeburg, etc.): <b>Seagate</b>
2. WATER SUPPLY: <input type="radio"/> <b>Public</b> <input checked="" type="radio"/> <b>Private</b> <input type="radio"/> <b>Community</b>	6. WATER USAGE BY: <b>Gallons Per Day</b>	10. PERCOLATION RATE / HYDRAULIC LOADING RATE: <b>3 0</b>
3. SEWAGE SYSTEM TO BE PERMITTED: <input checked="" type="radio"/> <b>New</b> <input type="radio"/> <b>Repair</b> <input type="radio"/> <b>Addition</b>	7. NO. OF BEDROOMS / GPD: <b>3 2 0</b>	11. RESTRICTIVE SOIL HORIZON DEPTH (INCHES): <b>2 4</b>
4. LOT SIZE (SQUARE FEET / ACRES): <b>1 . 3 5</b>	8. LEVEL OF PLUMBING OUTLET: <input checked="" type="radio"/> <b>Ground Level</b> <input type="radio"/> <b>Basement</b> <input type="radio"/> <b>Above ground level</b>	12. SOIL TEST PERFORMED BY: <b>Bradshaw, Richard D</b>

**Section B — Primary / Pretreatment**

1. DISPOSAL METHOD: <b>Septic Tank</b>	2. GARBAGE DISPOSAL: <input type="radio"/> <b>Yes</b> <input checked="" type="radio"/> <b>No</b>	3. SEPTIC TANK CAPACITY (GALLONS): <b>1000</b>	4. ATU Capacity: <b>0</b>	5. DOSING TANK CAPACITY (GALLONS): <b>600</b>	6. GREASE TRAP CAPACITY (GALLONS):
---	---	---	------------------------------	--	------------------------------------

**Section C — Secondary Treatment**

1. ABSORPTION FIELD DESIGN: <input type="radio"/> <b>Level Field</b> <input type="radio"/> <b>Serial</b> <input type="radio"/> <b>Drip</b> <input type="radio"/> <b>Bed</b> <input checked="" type="radio"/> <b>Distribution Box</b> <input type="radio"/> <b>Mound/Area Fill</b> <input type="radio"/> <b>Other</b>	4. TOTAL ABSORPTION FIELD SQUARE FEET REQUIRED: <b>3 6 0</b>	7. NUMBER OF ABSORPTION TRENCHES:
2. ABSORPTION FIELD PRODUCT: <b>Conventional 12x36 gravel &amp; pipe</b>	5. TOTAL ABSORPTION FIELD LINEAR FEET REQUIRED: <b>1 2 0</b>	8. SPECIFIED LENGTH OF ABSORPTION TRENCHES:
3. AGGREGATE DEPTH (inches):	6. DEPTH OF ABSORPTION TRENCHES (range in inches): <b>1 8 - 2 4</b>	9. Distance Between Absorption Trenches : <b>7</b>

**Permit**

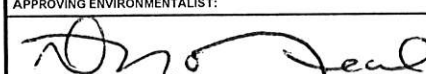
A PERMIT IS HEREBY GRANTED TO INSTALL THE ON-SITE SEWAGE MANAGEMENT SYSTEM DESCRIBED ABOVE. THIS PERMIT IS NOT VALID UNLESS PROPERLY SIGNED BELOW. THIS PERMIT EXPIRES TWELVE (12) MONTHS FROM DATE OF ISSUANCE.

ANY GRADING, FILLING, OR OTHER LANDSCAPING SUBSEQUENT TO ISSUANCE OF A PERMIT MAY RENDER PERMIT VOID.

VOID, FAILURE TO FOLLOW SITE PLAN MAY RENDER PERMIT VOID. ANY GRADING, FILLING, OR OTHER LANDSCAPING SUBSEQUENT TO FINAL INSPECTION BY COUNTY HEALTH DEPARTMENT, WHICH ADVERSELY AFFECTS THE FUNCTION OF THE ON-SITE SEWAGE MANAGEMENT SYSTEM, MAY RENDER APPROVAL VOID. INSTALLATION CONTRACTOR IS RESPONSIBLE FOR LOCATING PROPER DISTANCES FROM BUILDINGS, WELLS, PROPERTY LINES, ETC.

