SHEET LIST

SHEET NO.	SHEET NAME	CURRENT REVISION DATE	CURRENT REVISION DESCRIPTION
00.0 - COVER			
T0.0	COVER SHEET	R1 - 5/06/20	PLANS REVIEW COMMENTS
T0.1	DRAWING INDEX	R2 - 5/26/20	ADDENDUM 1
02.0 - CIVIL			
C001	GENERAL SITE NOTES	R1 - 5/06/20	PLANS REVIEW COMMENTS
C100	EXISTING SITE CONDITIONS	R1 - 5/06/20	PLANS REVIEW COMMENTS
C200	SITE LAYOUT PLAN	R1 - 5/06/20	PLANS REVIEW COMMENTS
C300	SITE GRADING PLAN	R1 - 5/06/20	PLANS REVIEW COMMENTS
C400	SITE DRAINAGE PLAN	R1 - 5/06/20	PLANS REVIEW COMMENTS
C500	SITE UTILITY PLAN	R1 - 5/06/20	PLANS REVIEW COMMENTS
C800	DETAILS	R1 - 5/06/20	PLANS REVIEW COMMENTS
C801	DETAILS	R1 - 5/06/20	PLANS REVIEW COMMENTS
C802	DETAILS	R1 - 5/06/20	PLANS REVIEW COMMENTS
C803	DETAILS	R1 - 5/06/20	PLANS REVIEW COMMENTS
C804	DETAILS	R1 - 5/06/20	PLANS REVIEW COMMENTS
C900	INITIAL EPSC PLAN	R1 - 5/06/20	PLANS REVIEW COMMENTS
C901	FINAL EPSC PLAN	R1 - 5/06/20	PLANS REVIEW COMMENTS
C902	EPSC DETAILS	R1 - 5/06/20	PLANS REVIEW COMMENTS
C903	EPSC DETAILS	R1 - 5/06/20	PLANS REVIEW COMMENTS
03.0 - LANDSCAPE			
L0.1	LANDSCAPE NOTES & LEGENDS	R2 - 5/26/20	ADDENDUM 1
L1.1	LANDSCAPE LAYOUT & MATERIALS PLAN	R2 - 5/26/20	ADDENDUM 1
L1.2	LANDSCAPE PLANTING PLAN	R2 - 5/26/20	ADDENDUM 1
L2.1	ENTRY MONUMENT ENLARGEMENTS & DETAILS	R2 - 5/26/20	ADDENDUM 1
L2.2	LANDSCAPE PAVING DETAILS		
L2.3	LANDSCAPE WALL AND FENCE DETAILS	R2 - 5/26/20	ADDENDUM 1
L2.4	LANDSCAPE AMENITY DETAILS	R2 - 5/26/20	ADDENDUM 1
L2.5	LANDSCAPE PLANTING DETAILS	R2 - 5/26/20	ADDENDUM 1
L2.6	LANDSCAPE PLANTING DETAILS		
04.0 - PROJECT GENERAL NOTES			
G0.1	ABBREVATIONS, SYMBOLS, GENERAL NOTES AND DETAILS	R1 - 5/06/20	PLANS REVIEW COMMENTS
G1.0	WALL LEGEND	R1 - 5/06/20	PLANS REVIEW COMMENTS
G1.1	ACCESSIBLE NOTES AND DETAILS	R1 - 5/06/20	PLANS REVIEW COMMENTS
G1.2	ARCHITECTURAL SITE PLAN	R2 - 5/26/20	ADDENDUM 1
G1.3	ARCHITECTURAL SITE SECTIONS	R1 - 5/06/20	PLANS REVIEW COMMENTS
G1.4	MULTIFAMILY - ADDRESSING	R1 - 5/06/20	PLANS REVIEW COMMENTS
G1.5	TOWNHOMES - ADDRESSING	R1 - 5/06/20	PLANS REVIEW COMMENTS
G2.1	UL ASSEMBLIES - U376		
G2.2	UL ASSEMBLIES - U305		
G2.3	UL ASSEMBLIES - L506		
G2.4	UL ASSEMBLIES - L528		
G2.5	UL ASSEMBLIES - X701	R1 - 5/06/20	PLANS REVIEW COMMENTS
G2.6	UL ASSEMBLIES - U344	R1 - 5/06/20	PLANS REVIEW COMMENTS
G2.7	UL ASSEMBLIES - U905	R1 - 5/06/20	PLANS REVIEW COMMENTS
G2.8	UL ASSEMBLIES - U301	R1 - 5/06/20	PLANS REVIEW COMMENTS
04.1 - B1 - MF - GENERAL			
MF.A0.1	BUILDING 1 - PROJECT INFORMATION	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A0.2	CODE ANALYSIS	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A0.3	EXIT ANALYSIS	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.G0.0	MULTIFAMILY NET USABLE AREA PLANS	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.G0.1	MULTIFAMILY - GROSS LIVING AREA PLAN	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.LS1.0	LIFE SAFETY PLAN - LEVEL 00	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.LS1.1	LIFE SAFETY PLAN - LEVEL 01 (PARKING)	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.LS1.2	LIFE SAFETY PLAN - LEVEL 02	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.LS1.3	LIFE SAFETY PLAN - LEVEL 03	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.LS1.4	LIFE SAFETY PLAN - LEVEL 04	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.LS1.5	LIFE SAFETY PLAN - LEVEL 05	R1 - 5/06/20	PLANS REVIEW COMMENTS
04.2 - B1 - MF - ARCHITECTURAL			
MF.A1.0	FLOOR PLAN - LEVEL 00	R2 - 5/26/20	ADDENDUM 1
MF.A1.1A	FLOOR PLAN - LEVEL 01 PARKING	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A1.1B	FLOOR PLAN - LEVEL 01	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A1.2	FLOOR PLAN - LEVEL 02	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A1.3	FLOOR PLAN - LEVEL 03	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A1.4	FLOOR PLAN - LEVEL 04	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A1.5	FLOOR PLAN - LEVEL 05	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A1.6	FLOOR PLAN - ROOF LEVEL	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A2.0	REFLECTED CEILING PLAN - LEVEL 00	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A2.1	REFLECTED CEILING PLAN - LEVEL 01	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A2.2	REFLECTED CEILING PLAN - LEVEL 02-05	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A3.1	BUILDING ELEVATIONS	R2 - 5/26/20	ADDENDUM 1
MF.A3.2	BUILDING ELEVATIONS	R2 - 5/26/20	ADDENDUM 1
MF.A3.3	BUILDING ELEVATIONS	R2 - 5/26/20	ADDENDUM 1
MF.A3.4	BUILDING ELEVATIONS	R2 - 5/26/20	ADDENDUM 1
MF.A3.5	AXONOMETRIC VIEWS	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A4.1	BUILDING SECTIONS	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A4.2	BUILDING SECTIONS	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A4.3	WALL SECTIONS	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A4.4	WALL SECTIONS	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A4.5	WALL SECTIONS	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A4.6	DETAILS	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A4.7	DETAILS	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A4.8	DETAILS	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A4.9	DETAILS	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A4.10	TYPICAL DETAILS	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A4.11	TYPICAL DETAILS	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A5.1	ENLARGED STAIR PLANS AND SECTIONS	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A5.2	DETAILS - STAIRS	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A5.3	DETAILS - STAIRS	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A5.4	ENLARGED ELEVATOR PLAN AND HOISTWAY	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A5.5	DETAILS - ELEVATOR	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A6.1	DOOR SCHEDULES AND ELEVATIONS	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A6.2	WINDOW ELEVATIONS	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A6.3	DETAILS - WINDOW ASSEMBLIES	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A6.4	DETAILS - WINDOW ASSEMBLIES	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A6.5	STOREFRONT ELEVATIONS	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A6.6	DETAILS - STOREFRONT ASSEMBLIES	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A7.0	OVERALL FINISH FLOOR PLAN 00	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A7.1	OVERALL FINISHFLOOR PLAN - LEVEL 01	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A7.2	OVERALL FINISH FLOOR PLAN - LEVELS 02 - 05	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A7.3	ENLARGED PLAN & INTERIOR ELEVATIONS - COMMUNITY ROOM	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A7.4	ENLARGED PLAN & RCP - ENTRIES AND AMENITY ROOM	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A7.5	FINISH PLAN AND ELEVATIONS - ENTRIES AND AMENITY ROOM	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A7.6	ENLARGED PLAN & INTERIOR ELEVATIONS - FITNESS ROOM	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A7.7	ENLARGED PLANS AND ELEVATIONS - UNIT A	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A7.8	ENLARGED PLANS AND ELEVATIONS - UNIT B	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A7.9	ENLARGED PLANS AND ELEVATIONS - UNIT C	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A7.10	ENLARGED PLANS AND ELEVATIONS - UNIT D	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A7.11	ENLARGED PLANS AND ELEVATIONS - UNIT E	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A7.12	ENLARGED PLANS AND ELEVATIONS - UNIT F	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A7.13	ENLARGED PLANS AND ELEVATIONS - UNIT G	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A7.14	ENLARGED PLANS AND ELEVATIONS - UNIT H	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A7.15	ENLARGED PLANS AND ELEVATIONS - UNIT J	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A7.16	ENLARGED PLANS AND ELEVATIONS - ADA UNIT 103	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A7.17	ENLARGED PLANS AND ELEVATIONS - ADA UNIT 208	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A7.18	ENLARGED PLANS AND ELEVATIONS - ADA UNIT 311	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A7.19	INTERIOR ROOM FINISH LEGEND & FINISH NOTES	R2 - 5/26/20	ADDENDUM 1
MF.A7.20	TYPICAL UNIT MILLWORK & CASEWORK DETAILS	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A7.21	TYPICAL MILLWORK & CASEWORK DETAILS - BUILDING 1	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF.A7.22	GAZEBO DETAILS	R1 - 5/06/20	PLANS REVIEW COMMENTS
04.3 - B1 - MF - STRUCTURAL			
MF.S1.100	STRUCTURAL NOTES		
MF.S1.101	FOUNDATION PLAN		
MF.S1.102	LEVEL 01 - FLOOR FRAMING PLAN		
MF.S1.103	LEVEL 02 - FLOOR FRAMING PLAN / LOWER ROOF		
MF.S1.104	LEVEL 03 - FLOOR FRAMING PLAN		
MF.S1.105	LEVEL 04 - FLOOR FRAMING PLAN		
MF.S1.106	LEVEL 05 - LOW ROOF FRAMING PLAN		
MF.S1.107	UPPER ROOF FRAMING PLAN		
MF.S2.100	STRUCTURAL DETAILS		
MF.S2.101	STRUCTURAL DETAILS		
MF.S2.102	STRUCTURAL DETAILS		
MF.S2.103	STRUCTURAL DETAILS		
MF.S2.104	STRUCTURAL DETAILS		
04.4 - B1 - MF - MECHANICAL			
MF - M1.0	BLDG 1A - LEVEL 00 (PARKING) - HVAC	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF - M1.1	BLDG 1A - LEVEL 01 (LOBBY) - HVAC	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF - M1.2	BLDG 1A - LEVEL 02 - HVAC	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF - M1.3	BLDG 1A - LEVEL 03 - HVAC	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF - M1.4	BLDG 1A - LEVEL 04 - HVAC	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF - M1.5	BLDG 1A - LEVEL 05 - HVAC	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF - M1.6	BLDG 1A - ROOF - HVAC		
MF - M2.0	SCHEDULES & DETAILS - HVAC	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF - M2.1	DETAILS - HVAC		
04.5 - B1 - MF - PLUMBING			
MF - P1.0	BLDG 1A - LEVEL 00 - UNDERGROUND PLUMBING	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF - P1.1	BLDG 1A - LEVEL 00 - WASTE AND VENT	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF - P1.2	BLDG 1A - LEVEL 01 - WASTE & VENT	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF - P1.3	BLDG 1A - LEVEL 02 - WASTE & VENT	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF - P1.4	BLDG 1A - LEVEL 03 - WASTE & VENT	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF - P1.5	BLDG 1A - LEVEL 04 - WASTE & VENT	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF - P1.6	BLDG 1A - LEVEL 05 - WASTE & VENT	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF - P2.1	BLDG 1A - LEVEL 00 - SERVICES		
MF - P2.2	BLDG 1A - LEVEL 01 - SERVICES		
MF - P2.3	BLDG 1A - LEVEL 02 - SERVICES		
MF - P2.4	BLDG 1A - LEVEL 03 - SERVICES		
MF - P2.5	BLDG 1A - LEVEL 04 - SERVICES		
MF - P2.6	BLDG 1A - LEVEL 05 - SERVICES		
MF - P3.1	LEGEND, SCHEDULES & DETAILS - PLUMBING	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF - P3.2	FIRE STOPPING DETAILS		
MF - P4.1	RISER DIAGRAMS	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF - P4.2	RISER DIAGRAMS	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF - P4.3	RISER DIAGRAMS	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF - P4.4	RISER DIAGRAMS	R1 - 5/06/20	PLANS REVIEW COMMENTS
04.6 - B1 - MF - FIRE PROTECTION			
MF - FP1.1	BLDG 1A - LEVEL 00 - FIRE PROTECTION		
MF - FP1.2	BLDG 1A - LEVEL 01 - FIRE PROTECTION		
MF - FP1.3	BLDG 1A - LEVEL 02 - FIRE PROTECTION		
MF - FP1.4	BLDG 1A - LEVEL 03 - FIRE PROTECTION		
MF - FP1.5	BLDG 1A - LEVEL 04 - FIRE PROTECTION		
MF - FP1.6	BLDG 1A - LEVEL 05 - FIRE PROTECTION		
MF - FP2.1	CALCS AND DETAILS - FIRE PROTECTION		
MF - FP2.2	DETAILS - FIRE PROTECTION		
MF - FP2.3	FIRE STOPPING DETAILS		
04.7 - B1 - MF - ELECTRICAL			
ME-E0.1	SITE PLAN - ELECTRICAL		
MF-E0.2	SITE PLAN - LIGHTING CALCULATIONS	R2 - 5/26/20	ADDENDUM 1
MF-E1.0	BLDG 1A - LEVEL 00 - LIGHTING		
MF-E1.1	BLDG 1A - LEVEL 01 - LIGHTING		
MF-E1.2	BLDG 1A - LEVEL 02 - LIGHTING		
MF-E1.3	BLDG 1A - LEVEL 03 - LIGHTING		
MF-E1.4	BLDG 1A - LEVEL 04 - LIGHTING		
MF-E1.5	BLDG 1A - LEVEL 05 - LIGHTING		
MF-E2.0	BLDG-1A - LEVEL 00 - POWER		
MF-E2.1	BLDG 1A - LEVEL 01 - POWER	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF-E2.2	BLDG 1A - LEVEL 02 - POWER	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF-E2.3	BLDG 1A - LEVEL 03 - POWER	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF-E2.4	BLDG 1A - LEVEL 04 - POWER	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF-E2.5	BLDG 1A - LEVEL 05 - POWER	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF-E2.6	BLDG 1A - ROOF LEVEL - POWER		
MF-E3.0	BLDG 1A - LEVEL 00 - COMMUNICATIONS		
MF-E3.1	BLDG 1A - LEVEL 01 - COMMUNICATIONS	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF-E3.2	BLDG 1A - LEVEL 02 - COMMUNICATIONS	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF-E3.3	BLDG 1A - LEVEL 03 - COMMUNICATIONS	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF-E3.4	BLDG 1A - LEVEL 04 - COMMUNICATIONS	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF-E3.5	BLDG 1A - LEVEL 05 - COMMUNICATIONS	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF-E4.0	LEGEND_ SCHEDULES_ DETAILS	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF-E4.1	ELECTRICAL DETAILS	R1 - 5/06/20	PLANS REVIEW COMMENTS
MF-E4.2	PANELBOARDS		
MF-E4.3	PANELBOARDS		
MF-E4.4	PANELBOARDS		
MF-E4.5	PANELBOARDS		
MF-E4.6	PANELBOARDS		
MF-E4.7	PANELBOARDS		
MF-E4.8	FEEDER RISER DIAGRAM		
06.0 - B2 - TH - LIFE SAFETY			
TH2.LS1.0	BUILDING 2 - LIFE SAFETY PLANS	R1 - 5/06/20	PLANS REVIEW COMMENTS
TH2.LS1.1	BUILDING 2 - ACCESSIBILITY INFORMATION	R1 - 5/06/20	PLANS REVIEW COMMENTS
06.1 - B2 - TH - ARCHITECTURAL			
TH2.A1.1	BUILDING 2 - FIRST FLOOR PLAN	R2 - 5/26/20	ADDENDUM 1
TH2.A1.2	BUILDING 2 - SECOND FLOOR PLAN	R1 - 5/06/20	PLANS REVIEW COMMENTS
TH2.A1.3	BUILDING 2 - THIRD FLOOR PLAN	R1 - 5/06/20	PLANS REVIEW COMMENTS
TH2.A2.1	BUILDING 2 - REFLECTED CEIILING PLAN, ROOF PLAN & NOTES	R2 - 5/26/20	ADDENDUM 1
TH2.A3.1	BUILDING 2 - EXTERIOR ELEVATIONS	R2 - 5/26/20	ADDENDUM 1
TH2.A3.2	BUILDING 2 - 3D VIEWS	R1 - 5/06/20	PLANS REVIEW COMMENTS
TH2.A4.1	BUILDING 2 - BUILDING SECTIONS	R2 - 5/26/20	ADDENDUM 1
TH2.A4.2	BUILDING 2 - WALL SECTIONS	R2 - 5/26/20	ADDENDUM 1
TH2.A4.3	BUILDING 2 - WALL SECTIONS	R2 - 5/26/20	ADDENDUM 1
TH2.A4.4	BUILDING 2 - WALL SECTIONS	R2 - 5/26/20	ADDENDUM 1
06.2 - B2 - TH - STRUCTURAL			
TH2.S1.1	BUILDING 2 - STRUCTURAL PLANS	R2 - 5/26/20	ADDENDUM 1
06.3 - B2 - TH - MECHANICAL			
TH2.M1.1	BUILDING 2 - FIRST FLOOR PLAN -HVAC		
TH2.M1.2	BUILDING 2 - SECOND FLOOR PLAN - HVAC		
TH2.M1.3	BUILDING 2 - THIRD FLOOR PLAN - HVAC		
TH2.M1.4	BUILDING 2 - ROOF PLAN - HVAC		
06.4 - B2 - TH - PLUMBING			
TH2.P1.1	BUILDING 2 - FIRST FLOOR PLAN - PLUMBING		
06.5 - B2 - TH - FIRE PROTECTION			
TH2.FP1.1	BUILDING 2 - FLOOR PLANS - FIRE PROTECTION		
06.6 - B2 - TH - ELECTRICAL			
TH2.E1.1	BUILDING 2 - FIRST FLOOR PLAN - ELECTRICAL		
TH2.E1.2	BUILDING 2 - SECOND FLOOR PLAN - ELECTRICAL		
TH2.E1.3	BUILDING 2 - THIRD FLOOR PLAN - ELECTRICAL		
07.0 - B3 - TH - LIFE SAFETY			
TH3.LS1.0	BUILDING 3 - LIFE SAFETY PLANS		
07.1 - B3 - TH - ARCHITECTURAL			
TH3.A1.1	BUILDING 3 - FIRST FLOOR PLAN	R1 - 5/06/20	PLANS REVIEW COMMENTS
TH3.A1.2	BUILDING 3 - SECOND FLOOR PLAN	R1 - 5/06/20	PLANS REVIEW COMMENTS
TH3.A2.1	BUILDING 3 - REFLECTED CEIILING PLAN, ROOF PLAN & NOTES	R1 - 5/06/20	PLANS REVIEW COMMENTS
TH3.A3.1	BUILDING 3 - EXTERIOR ELEVATIONS	R1 - 5/06/20	PLANS REVIEW COMMENTS
TH3.A3.2	BUILDING 3 - 3D VIEWS	R1 - 5/06/20	PLANS REVIEW COMMENTS
TH3.A4.1	BUILDING 3 - BUILDING SECTIONS	R1 - 5/06/20	PLANS REVIEW COMMENTS
TH3.A4.2	BUILDING 3 - WALL SECTIONS	R2 - 5/26/20	ADDENDUM 1
TH3.A4.3	BUILDING 3 - WALL SECTIONS	R2 - 5/26/20	ADDENDUM 1
TH3.A4.4	BUILDING 3 - WALL SECTIONS	R2 - 5/26/20	ADDENDUM 1
TH3.A4.5	BUILDING 3 - WALL SECTIONS	R2 - 5/26/20	ADDENDUM 1
07.2 - B3 - TH - STRUCTURAL			
TH3.S1.1	BLDG.3 STRUCTURAL PLANS	R2 - 5/26/20	ADDENDUM 1
07.3 - B3 - TH - MECHANICAL			
TH3.M1.1	BUILDING 3 - FIRST FLOOR PLAN - HVAC		
TH3.M1.2	BUILDING 3 - SECOND FLOOR PLAN - HVAC		
TH3.M1.3	BUILDING 3 - ROOF PLAN - HVAC		
07.4 - B3 - TH - PLUMBING			
TH3.P1.1	BUILDING 3 - FLOOR PLANS - PLUMBING		
07.5 - B3 - TH - FIRE PROTECTION			
TH3.FP1.1	BUILDING 3 - FLOOR PLANS - FIRE PROTECTION		
07.6 - B3 - TH - ELECTRICAL			
TH3.E1.1	BUILDING 3 - FIRST FLOOR PLAN - LIGHTING & COMMUNICATIONS		
TH3.E1.2	BUILDING 3 - FIRST FLOOR PLAN - POWER		
TH3.E1.3	BUILDING 3 - SECOND FLOOR PLAN - LIGHTING & COMMUNICATIONS		
TH3.E1.4	BUILDING 3 - SECOND FLOOR PLAN - POWER		
08.0 - B4 - TH - LIFE SAFETY			
TH4.LS1.0	BUILDING 4 - LIFE SAFETY PLANS	R1 - 5/06/20	PLANS REVIEW COMMENTS
TH4.LS1.1	BUILDING 4 - ACCESSIBILITY INFORMATION	R1 - 5/06/20	PLANS REVIEW COMMENTS
08.1 - B4 - TH - ARCHITECTURAL			
TH4.A1.1	BUILDING 4 - FIRST FLOOR PLAN	R1 - 5/06/20	PLANS REVIEW COMMENTS
TH4.A1.2	BUILDING 4 - SECOND FLOOR PLAN	R1 - 5/06/20	PLANS REVIEW COMMENTS
TH4.A1.3	BUILDING 4 - THIRD FLOOR PLAN	R1 - 5/06/20	PLANS REVIEW COMMENTS
TH4.A2.1	BUILDING 4 - REFLECTED CEIILING PLAN, ROOF PLAN & NOTES	R1 - 5/06/20	PLANS REVIEW COMMENTS
TH4.A3.1	BUILDING 4 - EXTERIOR ELEVATIONS	R1 - 5/06/20	PLANS REVIEW COMMENTS
TH4.A3.2	BUILDING 4 - 3D VIEWS		
TH4.A4.1	BUILDING 4 - BUILDING SECTIONS		
TH4.A4.2	BUILDING 4 - WALL SECTIONS		
TH4.A4.3	BUILDING 4 - WALL SECTIONS		
TH4.A4.4	BUILDING 4 - WALL SECTIONS		
08.2 - B4 - TH - STRUCTURAL			
TH4.S1.1	BLDG. 4 STRUCTURAL PLANS	R2 - 5/26/20	ADDENDUM 1
TH4.S1.2	BLDG. 4 STRUCTURAL PLANS	R2 - 5/26/20	ADDENDUM 1
08.3 - B4 - TH - MECHANICAL			
TH4.M1.1	BUILDING 4 - FIRST FLOOR PLAN - HVAC		
TH4.M1.2	BUILDING 4 - SECOND FLOOR PLAN - HVAC		
TH4.M1.3	BUILDING 4 - THIRD FLOOR PLAN - HVAC		
TH4.M1.4	BUILDING 4 - ROOF PLAN - HVAC		
08.4 - B4 - TH - PLUMBING			
TH4.P1.1	BUILDING 4 - FLOOR PLANS - PLUMBING		
08.5 - B4 - TH - FIRE PROTECTION			
TH4.FP1.1	BUILDING 4 - FLOOR PLANS - FIRE PROTECTION		
08.6 - B4 - TH - ELECTRICAL			
TH4.E1.1	BUILDING 4 - FIRST FLOOR PLAN - LIGHTING & COMMUNICATIONS		
TH4.E1.2	BUILDING 4 - FIRST FLOOR PLAN - POWER		
TH4.E1.3	BUILDING 4 - SECOND FLOOR PLAN - LIGHTING & COMMUNICATIONS		
TH4.E1.4	BUILDING 4 - SECOND FLOOR PLAN - POWER		
TH4.E1.5	BUILDING 4 - THIRD FLOOR PLAN - LIGHTING & COMMUNICATIONS		
TH4.E1.6	BUILDING 4 - THIRD FLOOR PLAN - POWER		
09.0 - B5 - TH - LIFE SAFETY			
TH5.LS1.0	BUILDING 5 - LIFE SAFETY PLANS	R1 - 5/06/20	PLANS REVIEW COMMENTS
09.1 - B5 - TH - ARCHITECTURAL			
TH5.A1.1	BUILDING 5 - FIRST FLOOR PLAN	R1 - 5/06/20	PLANS REVIEW COMMENTS
TH5.A1.2	BUILDING 5 - SECOND FLOOR PLAN	R1 - 5/06/20	PLANS REVIEW COMMENTS
TH5.A2.1	BUILDING 5 - REFLECTED CEIILING PLAN, ROOF PLAN & NOTES	R1 - 5/06/20	PLANS REVIEW COMMENTS
TH5.A3.1	BUILDING 5 - EXTERIOR ELEVATIONS	R1 - 5/06/20	PLANS REVIEW COMMENTS
TH5.A3.2	BUILDING 5 - 3D VIEWS		
TH5.A4.1	BUILDING 5 - BUILDING SECTIONS	R1 - 5/06/20	PLANS REVIEW COMMENTS
TH5.A4.2	BUILDING 5 - WALL SECTIONS	R2 - 5/26/20	ADDENDUM 1
TH5.A4.3	BUILDING 5 - WALL SECTIONS	R2 - 5/26/20	ADDENDUM 1
TH5.A4.4	BUILDING 5 - WALL SECTIONS	R2 - 5/26/20	ADDENDUM 1
09.2 - B5 - TH - STRUCTURAL			
TH5.S1.1	BUILDING 5 - STRUCTURAL PLANS	R2 - 5/26/20	ADDENDUM 1
09.3 - B5 - TH - MECHANICAL			
TH5.M1.1	BUILDING 5 - FIRST FLOOR PLAN - HVAC		
TH5.M1.2	BUILDING 5 - SECOND FLOOR PLAN - HVAC		
TH5.M1.3	BUILDING 5 - ROOF PLAN - HVAC		
09.4 - B5 -TH - PLUMBING			
TH5.P1.1	BUILDING 5 - FLOOR PLANS - PLUMBING		
09.5 - B5 - TH - FIRE PROTECTION			
TH5.FP1.1	BUILDING 5 - FLOOR PLANS - FIRE PROTECTION		
09.6 - B5 - TH - ELECTRICAL			
TH5.E1.1	FIRST FLOOR PLAN - ELECTRICAL		
TH5.E1.2	SECOND FLOOR PLAN - ELECTRICAL		
10.0 - B6 - TH - LIFE SAFETY			
TH6.LS1.0	BUILDING 6 - LIFE SAFETY PLANS	R1 - 5/06/20	PLANS REVIEW COMMENTS
10.1 - B6 - TH - ARCHITECTURAL			
TH6.A1.1	BUILDING 6 - FIRST FLOOR PLAN	R1 - 5/06/20	PLANS REVIEW COMMENTS
TH6.A1.2	BUILDING 6 - SECOND & THIRD FLOOR PLAN	R1 - 5/06/20	PLANS REVIEW COMMENTS
TH6.A2.1	BUILDING 6 - REFLECTED CEIILING PLAN, ROOF PLAN & NOTES	R2 - 5/26/20	ADDENDUM 1
TH6.A3.1	BUILDING 6 - EXTERIOR ELEVATIONS	R1 - 5/06/20	PLANS REVIEW COMMENTS
TH6.A3.2	BUILDING 6 - 3D VIEWS		
TH6.A4.1	BUILDING 6 - BUILDING SECTIONS	R1 - 5/06/20	PLANS REVIEW COMMENTS
TH6.A4.2	BUILDING 6 - WALL SECTIONS	R2 - 5/26/20	ADDENDUM 1
TH6.A4.3	BUILDING 6 - WALL SECTIONS	R2 - 5/26/20	ADDENDUM 1
TH6.A4.4	BUILDING 6 - WALL SECTIONS	R2 - 5/26/20	ADDENDUM 1
TH6.A4.5	BUILDING 6 - WALL SECTIONS	R2 - 5/26/20	ADDENDU

