



Architectural Services

130 Regional Park Drive
Kingsport, TN 37660
Phn (423) 349-7760
Fax (423) 349-7413
www.grcinc.com

ADDENDUM ONE

Project: **Sullivan County Schools East High School Tennis Court Renovations**

Address: **4180 Weaver Pike, Bluff City, TN**

July 24, 2023

This Addendum is part of the Contract Documents for the above referenced project and modifies the original drawings and/or specifications, dated **May 1, 2023**, as noted below. The bidder shall acknowledge receipt of this Addendum in the place provided in the Bid Form. The published bid date and time shall remain the same.

GENERAL:

1. See attached Pre-Bid Meeting sign in sheet.

CLARIFICATION:

1. See attached Pre-Bid meeting notes.

DRAWINGS:

1. **DRAWING C-002 – DEMOLITION PLAN** – See revisions noted as Addendum #1.
2. **DRAWING C-100 – LAYOUT PLAN** - See revisions noted as Addendum #1.
3. **DRAWING C601 – SITE DETAILS** - See revisions noted as Addendum #1.

SPECIFICATIONS:

1. **Bid Form** – See inclusion of Alternate #3.
2. **Bid Form** – Alternates are to be identified as either ADD or DEDUCT by circling the appropriate indication.
3. **Bid Form** – Unit Price #2 has been revised to be based upon Square Foot quantity.

Cain Rash West Architects

Richard Lutz

OFFICE OF THE SULLIVAN COUNTY PURCHASING AGENT
 3411 HIGHWAY 126-SUITE 201
 BLOUNTVILLE, TN 37617-0569

KRISTINIA DAVIS
 PURCHASING AGENT

PHONE 423-323-6400
 FAX 423-323-7249
 kris.davis@sullivancountyttn.gov

PRE-BID ATTENDANCE RECORD

DATE: 07.18.23 TIME: 2:00pm
 PROJECT DESCRIPTION: Sullivan East Tennis Court Replacement
 LOCATION OF PROJECT: Sullivan East High School

*NOTE: MANDATORY PRE-BID MEETING REQUIRES REPRESENTATION OF COMPANY AGENT, VERIFIED BY REGISTRATION, TO AFFORD AN OPPORTUNITY FOR COMPANY TO OFFER A PRICED PROPOSAL.

Purchasing Dept: Michelle Ramsey

| YOUR NAME | COMPANY / AGENCY | PHONE NUMBER | EMAIL ADDRESS |
|---------------|---------------------|----------------|---------------------------------|
| WILL FERGUSON | BASELINE | 865 599-0142 | will e baseline@baseline.com |
| Curt Taylor | Pave Well Paving Co | 423-323-8121 | Curt@PaveWellPaving.com |
| Jason Pellard | CHA | 518) 821-2336 | jpellard@cha.com |
| MILT LIETZKE | CRW | (423) 383-5430 | MILT@CRW.COM |
| RICHARD LUTZ | CRW | | RICKL@CRW.COM |
| Anchly Abre | East High | 423-354-1900 | anchly.abre@sullivan.k12.tn.net |
| Kim Carr | East High | 423-341-4406 | Kim.Carr@sullivan.k12.tn.net |

NOTES

Sullivan East High School Tennis Court Replacement

Pre-Bid Meeting

Date: Tuesday, July 18, 2023
Location: On-Site
Time: 2 pm

1. Project Overview

- ~~a. Sawcut existing asphalt at 6" inside existing perimeter fence line~~
- b. Mill existing asphalt pavement (assume 3 ½") to full extend of existing limits (approximately 6" outside existing perimeter fence line)
 - i. Protect existing stone base to maximum extent practical
- c. Supplement existing with additional stone base, assume 1"
- d. Remove and replace existing tennis net posts and nets
- e. Remove and replace (4) existing single gates with new black single gates
- f. Protect existing 12' high fence posts, cut down to 10' high and paint black
- g. Remove and replace existing fence mesh with new 10' high black mesh
- h. Remove and dispose of existing plywood hitting wall
- i. New asphalt pavement, 2" binder and 1 ½" top on courts and at facility entry drive
- ~~j. Sawcut and replace small section of asphalt at main entry gate~~
- k. New acrylic court surfacing, 2 color to match upper courts
- l. New french drain with 6" perf hdpe along west side of courts to tie into existing 24" RCP
- m. Two new 12" diameter storm cleanouts
- n. Repair existing depression/sink hole near existing light pole
- o. Base bid shall include a 5% owner's contingency

2. Alternates

- a. Add Alternate No. 1 – Remove and replace existing 12' chain link fence with new 10' high black chain link fence and gates.
- ~~b. Add Alternate No. 1 – Remove and dispose of existing plywood hitting wall.~~
- c. Add Alternate No. 2 – Remove and dispose of existing light poles and foundations.
- d. Add Alternate No. 2 – Extend new power circuit (conduit and wiring to match existing) from existing light pole at NE corner of upper courts to existing street light pole
- e. Add Alternate No. 3 – Repair sinkhole at NE corner of upper courts with a new concrete curb and structural fill