ISSUANCE OF A CONSTRUCTION PERMIT FOR AN ON-SITE SEWAGE MANAGEMENT SYSTEM, AND SUBSEQUENT APPROVAL OF SAME BY REPRESENTATIVE OF THE GEORGIA DEPARTMENT OF PUBLIC HEALTH OR COUNTY BOARD OF HEALTH SHALL NOT BE CONSTRUED AS A GUARANTEE THAT SUCH SYSTEMS WILL FUNCTION SATISFACTORILY FOR A GIVEN PERIOD OF TIME; FURTHERMORE, SAID REPRESENTATIVE(S) DO NOT, BY ANY ACTION TAKEN IN EFFECTING COMPLIANCE WITH THESE RULES, ASSUME ANY LIABILITY FOR DAMAGES WHICH ARE CAUSED, OR WHICH MAY BE CAUSED, BY THE MALFUNCTION OF SUCH SYSTEM.

1. SITE APPROVED AS SPECIFIED ABOVE: <input checked="" type="radio"/> <b>Yes</b> <input type="radio"/> <b>No</b>
---

APPROVING ENVIRONMENTALIST: 	TITLE: <b>District Administrator</b>	DATE: <b>03/06/2017</b>	CONSTRUCTION PERMIT NUMBER: <b>OSC05101578</b>
--	---	----------------------------	---

Form 3882 (Rev.10-2005)



**GEORGIA DEPARTMENT OF PUBLIC HEALTH  
APPLICATION FOR CONSTRUCTION PERMIT AND SITE APPROVAL**

**For On-Site Sewage Management System**

**County: Effingham  
Permit Number: OSC05101578  
Property Address: 475 STILLWELL-CLYO RD SPRINGFIELD, GA 31329  
Property Owner: Effingham County Board of Commissioners**

<b>PRESCRIBED TANK LOCATION / REMARKS:</b>
Septic tank to be installed 10 feet away from building foundation.