GENERAL NOTES:

1. EXISTING CONDITIONS ARE COMPILED FROM A SURVEY ISSUED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC. (CEC) ON DECEMBER 09, 2019 TO THE DESIGN TEAM.
2. THE CONTRACTOR SHALL VERIFY SITE INFORMATION, INCLUDING PROPERTY LINES, LIMITS OF WORK, EASEMENTS, BUILDINGS, ROADWAY CURB AND/OR GUTTERS, UTILITIES, DUCT BANKS, AND OTHER INFORMATION THAT MAY AFFECT THE SCOPE OF WORK INCLUDED ON THESE DRAWINGS. MORE SPECIFIC UTILITY INFORMATION IS INDICATED ON THE CIVIL ENGINEER DRAWINGS. CONTRACTOR SHALL REPORT ANY DISCREPANCY BETWEEN ACTUAL FIELD CONDITIONS AND WHAT IS SHOWN ON THE DRAWINGS TO THE OWNER'S REPRESENTATIVE IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED
3. WHERE PLANS AND/OR SPECIFICATIONS ARE FOUND TO BE IN CONFLICT, OR WHERE VARIOUS ITEMS OF WORK ARE SEEN TO BE IN CONFLICT, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE FOR DIRECTION PRIOR TO PROCEEDING WITH WORK.
4. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THE EFFORTS OF WORK WITH ALL TRADES THAT MAY COINCIDE WITH THE WORK IN THE LANDSCAPE DRAWINGS, AS APPLICABLE.
5. ADVISE CONSTRUCTION AND OPERATIONS WITH THE PROJECT'S DESIGN CONSULTANTS FOR WORK INDICATED HEREIN. INFORM THE OWNER'S REPRESENTATIVE ON THE PREFERRED CONSTRUCTION SCHEDULE PRIOR TO THE WORK BEING PERFORMED. ADJUST CONSTRUCTION SCHEDULE ACCORDINGLY BASED ON A MUTUALLY-AGREEABLE TIMETABLE. NOTIFY THE OWNER'S REPRESENTATIVE IF CHANGE TO CONSTRUCTION SCHEDULE IS REQUIRED DUE TO DIFFERENCES IN ACTUAL CONSTRUCTION PROGRESS. INCLUDE THE PROJECT'S DESIGN CONSULTANTS AT PRE-INSTALLATION MEETINGS COVERING PORTIONS OF THE WORK THAT ARE RELATED. NOTIFY THE OWNER'S REPRESENTATIVE IF CHANGES TO CONSTRUCTION SCHEDULE ARE REQUIRED DUE TO DIFFERENCES IN ACTUAL CONSTRUCTION PROGRESS.
6. LIMIT OF WORK LINE IS NOTED ON DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE DUE TO OPERATIONS INSIDE AND OUTSIDE OF THE CONTRACT LIMIT LINE. ANY AREAS OUTSIDE THE LIMIT OF WORK THAT ARE DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL MEET LINE AND GRADE OF EXISTING CONDITIONS AT LIMIT OF WORK LINE.
7. THE CONTRACTOR SHALL ESTABLISH PERMANENT BENCH MARKS. MAINTAIN ALL ESTABLISHED BOUNDS AND BENCH MARKS AND REPLACE AS DIRECTED ANY WHICH ARE DESTROYED OR DISTURBED.
8. THE CONTRACTOR SHALL EMPLOY SPECIAL CARE IN SCHEDULING CONSTRUCTION SO AS TO MAINTAIN EXISTING VEHICULAR TRAFFIC PATTERNS, AND MINIMIZE DISRUPTION TO SURROUNDING PEDESTRIAN TRAFFIC. CONTRACTOR SHALL EMPLOY SPECIAL CARE TO PROTECT SAFETY OF PEDESTRIANS INSIDE AND OUTSIDE OF THE CONTRACT LIMIT LINE.
9. LIMIT USE OF PREMISES TO WORK IN AREAS AS INDICATED. DO NOT DISTURB PORTIONS OF THE SITE BEYOND AREAS IN WHICH WORK IS INDICATED. KEEP DRIVEWAYS AND ENTRANCES SERVING PREMISES CLEAR AND AVAILABLE TO THE OWNER AND EMERGENCY VEHICLES AT ALL TIMES. DO NOT USE THESE AREAS FOR PARKING OR STORAGE OF MATERIALS. SCHEDULE DELIVERIES TO MINIMIZE USE OF DRIVEWAYS AND ENTRANCES.
10. ALL REFUSE, DEBRIS, AND MISCELLANEOUS ITEMS TO BE REMOVED, THAT ARE NOT TO BE STOCKPILED FOR LATER USE ON THE PROJECT OR DELIVERED TO THE OWNER, SHALL BE LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
11. ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS SHALL BE PROTECTED TO PREVENT TRACKING OF DEBRIS ONTO PUBLIC ROADS OR ABUTTING PROPERTY. ANY DEBRIS ON PUBLIC WAYS ORIGINATING FROM THE JOB SITE SHALL BE CLEANED BY THE CONTRACTOR.
12. CONTRACTOR SHALL REMOVE LITTER AND DEBRIS FROM THE PROJECT SITE AS REQUIRED TO KEEP SITE IN AN ORDERLY FASHION. DUST CONTROL MEASURES SHALL BE EXERCISED.
13. CARE SHALL BE TAKEN TO PRESERVE AND FULLY PROTECT THE INTEGRITY OF WATERPROOF MEMBRANE SYSTEMS WHERE THEY OCCUR ON SITE, AS APPLICABLE. CONTRACTOR SHALL REPAIR ANY AND ALL DAMAGE TO WATERPROOFING AT NO COST TO OWNER.
14. ALL ALTERATIONS TO THESE DRAWINGS MADE IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE CONTRACTOR ON "AS-BUILT DRAWINGS," AS SPECIFIED.

LAYOUT NOTES:

1. DIMENSIONS AS NOTED ARE TAKEN PERPENDICULAR TO FACE OF BUILDING OR WALL, BACK OF CURB, OR OTHER FIXED SITE IMPROVEMENT, AS APPLICABLE, UNLESS OTHERWISE NOTED. DIMENSIONS TO CENTERLINES ARE AS INDICATED. WHERE DIMENSIONS ARE INDICATED AS "EQUAL", REFERENCED ITEMS SHALL BE SPACED EQUALLY, AS MEASURED TO THEIR RESPECTIVE CENTERLINES. INSTALL INTERSECTING ELEMENTS AT 90-DEGREES TO EACH OTHER UNLESS OTHERWISE NOTED. ALL LINES OF PAVING AND/OR FENCING SHALL BE PARALLEL UNLESS OTHERWISE NOTED. MAINTAIN HORIZONTAL ALIGNMENT OF ADJACENT ELEMENTS AS NOTED ON THE DRAWINGS. DIMENSIONS TAKEN TO CENTERLINE OF BUILDING COLUMN SHALL MEAN THE FIRST ROW OF COLUMNS CLOSEST TO THE FACE OF THE BUILDING. SEE CIVIL SURVEY DRAWINGS FOR CORRESPONDING COLUMN LINES.
2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. WHERE INDICATED, NOTES AND DETAILS ON SPECIFIC DRAWINGS TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
3. REFERENCE TO NORTH REFERS TO TRUE NORTH. REFERENCE TO SCALE IS FOR FULL-SIZED DRAWINGS; DO NOT SCALE FROM REDUCED DRAWINGS.
4. CONTRACTOR SHALL COORDINATE LOCATIONS OF ALL SITE FURNISHINGS, LIGHT POLE FOOTINGS, AND PLANTERS IN THE FIELD WITH OWNER'S REPRESENTATIVE AND THE UNIVERSITY OF TENNESSEE FACILITY SERVICES PROJECT MANAGER PRIOR TO INSTALLATION.
5. CONTRACTOR SHALL STAKE ALL PATHS AND SIDEWALKS IN THE FIELD FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
6. ANY ROADWAY DIMENSIONS AND CENTERLINE SHOWN WITHIN LANDSCAPE DRAWINGS ARE FOR LAYOUT COORDINATION ONLY, VERIFY ROADWAY LAYOUT INFORMATION WITH CIVIL ENGINEER'S DRAWINGS PRIOR TO INSTALLATION.
7. HOLD TOP ELEVATIONS OF WALLS, FENCES, ETC. LEVEL UNLESS OTHERWISE NOTED.
8. CONTRACTOR SHALL PROVIDE FIELD-CONSTRUCTED MOCKUP SAMPLES FOR EACH PAVING TYPE AND WALL TYPE AS INDICATED ON THE DRAWINGS FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR EACH RESPECTIVE FIELD-CONSTRUCTED MOCKUP SAMPLE.

MATERIAL NOTES:

1. STORAGE AREAS FOR THE GENERAL CONTRACTOR'S EQUIPMENT AND MATERIALS SHALL BE LOCATED WITHIN THE LIMITS OF WORK AND / OR CONSTRUCTION STAGING AREA AND SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE.
2. CONTRACTOR SHALL REVIEW IRRIGATION PLANS FOR SLEEVE LOCATIONS TO BE SET UNDER PAVING AND OTHER LOCATIONS PRIOR TO CONSTRUCTION OF PAVING.
3. WHERE SLEEVING UNDER PAVING IS REQUIRED FOR SITE LIGHTS AND/OR UTILITIES, REFER TO RELEVANT CIVIL AND UTILITY DRAWINGS. THE CONTRACTOR SHALL COORDINATE THE LOCATION AND SIZING OF SLEEVES WITH THE PROJECT ENGINEER PRIOR TO INSTALLATION.
4. PROVIDE EXPANSION JOINTS AT ALL CURBS, WALLS, STEPS, LIGHT POLE BASES, PULL BOXES, MANHOLES, TRAFFIC CONTROLLER BOXES AND AS SHOWN ON PLAN.
5. CONCRETE SLABS AND RAMP OR STEP FOOTINGS SHALL BE DOWELED INTO ABUTTING WALLS, FOUNDATIONS, AND FOOTINGS USING SLEEVED SMOOTH REINFORCEMENT BARS OF THE SAME SIZE AND SPACING UNLESS OTHERWISE NOTED.

ARTICLE 12 - LANDSCAPE REQUIREMENTS

CITY OF KNOXVILLE | ZONING CODE

12.4 LANDSCAPE DESIGN STANDARDS

A. MINIMUM PLANTING SIZES
1. EVERGREEN TREES MUST HAVE A MINIMUM HEIGHT OF (8) EIGHT FEET.
2. SHADE TREES MUST HAVE A MINIMUM (2) TWO-INCH CALIPER.
3. SINGLE STEM ORNAMENTAL TREES MUST HAVE A MINIMUM TRUNK SIZE OF (2.5) TWO AND ONE-HALF INCHES IN CALIPER. MULTIPLE STEM ORNAMENTAL TREES MUST HAVE A MINIMUM HEIGHT OF (8) EIGHT FEET.
4. EVERGREEN OR DECIDUOUS SHRUBS OF (18) EIGHTEEN INCHES IN HEIGHT.

B. SPECIES DIVERSITY

2

PLANT DIVERSITY REQUIREMENTS

	TOTAL # OF PLANTS	MAX. # OF 1 SPECIES		MIN. # OF SPECIES		
		REQUIRED	PROVIDED	REQUIRED	PROVIDED	
DECIDUOUS SHADE TREES	**53**	40% = 22	**39% = 21**	5	**6**	
ORNAMENTAL TREES	**0**	100% = 0	**100% = 0**	0	**0**	
EVERGREEN TREES	**37**	40% = 15	**100% = 37**	5	**1**	**VARIANCE REQUESTED**
SHRUBS	**520**	30% = 156	**26% = 133**	10	**10**	
GROUNDCOVER / PERENNIALS	**4,073**	15% = 611	**47% = 1910**	15	**9**	**VARIANCE REQUESTED**

12.5 PARKING LOT PERIMETER LANDSCAPE YARD

A. FOR PARKING LOTS OF 10,000 SQUARE FEET OR MORE IN AREA, A PERIMETER YARD MUST BE AT LEAST TEN FEET WIDE, AS MEASURED FROM THE EDGE OF THE PARKING LOT TO THE RIGHT-OF-WAY OR, IF UTILITIES EXIST, TO THE UTILITY MAINTENANCE ZONE.

D. PARKING LOTS LOCATED ON PROPERTIES DEVELOPED UNDER A COMMON OR UNIFIED DEVELOPMENT PLAN AND/OR WHICH HAVE A SHARED ACCESS AGREEMENT ARE NOT REQUIRED TO PROVIDE THE PERIMETER SCREENING AREA ALONG COMMON PROPERTY LINES WHERE PARKING AREAS ABUT.

E. AREAS OF OFF-STREET PARKING AREAS THAT ABUT AN ALLEY ARE NOT REQUIRED TO INSTALL A PERIMETER LANDSCAPE YARD ALONG THE ALLEY FRONTAGE.

SIZE PROVIDED: 12,200 SF ABUTS AN ALLEY

12.6 INTERIOR PARKING LOT LANDSCAPE

INTERIOR PARKING LOT LANDSCAPE IS REQUIRED FOR ALL NEW PARKING LOTS AND VEHICULAR USE AREAS OF 20,000 SQUARE FEET OR MORE IN AREA, AND FOR ANY EXPANSIONS OR IMPROVEMENTS OF EXISTING PARKING LOTS AND VEHICULAR USE AREAS OF 20,000 SQUARE FEET OR MORE.

C. A MINIMUM OF ONE SHADE TREE MUST BE PROVIDED IN EVERY PARKING LOT ISLAND OR LANDSCAPE AREA FOR SINGLE ROW PARKING LOT ISLANDS AND TWO SHADE TREES FOR DOUBLE ROW PARKING LOT ISLANDS. IN ADDITION TO THE REQUIRED SHADE TREES, A MINIMUM OF 60% OF THE AREA OF EVERY PARKING LOT ISLAND MUST BE PLANTED IN SHRUBS, LIVE GROUNDCOVER, PERENNIALS, OR ORNAMENTAL GRASSES, UNLESS THE PARKING LOT ISLAND OR LANDSCAPE AREA IS DESIGNED TO FACILITATE PEDESTRIAN ACCESS THROUGH THE PARKING LOT AS APPROVED IN LANDSCAPE PLAN REVIEW. STONE, MULCH, OR OTHER PERMEABLE LANDSCAPE MATERIALS MAY BE USED FOR ANY REMAINING AREA.

SIZE PROVIDED: 12,200 SF

12.7 SITE LANDSCAPE

B. WHERE MULTI-FAMILY AND NONRESIDENTIAL (INCLUDING MIXED-USE) DEVELOPMENTS ARE LOCATED TEN FEET OR MORE FROM A STREET LOT LINE AND NO PARKING IS LOCATED IN FRONT OF THE STRUCTURE OR DEVELOPMENT AND WHERE ANY FAÇADE ABUTS ANY PARKING AREA, FOUNDATION LANDSCAPE MUST BE PLANTED AS DESCRIBED BELOW. THIS PLANTING AREA IS REQUIRED ALONG 60% OF THE LINEAR FAÇADE AREA. THIS PERCENTAGE MAY BE REDUCED TO ACCOMMODATE ENTRY DESIGN AND OTHER BUILDING FUNCTIONAL OPERATIONS DURING LANDSCAPE PLAN REVIEW.
1. ONE SHRUB FOR EVERY THREE FEET. SHRUB LOCATIONS WITHIN THE PLANTING AREA MAY BE VARIED, BUT THE TOTAL NUMBER OF SHRUBS MUST BE NO LESS THAN AS REQUIRED IN THIS SECTION.
2. SHADE TREES ARE REQUIRED IN THE AMOUNT OF ONE TREE EVERY 50 FEET. TWO ORNAMENTAL TREES MAY BE SUBSTITUTED FOR ONE SHADE TREE AND MUST BE SPACED ONE ORNAMENTAL TREE EVERY 25 FEET. TREE LOCATIONS WITHIN THE PLANTING AREA MAY BE VARIED, BUT THE TOTAL NUMBER OF TREES MUST BE NO LESS THAN AS REQUIRED IN THIS SECTION.
3. 60% OF THE LANDSCAPE AREA OUTSIDE OF SHRUB AND TREE MASSES MUST BE PLANTED IN LIVE GROUNDCOVER, PERENNIALS, OR ORNAMENTAL GRASSES. STONE, MULCH, OR OTHER PERMEABLE LANDSCAPE MATERIALS MAY BE USED FOR THE REMAINING AREA.
4. PLANTED POTS AND/OR PLANTER BOXES MAY BE USED TO SATISFY UP TO 30% OF THE TOTAL LANDSCAPE AREA REQUIREMENT.