3. Unit Prices

- a. Unit Price #1 - \$/CY for additional pavement subbase below the asphalt tennis courts
- b. Unit Price #2 - \$/SF for additional asphalt pavement limits, assuming 3 ½" of asphalt and 6" of stone base



4. Instructions for Submittal of Bids
 - a. All bids must be submitted on the Bid Form supplied.
 - b. The Bid Form must be filled out in ink or be typed.
 - c. Acknowledge receipt of all addendums.
 - d. Understand the contractor qualification requirements per the asphalt paving and court surfacing specs.
 - e. Provide 5% bid bond
 - f. Submit all necessary forms within project manual

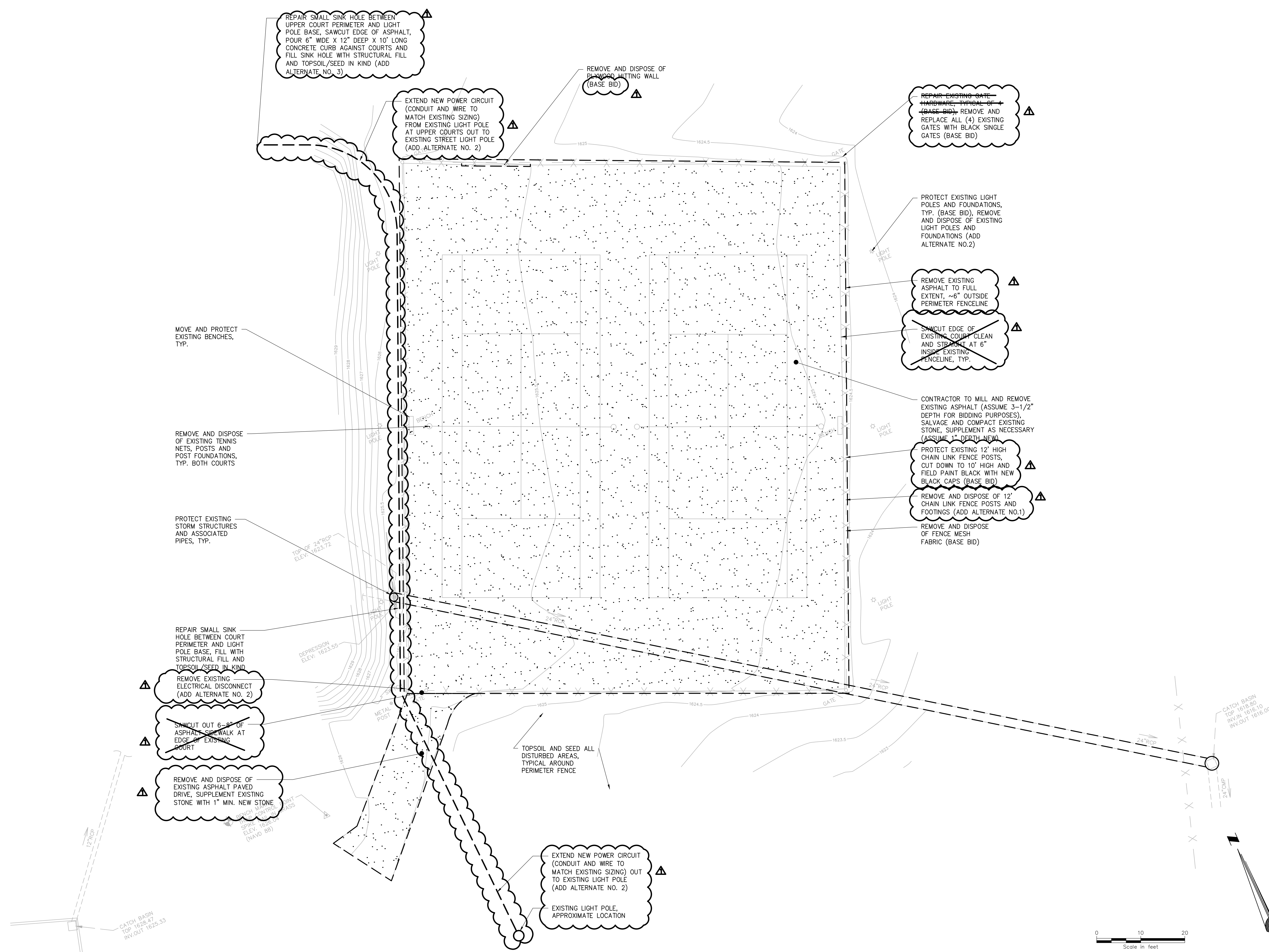
5. Information for Bidders
 - a. Bids due on Thursday 7/27/23 at 2:00pm at:
Sullivan County Courthouse
3411 Highway 126, Suite 201
Blountville, TN

 - b. Technical questions, substitution requests and inquiries must be submitted in writing by email to Jason Pollard at jpollard@chacompanies.com and copy Dineen West at dineen@grcinc.com
 - c. All questions are due by 5 PM on Friday, July 21st.
 - d. Late bids will NOT be accepted.