<b>PRESCRIBED ABSORPTION FIELD LOCATION:</b>
--

BA \* The Effingham County Health Department will determine if a Level IV Soil Survey is required. Level IV Soil Surveys will only be accepted by The Effingham County Health Department if the Department requires it for permitting. BA \*Install system in Seagate soil per soil map. Flags marked by the soil scientist must be visible at the time of final inspection to ensure proper placement of the drainfield. See the site plan submitted by the applicant. Deviations from approved site plans will void site approval and any permits issued by this office. BA \*Trench depth may not exceed 18 inches in the original soil. BA \*If the drainfield is placed in any other soil than that indicated on the permit, approval must be health department obtained. BA \*Permits are issued based upon site plans submitted at the time of application. Any deviation from the approved site plan may void your onsite sewage management permit or require submission of additional paperwork. BA \*Onsite sewage management systems are not guaranteed to function properly for any given period of time. BA \*If any unapproved fill material is found on the lot during installation, stop work and notify the health department immediately. BA \*For systems installed within 20 feet of a soil line, the characteristics of the least favorable soil will be used. BA \*24 inches of fill are required for a trench depth of 18 inches. BA \*Fill material will measure 24 inches at the highest elevation when considering slope. This means that more than 24 inches of fill will be required at the lowest elevation to bring the fill to a level grade when considering slope for a trench depth of 18 inches. BA \*There will be no more than 6 – 12 inches of cover on any drainfield material. The amount of cover will depend on type of product use. There is a required 24 inch separation from the seasonal high water table indicated on the Level III Soil Report and the bottom of the trench. Install system as shallow as possible. This may require the addition of a pump and pump tank to the system. BA \*Mound size required: 50' X 100' or larger. BA \*A distribution box must be installed when utilizing a pump tank. Manifolds are not acceptable. On level or sloping topography, the distribution box method may be used and shall be required when dosing tanks are used. A firm earthen foundation secured by concrete or concrete foundation for distribution boxes extending at least 12 inches beyond the walls of the box shall be provided to insure against tilting of the distribution box. Installation of the distribution box shall be made to provide equal flow to each absorption line extending from the box. The top of the distribution box shall have a minimum earth cover of six inches, but no more than twelve inches unless provisions are made for easy access to the distribution box. The sewer from the septic tank or dosing tank shall enter the distribution box and terminate inside the distribution box with an elbow turned downward to form a submerged outlet at normal water level to minimize turbulence. BA \*When using a distribution box, each line must be of equal length or all lines must be interconnected. BA \*If more than 12 inches of fill is used in any area of the mound, it must be certified by a soil scientist. The certification letter must be provided to this office before a final inspection is requested. Final inspections will not be scheduled if a certification letter is required and had not been received. BA \*Regardless of amount of fill, if any fill material touches the sidewalls of the product, it must be certified by a soil scientist. The certification letter must be provided to this office before a final inspection is requested. Final inspections will not be scheduled if a certification letter is required and had not been received. BA \*The entire area for fill must have all debris, organic matter and topsoil removed. Till area for fill 6-8 inches and backfill to grade. Then construct mound and cap mound with topsoil. It is unacceptable to muck out only the trench bottoms. BA \*For circumstances requiring the onsite sewage system area to be mucked out, the area for the system must be mucked out entirely. It is unacceptable to muck out only the trench bottoms. BA \*Maintain all required setbacks. BA \*There must be an unobstructed area on each lot for installation of an approved on-site sewage management system and an area equal in size for a conventional system or larger area, as appropriate, for an approved replacement system; this will include sufficient area for necessary site modifications for installation of both the initial system and a replacement system. All future modifications to this site will require a site plan drawn to scale showing all existing structures including all components of the existing septic system, proposed replacement area of equal size and proposed structural additional to the property. Based on a review of the site plan and proposed changes, approval may be granted, however, this is NOT guaranteed. BA \* Individual wells, regardless of use, are not to be placed on lots where final approval for the lot or subdivision was granted in part due to use of an approved public or community water system (i.e. EPD approved well). If an individual well is placed on a lot that was approved in part due to use of an approved public or community system, the onsite sewage management permit and approval is void. BA \*Trees should be 15 feet from drainfield lines. Root intrusion can cause premature malfunction. BA \*Divert roof water away from system. Gutters should divert roof water away from the onsite sewage management system. Additionally, gutter spouts for be directed away from the onsite sewage management system. BA \*Do not drive over any portion of your septic system. BA \*Excessive water usage may decrease the lifespan of the septic system. BA \*If issues arise before, during or after installation that may affect system functionality or longevity, the installer should call (912) 754-6850 to report the problem. BA \*If the lot has been altered, a level IV soil survey may be required. BA \*Installers must call (912) 754-6850 between 8:00AM and 9:00AM on the day of inspection to schedule a final inspection. The permit for inspection must have been picked up by the applicant. The permit must have been purchased. If applicable the certification letter received as well as any other required documents. All the above criteria must be met BEFORE the final inspection is scheduled. There are no exceptions. Please note that this office is closed on all observed State of Georgia Holidays. BA \*Final inspections will not be conducted unless all the components of the onsite sewage management system are completely installed. If the installer has not completed the installation prior to or at the scheduled time, a new time must be scheduled. Inspectors will attempt to re-schedule the inspection for the same day, but there is no guarantee that inspectors will be able to accommodate a same day reschedule. BA \*If an installer has not completed the installation of the onsite sewage management system, the installer must call to reschedule the appointment prior to the inspector's arrival. A \$50.00 re-inspection fee will be charged if inspectors visit a site and are unable to

Georgia Application for Construction Permit and Site Approval

complete the inspection. BA \*There is a \$50.00 re-inspection fee. This fee must be paid prior to scheduling re-inspections.  
BA \*During times of inclement weather, inspections will not be scheduled. BA \*Call (912) 754-6850 if you have any questions.  
BA Signature Brian Adlerstein Print Name  
3/29/17 Date



## PRE-BID SITE VISIT AND MEETING SIGN IN SHEET

PROJECT : 17-55-001 – Construction of Stillwell-Clyo Road Fire Station

MEETING DATE : March 24, 2017 at 09.30am EST

Name PLEASE PRINT	Arrival Time	Company – Name and Address PLEASE PRINT	Phone	Email PLEASE PRINT
<del>XXXXXX</del>		<del>Effingham County Board of Commissioners, 601 N Laurel Street, Springfield, GA 31329</del>	<del>XXXXXXXXXX</del>	<del>XXXX@effinghamcounty.org</del>
Wesley Sherrod	0900	Effingham County Board of Commissioners, 601 N Laurel Street, Springfield, GA 31329	912-754-8011	<a href="mailto:WSherrod@effinghamcounty.org">WSherrod@effinghamcounty.org</a>
Fiona Charleton	0900	Effingham County Board of Commissioners, 601 N Laurel Street, Springfield, GA 31329	912-754-2159	<a href="mailto:fcharleton@effinghamcounty.org">fcharleton@effinghamcounty.org</a>
ROBERT Billock		WFO CONSTRUCTION 1514 BERNITA ST JACKSONVILLE, FL 32211	678-209- 9790	<a href="mailto:rbillock@wfoconstruction.com">rbillock@wfoconstruction.com</a> <a href="mailto:MATT@wfoconstruction.com">MATT@wfoconstruction.com</a>
Melode Conner	0915	Superior Excavation 229 Golden dr Rincon Ga	912-295-5846	<a href="mailto:wayneconner@superiorexcavation.net">wayneconner@superiorexcavation.net</a>
AL WILSON	0915	FH PASCHEN 1344 LA FRANCE SUITE 2 ATLANTA, GA.	850-375-0284	<a href="mailto:awilson@fpaschen.com">awilson@fpaschen.com</a>
Keith Egan	9:15	C. Merrill construction 9528 301 S. Statesboro GA 30458	912-988-8934	<a href="mailto:Keith@cmerrillconstruction.com">Keith@cmerrillconstruction.com</a>
Russell Hartley	9:18	Larry Pittman + ASSOC.	803-724-7602	<a href="mailto:bfarnum@lpa-ga.com">bfarnum@lpa-ga.com</a>