SITE LANDSCAPE REQUIREMENTS

	UNIT	N. BURGE DR.		S. BURGE DR.		HARRIET TUBMAN		BOULEVARD		N. ALLEY		N. PARKING LOT		S. PARKING LOT		W. DRIVE AISLE		E. DRIVE AISLE	
		REQ'D	PROVIDED	REQ'D	PROVIDED	REQ'D	PROVIDED	REQ'D	PROVIDED	REQ'D	PROVIDED	REQ'D	PROVIDED	REQ'D	PROVIDED	REQ'D	PROVIDED	REQ'D	PROVIDED
B. PLANT AREA: (FACADE L.F. × 0.6)	(L.F.)	153	**195**	171	**263**	128	**193**	174	**249**	185	**225**	96	**119**	105	**109**	53	**74**	108	**108**
B.1. SHRUBS: (PLANT AREA ÷ 3)	(EA.)	51	**58**	57	**66**	43	**56**	58	**72**	62	**76**	32	**37**	35	**42**	18	**20**	36	**36**
B.2. SHADE TREES: (PLANT AREA ÷ 50)	(EA.)	3	**3**	4	**7**	3	**8**	4	**6**	4	**6**	2	**2**	3	**7**	2	**2**	3	**3**
B.3. PLANTED LIVE GROUNDCOVER: (0.6 × (FRONTAGE − SHRUB AREA))	(S.F.)	857	**986**	2,338	**2,569**	2,175	**2,417**	2,608	**2,859**	1,194	**1,467**	509	**721**	2,484	**3,838**	460	**705**	715	**1,115**
B.4. PLANTER BOXES: (PLANT AREA × 0.3)	(EA.)	N/A	**0**	N/A	**0**	N/A	**0**	N/A	**0**	N/A	**0**	N/A	**0**	N/A	**0**	N/A	**0**	N/A	**0**

2

12.8 BUFFER YARDS

REQUIRED LANDSCAPE FOR BUFFER YARDS BETWEEN LAND USES AND/OR ZONING DISTRICTS WITHIN THE REAR AND/OR SIDE YARDS.

C. BUFFER YARDS ARE REQUIRED AS DESCRIBED IN TABLE 12-2: BUFFER YARD REQUIREMENTS

TABLE 12-2: BUFFER YARD REQUIREMENTS

DEVELOPMENT	BUFFER YARD CLASS
NON-RESIDENTIAL USE LOCATED WITHIN RESIDENTIAL DISTRICT	CLASS A BUFFER
NON-RESIDENTIAL DISTRICT ABUTS A RESIDENTIAL DISTRICT	CLASS B BUFFER
PARKING LOT FOR MULTI-FAMILY UNITS WITHIN A RESIDENTIAL DISTRICT	CLASS A BUFFER
PER USE STANDARDS (ARTICLE 9)	DETERMINED IN THE STANDARDS OF ARTICLE 9

B. BUFFER YARD TYPES
2. CLASS B BUFFER
   a. MINIMUM WIDTH: TWENTY FEET.
   b. MINIMUM REQUIRED SHRUBS: ONE SHRUB EVERY THREE FEET. A MINIMUM OF 50% OF THE SHRUBS MUST BE EVERGREEN.
   c. MINIMUM REQUIRED TREES: ONE EVERGREEN TREE FOR EVERY 20 FEET AND ONE SHADE TREE FOR EVERY 30 FEET.
   e. 60% OF THE LANDSCAPE AREA OUTSIDE OF SHRUB AND TREE MASSES MUST BE PLANTED IN LIVE GROUNDCOVER, PERENNIALS, OR ORNAMENTAL GRASSES. STONE, MULCH, OR OTHER PERMEABLE LANDSCAPE MATERIALS MAY BE USED FOR THE REMAINING AREA.

D. WHEN A WALL OR SOLID FENCE IS INCORPORATED INTO A BUFFER YARD, IT MUST BE A MINIMUM OF SIX FEET UP TO A MAXIMUM OF EIGHT FEET. WHEN A WALL OR SOLID FENCE IS COMBINED WITH A BERM, THE COMBINED HEIGHT OF THE WALL OR SOLID FENCE AND ANY BERM CANNOT BE LESS THAN SIX FEET OR EXCEED EIGHT FEET.

VARIANCE REQUESTED

PLANTING NOTES:

1. THE LOCATION OF ALL TREES SHALL BE STAKED AND VERIFIED IN THE FIELD WITH THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE. DUE TO THE PREVALENCE OF SUB-SURFACE UTILITIES TREE LOCATIONS MAY SHIFT. NO TREE SHALL BE PLANTED WITHOUT THE EXPLICIT APPROVAL OF THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE.
2. ALL NEW PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED WITHIN THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (ANSI Z-60.1).
3. ALL PLANTS SHALL BE CONTAINER GROWN OR BALLED & BURLAP UNLESS OTHERWISE NOTED ON PLANT SCHEDULE.
4. THE CONTRACTOR SHALL SUPPLY ALL NEW PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS.
5. QUANTITIES SHOWN IN THE PLANT SCHEDULE ARE FOR REFERENCE ONLY. THE CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR THE PROVISION OF SUFFICIENT PLANT QUANTITIES TO MEET THE SPECIFIED PLANT SPACING REQUIREMENTS FOR EACH PLANT BED SHOWN IN THE PLANS.
6. ALL NEW TREES AND SPECIMEN SHRUBS SHALL BE TAGGED AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
7. NO TREES SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING. TREES SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS THEY BORE TO PREVIOUS GRADE. SEE TREE PLANTING DETAIL.
8. STAKE LOCATION OF ALL PROPOSED TREES, PLANTS, & METAL BED EDGES FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO THE COMMENCEMENT OF PLANTING.
9. ALL EXISTING TREES TO REMAIN SHALL BE PROPERLY PROTECTED, PRUNED AND FERTILIZED PER THE SPECIFICATIONS.
10. ALL LAWN AREAS DISTURBED BY CONSTRUCTION OPERATIONS INSIDE & OUTSIDE THE LIMIT-OF-WORK SHALL RECEIVE FOUR INCHES OF TOPSOIL AND SOD AS SPECIFIED.
11. ALL PLANT BEDS ARE TO RECEIVE MULCH AS SPECIFIED. SEE MULCH DETAIL 2/L2.6 AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
12. ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, AND ONLY AS APPROVED BY THE OWNER'S REPRESENTATIVE.
13. PREPARE ALL PLANT BEDS WITH PLANTING SOIL TO A MINIMUM DEPTH MATCHING THE DETAILS SHOWN HEREIN. PLANTING SOIL SHALL BE CONTINUOUS THROUGHOUT ENTIRE PLANT BED.

ABBREVIATIONS:

ADJ.	ADJACENT (LAYOUT)
ALIGN	ALIGN
BS	BOTTOM OF STEP
BW	BOTTOM OF WALL
CIP or C.I.P.	CAST-IN-PLACE (CONCRETE)
CIVIL or C.E.	CIVIL ENGINEER
CL	CENTERLINE (LAYOUT)
CONC.	CONCRETE
DIA.	DIAMETER (LAYOUT)
ELEV.	ELEVATION
EJ	EXPANSION JOINT (CONCRETE)
EQ.	EQUAL (LAYOUT)
FG or F.G.	FINISHED GRADE (PLANTING)
FS or F.S.	FINISHED SURFACE (PAVING)
HP or H.P.	HIGH POINT (GRADIENT)
LA or L.A.	LANDSCAPE ARCHITECT
LOW or L.O.W.	LIMIT OF WORK
LP	LOW POINT (GRADIENT)
MAX.	MAXIMUM
MIN.	MINIMUM
NIC or N.I.C.	NOT IN CONTRACT
NTS or N.T.S.	NOT TO SCALE
OC or O.C.	ON-CENTER (LAYOUT)
OD or O.D.	OUTSIDE DIAMETER (LAYOUT)
PA or P.A.	PLANTING AREA
PERF.	PERFORATED
POB or P.O.B.	POINT OF BEGINNING (LAYOUT)
PL	PROPERTY LINE
R	RADIUS (LAYOUT)
REF	REFERENCE OR REFER TO
REINF.	REINFORCEMENT
S.E.	STRUCTURAL ENGINEER
SPECS	CONTRACT SPECIFICATIONS
S/S	STAINLESS STEEL
TBD	TO BE DETERMINED
TC	TOP OF CURB (ELEVATION)
TG	TOP OF GRATE (ELEVATION)
TS	TOP OF STEP (ELEVATION)
TOSS	TOP OF STRUCTURAL SLAB
TW	TOP OF WALL (ELEVATION)
TYP.	TYPICAL
W/ or W-	WITH

LAYOUT LEGEND:

- LIMIT OF WORK
- CENTERLINE
- ANGLE (58°)
- DIMENSION (12')
- RADIUS (R5')
- TYP. TYPICAL
- EQ. EQUAL
- ALIGN
- CENTERLINE TANGENCY OR MIDPOINT
- SPOT ELEVATION (6.75 + TW 6.25)
- POINT OF BEGINNING (P.O.B.) (±0'-0")
- BASE LINE FROM P.O.B. OR REFERENCE POINT

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Date	Description
05/26/2020	ADDENDUM

CLIFFORD LEE BROOKS — TENNESSEE — REGISTERED LANDSCAPE ARCHITECT — 5-26-2020

Seal / Signature

CONSTRUCTION DOCUMENTS — PROGRESS SET — 100%

Project Name 05.06.2020

AUSTIN HOMES - PHASE 1A

Project Number

123136 05/06/2020

Description

LANDSCAPE NOTES & LEGENDS

Scale

L0.1

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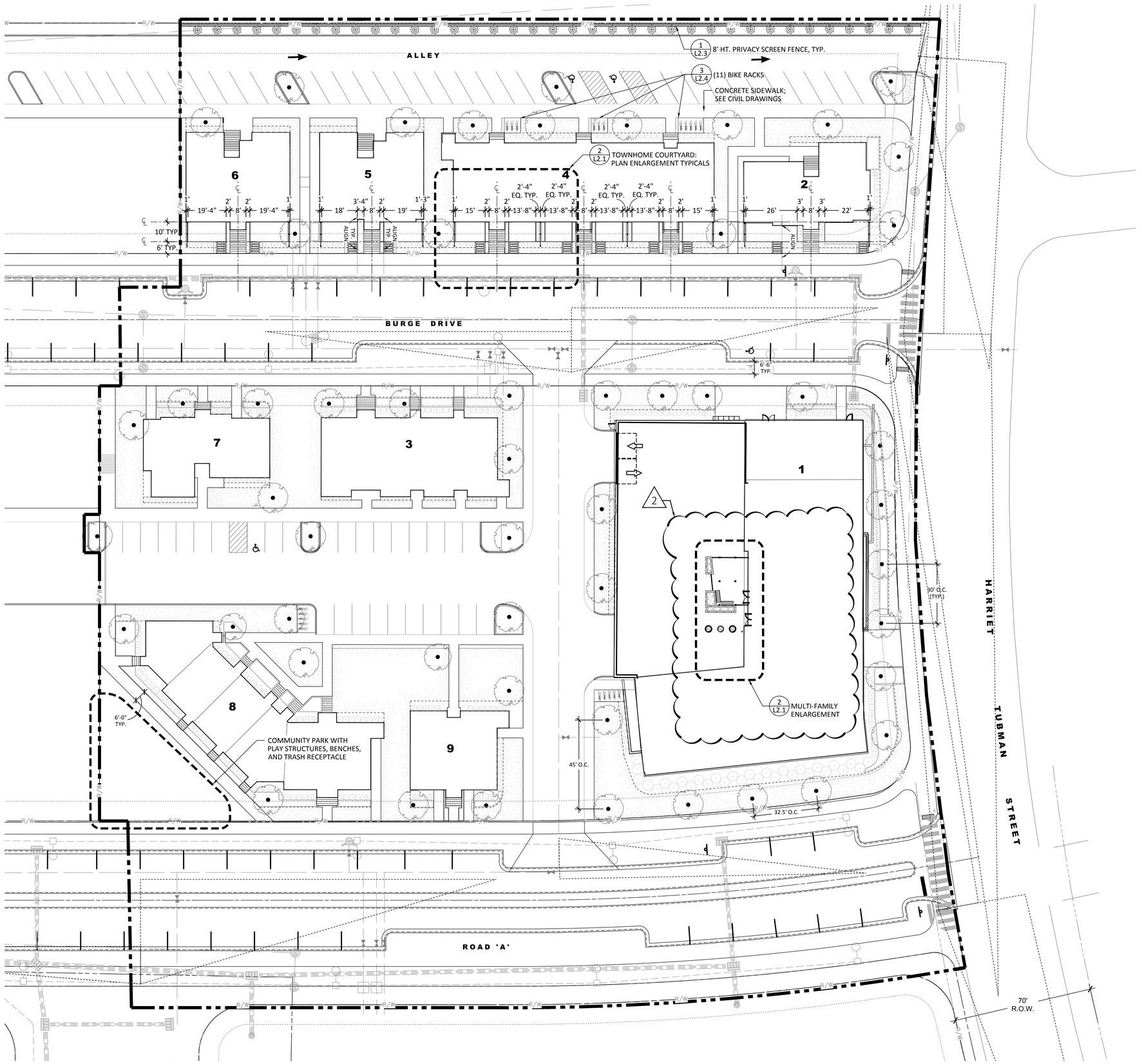

1 LAYOUT AND MATERIALS PLAN
1" = 20'-0"

LAYOUT LEGEND:

- LIMIT OF WORK
- CENTERLINE
- ANGLE (58°)
- DIMENSION (12')
- RADIUS (R5')
- TYP. — TYPICAL
- EQ. — EQUAL
- ALIGN
- CENTERLINE TANGENCY OR MIDPOINT
- SPOT ELEVATION (6.75 + TW 6.25)
- POINT OF BEGINNING (P.O.B.) (±0'-0")
- BASE LINE FROM P.O.B. OR REFERENCE POINT

MATERIALS LEGEND

	LIMIT OF WORK	
EJ	EXPANSION JOINT	2 L2.2
	METAL BED EDGE	3 L2.6
	CROSSWALK (CONC. PAVEMENT)	SEE CIVIL DWGS
	PAINTED STRIPE CROSSWALK	
	ADA ACCESSIBLE RAMP	SEE CIVIL DWGS
	6 FT 'BACKLESS' & 6 FT STD. BY CITYVIEW	1 L2.4 1 L2.4
	BIKE RACK	3 L2.4
	LITTER & RECYCLING RECEPTACLE	2 L2.4
	PRIVACY SCREEN FENCE	1 L2.3
	SITE WALL	X LX.X X LX.X
	DOT ROADWAY LIGHTS	SEE CIVIL DWGS
	PED. POLE LIGHT	SEE CIVIL DWGS

NORTH

KCDC
KNOXVILLE'S COMMUNITY DEVELOPMENT CORPORATION

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2240 Sutherland Avenue
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Tel 312.456.0123
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AUSTIN HOMES REDEVELOPMENT
PHASE 1A
BURGE DRIVE AND HARRIET TUBMAN ST.

Date	Description
05/26/2020	ADDENDUM

CLIFFORD LEE BROOKS — TENNESSEE — REGISTERED LANDSCAPE ARCHITECT — 5-26-2020

Seal / Signature

CONSTRUCTION DOCUMENTS — PROGRESS SET — 100% — 05.06.2020

Project Name
AUSTIN HOMES - PHASE 1A

Project Number
123136 05/06/2020

Description
LANDSCAPE LAYOUT & MATERIALS PLAN

Scale
1" = 20'-0" (0 20' 40')

L1.1

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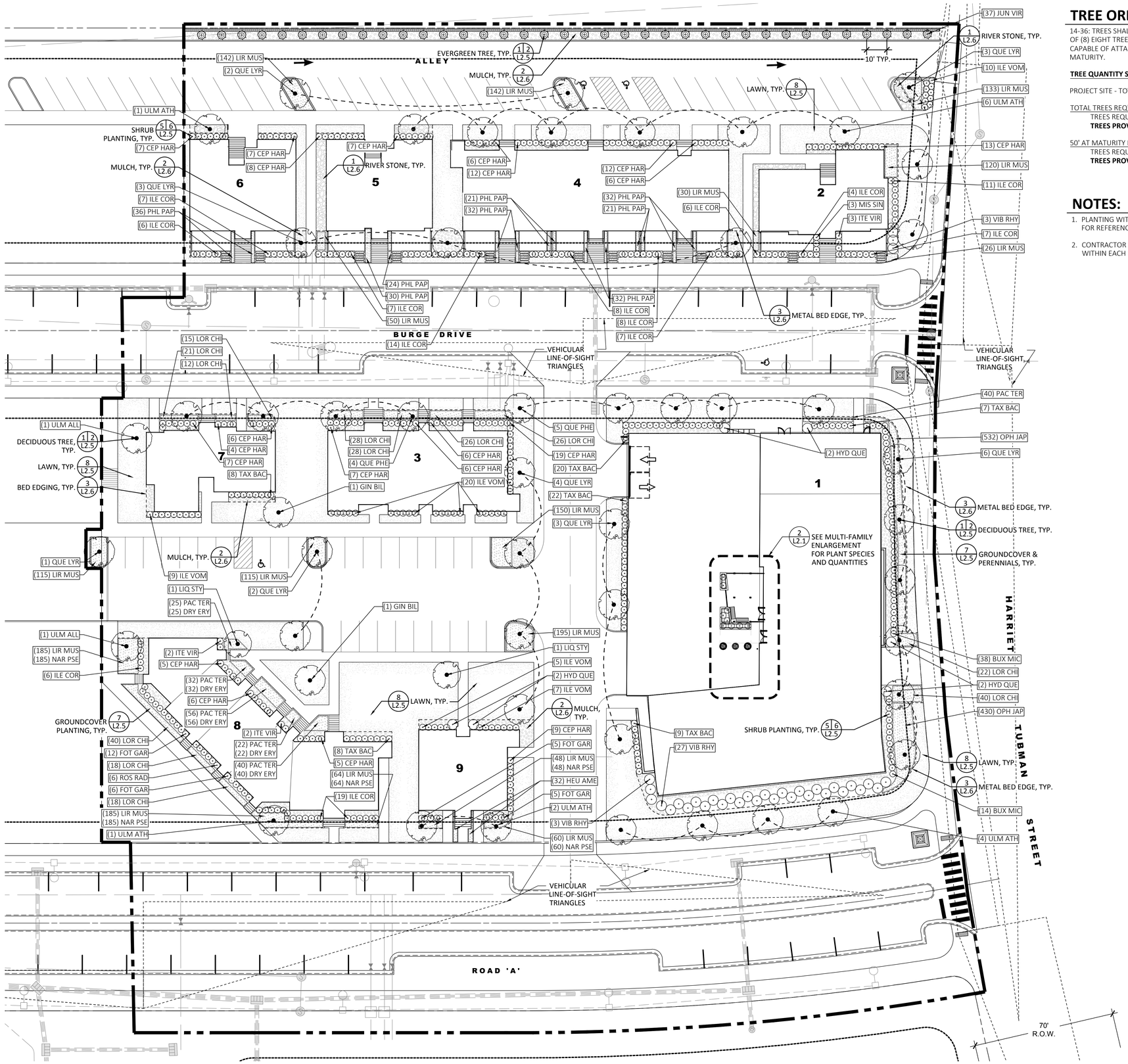

1 PLANTING PLAN
1" = 20'-0"

TREE ORDINANCE:

14-36: TREES SHALL BE PROVIDED AT A RATE OF (8) EIGHT TREES PER ACRE WITH 50% BEING CAPABLE OF ATTAINING (50') FIFTY FEET AT MATURITY.

TREE QUANTITY SUMMARY:

PROJECT SITE - TOTAL ACRES: ± 3 ac.

TOTAL TREES REQ'D: *= [3] acres × 8 trees*
TREES REQUIRED: 24 ea.
TREES PROVIDED: 90 ea.

50' AT MATURITY REQ'D: *= [24] req'd × 0.5*
TREES REQUIRED: 12 ea.
TREES PROVIDED: 53 ea.