6. Anticipated Construction Schedule
 - a. Start Construction – August 21, 2023?
 - b. Substantial Completion – October 16, 2023
 - c. Final Completion – October 30, 2023



File: V:\PROJECTS\ANY\61082534-000\09_DESIGN\DRAWINGS\01_SHEETS\C-002 DEMOLITION PLAN.DWG
 Saved: 7/21/2023 9:58:26 AM Plotted: 7/21/2023 10:25:27 AM Current User: Pollard, Jason LastSavedBy: 3583



SULLIVAN COUNTY SCHOOLS

154 BLOUNTVILLE BYP. BLOUNTVILLE, TN 37617

IT IS A VIOLATION OF LAW FOR ANY PERSON UNLESS THEY ARE ACTING UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR TO ALTER AN ITEM IN ANY MANNER IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED. THE ALTERING ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION 'ALTERED BY FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

SULLIVAN CENTRAL MIDDLE SCHOOL

TENNIS COURT RESURFACING

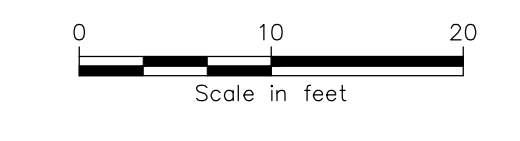
| No. | Submitted / Revision | App'd. | By | Date |
|-----|----------------------|--------|----|------|
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |

ADDENDUM NO. 1 JRP JRP 7/21/23

DEMOLITION PLAN

| Designed By: | Drawn By: | Checked By: |
|----------------------|--------------------|-----------------|
| JP | KR | EO |
| Issue Date: 7/5/2023 | Project No: 082534 | Scale: AS SHOWN |

Drawing No.: C-002



SULLIVAN COUNTY SCHOOLS

154 BLOUNTVILLE BYP. BLOUNTVILLE, TN 37617

SULLIVAN CENTRAL MIDDLE SCHOOL

TENNIS COURT RESURFACING

| No. | Submittal / Revision | App'd. | By | Date |
|-----|----------------------|--------|----|------|
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |

ADDENDUM NO. 1 JRP JRP 7/21/23

LAYOUT PLAN

| | | |
|-------------------------|-----------------------|--------------------|
| Designed By: JP | Drawn By: KR | Checked By: EO |
| Issue Date: 7/5/2023 | Project No: 082534 | Scale: AS SHOWN |