PROJECT : 17-55-001 – Construction of Stillwell-Clyo Road Fire Station

MEETING DATE : March 24, 2017 at 09.30am EST

Name PLEASE PRINT	Arrival Time	Company – Name and Address PLEASE PRINT	Phone	Email PLEASE PRINT
Zach Hawk	9:10	Hawk Construction LLC	912-587-5890	SSteel@bullch.net
GREG POLK	9:10	TIPPINS-POLK CONST. INC. HWY 301 S. STATESBORO, GA 30458	912-682-2776	rpolk@tippins-polk.com
Anthony Vallery	9:15	DeRalco Inc Prime	7067901445	deralco@bellsouth.net
SIM GREENE	9:15	RE-CRAWFORD SARASOTA - FL.	508-989-1456	JGREENE@CRAWFORD.COM



PROJECT : 17-55-001 – Construction of Stillwell-Clyo Road Fire Station

MEETING DATE : March 24, 2017 at 09.30am EST

Name PLEASE PRINT	Arrival Time	Company – Name and Address PLEASE PRINT	Phone	Email PLEASE PRINT
ROBERT Tillman	9:15	ALTAMANTA BLDG Syst. 12546 Hwy 144 SURREY, GA 31563	912-366- 8486	absirobert@gmail.com
MATT TURNER	9:15	JOHNSON-LAUX CONSTRUCTION 31 PARK OF COMMERCEWAY STE 400 SAVANNAH, GA 31405	912-678 5753	matt@johnson-laux.com
Chris Deus	9:20	Griffin Contracting, Inc. 122 Pipemakers Circle, Suite 207 Pooler, GA 31322	912-965- 0111	chrisd@griffincontracting.com
Joe Marchese	9:21	Marchese Construction 45 Columbia DR Pooler GA 31322	912- 330-8575	Estimating@Joe Marchese Construction.com Joe@ Joe Marchese Construction.com
TODD BOYER	9:28	CNB CONSTRUCTION 6 LAKE SHORE CT. SAVANNAH, GA 31419	912- 210-9678	toddboyer@comcast.net
Larry Forbes	9:30	JMS ELECTRICAL 198 OKATIE RD BLUFFTON, S.C.	843-415- 2836	LForbes, AJS Electrical@ windstream.com
Talia Warr	10:00	Eco friendly Contracting	912 344-4229	E7cont

PROJECT : 17-55-001 – Construction of Stillwell-Clyo Road Fire Station

MEETING DATE : March 24, 2017 at 09.30am EST

Name PLEASE PRINT	Arrival Time	Company – Name and Address PLEASE PRINT	Phone	Email PLEASE PRINT
Sim Arentz	9:15	Arentz General Contracting	912-547-4300	Sim@arentzgeneralcontracting.com
Daniel Lynn	9:20	Lynn Construction Contracting	912 734 3483	daniellynn_lw@yahoo.com
Rachael Lee	9:30	RL Construction Group Inc.	912 3545588	rleeconstructiongroup @ gmail.com



Addendum No.1

ITB No. 17-55-001 – Stillwell-Clyo Road Fire Station

---

All other terms and conditions in RFP 17-55-001 remain unchanged.

Effingham County reserves the right to reject any and all proposals, to waive any technicalities or irregularities and to award the offer based upon the most responsive, responsible submission.

Please sign receipt of this Addendum No. 1 below:

\_\_\_\_\_

Print Name

\_\_\_\_\_

Signature

\_\_\_\_\_

Date

**END OF ADDENDUM NO. 1**