NOTES:

1. PLANTING WITHIN RIGHT-OF-WAY SHOWN FOR REFERENCE ONLY.
2. CONTRACTOR SHALL PERFORM WORK WITHIN EACH PARCEL ONLY.

PLANTING LEGEND

	DECIDUOUS / SHADE TREE	L2.5 (1), L2.5 (2)
	ORNAMENTAL / FLOWERING TREE	L2.5 (1), L2.5 (2)
	EVERGREEN TREE	L2.5 (1), L2.5 (2)
	SHRUBS	L2.5 (5), L2.5 (6)
	GROUNDCOVER & PERENNIALS	L2.5 (7)
	LAWN	L2.5 (8)
	RIVER STONE	L2.6 (1)
	MULCH BED	L2.6 (2)
	METAL BED EDGING	L2.6 (3)
XXX XXX	PLANT SPECIES CALLOUT & QUANTITY	

PLANT SCHEDULE

QTY	ABBREV.	SCIENTIFIC NAME
DECIDUOUS SHADE TREES		
2 EA	GIN BIL	*Ginkgo biloba* 'Golden Globe'
2 EA	LIQ STY	*Liquidambar Styraciflua* 'Rotundiloba'
21 EA	QUE LYR	*Quercus lyrata* 'Highbeam'
12 EA	QUE PHE	*Quercus phellos* 'Hightower',
14 EA	ULM ATH	*Ulmus parvifolia* 'Emer I'
2 EA	ULM ALL	*Ulmus parvifolia* 'Emer II'
53 TOTAL		
ORNAMENTAL TREES		
0 EA	CER CAN	*Cercis Canadensis* 'Forest Pansy'
0 EA	COR BRA	*Cornus florida* 'Cherokee Brave'
0 EA	COR PRI	*Cornus florida* 'Cherokee Princess'
0 TOTAL		
EVERGREEN TREES		
0 EA	ILE BRU	*Ilex x* 'Emily Bruner'
37 EA	JUN VIR	*Juniperus virginiana* 'Skyrocket'
37 TOTAL		
SHRUBS		
61 EA	BUX MIC	*Buxus microphylla japonica* 'Winter Gem'
133 EA	CEP HAR	*Cephalotaxus harringtonia* 'Duke Gardens'
22 EA	FOT GAR	*Fothergilla gardenii* 'Mt. Airy'
6 EA	HYD QUE	*Hydrangea quercifolia* 'Snowflake'
103 EA	ILE COR	*Ilex cornuta* 'Carissa'
84 EA	ILE VOM	*Ilex vomitoria* 'Stoke's Dwarf'
7 EA	ITE VIR	*Itea virginica* 'Henry's Garnette'
6 EA	ROS RAD	*Rosa radrazz* 'Knockout'
65 EA	TAX BAC	*Taxus baccata* 'Repandens'
33 EA	VIB RHY	*Viburnum x rhytidophyllum*
520 TOTAL		
GROUNDCOVER / PERENNIALS / BULBS		
175 EA	DRY ERY	*Dryopteris erythrosora* 'Brilliance'
71 EA	HEU AME	*Heuchera Americana* 'Plum Pudding'
1,910 EA	LIR MUS	*Liriope muscari* 'Big Blue'
294 EA	LOR CHI	*Loropetalum chinensis* 'Jazz Hands Mini'
3 EA	MIS SIN	*Miscanthus Sinensis* 'Zebrinus'
542 EA	NAR PSE	*Narcissus pseudonarcissus*
631 EA	OPH JAP	*Ophiopogon japonicus* 'Nanus'
215 EA	PAC TER	*Pachysandra terminalis* 'Green Sheen'
223 EA	PHL PAP	*Phlox x hybrida* 'Paparazzi Jagger'
9 EA	SCH SCO	*Schizachyrium scoparium* 'Standing Ovation'
4,073 TOTAL		
LAWN / TURF		
20,350 SF	SOD	TURF TYPE FESCUE SOD (SEE SPECS.)
20,350 TOTAL		
MISC ACCESSORIES		
810 SF		RIVER STONE MULCH (3"- 6" DIA.)
1,730 LF		BLACK METAL BED EDGING; SEE PLANS AND

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△ Date	Description
△ 05/26/2020	ADDENDUM

Seal / Signature

CLIFFORD LEE BROOKS — REGISTERED LANDSCAPE ARCHITECT — TENNESSEE — 5-26-2020

CONSTRUCTION DOCUMENTS
PROGRESS SET
100%

Project Name 05.06.2020
AUSTIN HOMES - PHASE 1A

Project Number
123136 05/06/2020

Description
LANDSCAPE PLANTING PLAN

Scale
1" = 20'-0"
0 20' 40'

NORTH

L1.2

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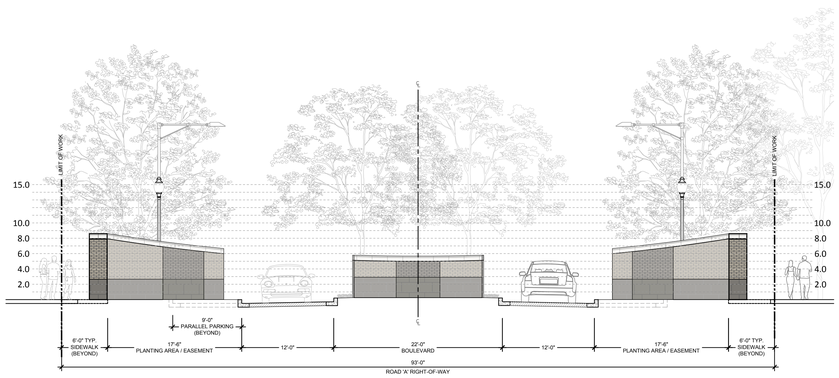
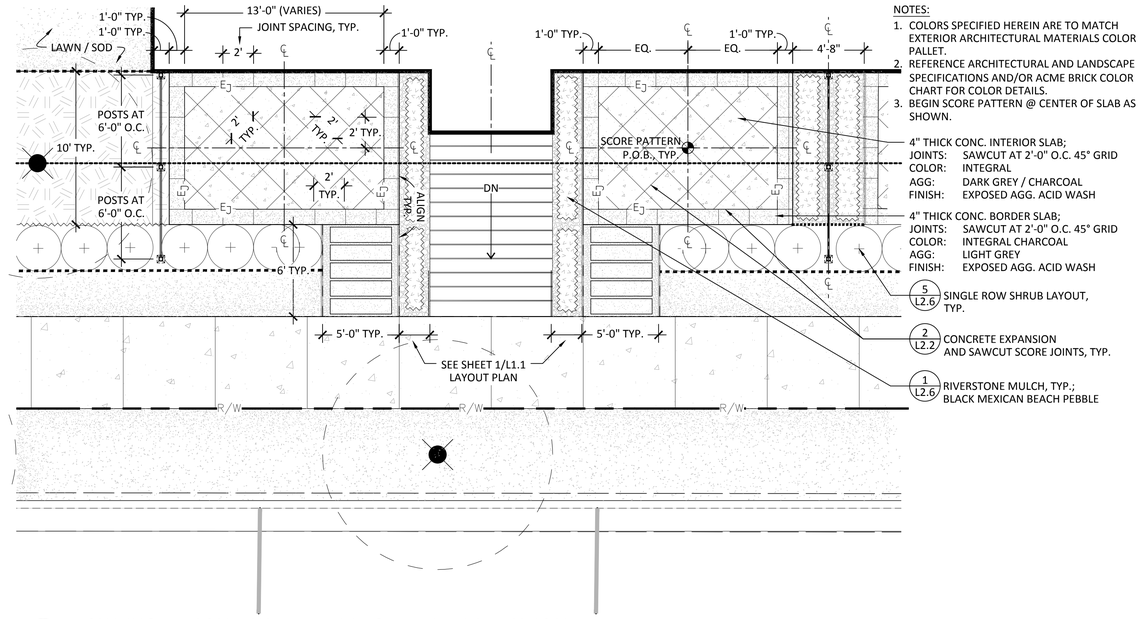


3 ROAD 'A' ENTRY MONUMENTS - SECTION A'-A' (N.I.C.)

N.T.S.



NOTES:
1. COLORS SPECIFIED HEREIN ARE TO MATCH EXTERIOR ARCHITECTURAL MATERIALS COLOR PALLET.
2. REFERENCE ARCHITECTURAL AND LANDSCAPE SPECIFICATIONS AND/OR ACME BRICK COLOR CHART FOR COLOR DETAILS.
3. BEGIN SCORE PATTERN @ CENTER OF SLAB AS SHOWN.

4" THICK CONC. INTERIOR SLAB;
JOINTS: SAWCUT AT 2'-0" O.C. 45° GRID
COLOR: INTEGRAL
AGG: DARK GREY / CHARCOAL
FINISH: EXPOSED AGG. ACID WASH

4" THICK CONC. BORDER SLAB;
JOINTS: SAWCUT AT 2'-0" O.C. 45° GRID
COLOR: INTEGRAL CHARCOAL
AGG: LIGHT GREY
FINISH: EXPOSED AGG. ACID WASH

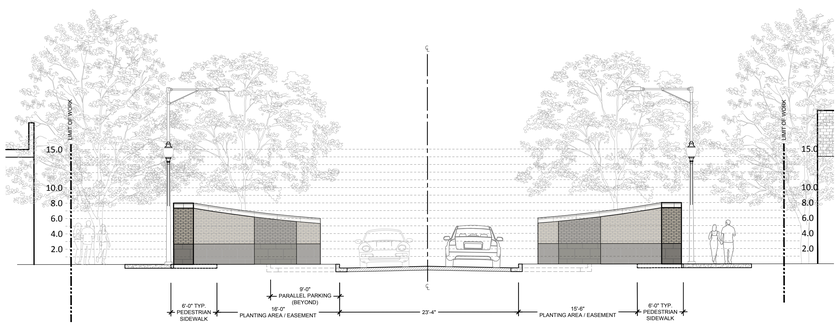
5 / L2.6 SINGLE ROW SHRUB LAYOUT, TYP.

2 / L2.2 CONCRETE EXPANSION AND SAWCUT SCORE JOINTS, TYP.

1 / L2.6 RIVERSTONE MULCH, TYP.; BLACK MEXICAN BEACH PEBBLE

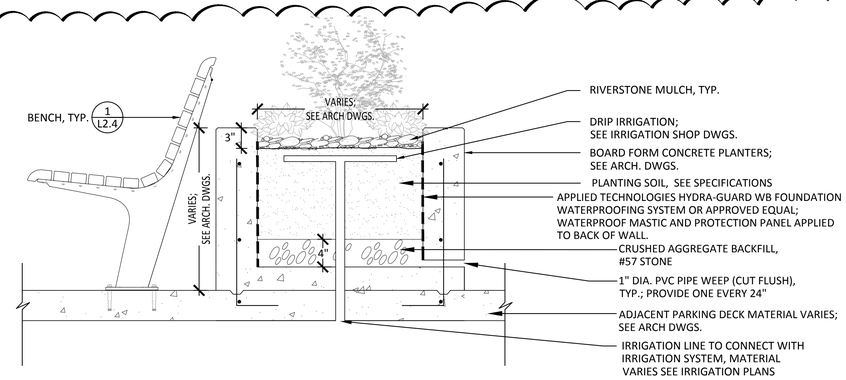
1 TOWNHOME COURTYARD - ENLARGEMENT PLAN TYPICAL

1/4" = 1'-0"



4 BURGE DRIVE ENTRY MONUMENTS - SECTION B'-B' (N.I.C.)

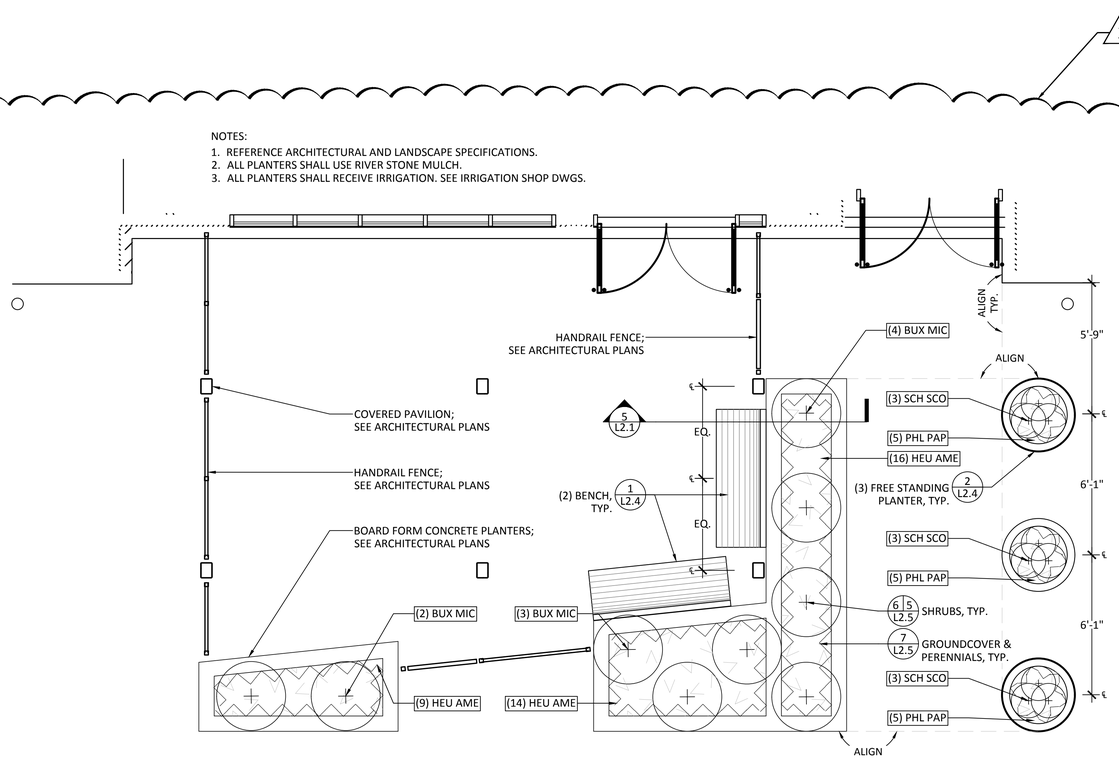
N.T.S.



5 BOARD FORM CONCRETE PLANTERS - SECTION

N.T.S.

NOTES:
1. REFERENCE ARCHITECTURAL AND LANDSCAPE SPECIFICATIONS.
2. ALL PLANTERS SHALL USE RIVER STONE MULCH.
3. ALL PLANTERS SHALL RECEIVE IRRIGATION. SEE IRRIGATION SHOP DWGS.



2 MULTI-FAMILY ENLARGEMENT

3/8" = 1'-0"

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Date	Description
05/26/2020	ADDENDUM

Seal / Signature

Project Name 05.06.2020

AUSTIN HOMES - PHASE 1A

Project Number

123136 05/06/2020

Description

ENTRY MONUMENT ENLARGEMENTS & DETAILS

Scale

L2.1

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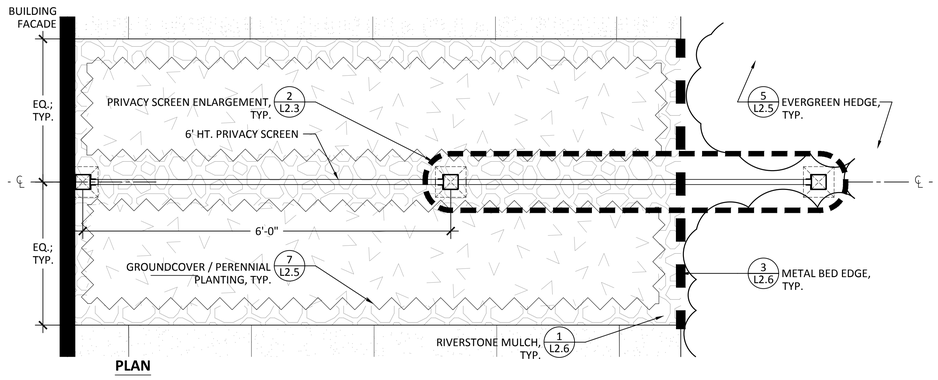
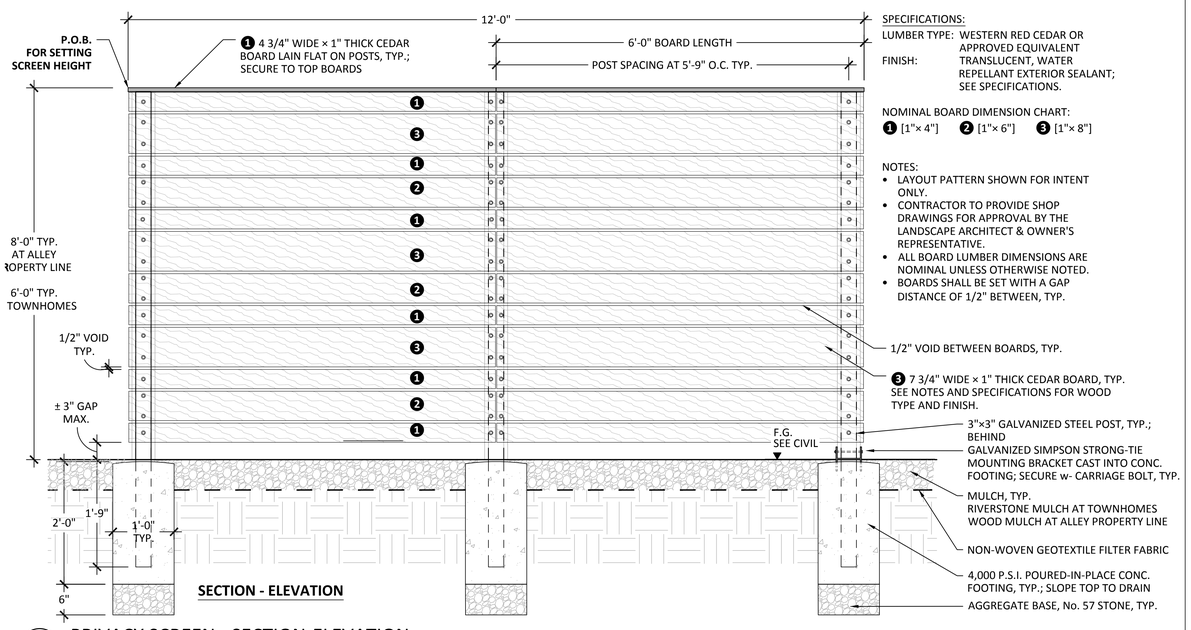


3 PRIVACY SCREEN (TOWNHOME COURTYARD)

1" = 1'-0"



SPECIFICATIONS:

LUMBER TYPE: WESTERN RED CEDAR OR APPROVED EQUIVALENT

FINISH: TRANSLUCENT, WATER REPELLANT EXTERIOR SEALANT; SEE SPECIFICATIONS.

NOMINAL BOARD DIMENSION CHART:

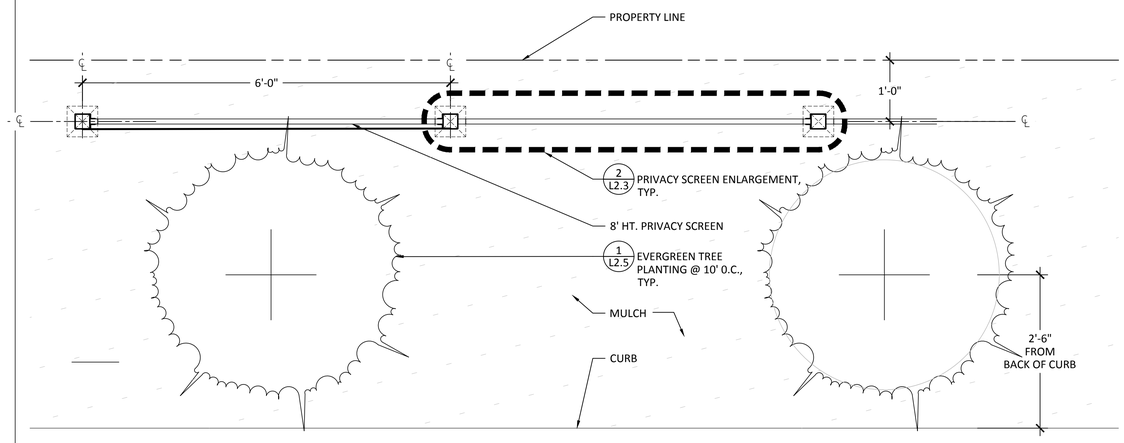
1 [1"× 4"] 2 [1"× 6"] 3 [1"× 8"]

NOTES:

- LAYOUT PATTERN SHOWN FOR INTENT ONLY.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL BY THE LANDSCAPE ARCHITECT & OWNER'S REPRESENTATIVE.
- ALL BOARD LUMBER DIMENSIONS ARE NOMINAL UNLESS OTHERWISE NOTED.
- BOARDS SHALL BE SET WITH A GAP DISTANCE OF 1/2" BETWEEN, TYP.

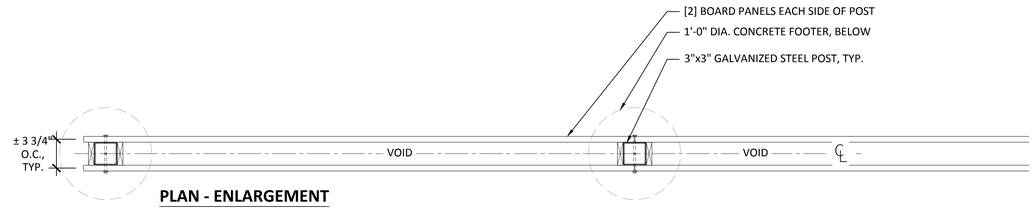
1 PRIVACY SCREEN - SECTION-ELEVATION

1" = 1'-0"



4 PRIVACY SCREEN (PROPERTY LINE AT ALLEY)

1" = 1'-0"



2 PRIVACY SCREEN ENLARGEMENT

1" = 1'-0"

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PHASE 1A
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Date	Description
05/26/2020	ADDENDUM

CLIFFORD LEE BROOKS — TENNESSEE — REGISTERED LANDSCAPE ARCHITECT — 5-26-2020

Seal / Signature

CONSTRUCTION DOCUMENTS — PROGRESS SET — 100% — 05.06.2020

Project Name

AUSTIN HOMES - PHASE 1A

Project Number

123136 05/06/2020

Description

LANDSCAPE WALL AND FENCE DETAILS

Scale

L2.3

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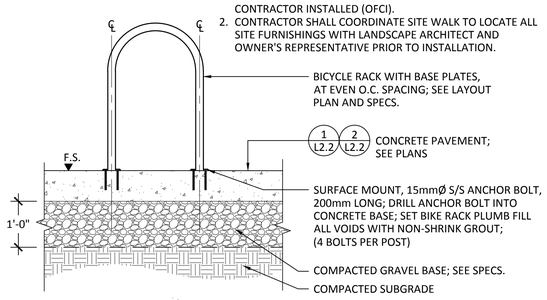


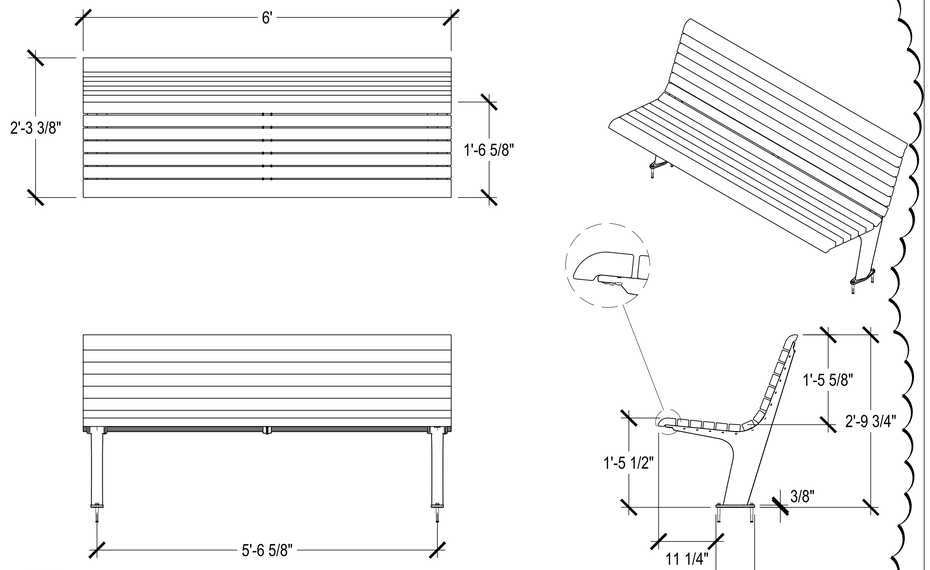
NOTES:

PRODUCT: DERO HOOP RACK, FT - SURFACE MOUNT
MFR: DERO BIKE RACK COMPANY OR APPROVED EQUAL
COLOR: BLACK POWDER COAT FINISH

1. ALL SITE FURNISHINGS ARE OWNER FURNISHED AND CONTRACTOR INSTALLED (OFCI).
2. CONTRACTOR SHALL COORDINATE SITE WALK TO LOCATE ALL SITE FURNISHINGS WITH LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

3 BIKE RACK (SURFACE MOUNT)

3/4" = 1'-0"



NOTES:

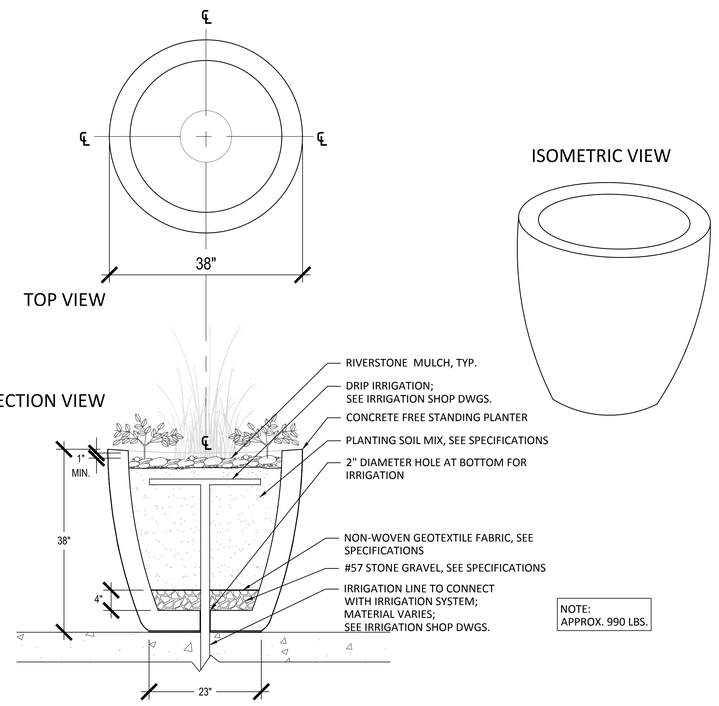
- NO MATERIAL SHALL BE INSTALLED WITHOUT APPROVAL FROM OWNER'S REPRESENTATIVE.
- INSTALLATION SHALL BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- BENCH MUST BE ANCHORED USING PROVIDED ANCHOR HARDWARE.