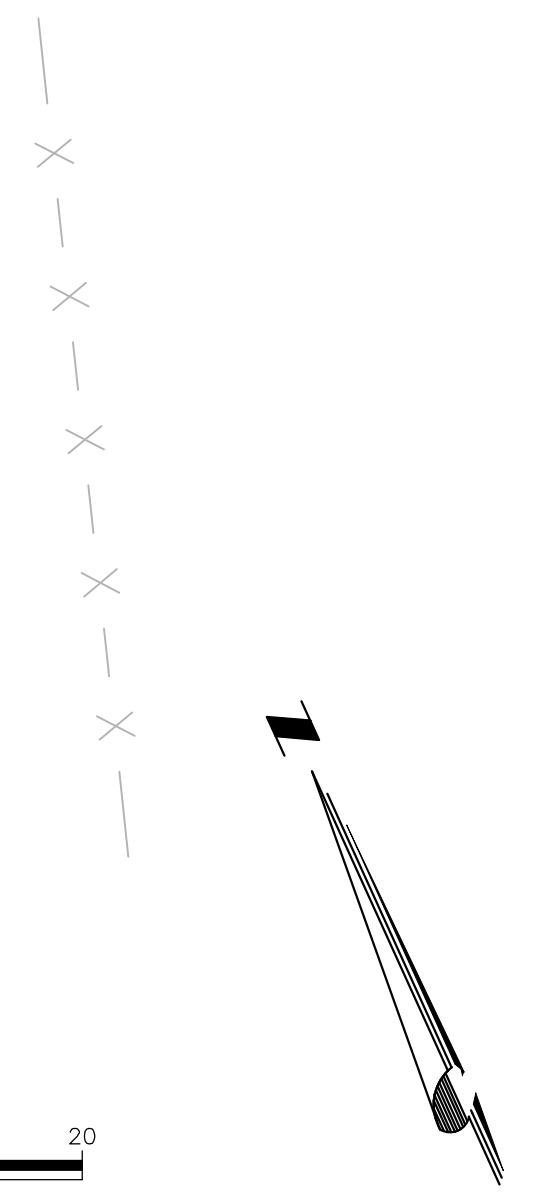
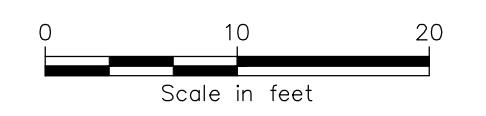
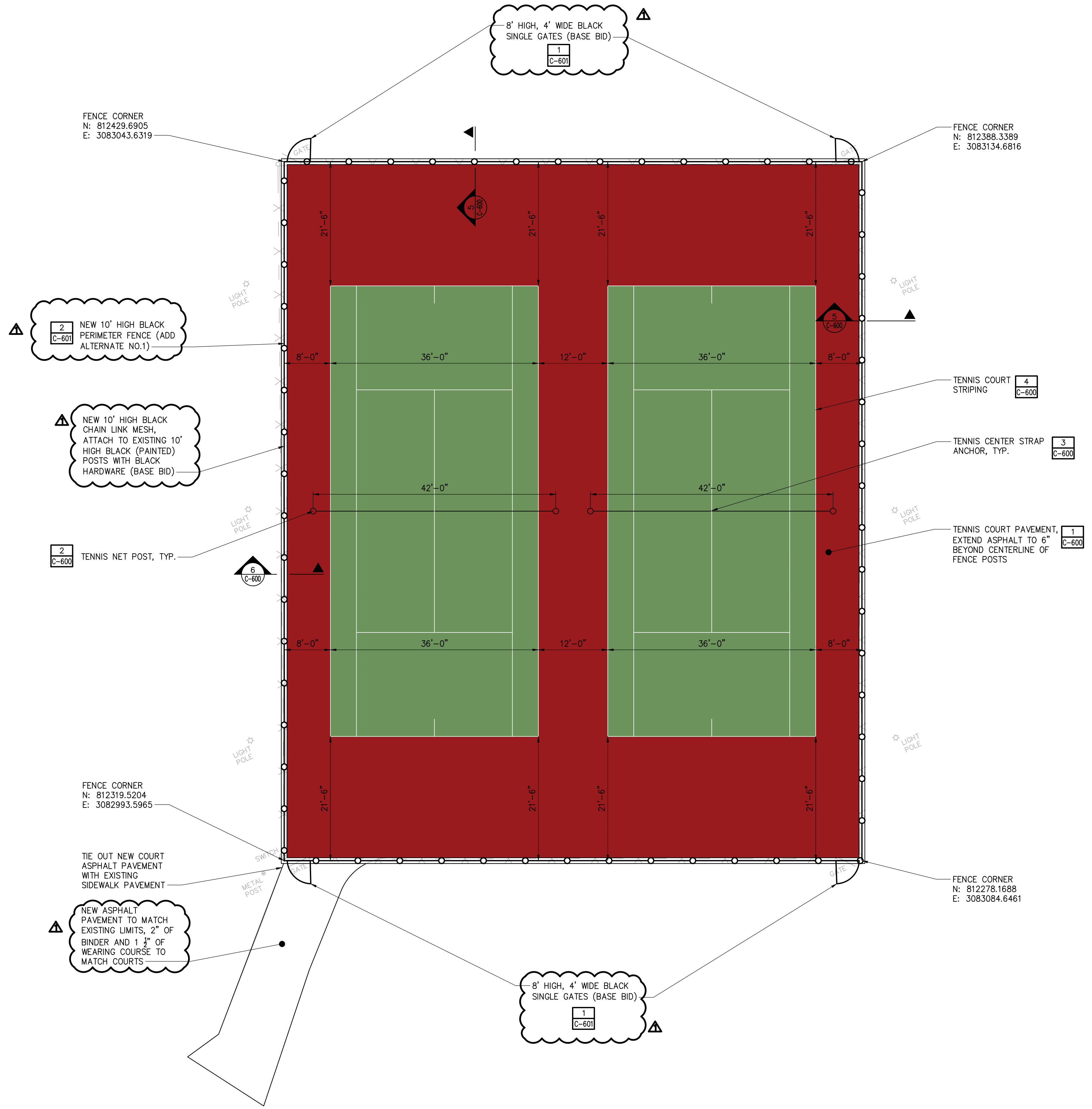
Drawing No.:

C-100

- LEGEND**
- COURT SURFACING COLOR #1 (CONFIRM COLOR WITH OWNER)
 - COURT SURFACING COLOR #2 (CONFIRM COLOR WITH OWNER)

* COURT COLORS TO BE CHOSEN FROM SURFACING MANUFACTURER'S STANDARD AVAILABLE COLORS

- NOTES:**
- ALL DIMENSIONS TO CONFORM TO ITA/USTA STANDARDS.
 - DIMENSIONS ARE TO THE OUTSIDE OF THE LINES EXCEPT FOR THE CENTERLINES.
 - COURT LINE MARKINGS:
 - COLOR: WHITE
 - WIDTH: 2"
 - DIMENSION LINES INVOLVING THE FENCE ARE TAKEN TO THE CENTERLINE OF THE FENCE.



File: V:\PROJECTS\ANY\K6\082534-000\09_DESIGN\DRAWINGS\01_SHEETS\C-100_LAYOUT_PLAN.DWG
Saved: 7/21/2023 8:58:11 AM Plotted: 7/21/2023 10:25:50 AM Current User: Pallard, Jason Last Saved By: 3583

IT IS A VIOLATION OF LAW FOR ANY PERSON UNLESS THEY ARE ACTING UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR TO ALTER AN ITEM OR ANY PART OF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED. THE ALTERING ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

IT IS A VIOLATION OF LAW FOR ANY PERSON UNLESS THEY ARE ACTING UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR TO ALTER AN ITEM OR ANY PART OF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED. THE ALTERING ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

| No. | Submittal / Revision | App'd. By | Date |
|-----|----------------------|-----------|------|
| | | | |
| | | | |
| | | | |
| | | | |