- MANUFACTURER: LANDSCAPE FORMS OR APPROVED EQUAL
  MODEL: GENERATION 50 - BV212-01
  FEATURES: 72" LENGTH, CANTILEVERED, BACKED, CURVED CUT FACE BOARD, SURFACE MOUNT, NO ARMS
  CONTACT: 800-521-2546 LANDSCAPEFORMS.COM

1 BENCHES - (SURFACE MOUNT)

N.T.S.

2



NOTE:
APPROX. 990 LBS.

NOTES:

- NO MATERIAL SHALL BE INSTALLED WITHOUT APPROVAL FROM OWNER'S REPRESENTATIVE.
- INSTALLATION SHALL BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- FREE STANDING PLANTERS SHALL BE IRRIGATED. SEE IRRIGATION SHOP DWGS.
- PROVIDE PLANTER COLOR SAMPLES FOR SELECTION AND APPROVAL BY LANDSCAPE ARCHITECT.

- MANUFACTURER: KORNEGAY DESIGN OR APPROVED EQUAL
  MODEL: DUNE SERIES - 38" DIA. X 38" HT.
  PLANTERS SHALL BE PURCHASED WITH 2" DIAMETER HOLE AT BOTTOM
  CONTACT: 877-252-6323
  KORNEGAYDESIGN.COM

2 FREE STANDING PLANTERS

N.T.S.

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AUSTIN HOMES REDEVELOPMENT
PHASE 1A
BURGE DRIVE AND HARRIET TUBMAN ST.

Date	Description
05/26/2020	ADDENDUM

CLIFFORD LEE BROOKS
REGISTERED LANDSCAPE ARCHITECT
AGRICULTURE
TENNESSEE
5-26-2020
LANDSCAPE ARCHITECT

Seal / Signature

CONSTRUCTION DOCUMENTS
PROGRESS SET
100%

Project Name 05.06.2020
AUSTIN HOMES - PHASE 1A

Project Number
123136 05/06/2020

Description
LANDSCAPE AMENITY DETAILS

Scale

L2.4

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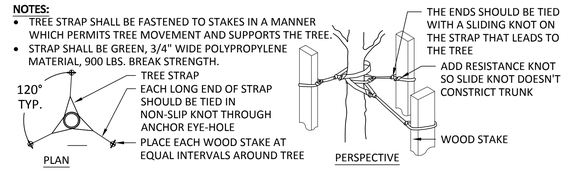
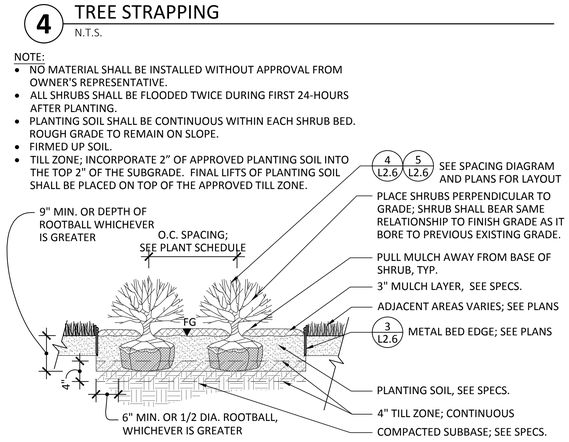
PLANT SCHEDULE (PHASE-1A PACKAGE)

QTY	ABBREV.	SCIENTIFIC NAME	COMMON NAME	MIN. SIZE	SPACING	NOTES
DECIDUOUS SHADE TREES						
2 EA	GIN BIL	*Ginkgo biloba* 'Golden Globe'	Golden Globe Ginkgo	3" CAL.		
2 EA	LIQ STY	*Liquidambar Styraciflua* 'Rotundiloba'	Round-Lobed Sweetgum	3" CAL.		
21 EA	QUE LYR	*Quercus lyrata* 'Highbeam'	Highbeam Overcup Oak	3" CAL.		
12 EA	QUE PHE	*Quercus phellos* 'Hightower',	Hightower Willow Oak	3" CAL.		
14 EA	ULM ATH	*Ulmus parvifolia* 'Emer I'	Athena Bosque Chinese Elm	3" CAL.		
2 EA	ULM ALL	*Ulmus parvifolia* 'Emer II'	Allee Chinese Elm	3" CAL.		
53 TOTAL						
ORNAMENTAL TREES						
0 EA	CER CAN	*Cercis Canadensis* 'Forest Pansy'	Forest Pansy Redbud	10' MIN. HT.	SEE PLANTING PLANS	B&B; MULTI-STEM
0 EA	COR BRA	*Cornus florida* 'Cherokee Brave'	Cherokee Brave Dogwood	10' MIN. HT.		
0 EA	COR PRI	*Cornus florida* 'Cherokee Princess'	Cherokee Princess Dogwood	10' MIN. HT.		
0 TOTAL						
EVERGREEN TREES						
0 EA	ILE BRU	*Ilex x* 'Emily Bruner'	Emily Bruner Holly	8' HT.	SEE PLANTING PLANS	B&B; FULL TO GROUND
37 EA	JUN VIR	*Juniperus virginiana* 'Skyrocket'	Skyrocket Eastern Red Cedar	8' HT.		B&B; FULL TO GROUND
37 TOTAL						
SHRUBS						
61 EA	BUX MIC	*Buxus microphylla japonica* 'Winter Gem'	Winter Gem Boxwood	#5 CONT.	36" O.C.	24" HT.× 24" SPD. MIN.
133 EA	CEP HAR	*Cephalotaxus harringtonia* 'Duke Gardens'	Duke Gardens Yew	#5 CONT.	36" O.C.	18" HT.× 24" SPD. MIN.
22 EA	FOT GAR	*Fothergilla gardenii* 'Mt. Airy'	Mt. Airy Fothergilla	#5 CONT.	36" O.C.	18" HT.× 12" SPD. MIN.
6 EA	HYD QUE	*Hydrangea quercifolia* 'Snowflake'	Snowflake Oakleaf Hydrangea	#7 CONT.	72" O.C.	24" HT.× 24" SPD. MIN.
103 EA	ILE COR	*Ilex cornuta* 'Carissa'	Carissa Holly	#5 CONT.	36" O.C.	18" HT.× 18" SPD. MIN.
84 EA	ILE VOM	*Ilex vomitoria* 'Stoke's Dwarf'	Stoke's Dwarf Yaupon Holly	#5 CONT.	36" O.C.	18" HT.× 18" SPD. MIN.
7 EA	ITE VIR	*Itea virginica* 'Henry's Garnette'	Henry's Garnette Sweetspire	#5 CONT.	36" O.C.	24" HT.× 18" SPD. MIN.
6 EA	ROS RAD	*Rosa radrazz* 'Knockout'	Knockout Rose	#5 CONT.	36" O.C.	18" HT.× 18" SPD. MIN.
65 EA	TAX BAC	*Taxus baccata* 'Repandens'	Repandens English Yew	#5 CONT.	36" O.C.	18" HT.× 24" SPD. MIN.
33 EA	VIB RHY	*Viburnum x rhytidophyllum*	Leatherleaf Viburnum	#7 CONT.	72" O.C.	30" HT.× 30" SPD. MIN.
520 TOTAL						
GROUNDCOVER / PERENNIALS / BULBS						
175 EA	DRY ERY	*Dryopteris erythrosora* 'Brilliance'	Brilliance Autumn Fern	#1 CONT.	18" O.C.	12" HT. MIN.
71 EA	HEU AME	*Heuchera Americana* 'Plum Pudding'	Plum Pudding Coral Bells	#1 CONT.	18" O.C.	12" SPD. MIN.
1,910 EA	LIR MUS	*Liriope muscari* 'Big Blue'	Big Blue Liriope	#1 CONT.	12" O.C.	6" HT. MIN.
294 EA	LOR CHI	*Loropetalum chinensis* 'Jazz Hands Mini'	Jazz Hands Mini Chinese Fringe-Flower	#1 CONT.	24" O.C.	8" HT. MIN.
3 EA	MIS SIN	*Miscanthus Sinensis* 'Zebrinus'	Zebra Grass	#3 CONT.	36" O.C.	18" HT. MIN.
542 EA	NAR PSE	*Narcissus pseudonarcissus*	Daffodils	#1 CONT.	12" O.C.	6" HT. MIN.
631 EA	OPH JAP	*Ophiopogon japonicus* 'Nanus'	Dwarf Mondo Grass	#1 CONT.	12" O.C.	6" HT. MIN.
215 EA	PAC TER	*Pachysandra terminalis* 'Green Sheen'	Green Sheen Pachysandra	#1 CONT.	18" O.C.	6" HT. MIN.
223 EA	PHL PAP	*Phlox x hybrida* 'Paparazzi Jagger'	Paparazzi Jagger Creeping Phlox	#1 CONT.	18" O.C.	12" SPD. MIN.
9 EA	SCH SCO	*Schizachyrium scoparium* 'Standing Ovation'	Standing Ovation Little Bluestem	#1 CONT.	36" O.C.	12" HT. MIN.
4,073 TOTAL						
LAWN / TURF						
20,350 SF	SOD	TURF TYPE FESCUE SOD (SEE SPECS.)				
20,350 TOTAL						
MISC ACCESSORIES						
810 SF		RIVER STONE MULCH (3"- 6" DIA.)				
1,730 LF		BLACK METAL BED EDGING; SEE PLANS AND SPECIFICATIONS				



4 TREE STRAPPING
N.T.S.



5 SHRUB PLANTING
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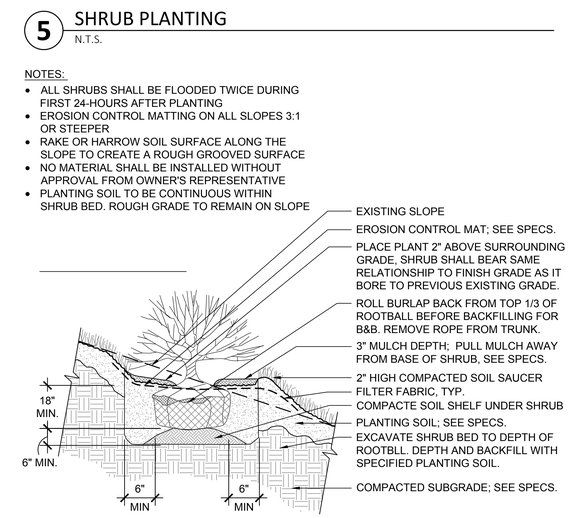

6 SHRUBS ON SLOPE
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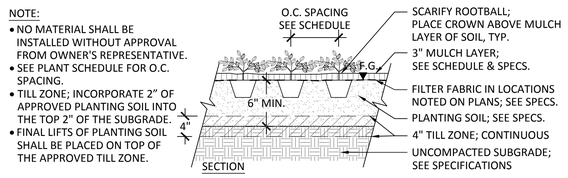
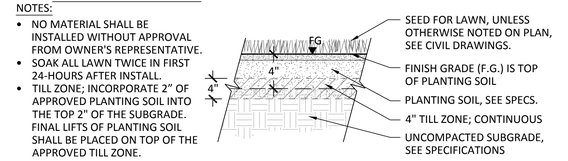
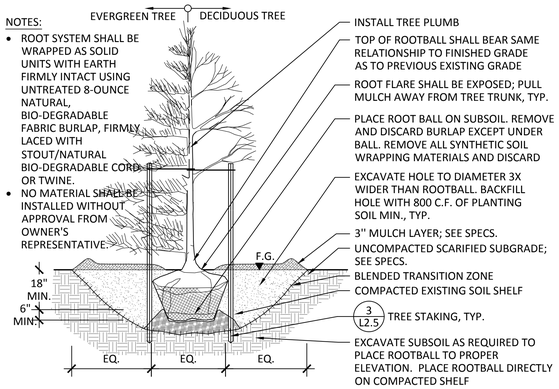


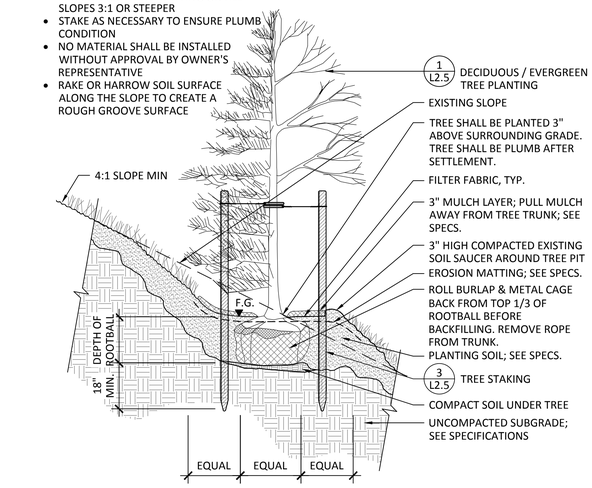
7 GROUNDCOVER / PERENNIAL PLANTING
N.T.S.



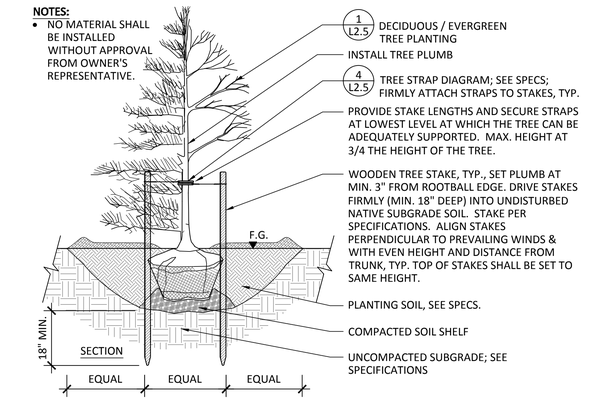
8 LAWN/SEED PLANTING
N.T.S.



1 TREE PLANTING
N.T.S.



2 TREE PLANTING ON SLOPE
N.T.S.



3 TREE STAKING
N.T.S.

KCDC
KNOXVILLE'S COMMUNITY DEVELOPMENT CORPORATION
AUSTIN HOMES REDEVELOPMENT
PHASE 1A
BURGE DRIVE AND HARRIET TUBMAN ST.

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United States
Tel 312.456.0123
Fax 312.456.0124

Date	Description
05/26/2020	ADDENDUM

CLIFFORD LEE BROOKS — LICENSED LANDSCAPE ARCHITECT — TENNESSEE — 5.26.20

Seal / Signature

CONSTRUCTION DOCUMENTS — PROGRESS SET — 100%

Project Name 05.06.2020

AUSTIN HOMES - PHASE 1A

Project Number

123136 05/06/2020

Description

LANDSCAPE PLANTING DETAILS

Scale

L2.5

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1 FLOOR PLAN - LEVEL 00 (PARKING)
MF-A1.0
1/8" = 1'-0"

PARKING

LOWER LEVEL SPACES (ENCLOSED):	42
LEVEL 1 SPACES (OPEN):	15
TOTAL SPACES	**57**
ACCESSIBLE PARKING REQUIRED:	3*
ACCESSIBLE SPACES AT LOWER LEVEL:	3*
ACCESSIBLE SPACES AT LEVEL 1:	1
* PER IBC SECTION 1106.2	
TOTAL RESIDENTIAL UNITS:	**57**
ACCESSIBLE UNITS PROVIDED:	**3**

WALL LEGEND

- 3 HR FIRE RATED CONSTRUCTION
- 2 HR FIRE RATED CONSTRUCTION
- 1 HR FIRE RATED CONSTRUCTION
- 1/2 HR FIRE RATED CONSTRUCTION
- UNRATED PARTITION

FLOOR PLAN NOTES

1. COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS.
2. SEE SHEET G1.0 FOR ABBREVIATIONS, SYMBOLS, GENERAL NOTES AND WALL LEGEND. SEE SHEET G1.1 FOR ACCESSIBLE MOUNTING HEIGHTS AND DETAILS.
3. SEE THE G2.0 SERIES SHEETS FOR U.L. ASSEMBLIES.
4. PROVIDE BLOCKING, ROUGH HARDWARE, ETC. AS REQUIRED TO MOUNT EQUIPMENT, CLOSET SHELVING, AND GRAB BARS. ALL SHOWERS AND TOILET LOCATIONS TO RECEIVE BLOCKING FOR FUTURE GRAB BAR MOUNTING. SEE INTERIOR SHEETS FOR DETAILS.
5. PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS.
6. PROVIDE GYPSUM BOARD CONTROL JOINTS AT 30'-0" O.C. MAX. COORDINATE LOCATIONS WITH INTERIOR ELEVATIONS. WHERE JOINTS ARE NOT SHOWN, CENTER SPACING WITHIN ROOM, EDGE OF WALL OPENINGS.
7. INSTALL ONE SHELF PER CLOSET, PANTRIES, AND OVER WASHER / DRYER WITH HEAVY DUTY ANCHORS MOUNTED INTO STUDS (2'-0" O.C. MAX.) WITH MANUFACTURER APPROVED MOUNTING HARDWARE.
8. SEE ENLARGED UNIT PLANS AND LIFE SAFETY SHEETS FOR ADDITIONAL ACCESSIBLE CLEARANCE AND CLEAR FLOOR SPACE REQUIREMENTS.
9. WASHER/DRYER, NOT IN CONTRACT, SHOWN FOR REFERENCE ONLY. BEDS SHOWN FOR REFERENCE / SCALE / CLEARANCES ONLY.
10. EXTERIOR WALLS SUPPORTING FLOOR FRAMING SHALL BE 1-HR RATED.
11. REFER TO ENLARGED PLANS AND SHEET MF-A0.3 FOR PARTITION TYPES.

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△	Date	Description
	05/06/2020	PLANS REVIEW COMMENTS
1	05/26/2020	ADDENDUM 1

Seal / Signature

DARYL R. JOHNSON — REGISTERED ARCHITECT — STATE OF TENNESSEE — 05/26/20

CONSTRUCTION DOCUMENTS — PROGRESS SET — 100%

Project Name 05.06.2020

AUSTIN HOMES

Project Number

193076

Description

FLOOR PLAN - LEVEL 00

Scale

As indicated

MF-A1.0 1

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ELEVATION NOTES

1. CJ – CONTROL JOINT, SEE DETAIL XXXX
2. ICJ – INSIDE CONTROL JOINT, SEE DETAIL XXXX
3. CONTROL JOINTS TO BE ALIGNED WITH EDGE OF ADJACENT WINDOW OR DOOR FRAME AS SHOWN ON ELEVATIONS. LOCATE CONTROL JOINTS MAXIMUM 25'-0" O.C. WHERE NOT SHOWN. COORDINATE LOCATIONS WITH ARCHITECT.
4. PROVIDE CONTROL JOINTS MINIMUM 2'-0" OFF EDGE OF OUTSIDE CORNER IF NOT SHOWN ALIGNED WITH FRAME. ALIGN DOWNSPOUT TO COVER CONTROL JOINTS WHERE APPLICABLE.
5. PROVIDE HORIZONTAL CONTROL JOINTS AT LOCATIONS SHOWN ON ELEVATIONS. REFER TO STRUCTURAL DRAWINGS FOR DETAILS.
6. VERTICAL CONTROL JOINT FILLER TO MATCH MASONRY COLOR. HORIZONTAL CONTROL JOINT FILLER TO MATCH GROUT COLOR.
7. COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS.
8. DIMENSIONS ARE TO FACE OF MASONRY, COMPOSITE METAL PANEL, CURTAIN WALL OR EDGE OF OPENING UNLESS NOTED OTHERWISE.
10. COORDINATE DOWNSPOUT LOCATIONS WITH ROOF PLAN.
11. PROVIDE MASONRY VENEER EXPANSION JOINTS AT INSIDE CORNERS AND INTERSECTIONS WITH DISSIMILAR MATERIALS.

ZONING MATERIAL REQUIREMENTS

PER CITY OF KNOXVILLE ZONING CODE | ARTICLE 9
SECTION 9.3 PRINCIPLE USE STANDARDS (PROPERTY ZONED RN-6)

3. MULTI-FAMILY DWELLINGS REQUIRE A MINIMUM OF 20% TRANSPARENCY ON ANY FACADE FACING A STREET AND IS CALCULATED ON THE BASIS OF THE ENTIRE AREA OF THE FACADE.

5.a. THE FOLLOWING BUILDING MATERIALS ARE PROHIBITED ON ANY PART OF ANY FACADE:
- i. PLAIN CONCRETE BLOCK
- ii. PLASTIC
- iii. EXTERIOR INSULATION FINISH SYSTEMS ON THE GROUND FLOOR

5.b. THE FOLLOWING BUILDING MATERIALS ARE PROHIBITED AS A PRIMARY SURFACE FINISH MATERIAL ON ANY FACADE, BUT MAY BE USED AS A DECORATIVE OR DETAIL ELEMENT FOR UP TO 15% OF THE FACADE:
- i. CORRUGATED METAL
- ii. ALUMINUM, STEEL, OR OTHER METAL SIDINGS
- iii. EXPOSED AGGREGATE (ROUGH FINISH) CONCRETE WALL PANELS
- iv. T-111 COMPOSITE PLYWOOD SIDING
- v. VINYL SIDING

ELEVATION MATERIALS

1. BRICK VENEER; FIELD (BV1)
   ACME BRICK - MARBLE GRAY; MODULAR; HOLCIM SANTEE BLACK MORTAR
2. BRICK VENEER; FIELD (BV2)
   ACME BRICK - STEEL GRAY; MODULAR; HOLCIM FROSTY MORTAR
3. BRICK VENEER; FIELD (BV3)
   GENERAL SHALE - MISTYHOLLOW; MODULAR; HOLCIM SANTEE BLACK MORTAR
4. BRICK VENEER, FIELD (BV4)
   GENERAL SHALE - MISTYHOLLOW; NORMAN; HOLCIM SANTEE BLACK MORTAR
5. SMOOTH FACE CMU; ACCENT (CMU1) - DOUBLE MONARCH
   BELDEN - GRAPHITE; VELOUR TEXTURE, HOLCIM SANTEE BLACK MORTAR
6. FIBERGLASS WINDOWS WITH 1" INSULATED GLASS (FW1)
7. FIBER CEMENT SIDING; SMOOTH FACE 6" LAP, MITERED AT CORNERS
   FIELD (FCS1) - SW 9166 DRIFT OF MIST
8. ACCENT (FCS2) - SW 7674 PEPPERCORN
9. FIBER CEMENT PANEL (FCP1) - EQUITONE TECTIVA - TE90
10. FIBER CEMENT PANEL (FCP2) - EQUITONE TECTIVA - TE00
11. FIBER CEMENT PANEL (FCP3) - EQUITONE TECTIVA - TE10
12. FIBER CEMENT PANEL (FCP4) - EQUITONE TECTIVA - TE20
13. FIBER CEMENT PANEL (FCP5) - EQUITONE TECTIVA - MA400
14. STEEL SIDING; WOOD GRAIN LOOK; ACCENT (SS1)
    LONGBOARD DARK CHERRY, 6" V-GROOVE
15. ALUMINUM WRAPPED HEADER TRIM (AT1) - CHARCOAL GRAY
16. PREFINISHED METAL COPING (MC1) - BLACK
17. NOT IN USE. 2
18. INSULATED HOLLOW METAL DOOR (HM1) - SW 6991 BLACK MAGIC
19. FIBERGLASS DOOR WITH HOLLOW METAL FRAME (FD1) - STAINED DARK CHERRY
20. FASCIA BOARD; PAINTED (FB1) - SW 6991 BLACK MAGIC
21. PREFINISHED ALUMINUM GUTTER AND ROUND DOWNSPOUT (GD1) - BLACK
22. PREFINISHED HALF-ROUND GUTTER AND ROUND DOWNSPOUT (GD2) - BLACK
23. PREFINISHED ALUMINUM GUARD AND HANDRAIL SYSTEM (GH1) - BLACK
24. ARCHITECTURAL ASPHALT ROOF (AS1)
25. PREFINISHED METAL LOUVER (ML1) - CHARCOAL GRAY
26. CAST IN PLACE CONCRETE (CN-1); EXPOSED BOARDFORM 6" HORIZONTAL ORIENTATION
27. PERFORATED METAL PANEL (PM1)
28. ALUMINUM STOREFRONT SYSTEM, (AL1) - BLACK

MATERIAL LEGEND

FCP1
FCP2
FCP3
FCP4
FCP5
2
SS1
PM1

1 MF-A3.1 BUILDING ELEVATION - NORTHWEST
1/8" = 1'-0"

BUILDING 1 - BUILDING SQ. FOOTAGES

MATERIAL	SOUTH FACING BOULEVARD	WEST	FACING TUBMAN	NORTH 1 - FACING BURGE	NORTH 2 - FACING BURGE	INSET AT WEST	INSET AT EAST	TOTAL BRICK
BRICK	2167.97	2849.42	1067.71	442.85	2039.79	100.49	60.00	8728.23
FIBER CEMENT PANEL	2160.92	4689.67	5676.41	2248.00	45.05	679.06	292.50	
STEEL SIDING - WOOD GRAIN LOOK	286.10	553.55	822.53	120.00	117.00	38.25	0.00	
GLAZING	1206.83	1960.16	2197.32	863.25	463.08	0.00	0.00	
ALUMINUM TRIM	0.00	0.00	0.00	144.00	0.00	0.00	0.00	**TOTAL ELEVATION SQ**
OPAQUE DOOR SURFACE	0.00	94.96	24.44	0.00	46.44	0.00	0.00	**FOOTAGE**
TOTAL ELEVATION SQ. FOOTAGE	5821.82	10147.76	9788.41	3818.10	2711.36	817.80	352.50	33457.75
TOTAL OPAQUE ELEVATION SQ. FT.	4614.99	8187.60	7591.09	2954.85	2248.28	817.80	352.50	26767.11
% OF TRANSPARENCY FACING R.O.W.	**20.73**	N/A	**22.45**	**20.31**		N/A	N/A	
% OF BRICK MATERIAL OF OPAQUE MATERIAL	**17.24**							

2 MF-A3.1 BUILDING 1 - ZONING/ HUD MATERIAL CALCULATIONS
3/4" = 1'-0"

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AUSTIN HOMES REDEVELOPMENT
PHASE 1A
BURGE DRIVE AND HARRIET TUBMAN ST.

△	Date	Description
	05/06/2020	PLANS REVIEW COMMENTS
	05/26/2020	ADDENDUM 1

DARYL R. JOHNSON
REGISTERED ARCHITECT
STATE OF TENNESSEE
05/26/20

Seal / Signature

CONSTRUCTION DOCUMENTS
PROGRESS SET
100%

Project Name 05.06.2020
AUSTIN HOMES

Project Number
193076

Description
BUILDING ELEVATIONS

Scale
As indicated

MF-A3.1 1

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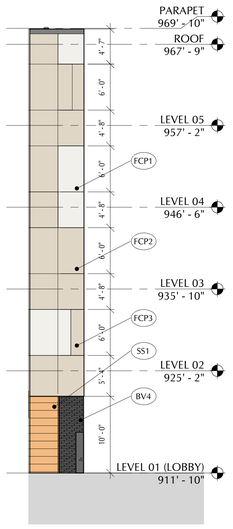
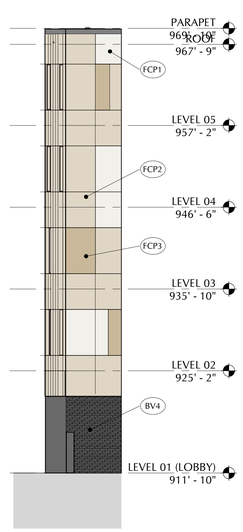


5 EX. INSET ELEV. FACING N.
MF-A3.2
1/8" = 1'-0"



6 EX. INSET ELEV. FACING S.
MF-A3.2
1/8" = 1'-0"

1 BUILDING ELEVATION - FACING HARRIET TUBMAN ST.
MF-A3.2
1/8" = 1'-0"

ELEVATION NOTES

1. CJ = CONTROL JOINT, SEE DETAIL XXXX
2. ICJ = INSIDE CONTROL JOINT, SEE DETAIL XXXX
3. CONTROL JOINTS TO BE ALIGNED WITH EDGE OF ADJACENT WINDOW OR DOOR FRAME AS SHOWN ON ELEVATIONS. LOCATE CONTROL JOINTS MAXIMUM 25'-0" O.C. WHERE NOT SHOWN. COORDINATE LOCATIONS WITH ARCHITECT.
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5. PROVIDE HORIZONTAL CONTROL JOINTS AT LOCATIONS SHOWN ON ELEVATIONS. REFER TO STRUCTURAL DRAWINGS FOR DETAILS.
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11. PROVIDE MASONRY VENEER EXPANSION JOINTS AT INSIDE CORNERS AND INTERSECTIONS WITH DISSIMILAR MATERIALS.

ZONING MATERIAL REQUIREMENTS

PER CITY OF KNOXVILLE ZONING CODE | ARTICLE 9
SECTION 9.3 PRINCIPLE USE STANDARDS (PROPERTY ZONED RN-6)

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- v. VINYL SIDING

ELEVATION MATERIALS

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   ACME BRICK - STEEL GRAY; MODULAR; HOLCIM FROSTY MORTAR
3. BRICK VENEER; FIELD (BV3)
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   BELDEN - GRAPHITE; VELOUR TEXTURE, HOLCIM SANTEE BLACK MORTAR
6. FIBERGLASS WINDOWS WITH 1" INSULATED GLASS (FW1)
7. FIBER CEMENT SIDING; SMOOTH FACE 6" LAP, MITERED AT CORNERS
   FIELD (FCS1) - SW 9166 DRIFT OF MIST
8. ACCENT (FCS2) - SW 7674 PEPPERCORN
9. FIBER CEMENT PANEL (FCP1) - EQUITONE TECTIVA - TE90
10. FIBER CEMENT PANEL (FCP2) - EQUITONE TECTIVA - TE00
11. FIBER CEMENT PANEL (FCP3) - EQUITONE TECTIVA - TE10
12. FIBER CEMENT PANEL (FCP4) - EQUITONE TECTIVA - TE20
13. FIBER CEMENT PANEL (FCP5) - EQUITONE TECTIVA - MA400
14. STEEL SIDING; WOOD GRAIN LOOK; ACCENT (SS1)
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20. FASCIA BOARD; PAINTED (FB1) - SW 6991 BLACK MAGIC
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23. PREFINISHED ALUMINUM GUARD AND HANDRAIL SYSTEM (GH1) - BLACK
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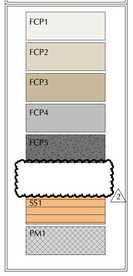
27. PERFORATED METAL PANEL (PM1)
28. ALUMINUM STOREFRONT SYSTEM, (AL1) - BLACK

MATERIAL LEGEND



BUILDING 1 - BUILDING SQ. FOOTAGES								
MATERIAL	**SOUTH FACING BOULEVARD**	**WEST**	**FACING TUBMAN**	**NORTH 1 - FACING BURGE**	**NORTH 2 - FACING BURGE**	**INSET AT WEST**	**INSET AT EAST**	**TOTAL BRICK**
BRICK	2167.97	2849.42	1067.71	442.85	2039.79	100.49	60.00	8728.23
FIBER CEMENT PANEL	2160.92	4689.67	5676.41	2248.00	45.05	679.06	292.50	
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GLAZING	1206.83	1960.16	2197.32	863.25	463.08	0.00	0.00	
ALUMINUM TRIM	0.00	0.00	0.00	144.00	0.00	0.00	0.00	**TOTAL ELEVATION SQ**
OPAQUE DOOR SURFACE	0.00	94.96	24.44	0.00	46.44	0.00	0.00	**FOOTAGE**
TOTAL ELEVATION SQ. FOOTAGE	5821.82	10147.76	9788.41	3818.10	2711.36	817.80	352.50	33457.75
TOTAL OPAQUE ELEVATION SQ. FT.	4614.99	8187.60	7591.09	2954.85	2248.28	817.80	352.50	26767.11
% OF TRANSPARENCY FACING R.O.W.	**20.73**	N/A	**22.45**	**20.31**		N/A	N/A	
% OF BRICK MATERIAL OF OPAQUE MATERIAL	**17.24**							

*GENERAL CONTRACTOR TO VERIFY REQUIRED QUANTITIES OF MATERIALS; FOR AHJ REFERENCE ONLY.

2 BUILDING 1 - ZONING/ HUD MATERIAL CALCULATION
MF-A3.2
3/4" = 1'-0"

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Tel 312.456.0123
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AUSTIN HOMES REDEVELOPMENT
PHASE 1A
BURGE DRIVE AND HARRIET TUBMAN ST.

△	Date	Description
	05/06/2020	PLANS REVIEW COMMENTS
	05/26/2020	ADDENDUM 1

DARYL P. JOHNSON — REGISTERED ARCHITECT — STATE OF TENNESSEE — 04/09/20

Seal / Signature

CONSTRUCTION DOCUMENTS — PROGRESS SET — 100%

Project Name 05.06.2020

AUSTIN HOMES

Project Number

193076

Description

BUILDING ELEVATIONS

Scale

As indicated

MF-A3.2 1

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ELEVATION NOTES

1. CJ = CONTROL JOINT, SEE DETAIL XXXX
2. ICJ = INSIDE CONTROL JOINT, SEE DETAIL XXXX
3. CONTROL JOINTS TO BE ALIGNED WITH EDGE OF ADJACENT WINDOW OR DOOR FRAME AS SHOWN ON ELEVATIONS. LOCATE CONTROL JOINTS MAXIMUM 25'-0" O.C. WHERE NOT SHOWN. COORDINATE LOCATIONS WITH ARCHITECT.
4. PROVIDE CONTROL JOINTS MINIMUM 2'-0" OFF EDGE OF OUTSIDE CORNER IF NOT SHOWN ALIGNED WITH FRAME. ALIGN DOWNSPOUT TO COVER CONTROL JOINTS WHERE APPLICABLE.
5. PROVIDE HORIZONTAL CONTROL JOINTS AT LOCATIONS SHOWN ON ELEVATIONS. REFER TO STRUCTURAL DRAWINGS FOR DETAILS.
6. VERTICAL CONTROL JOINT FILLER TO MATCH MASONRY COLOR. HORIZONTAL CONTROL JOINT FILLER TO MATCH GROUT COLOR.
7. COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS.
8. DIMENSIONS ARE TO FACE OF MASONRY, COMPOSITE METAL PANEL, CURTAIN WALL OR EDGE OF OPENING UNLESS NOTED OTHERWISE.
10. COORDINATE DOWNSPOUT LOCATIONS WITH ROOF PLAN.
11. PROVIDE MASONRY VENEER EXPANSION JOINTS AT INSIDE CORNERS AND INTERSECTIONS WITH DISSIMILAR MATERIALS.

ZONING MATERIAL REQUIREMENTS

PER CITY OF KNOXVILLE ZONING CODE | ARTICLE 9
SECTION 9.3 PRINCIPLE USE STANDARDS (PROPERTY ZONED RN-6)

3. MULTI-FAMILY DWELLINGS REQUIRE A MINIMUM OF 20% TRANSPARENCY ON ANY FACADE FACING A STREET AND IS CALCULATED ON THE BASIS OF THE ENTIRE AREA OF THE FACADE.

5.a. THE FOLLOWING BUILDING MATERIALS ARE PROHIBITED ON ANY PART OF ANY FACADE:
- i. PLAIN CONCRETE BLOCK
- ii. PLASTIC
- iii. EXTERIOR INSULATION FINISH SYSTEMS ON THE GROUND FLOOR

5.b. THE FOLLOWING BUILDING MATERIALS ARE PROHIBITED AS A PRIMARY SURFACE FINISH MATERIAL ON ANY FACADE, BUT MAY BE USED AS A DECORATIVE OR DETAIL ELEMENT FOR UP TO 15% OF THE FACADE:
- i. CORRUGATED METAL
- ii. ALUMINUM, STEEL, OR OTHER METAL SIDINGS
- iii. EXPOSED AGGREGATE (ROUGH FINISH) CONCRETE WALL PANELS
- iv. T-111 COMPOSITE PLYWOOD SIDING
- v. VINYL SIDING

ELEVATION MATERIALS

1. BRICK VENEER; FIELD (BV1)
   ACME BRICK - MARBLE GRAY; MODULAR; HOLCIM SANTEE BLACK MORTAR
2. BRICK VENEER; FIELD (BV2)
   ACME BRICK - STEEL GRAY; MODULAR; HOLCIM FROSTY MORTAR
3. BRICK VENEER; FIELD (BV3)
   GENERAL SHALE - MISTYHOLLOW; MODULAR; HOLCIM SANTEE BLACK MORTAR
4. BRICK VENEER, FIELD (BV4)
   GENERAL SHALE - MISTYHOLLOW; NORMAN; HOLCIM SANTEE BLACK MORTAR
5. SMOOTH FACE CMU; ACCENT (CMU1) - DOUBLE MONARCH
   BELDEN - GRAPHITE; VELOUR TEXTURE, HOLCIM SANTEE BLACK MORTAR
6. FIBERGLASS WINDOWS WITH 1" INSULATED GLASS (FW1)
7. FIBER CEMENT SIDING; SMOOTH FACE 6" LAP, MITERED AT CORNERS
   FIELD (FCS1) - SW 9166 DRIFT OF MIST
8. ACCENT (FCS2) - SW 7674 PEPPERCORN
9. FIBER CEMENT PANEL (FCP1) - EQUITONE TECTIVA - TE90
10. FIBER CEMENT PANEL (FCP2) - EQUITONE TECTIVA - TE00
11. FIBER CEMENT PANEL (FCP3) - EQUITONE TECTIVA - TE10
12. FIBER CEMENT PANEL (FCP4) - EQUITONE TECTIVA - TE20
13. FIBER CEMENT PANEL (FCP5) - EQUITONE TECTIVA - MA400
14. STEEL SIDING; WOOD GRAIN LOOK; ACCENT (SS1)
    LONGBOARD DARK CHERRY, 6" V-GROOVE
15. ALUMINUM WRAPPED HEADER TRIM (AT1) - CHARCOAL GRAY
16. PREFINISHED METAL COPING (MC1) - BLACK
17. NOT IN USE 2
18. INSULATED HOLLOW METAL DOOR (HM1) - SW 6991 BLACK MAGIC
19. FIBERGLASS DOOR WITH HOLLOW METAL FRAME (FD1) - STAINED DARK CHERRY
20. FASCIA BOARD; PAINTED (FB1) - SW 6991 BLACK MAGIC
21. PREFINISHED ALUMINUM GUTTER AND ROUND DOWNSPOUT (GD1) - BLACK
22. PREFINISHED HALF-ROUND GUTTER AND ROUND DOWNSPOUT (GD2) - BLACK
23. PREFINISHED ALUMINUM GUARD AND HANDRAIL SYSTEM (GH1) - BLACK
24. ARCHITECTURAL ASPHALT ROOF (AS1)
25. PREFINISHED METAL LOUVER (ML1) - CHARCOAL GRAY
26. CAST IN PLACE CONCRETE (CN-1); EXPOSED BOARDFORM 6" HORIZONTAL ORIENTATION
27. PERFORATED METAL PANEL (PM1)
28. ALUMINUM STOREFRONT SYSTEM, (AL1) - BLACK

MATERIAL LEGEND

FCP1
FCP2
FCP3
FCP4
FCP5
SS1 (2)
PM1

1 MF-A3.3 BUILDING ELEVATION - SOUTHEAST
1/8" = 1'-0"

BUILDING 1 - BUILDING SQ. FOOTAGES

MATERIAL	SOUTH FACING BOULEVARD	WEST	FACING TUBMAN	NORTH 1 - FACING BURGE	NORTH 2 - FACING BURGE	INSET AT WEST	INSET AT EAST	TOTAL BRICK
BRICK	2167.97	2849.42	1067.71	442.85	2039.79	100.49	60.00	8728.23
FIBER CEMENT PANEL	2160.92	4689.67	5676.41	2248.00	45.05	679.06	292.50	
STEEL SIDING - WOOD GRAIN LOOK	286.10	553.55	822.53	120.00	117.00	38.25	0.00	
GLAZING	1206.83	1960.16	2197.32	863.25	463.08	0.00	0.00	
ALUMINUM TRIM	0.00	0.00	0.00	144.00	0.00	0.00	0.00	**TOTAL ELEVATION SQ**
OPAQUE DOOR SURFACE	0.00	94.96	24.44	0.00	46.44	0.00	0.00	**FOOTAGE**
TOTAL ELEVATION SQ. FOOTAGE	5821.82	10147.76	9788.41	3818.10	2711.36	817.80	352.50	33457.75
TOTAL OPAQUE ELEVATION SQ. FT.	4614.99	8187.60	7591.09	2954.85	2248.28	817.80	352.50	26767.11
% OF TRANSPARENCY FACING R.O.W.	**20.73**	N/A	**22.45**	**20.31**		N/A	N/A	
% OF BRICK MATERIAL OF OPAQUE MATERIAL	**17.24**							

*GENERAL CONTRACTOR TO VERIFY REQUIRED QUANTITIES OF MATERIALS; FOR AHJ REFERENCE ONLY.

2 MF-A3.3 BUILDING 1 - ZONING/ HUD MATERIAL CALCULATION
3/4" = 1'-0"

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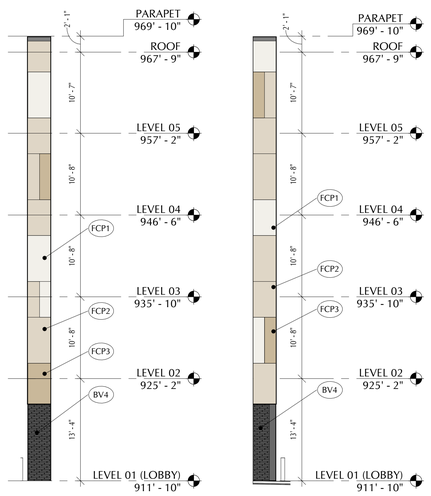

2 MF-A3.4 ELEV. NE - B
1/8" = 1'-0"

3 MF-A3.4 ELEV. - NE - A
1/8" = 1'-0"

1 MF-A3.4 BUILDING ELEVATION - NORTHEAST PARKING DECK
1/8" = 1'-0"

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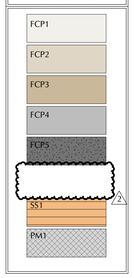
MATERIAL LEGEND



BUILDING 1 - BUILDING SQ. FOOTAGES

MATERIAL	SOUTH FACING BOULEVARD	WEST	FACING TUBMAN	NORTH 1 - FACING BURGE	NORTH 2 - FACING BURGE	INSET AT WEST	INSET AT EAST	TOTAL BRICK
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3/4" = 1'-0"