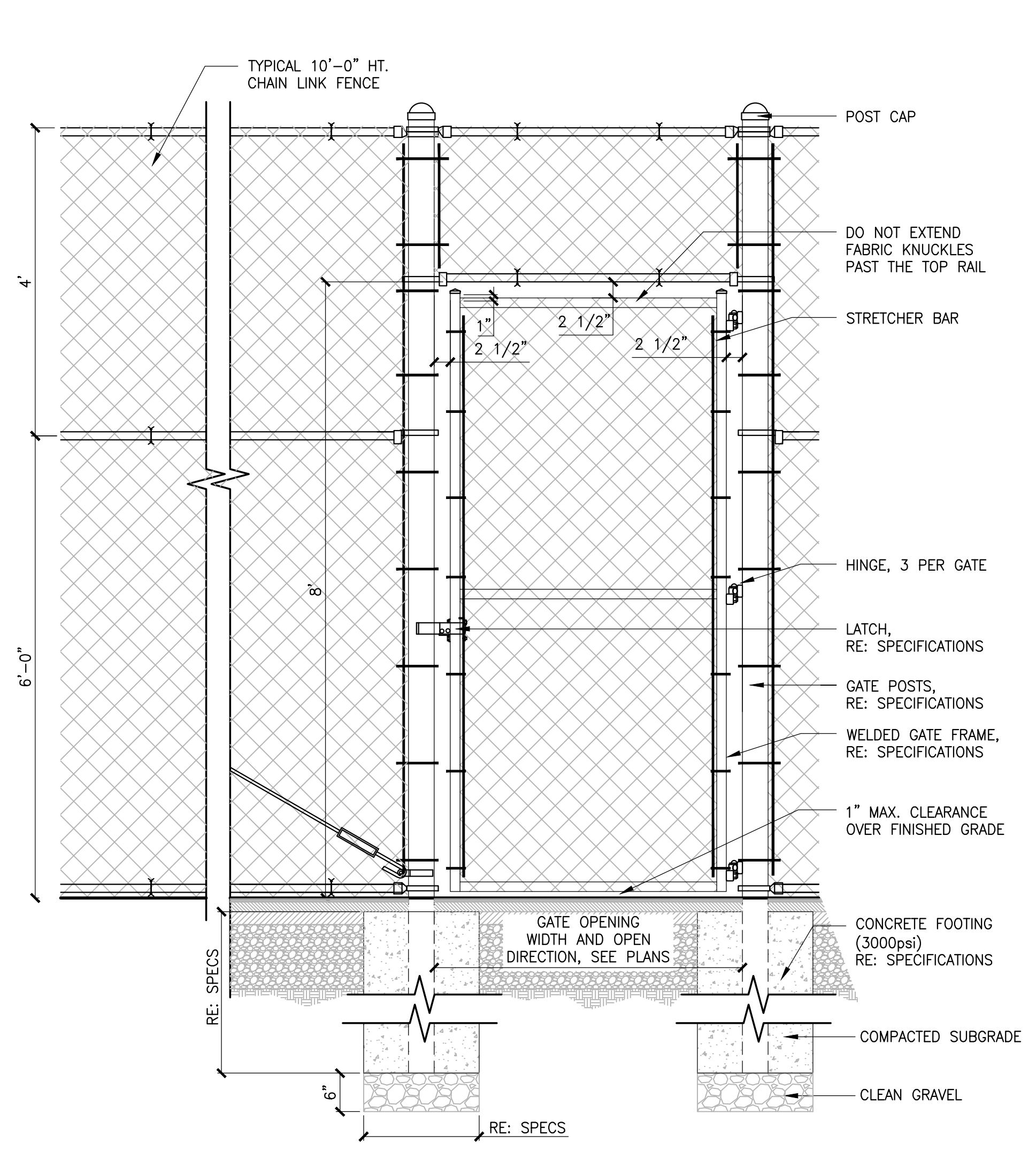
ADDENDUM NO. 1 JRP JRP 7/21/23

SITE DETAILS

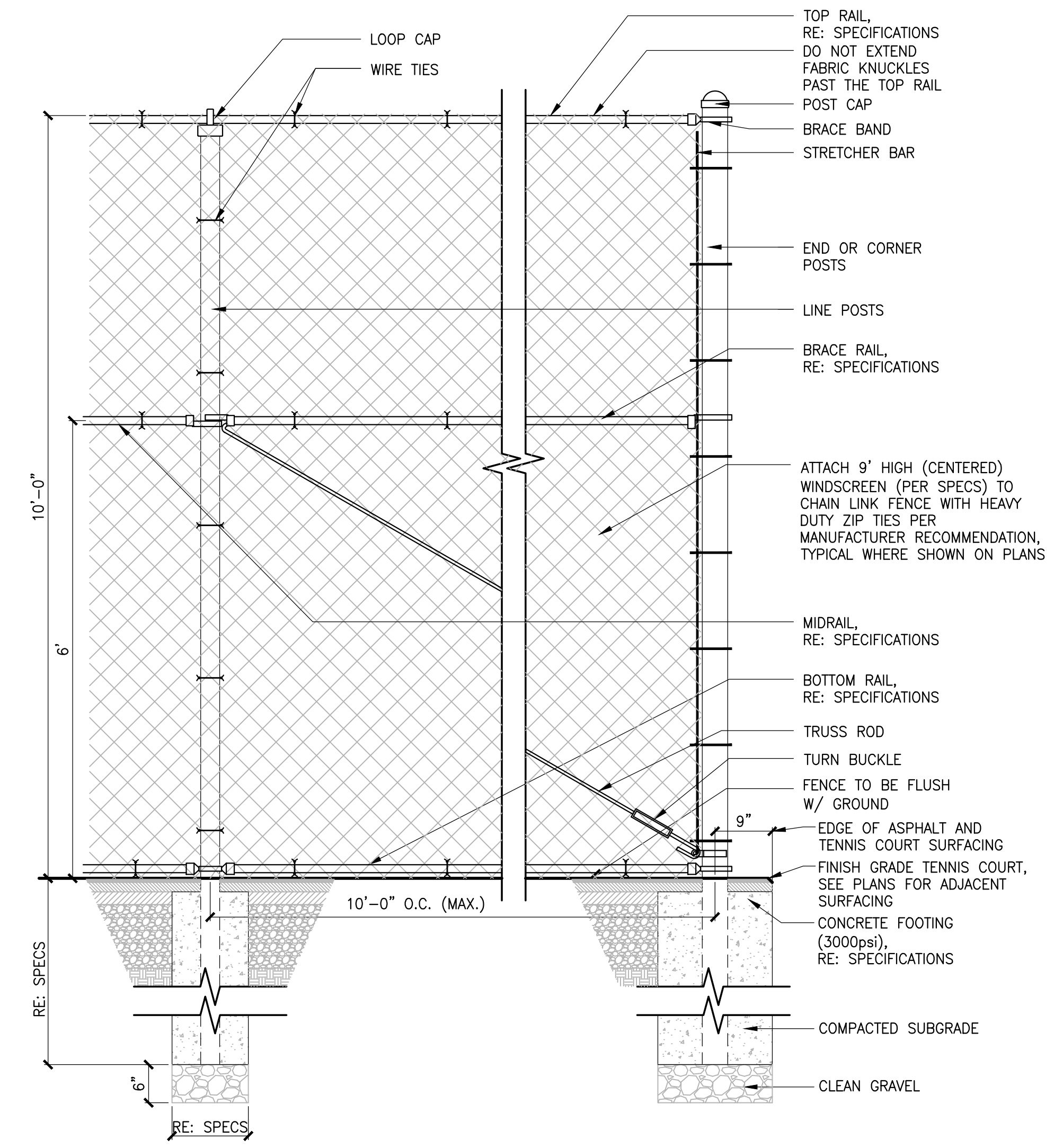
| Designed By: | Drawn By: | Checked By: |
|--------------|-------------|-------------|
| JP | KR | EO |
| Issue Date: | Project No: | Scale: |
| 7/5/2023 | 082534 | AS SHOWN |

Drawing No.:

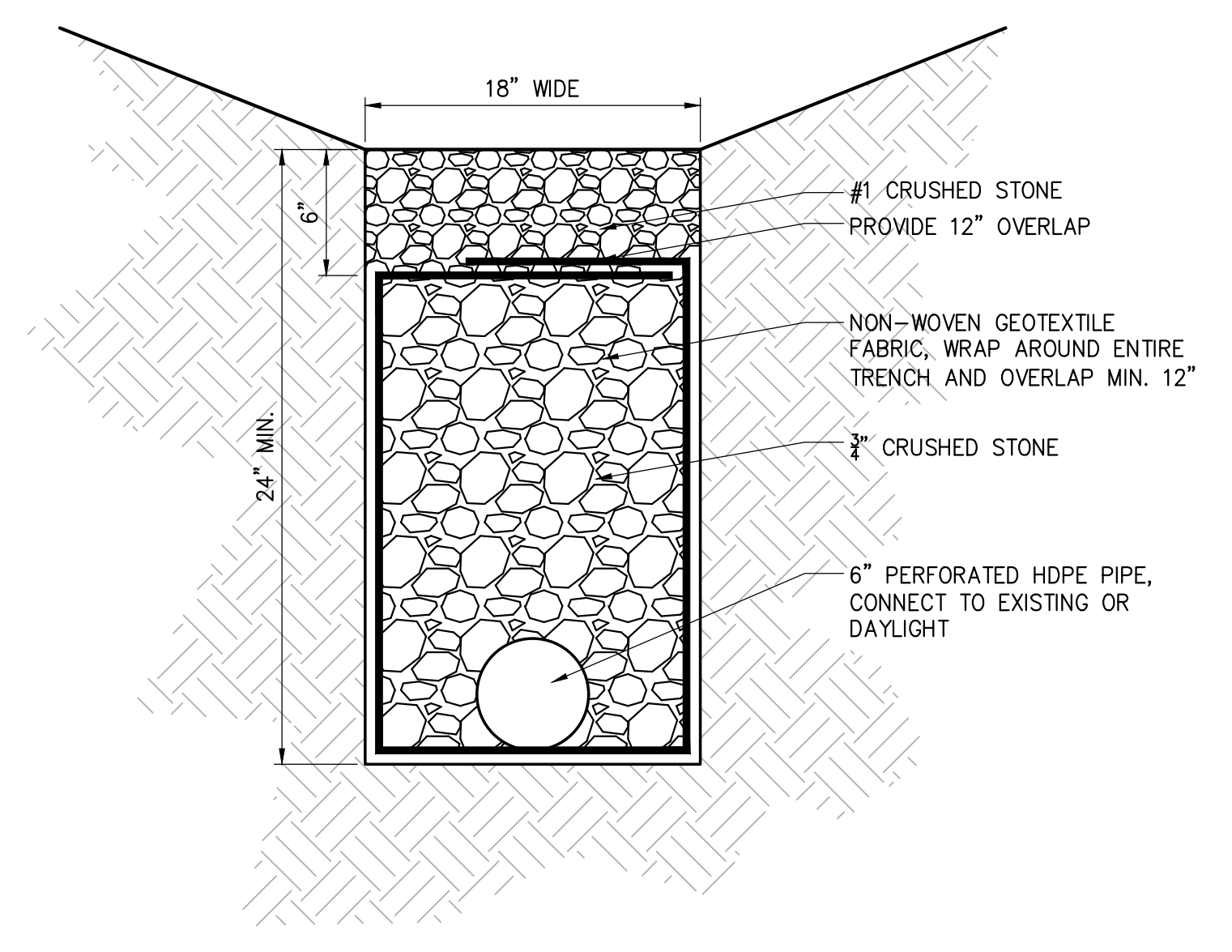
C-601



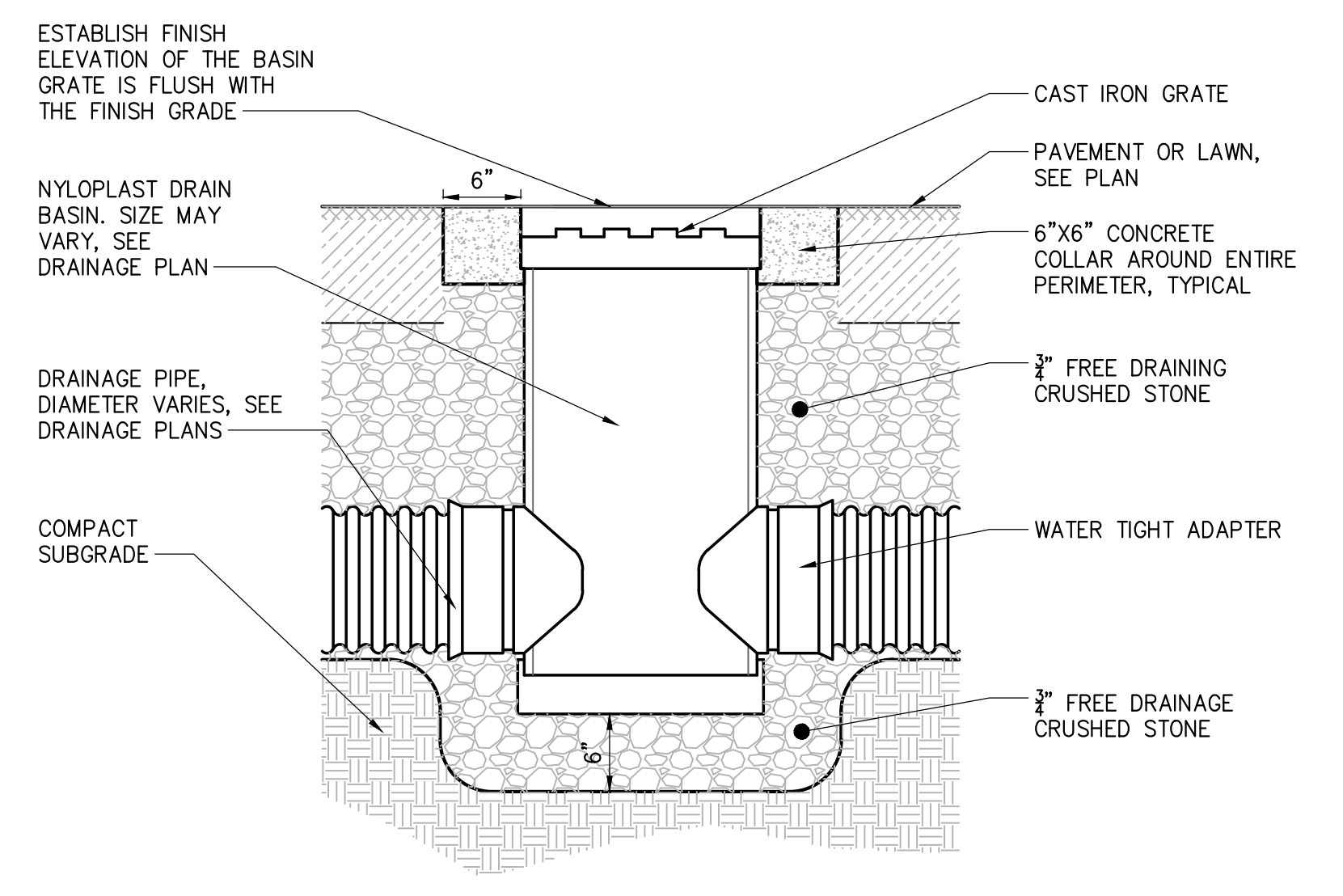
1 8' HT CHAIN LINK SINGLE SWING GATE (BASE BID)
SCALE:



2 10' HT CHAIN LINK FENCE (ADD ALTERNATE NO.1)
SCALE:



3 FRENCH DRAIN DETAIL
SCALE:



4 AREA DRAIN/CLEANOUT DETAIL
SCALE:

File: V:\PROJECTS\ANY\61082534-000\09_DESIGN\DRAWINGS\01_SHEETS\C-600 SITE DETAILS.DWG
Saved: 7/21/2023 10:25:55 AM Plotted: 7/21/2023 10:26:10 AM Current User: Polardi, Jason Last Saved By: 3583

Sullivan East High School
Tennis Court Replacement
Bluff City, TN

B I D F O R M

TO: OWNER: Sullivan County Tennessee
 ADDRESS: 3411 Highway 126
 Blountville, TN 37617

BID TRANSMITTED IN CARE OF: Michelle Ramey, Chief Deputy Purchasing Agent
 Sullivan County Courthouse
 3411 Highway 126
 Blountville, TN 37617

BIDDER: _____

ADDRESS: _____

CITY/STATE/ZIP: _____

TELEPHONE: _____

TN. LICENSE NO: _____

LICENSE EXPIRATION DATE: _____

THE ABOVE STATED BIDDER IS:

AN INDIVIDUAL

A CORPORATION

A PARTNERSHIP

A JOINT VENTURE CONSISTING OF:

AND IS LICENSED TO DO BUSINESS IN THE STATE OF TENNESSEE,
FOR THE WORK SPECIFIED.

All:

- 1. Having examined the plans and specifications, having visited the site of the proposed work, and being completely familiar with the local conditions affecting the cost of the work, and having carefully examined the construction bidding documents with addenda prepared by Cain Rash West Architects and entitled "Sullivan East High School Tennis Court Resurfacing"
- 2. I, (We) propose to execute the portion of the work identified as "**Sullivan East High School Tennis Court Replacement**" for the stipulated sum of: (sums shall be in written and numerical form)

Lump Sum Base Bid _____ DOLLARS

(\$ _____).

Proposed Project Duration _____ (_____) Days

Base Bid shall include an Owners’s Contingency of 5% which shall be listed as a line item on the Schedule of Values. Liquidated Damages shall be \$200 per day after October 16, 2023 if not substantially Complete. Note: Owner is aware of material availability issues – if all reasonable efforts to obtain materials have been made and documented and are not available to complete the project on time, the contractor will not be penalized.

- 3. I, (We) propose to execute the portion of the work identified as "**Sullivan East High School Tennis Court Replacement Alternate One Chain Link Fencing**" for the stipulated sum of: (sums shall be in written and numerical form)

ADD/Deduct: _____ DOLLARS

(\$ _____).

Proposed Project Duration _____ (_____) Days

- 4. I, (We) propose to execute the portion of the work identified as "**Sullivan East High School Tennis Court Replacement Alternate Two Light Pole Removal**" for the stipulated sum of: (sums shall be in written and numerical form)

ADD/Deduct: _____ DOLLARS

(\$ _____).

Proposed Project Duration _____ (_____) Days

- 5. I, (We) propose to execute the portion of the work identified as "**Sullivan East High School Tennis Court Replacement Alternate Three Repair the existing sink hole near the light pole in the NE corner of the upper courts**" for the stipulated sum of: (sums shall be in written and numerical form)

ADD/Deduct: _____ DOLLARS

(\$ _____).

Proposed Project Duration _____ (_____) Days

6. Unit Prices: (See specification 012200)

Unit Price 1) Additional pavement subbase below the asphalt paved tennis courts.

\$ _____/CY

Unit Price 2) Additional asphalt pavement limits, assuming 3 ½” of asphalt and 6” of stone base. \$ _____/SF

- 7. The undersigned agrees to complete all of the work described by the "Contract Documents" and have the space fully ready for occupancy, including any Alternates.
- 8. The undersigned agrees to commence work under this contract within three working days of receipt of Notice to Proceed.
- 9. The undersigned agrees that this bid shall be good and may not be withdrawn for a period of (30) thirty calendar days after the scheduled closing time for receiving bids.
- 10. The undersigned, upon receipt of written notice of the acceptance of this bid, agrees to deliver, to the owner or his agent, the Architect, the required performance bond, labor and material payment bond and certificate of insurance in accordance with the specifications and instructions to bidders.

The undersigned hereby acknowledges receipt of:

ADDENDUM NO.

DATE

This proposal is respectfully submitted

By: _____

Title: _____

Firm name: _____

Business address: _____

(Seal if this bid is submitted by a Corporation)

This Bid Form consists of three (3) pages.

END OF BID FORM