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Seal / Signature

CONSTRUCTION DOCUMENTS — PROGRESS SET — 100%

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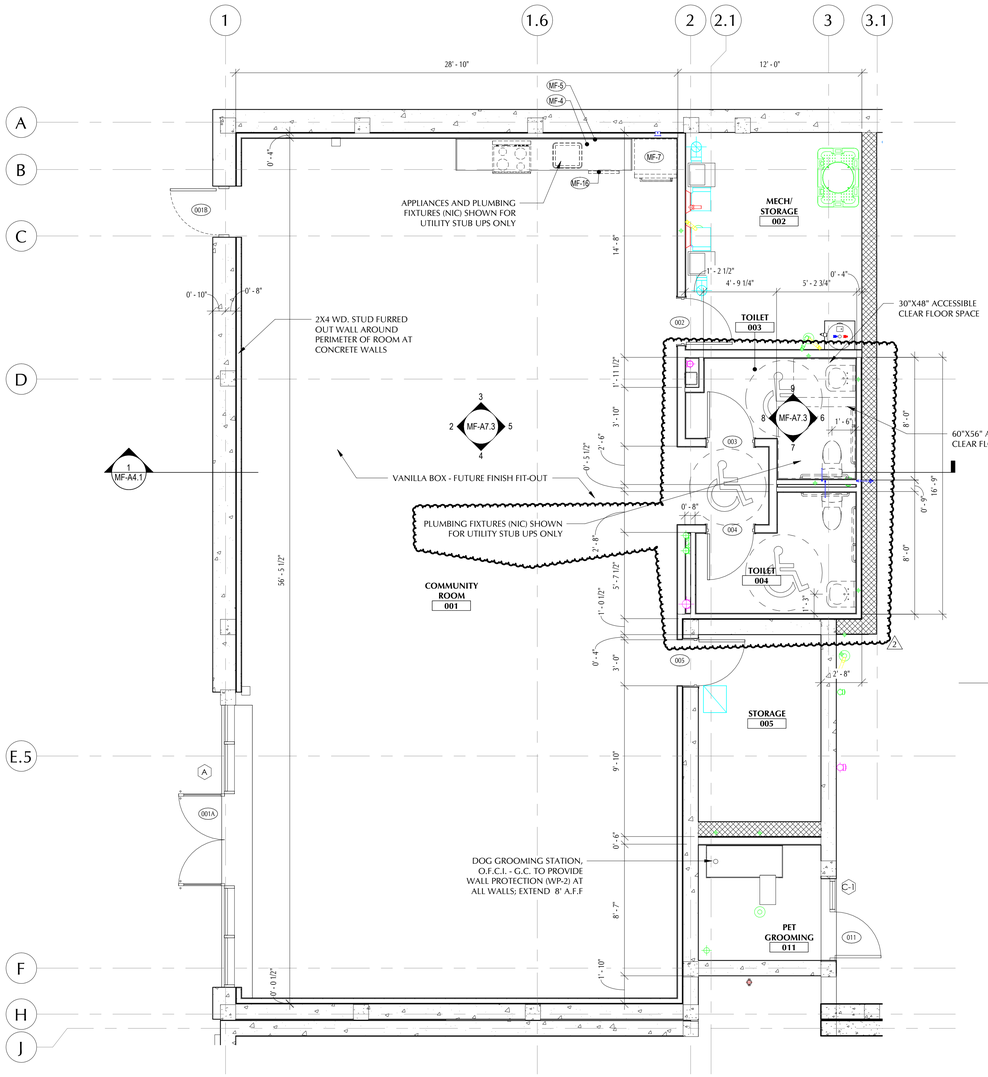
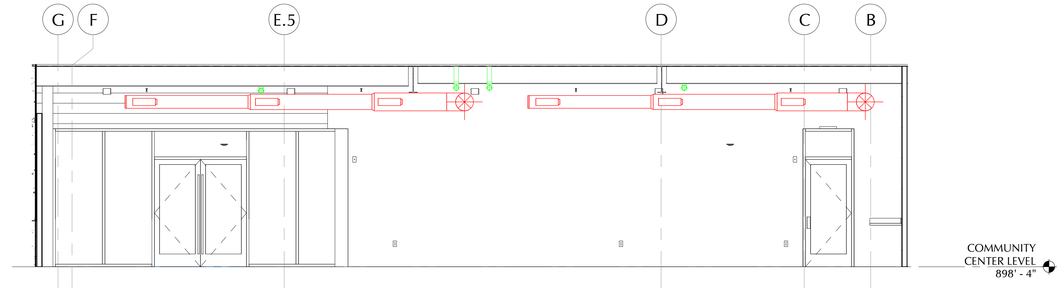


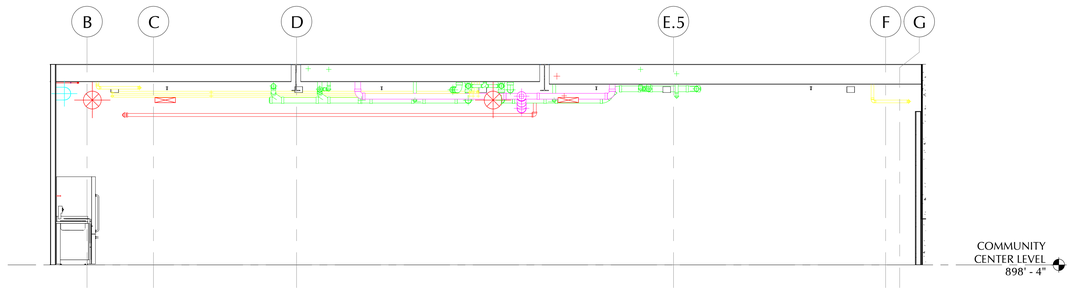
1 MF-A7.3 ENLARGED PLAN - COMMUNITY ROOM
1/4" = 1'-0"



2 MF-A7.3 COMMUNITY ROOM - NORTH ELEVATION
1/4" = 1'-0"

3 MF-A7.3 COMMUNITY ROOM - EAST ELEVATION
1/4" = 1'-0"

4 MF-A7.3 COMMUNITY ROOM - WEST ELEVATION
1/4" = 1'-0"



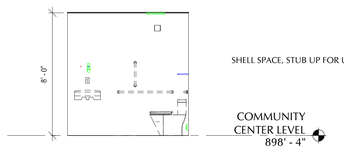
5 MF-A7.3 COMMUNITY ROOM - SOUTH ELEVATION
1/4" = 1'-0"

ENLARGED FLOOR PLAN NOTES

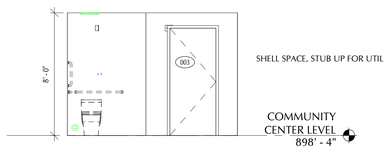
1. COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS
2. WHERE INDICATED WITH A DASHED LINE, PROVIDE BLOCKING AS REQ'D FOR FUTURE GRAB BAR INSTALLATION
3. COORDINATE ALL KITCHEN APPLIANCE & REQUIREMENTS WITH OWNER PRIOR TO FINAL PURCHASE & INSTALLATION
4. COORDINATE ALL BATHROOM ACCESSORY REQUIREMENTS WITH OWNER PRIOR TO FINAL PURCHASE & INSTALLATION
5. TYPICAL AT ALL LAUNDRY ROOMS - PROVIDE (2) HEAVY DUTY WIRE SHELVES (WHITE) W/ WALL MOUNTED BRACKETS EVERY 18" O.C. & BLOCKING AS REQ'D ABOVE ALL WASHER & DRYER UNITS EXCEPT STACKING TYPE UNITS. REFER TO FINISH LEGEND FOR BRACKET INFORMATION. WASHER & DRYER (N.I.C)
6. PROVIDE C'TOP SUPPORT & BLOCKING AS REQ'D AT ALL KITCHEN ISLANDS
7. INSTALL (1) ROBE HOOK @ EA. BATHROOM DOOR - TYPICAL AT ALL TENANT BATHROOMS / SINGLE COMPARTMENT RESTROOMS
8. REFER TO SHEET G1.1 FOR MOUNTING HEIGHTS, ACCESSIBLE NOTES & DETAILS
9. G.C. TO COORDINATE SHOWER SURROUND FINISH & INSTALL W/ TUB FINISHES & REQ'MNTS PRIOR TO PURCHASE
10. REFER TO FLOOR PLAN FOR SHOWER PAN SIZES & REFER TO PLUMBING DWG'S FOR ACCESSORIES
11. TYPICAL AT EACH TENANT KITCHEN, PROVIDE ACCESS PANEL FOR SINGLE UNIT WATER SHUT-OFF
12. TYPICAL AT ALL COAT & BEDROOM CLOSETS - PROVIDE HEAVY DUTY WIRE SHELF & ROD (WHITE) W/ WALL MOUNTED BRACKETS EVERY 18" O.C. PROVIDE BLOCKING AS REQ'D.

MULTI-FAMILY BLDG. FLOOR PLAN KEY - PUBLIC AMENITIES (MF-#)

TYPE MARK	DESCRIPTION	COMMENTS
MF-1	ICE MAKER	
MF-2	PLUMBED COFFEE MAKER	
MF-3	UNDERCOUNTER REF.	
MF-4	SOAP DISPENSER	
MF-5	PAPER TOWEL DISPENSER	
MF-6	WASTE / RECYCLE CONTAINER	
MF-7	REFRIGERATOR	
MF-8	WATER FOUNTAIN W/ BOTTLE FILLER	SEE PLUMB.
MF-9	FITNESS EQUIPMENT	
MF-10	UTILITY SINK	SEE PLUMB.
MF-11	WALL MOUNTED MIRRORS	
MF-12	RECESSED MAILBOXES	
MF-13	WALL HUNG LAVATORY	SEE PLUMB.
MF-14	TOILET PAPER DISPENSER	
MF-15	FRAMED MIRROR	
MF-16	DISHWASHER	
MF-17	COAT HOOK	
MF-18	GRAB BARS	
MF-19	WATER CLOSET	SEE PLUMB.
MF-20	MICROWAVE	



6 MF-A7.3 RESTROOM ELEV
1/4" = 1'-0"



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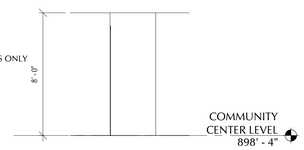

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INTERIOR FINISH LEGEND - STAIR TYPES

STAIR TYPE	LOCATION	CEILING FINISH	CEILING FINISH TYPE	WALL FINISH	WALL FINISH TYPE	LANDING FLOOR MATERIAL	LANDING FLOOR & NOSING FINISH TYPE	LANDING WALL BASE	LANDING WALL BASE FINISH TYPE	RISER MATERIAL	RISER FINISH TYPE	TREAD MATERIAL	TREAD FINISH TYPE	NOSING MATERIAL	NOSING FINISH TYPE	STRINGER FINISH	STRINGER FINISH TYPE	HANDRAIL FINISH	HANDRAIL FINISH TYPE	HANDRAIL BRACKET TYPE	GUARDRAIL FINISH	GUARDRAIL FINISH TYPE	NOTES:
#1	TOWNHOME INTERIOR TENANT STAIRWELL	PAINTED GYPSUM BOARD	(GBC-1)	PAINTED GYPSUM BOARD	(PNT-1)	WOOD W/ VINYL PLANK	(LVT-1)/(SN-2)	WOOD W/ RUBBER	(RB-1)	PAINTED WOOD	(PNT-10)	WOOD W/ VINYL PLANK	(LVT-1)	VINYL	(SN-1)	PAINTED WOOD	(PNT-9)	STAINED WOOD	(WD-2)/(STN-1)	(HD-3)	PNT. GYP. BD. W/ CAPPED LOW WALL	(PNT-1) (WD-3)	
#2	TOWNHOME EGRESS STAIRWELLS	EXPOSED TO STRUCTURE	(EXP)	PAINTED GYPSUM BOARD	(PNT-1)	WOOD W/ RUBBER	(EF-1)	WOOD W/ VINYL	(VB-1)	WOOD W/ INTEGRATED RUBBER	(EF-1)	WOOD W/ RUBBER	(EF-1)	RUBBER	(EF-1)	PAINTED WOOD	(PNT-10)	PAINTED STEEL	(PNT-10)	(HD-3)	PNT. GYP. BD. W/ CAPPED LOW WALL	(PNT-1) (WD-3)	
	TOWNHOME EXTERIOR STAIRWAY																						
#A	MULTI-FAMILY - TYPE A	PAINTED GYPSUM BOARD	(GBC-1)	PAINTED GYPSUM BOARD	(PNT-1)	CONCRETE W/ VINYL PLANK	(LVT-4)	CONCRETE W/ VINYL	(VB-1)	PAINTED METAL	(PNT-10)	METAL PAN W/ RUBBER	(EF-2)	RUBBER	(EF-2)	PAINTED METAL	(PNT-10)	PAINTED METAL	(PNT-10)		PAINTED METAL	(PNT-10)	
#B	MULTI-FAMILY - TYPE B	EXPOSED TO STRUCTURE	(EXP)	PAINTED GYPSUM BOARD	(PNT-1)	VARIES		VARIES		VARIES		VARIES		VARIES		VARIES		PAINTED METAL	(PNT-10)		PAINTED METAL	(PNT-10)	

FINISH LEGEND COLOR KEY

APPLIES TO ALL BUILDING LOCATIONS

APPLIES TO TOWNHOME FINISHES ONLY

APPLIES TO MULTI-FAMILY BUILDING FINISHES ONLY

ROOM FINISH SCHEDULE - LEVEL 00 (PARKING)

NO.	ROOM NAME	CEILING	WALLS	BASE	FLOOR	NOTES
001	COMMUNITY ROOM	EXP-1	PNT-1	VB-1	SC	
002	MECH/ STORAGE	EXP-1	PNT-1	VB-1	SC	
003	TOILET	GBC-1	WT-1 / PNT-1	TB-1	FT-1	
004	TOILET	GBC-1	WT-1 / PNT-1	TB-1	FT-1	
005	STORAGE	EXP-1	PNT-1	VB-1	SC	
007	PARKING	EXP-2	--	--	CONC.	
008	LOBBY	GBC-2	PNT-1	RB-2	WOC	
009	STORAGE	EXP-1	PNT-1	VB-1	SC	
010	STAIR C	GBC-1	PNT-1	VB-1	RF-2	
011	PET GROOMING	EXP-1	WP-2	VB-1	SC*	

ROOM FINISH SCHEDULE - LEVEL 01

NO.	ROOM NAME	CEILING	WALLS	BASE	FLOOR	NOTES
100	AMENITY	ACT-2 / SWC	PNT-1	TB-1	FT-1	TOP-1, CAB-1, CAB-2
105	CORRIDOR	GBC-1	PNT-1 / PNT-4	RB-2	LVT-2	
106	TOILET	GBC-1	WT-1 / PNT-1	TB-1	FT-1	
107	TOILET	GBC-1	WT-1 / PNT-1	TB-1	FT-1 / FT-2	
108	LEASING OFFICE	ACT-1	PNT-1	RB-2	LVT-2	
109	CONF. ROOM	ACT-1	PNT-1	RB-2	LVT-2	TOP-1, CAB-2
110	STOR.	ACT-1	PNT-1	RB-2	LVT-2	
111	PUBLIC LOBBY	ACT-2 / SWC	PNT-1 / PNT-5	TB-1	FT-1 / FT-2	
111A	VESTIBULE	MP-3	PNT-1	RB-2	WOC	
111B	VESTIBULE	MP-3	PNT-1	RB-2	WOC	
112	MAIL/RESIDENT LOBBY	GBC-2	PNT-1	TB-1	FT-1	TOP-1, CAB-2
113	PACKAGES	GBC-2	PNT-1	TB-1	FT-1	
114	ELECTRIC METER ROOM	EXP-1	PNT-1	VB-1	SC	
115	MECH.	EXP-1	PNT-1	VB-1	SC	
116	MECHANICAL	EXP-1	PNT-1	VB-1	SC	
117	BICYCLE ROOM	EXP-1	PNT-1	VB-1	SC	
118	FITNESS	EXP-1	PNT-1	VB-1	RBR	WD-4
119	BLDG STORAGE/WKSHP	EXP-1	PNT-1 / WP-2	VB-1	SC	
120	CORRIDOR	EXP-1	PNT-1	VB-1	SC	
121	LOADING	EXP-1	PNT-1	VB-1	SC	
122	ELEC.	EXP-1	PNT-1	VB-1	SC	
123	STAIR A	GBC-1	PNT-1	VB-1	RF-2	
124	STAIR B	GBC-1	PNT-1	VB-1	RF-2	
125	STAIR C	GBC-1	PNT-1	VB-1	RF-2	
126	RESIDENT STORAGE	EXP-1	PNT-1	VB-1	SC	
127	TRASH & RECYCLE ROOM	EXP-1	PNT-1	VB-1	SC	
128	TOILET	GBC-1	WT-1 / PNT-1	TB-1	FT-1	
129	VESTIBULE	WP-3	PNT-1	RB-2	WOC	
130	VESTIBULE	WP-3	PNT-1	RB-2	WOC	

ROOM FINISH SCHEDULE - LEVEL 02

NO.	ROOM NAME	CEILING	WALLS	BASE	FLOOR	NOTES
215	STAIR A	GBC-1	PNT-1	VB-1	RF-2	
216	STAIR B	GBC-1	PNT-1	VB-1	RF-2	
217	TRASH/RECYC	GBC-1	PNT-1	VB-1	SC	
218	ELECT	GBC-1	PNT-1	VB-1	SC	
219	CORRIDOR	GBC-1	PNT-1 / PNT-4	RB-2	LVT-2	

ROOM FINISH SCHEDULE - LEVEL 03

NO.	ROOM NAME	CEILING	WALLS	BASE	FLOOR	NOTES
315	STAIR A	GBC-1	PNT-1	VB-1	RF-2	
316	STAIR B	GBC-1	PNT-1	VB-1	RF-2	
317	ELECT	GBC-1	PNT-1	VB-1	SC	
318	TRASH/RECYC	GBC-1	PNT-1	VB-1	SC	
319	CORRIDOR	GBC-1	PNT-1 / PNT-4	RB-2	LVT-2	

ROOM FINISH SCHEDULE - LEVEL 04

NO.	ROOM NAME	CEILING	WALLS	BASE	FLOOR	NOTES
415	STAIR A	GBC-1	PNT-1	VB-1	RF-2	
416	STAIR B	GBC-1	PNT-1	VB-1	RF-2	
417	ELECT	GBC-1	PNT-1	VB-1	SC	
418	TRASH/RECYC	GBC-1	PNT-1	VB-1	SC	
419	CORRIDOR	GBC-1	PNT-1 / PNT-4	RB-2	LVT-2	

ROOM FINISH SCHEDULE - LEVEL 05

NO.	ROOM NAME	CEILING	WALLS	BASE	FLOOR	NOTES
515	STAIR A	GBC-1	PNT-1	VB-1	RF-2	
516	STAIR B	GBC-1	PNT-1	VB-1	RF-2	
517	ELECT	GBC-1	PNT-1	VB-1	SC	
518	TRASH/RECYC	GBC-1	PNT-1	VB-1	SC	
519	CORRIDOR	GBC-1	PNT-1 / PNT-4	RB-2	LVT-2	

ROOM FINISH SCHEDULE - TYPICAL TENANT, ALL UNIT TYPES

ROOM NAME	CEILING	WALLS	BASE	FLOOR	NOTES
H.W.	GBC-1	PNT-1	RB-1	LVT-2	
CLOSET	GBC-1	PNT-1	RB-1	LVT-2	
BEDROOM	GBC-1	PNT-1	RB-1	LVT-2	
BATHROOM	GBC-1	PNT-1	RB-1	LVT-2	CAB-3
LAUNDRY	GBC-1	PNT-1	RB-1	LVT-2	
KITCHEN	GBC-1	PNT-1 / PNT-2	RB-1	LVT-2	TOP-1, CAB-1, CAB-2
LIVING	GBC-1	PNT-1	RB-1	LVT-2	
MECH.	GBC-1	PNT-1	RB-1	LVT-2	

TOWNHOMES						
EGRESS STAIR (TYPE #2)	EXP	PNT-1	RB-1	RF-1 / SN-2		SEE STAIR TYPE LEGEND
EGRESS STAIR VESTIBULE (TYPE #2)	EXP	PNT-1	RB-1	LVT-1 / SN-2		SEE STAIR TYPE LEGEND
INTERIOR STAIR (TYPE #1)	GBC-1	PNT-1	RB-1	LVT-1 / SN-1	HD-3 / WD-2	SEE STAIR TYPE LEGEND
INTERIOR STAIR LANDING (TYPE #1)	GBC-1	PNT-1	RB-1	LVT-1 / SN-1		SEE STAIR TYPE LEGEND

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INTERIOR FINISH LEGEND - CEILINGS

MATERIAL	ABB.	LOCATION	MANUF.	COLLECTION / STYLE	COLOR / FINISH	PRODUCT #	SIZE / THICKNESS	NOTES:
EXPOSED STRUCTURE	EXP-1	(MF) EGRESS STAIRS / BOH CORRIDORS FITNESS	INTERNATIONAL CELLULOSE CORP.	K-13 ACOUSTICAL SPRAY APPLIED FINISH	PAINT, (PNT-8)			FINISH NOTE #P.7
	EXP-2	(MF) PARKING GARAGE						
GYPSUM BOARD CEILING	GBC-1	GENERAL			PAINT, (PNT-3)			
	GBC-2	(MF) MAIL/ELEV LOBBIES / PACKAGING			PAINT, (PNT-10)			
ACOUSTICAL CEILING	ACT-1	(MF) GENERAL	ARMSTRONG	CALLA / 15/16" SQ. TEGULAR W/ PRELUDE XL WH. GRID	WHITE / SMOOTH	2822	24"x24"	
	ACT-2	(MF) PUBLIC AREAS	ARMSTRONG	LYRA / CONCEALED PANELS W/ PRELUDE XL 15/16" SUSPENSION SYSTEM	WHITE	VARIES	24" x 48", 24" x 96" 48" x 96"	FINISH NOTE #G.12
SUSPENDED WOOD CEILING	SWC	(MF) LOBBY	ARMSTRONG	WOODWORKS GRILLE, DONTE ONLY	TBD / WOOD STAIN	7092(-)DO	12" x 96" @ 3 3/4" OC SLATS - 3/8"W x 3-1/4"H W/ 3/8" SPACING	FINISH NOTE #G.12

INTERIOR FINISH LEGEND - PAINT

MATERIAL	ABB.	LOCATION	MANUFACTURER	COLLECTION / STYLE	COLOR / FINISH	PRODUCT #	INSTALLATION	NOTES:
PAINT	PNT-1	GENERAL WALLS	SHERWIN WILLIAMS		REPOSE GRAY	SW 7015		
	PNT-2	TENANT KITCHEN ISLAND KNEE WALLS	SHERWIN WILLIAMS		LEATHER BOUND	SW 6118		
	PNT-3	TENANT INT. - DOORS, FRAMES, WINDOW SILLS (WD-1), WALL-BASE, CLG (GBC-1)	BENJAMIN MOORE		CHANTILLY LACE	2121-70		REFER TO CEILING & MISC. LEGEND
	PNT-4	(MF) PUBLIC CORRIDOR WAINSCOT & TRIM (TB-1)	SHERWIN WILLIAMS		SILHOUETTE	AF-655		
	PNT-5	(MF) PUBLIC ACCENTS	SHERWIN WILLIAMS		LINK GRAY	SW 6200		
	PNT-6	(MF) PUBLIC - H.M. DOORS & FRAMES	BENJAMIN MOORE		SILHOUETTE	AF-655		
	PNT-7	(MF) EGRESS STAIR STEEL COMPONENTS	BENJAMIN MOORE		SILHOUETTE	AF-655		
	PNT-8	EXPOSED CEILINGS (EXP-1)	SHERWIN WILLIAMS		IRON ORE	SW 7069		REFER TO CEILING LEGEND
	PNT-9	(TH) INTERIOR STAIRWELL WOOD SURFACES (WD-3)	BENJAMIN MOORE		CHANTILLY LACE	2121-70		STAIR TYPE #1 & #2
	PNT-10	(MF) ELEVATOR LOBBIES / PACKAGING CORRIDOR CLG'S (GBC-2)	SHERWIN WILLIAMS		PUSSYWILLOW	SW 7643		REFER TO CEILING LEGEND
STAIN	STN-1	(TH) INTERIOR UNIT HANDRAILS (WD-2)	BENJAMIN MOORE		TBD	TBD		

INTERIOR FINISH LEGEND - WALLS

MATERIAL	ABB.	LOCATION	DESCRIPTION	MANUFACTURER	COLLECTION / STYLE	COLOR	PRODUCT #	SIZE / THICKNESS	INSTALLATION METHOD	NOTES:
WALL BASE	RB-1	TENANT UNITS	RUBBER	JOHNSONITE/TARKETT	PERCEPTIONS / FLEX PROFILE	MOONROCK	RWDC-F	4.25" H / 1/8"		
	RB-2	(MF) TENANT CORRIDORS	RUBBER	JOHNSONITE/TARKETT	MILLWORK / REVEAL PROFILE	MOONROCK	MW-F6	6" H / 1/4"	W/ QUARTER ROUND SHOE MOLDING	
	VB-1	EGRESS STAIR LANDINGS / FITNESS	VINYL	JOHNSONITE/TARKETT	TRADITIONAL PROFILE / ROLLED	MOONROCK	#29	4"H		
	TB-1	(MF) PUBLIC LOBBY AREAS	TILE BASE	ATLAS CONCORDE USA	BULLNOSE / MATCH FLOOR TILE (FT-1)	COLOR: FOG / MATTE FINISH	TBD	6"H	PROVIDE COORDINATING TRIM PIECES	USE W/ GROUT (GRT)
WALL TILE	WT-1	(MF) PUBLIC RESTROOMS	PORCELAIN	ATLAS CONCORDE USA	EXIST: COLOR BODY PORCELAIN TILE	COLOR: FOG / MATTE FINISH	TBD	12"x24" 9MM	VERTICAL ASHLAR	USE WITH GROUT (GRT)

INTERIOR FINISH LEGEND - MISC.

MATERIAL	ABB.	LOCATION	DESCRIPTION	MANUFACTURER	COLLECTION / STYLE	COLOR / FINISH	PRODUCT #	SIZE / THICKNESS	NOTES:
WINDOW COVERINGS	WC-1	TENANT WINDOWS (ACO ALT.)	COMPOSITE BLINDS	BUDGET BLINDS	POLYMER W/ UVA INHIBITOR	STANDARD COLOR, SMOOTH TEXTURE	TBD	2" SLAT	
	WC-2	TENANT WINDOWS (BASE BID)	FAUX WOOD BLINDS	BUDGET BLINDS	POLYMER W/ UVA INHIBITOR	STANDARD COLOR, TEXTURED FINISH	TBD	2" SLAT	CONTOURED BOTTOM RAIL
	WC-3	(MF) PUBLIC LOBBY SPACES	SOLAR SHADES	SWF CONTRACT	3% OPENNESS / DOUBLE-TAKE	GREY / BRONZE	T300		MANUAL PULL W/ VALANCE
ELECTRICAL DEVICE DEVICE & COVER	ED1	TYPICAL THROUGHOUT ALL FACILITIES	REFER TO PROJECT MANUAL		STANDARD	WHITE			
MAILBOXES	MB1, MF-12	(MF) BUILDING #1	HORIZONTAL, FRONT LOADING W/		REFER TO PROJECT MANUAL				60 TENANT, 4 MAIL DROPS, 8 PARCEL LOCKERS
	MB2	(TH) BUILDING #2 - #9	EXTERIOR RECESSED ALCOVE MOUNTED		REFER TO PROJECT MANUAL				(1) PEDESTAL PER (2) BUILDINGS PER USPS STDS
TOILET ACCESSORIES	B-#	TYPICAL @ ALL RESTROOMS			REFER TO PROJECT MANUAL				REFER TO ENLARGED FLOOR PLAN KEY LEGENDS
INTERIOR SIGNAGE		TYPICAL THROUGHOUT ALL FACILITIES			REFER TO PROJECT MANUAL				EXTERIOR & INTERIOR
DOOR STOP		TENANT INTERIOR DOORS			REFER TO PROJECT MANUAL				
KITCHEN APPLIANCES	K-#	TYPICAL @ ALL KITCHENS	ENERGY STAR COMPLIANT, TYPICAL		REFER TO PROJECT MANUAL & ENLARGED PLAN KEY SCHEDULE				OWNER FURNISHED
FIRE EXTINGUISHER	FEC	TYPICAL @ TENANT KITCHENS	(1) 10 LB MOUNTED BELOW KITCHEN SINK	ABC TYPE	REFER TO PROJECT MANUAL	TBD			
SHOWER PAN BASE	B-10	TENANT BATHROOMS	SHOWER PAN W/ INTEGRAL CURB	MINCEY MARBLE MANUF.	MINCEY CHOICE, SQUARE & RECTANGLE PAN SEE ENLARGED PLAN KEY SCHEDULE & PLUMB. DWGS.	WHITE, NON-SLIP FINISH	SP-(VARIES)-CSF	36"x36", 30"x60"	SEE (SRS) PER WALL FINISH LEGEND, NOTE #G.9, G.13
WALL MNT. MIRROR	MF-11	FITNESS ROOM	COMMERCIAL GRADE GLASS OR EQ.	FAB GLASS & MIRRORS	LOW IRON TEMPERED GLASS W/ SAFETY BACKING	CLEAR, FLAT POLISHED EDGE		VARIES / 1/4"	PROVIDE CONCEALED MOUNTING CLIPS

INTERIOR FINISH LEGEND - FLOORING

MATERIAL	ABB.	LOCATION	DESCRIPTION	MANUFACTURER	COLLECTION / STYLE	COLOR / FINISH	PRODUCT #	SIZE / THICKNESS	INSTALLATION METHOD	NOTES:
LUXURY VINYL PLANK	LVT-1	TENANT UNIT- GEN FLOORING & (TH) STAIR #1 TREADS & LANDINGS	FLOATING FLOOR	MANNINGTON	CITY PARK / FLOOR ARMOR CORE	WINDSOR OAK / ASHEN	CPC101	5.8"X7" 6MM	1/3 RANDOM STAGGERED	PROVIDE UNDERLAYMENT
	LVT-2	(MF) TENANT CORRIDORS & UNITS	GLUE-DOWN	MANNINGTON	NATURE'S PATH	WINDSOR OAK / ASHEN	12372	6"x36" 2.5MM	1/3 RANDOM STAGGERED	PROVIDE UNDERLAYMENT
STAIR NOSING	SN-1	(TH) INTERIOR STAIR TYPE #1	VINYL	NOVA FLOOR	VERSATRIM / VERSA EDGE	ONTARIOR OAK / FOG	NOO621-5AM	2"X1"	TECSPT LOCK-DOWN W/ STAIR 2	REFER TO STAIR FINISH LEGEND
	SN-2	(TH) EGRESS STAIR TYPE #2	VINYL	JOHSONITE / TARKETT	FLEXIBLE VINYL STAIR NOSING FOR THE VISUALLY IMPAIRED	COLOR: MOONROCK	VIRCN-29-A			REFER TO STAIR FINISH LEGEND
STAIRWELL SOLUTION	RF-1	(TH) EGRESS STAIR TYPE #1	RUBBER	JOHSONITE / TARKETT	STAIRTREAD W/ INTEGRATED RISER / #40 "BLACK" CO-EXTRUDED VINYL INSERT	COLOR: MOONROCK TEXTURE: DIAMOND	VICN-29-N	1/8" gu		REFER TO STAIR FINISH LEGEND
	RF-2	(MF) EGRESS STAIR	RUBBER	JOHSONITE / TARKETT	STAIRTREAD W/O RISER / #40 "BLACK" CO-EXTRUDED VINYL INSERT	COLOR: MOONROCK TEXTURE: DIAMOND	VICNN-29-TR	1/8" gu		REFER TO STAIR FINISH LEGEND
PORCELAIN TILE	FT-1	(MF) LOBBY, TLTS, AMMENITY		ATALS CONCORDE USA	EXIST; COLOR BODY PORCELAIN TILE	COLOR: FOG / MATTE FINISH		12"x24" 9MM	VERTICAL ASHLAR	USE WITH GROUT (GRT)
WALK-OFF CARPET	WOC	(MF) ENTRY VESTIBULES	MODULAR TILE	MOHAWK	TUFF STUFF II / STEP IN STYLE II	IRON ORE	#983	24"x24"	QUARTER-TURN	
RUBBER SPORTS FLOOR	RBR	(MF) FITNESS ROOM	MODULAR TILE	MANNINGTON	RESET / MODULAR	GRAY TONES	#827	18"x18" / 3/8"	MONOLITHIC	
SEALED CONCRETE	SC-1	MECH., ELEC., WATER METER, FIRE PUMP, STORAGE, BIKE), CORRIDOR	POURED							CONCRETE CURB @ PERIMETER & FLOOR DRAINS
PEDESTRIAN TRAFFIC TOPPING	PTT	LOADING ROOM	APPLIED							
CONCRETE "INFILL"		EXIT STAIRS								PAINT W/(SC-1) COLORED PREASSEMBLED STEEL STRINGER AND RISER
GROUT	GRT	(MF) TILED FLOORS & WALLS	USE W/ FT-1, FT-2, WT-1	LATICRETE	EPOXY POWER GROUT	TBD				

INTERIOR FINISH LEGEND - MILLWORK

MATERIAL	ABB.	LOCATION	DESCRIPTION	MANUFACTURER	COLLECTION / STYLE	COLOR / FINISH	PRODUCT #	SIZE	NOTES:
COUNTERTOP	TOP-1	TYPICAL COUNTERTOP	QUARTZ W/ 4" H BACKSPLASH; CHAMFERED NOSING PROFILE	CAMBRIA	MARBLE COLLECTION	TORQUAY		1/2" THICK	
	TOP-2	TENANT - VANITY TOP, TYPICAL	CULTURED MARBLE, INTEGRAL SINK	ROCKY TOPS GRANITE & MARBLE INC.	LEVEL #1 FINISH, INTEGRAL SINK	TBD	TBD	TBD	
CABINETS	CAB-1	UPPER CABINETS	CONCEALED HINGES, DOVETAIL DRAWERS, STANDARD PULL	ECHELON CABINETS	"NORWICH SLAB" STAINED WOOD	SPECIES: BIRCH MAPLE STAIN: TOFFEE			
	CAB-2	LOWER CABINETS	CONCEALED HINGES, DOVETAIL DRAWERS, STANDARD PULL	ECHELON CABINETS	"NORWICH SLAB" ENAMEL PAINT FINISH	SPECIES: BIRCH COLOR: SLATE			
	CAB-3	TENANT VANITY CABINET	CONCEALED HINGES, DOVETAIL DRAWERS, STANDARD PULL	ECHELON CABINETS	"NORWICH SLAB" ENAMEL PAINT FINISH	SPECIES: BIRCH COLOR: SLATE			
HARWARE	HD-1	ALL CABINETS	CABINET DOOR PULL	ECHELON	FROM CAB. MANUF. STANDARD PRODUCT LINE	TBD	TBD	TBD	
	HD-2	KITCHEN ISLAND C'TOP	C'TOP SUPPORT BRACKET	CENTERLINE BRACKETS	FRONT MOUTING PLUS BRACKET HIDDEN OR EQUAL	BLACK	FMP	8"x6"	REFER TO INTERIOR ELEVATIONS FOR LOCATIONS - MOUNT TO WALL STUD
	HD-3	(TH) INTERIOR STAIR RAILING	HANDRAIL SUPPORT BRACKET	TBD	TBD	BLACK	TBD	TBD	
	HD-4	TENANT CLOSETS	"HEAVY DUTY" - WIRE SHELVING & HANGING RODS	TBD	TBD	WHITE	TBD	TBD	PROVIDE BLOCKING AS REQUIRED
	WD-1	(TH) INTERIOR WINDOW SILLS	PAINTED WOOD		REFER TO PROJECT MANUAL	PAINT (PNT-3)			
	WD-2	(TH) INTERIOR HAND RAIL	SEALED & STAINED WOOD		1-1/2"D / REFER TO PROJ. MANUAL	STAIN (STN-1)			SEE PAINT LEGEND FOR STAIN INFORMATION
	WD-3	(TH) INTERIOR STAIR COMPONENTS	PAINTED WOOD		REFER TO PROJECT MANUAL	PAINT (PNT-9)			SEE PAINT & STAIR LEGENDS FOR MORE INFORMATION
	WD-4	(MF) OPEN SHELVING, FITNESS	PAINTED WOOD		PAINT GRADE WOOD	PAINT, (PNT-8)			

INTERIOR FINISH NOTES - GENERAL

G.1 ALL INTERIOR FINISHES SHALL COMPLY WITH CHAPTER 8 OF THE 2018 INTERNATIONAL BUILDING CODE AND NFPA 101, 2012
G.2 ALL INTERIOR FINISH MATERIALS SHALL BE INSTALLED ACCORDING TO MANUFACTURERS' RECOMMENDATIONS
G.3 ALL INTERIOR FINISHES SHALL BE PROVIDED AS SPECIFIED. SUBSTITUTIONS SHALL COMPLY WITH SPECIFICATION SECTIONS 01.25.13 AND 01.25.33
G.4 PROVIDE 5% ATTIC STOCK FOR ALL INTERIOR MATERIALS, ONCE PUNCH LIST HAS BEEN COMPLETED
G.5 GENERAL CONTRACTOR TO PROVIDE SAMPLE OF ALL STAINED WOOD FINISHES TO DESIGNER FOR APPROVAL PRIOR TO INSTALLATION
G.6 GENERAL CONTRACTOR TO PROVIDE FULL SIZE SAMPLE OF WINDOW SHADE TO DESIGNER FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION
G.7 PROVIDE UNPAINTED PLYWOOD-FACED WALLS, TYP. AT ALL ELECTRICAL ROOMS FOR DEVICE MOUNTING
G.8 MATERIALS SHOWN WITH AN (*) SHALL COORDINATE WITH CORRESPONDING ALTERNATE
G.9 PRIOR TO CONSTRUCTION, CONTRACTOR TO SUBMIT ALL SAMPLES TO ARCHITECT FOR REVIEW AND APPROVAL.
G.10 NOT USED
G.11 PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN WET AREAS, TYPICAL
G.12 G.C. TO PROVIDE ALL MANUF. RECOMMENDED CEILING TRIM ACCESSORIES INCLUDING BUT NOT LIMITED TO TRIM, CLIPS, ACOUSTICAL BACKER ETC. TO ENSURE A CLEAN & FINISHED INSTALLATION
G.13 REFER TO ENLARGED FLOOR PLAN & INTERIOR ELEVATIONS; TH - GENERAL DETAILS, SHEET SERIES TH.G.2 & MF.A.7 FOR INTERIOR FINISH & EQUIPMENT DETAILS & COORDINATION
G.14 REFER TO MISC. FINISH LEGEND FOR ELECTRICAL DEVICE & SWITCH PLATE DETAILS
G.15 G.C. TO COORDINATE SHOWER SURROUND FINISHES & INSTALLATION REQ'MNTS WITH BATHTUB AND SHOWER PAN PRODUCTS PRIOR TO PURCHASE. REFER TO PLUMBING DRAWINGS & MISC. FINISH LEGEND FOR MORE INFORMATION.

INTERIOR FINISH NOTES - PAINT

P.1 ALL GYP WALLS SHALL BE PAINTED WITH AN EGGSHELL FINISH, U.N.O.
P.2 ALL GYP CEILINGS SHALL BE PAINTED WITH A FLAT FINISH, U.N.O.
P.3 ALL H.M. DOOR & FRAMES SHALL BE PAINTED WITH A SEMI-GLOSS FINISH, U.N.O.
P.4 NOT USED
P.5 NOT USED
P.6 ALL GYPSUM WALL BOARD TO BE PAINTED PNT-1 U.N.O.
P.7 PAINTING OF EXPOSED CEILING STRUCTURE SHALL INCLUDE ALL SUSPENDED ELEMENTS, INCLUDING BUT NOT LIMITED TO MECHANICAL DUCTS, ELECTRICAL CONDUIT, SUSPENSION CABLE AND OTHER STRUCTURAL ELEMENTS

INTERIOR FINISH NOTES - FLOORING

F.1 ALL FLOOR SURFACES SHALL BE PATCHED, LEVELED, SMOOTHED AND CLEAN, PRIOR TO FINISHED FLOOR MATERIAL INSTALLATION
F.2 ALL CARPET SHALL BE CLASS "II"
F.3 ALL FLOORING MATERIALS ARE TO EXTEND BENEATH MILLWORK, TYPICAL.
F.4 PROVIDE CONTROL JOINTS, AS REQUIRED BY MANUFACTURERS' RECOMMENDATION
F.5 ALL RUBBER BASE SHALL BE PROVIDED IN ROLL FORM. ALL SEAMS MUST OCCUR AT INSIDE CORNERS, IF POSSIBLE. PRE-FABRICATED OUTSIDE CORNERS AND 48" STRIPS ARE NOT ACCEPTABLE.
F.6 INCLUDE INLAID VISIBILITY MARKER/ABRASIVE INSERT AT STAIR NOSING, PER CODE.
F.7 COORDINATE LOCATIONS OF FLOOR DRAINS AND SLOPE POURED FLOORING MATERIALS TO DRAIN GRADE REQUIREMENTS
F.8 GENERAL CONTRACTOR TO PROVIDE TRANSITION STRIPS FOR SMOOTH TRANSITION FROM ALL FLOORING MATERIAL TYPE CHANGES
F.9 ALL EXPOSED TILE EDGES SHALL BE FINISHED WITH COORDINATING TILE ACCESSORIES (I.E. BULLNOSE) OR SCHLUTER TRIM
F.10 ALL GROUT SHALL BE EPOXY U.N.O. PROVIDE ALTERNATE PRICING FOR "POWER GROUT", BY TILE DESIGNATION, IN LIEU OF EPOXY GROUT
F.11 PROVIDE CONTROL JOINTS, AS REQUIRED BY MANUFACTURERS' RECOMMENDATION
F.12 CONTRACTOR SHALL PROVIDE APPROPRIATE SEAM SEALANT FOR ALL CARPET TRANSITIONS.
F.13 CONTRACTOR SHALL PROVIDE APPROPRIATE GROUT & SEALANT FOR ALL FLOOR & WALL TILE APPLICATIONS.
F.14 PROVIDE COORDINATING ACCESSORIES & TRIM PER MANUF. RECOMMENDED STANDARDS & COORDINATE WITH OWNER PRIOR TO INSTALLATION.

INTERIOR FINISH NOTES - MILLWORK

M.1 COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS
M.2 NOTES AND DETAILS ARE TYPICALLY APPLICABLE TO SIMILAR ITEMS ELSEWHERE ON THE SHEET
M.3 FIELD-VERIFY ALL CASEWORK DIMENSIONS PRIOR TO FABRICATION
M.4 PROVIDE FILLER PANELS, WHERE REQUIRED, A MAXIMUM OF 3" IN WIDTH
M.5 PROVIDE RECESSED PULL HARDWARE AT ALL CASEWORK CABINETS, UNLESS NOTED OTHERWISE. LOCATE PULLS AT TOP HORIZONTAL EDGE OF DRAWERS AND INSIDE VERTICAL EDGE OF DOORS. FINISH SELECTED FROM MANUF. STANDARD OPTIONS. VERIFY WITH ARCH. PRIOR TO INSTALLATION.
M.6 PROVIDE 4" BACKSPLASH, UNLESS OTHERWISE NOTED. RETURN BACKSPLASH AT WALL TYP.
M.7 PROVIDE FINISHED SURFACES AT ALL EXPOSED SURFACES AND EDGES, PLASTIC LAMINATE UNLESS OTHERWISE NOTED
M.8 COORDINATE ALL CASEWORK WITH OWNER-FURNISHED EQUIPMENT AS REQUIRED
M.9 PROVIDE CORD-DROP GOMMETS AS REQUIRED FOR EQUIPMENT OR AS DIRECTED BY THE OWNER
M.10 PROVIDE 1-INCH RADIUS AT EXPOSED TOP CORNERS UNLESS OTHERWISE NOTED
M.11 ALL CABINETS SHALL BE REVEAL OVERLAY CONSTRUCTION
M.12 CASEWORK CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF CASEWORK.
M.13 TYPICAL BRACKET FOR WORKSURFACE SUPPORTS, INSTALLED PER MANUF. RECOMMENDATIONS
M.14 PROVIDE ADEQUATE BLOCKING IN WALLS TO SUPPORT ALL HANGING CABINETRY AND UNDER

LUMEC
by Signify

Roadway
RoadStar
GPLS (small)

Lumec RoadStar LED architectural roadway luminaire combines the look of a decorative product with the performance of a roadway or site/area luminaire, resulting in highly effective illumination and a stylish appearance. Featuring two different sizes, RoadStar offers a consistent look across pedestrian, general, and street lighting areas includes Service Tag, innovative way to provide assistance throughout the life of the product

Project:
Location:
Cat./No:
Type:
Lamps: Qty:
Notes:

Ordering guide example: GPLS-32L700NW-G2-R3M-UNV-RCD-HS-GY3

Series	LED Module[1]	Board Generation	Optical System	Ballast	Driver and Dimming	Luminaire Options	Accessories	Finish
GPLS RoadStar LED roadway luminaire, small.	Neutral White 16L530NW 16L700NW 16L1050NW 32L530NW 32L700NW 32L1050NW 48L530NW 48L700NW 48L1050NW Warm White 16L530WW 16L700WW 16L1050WW 32L530WW 32L700WW 32L1050WW 48L530WW 48L700WW 48L1050WW	G3	R2S Type II short (ASYM) R2M Type II Medium (ASYM) R3S Type III short (ASYM) R3M Type III Medium (ASYM) R3W Type III Wide (ASYM) 4 Type IV (ASYM) 5F Type V (SYMM)	UNV 120-277VAC HVU 347-480VAC	Standard: DMG Dimmable driver 0-10V Optional: Dynadimmer Economy Profile CDMGE25[2,4] CDMGE50[2,4] CDMGE75[2,4] Medium Profile CDMGM25[2,4] CDMGM50[2,4] CDMGM75[2,4] Safety Profile CDMGS25[2,4] CDMGS50[2,4] CDMGS75[2,4] DALI[3,4] Digitally Addressable Lighting Interface DMG-AST[3,4] Adjustable Startup Time DMG-CLO[3,4] Constant Light Output DMG-OTL[3,4] Over The Life *Includes 0-10v dimming	Standard: RCDP Receptacle for twist-lock photocell or shorting cap, 5-pin (standard) Optional: HS House Side Shield, shield, 1 per 15 LED light engine RCDP Receptacle for twist-lock photocell or shorting cap, 7-pin (optional) SPD 20kV / 20kA Surge Protector (optional)	PHB Twist-lock Photoelectric Cell, UNV (120-277VAC) PHB/347 Twist-lock Photoelectric Cell, HVU (347VAC) PHB/480 Twist-lock Photoelectric Cell, HVU (480VAC) PSOL Twist-lock Photoelectric Cell, extended life, UNV (120-277VAC) PHB Shorting cap	BK Black finish BR Bronze finish GY3 Grey finish WH White finish

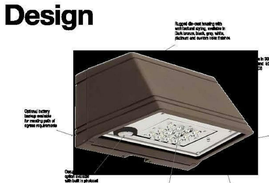
1. Consult factory for Warm White (3000K) details.
2. Not available with HS option.
3. 347V and 480V not available.
4. Dimming choices: Select either DMG or one of the CDMG options or DALI.
5. Use of photoelectric cell or shorting cap is required to ensure proper illumination.

Note: GPLS is compatible to accept the CityTouch wireless lighting control device

RoadStar_LED_GPLS 01/19 page 1 of 8

POLE LIGHT
SYMBOL:

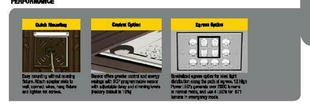
Design



Features and Benefits:
- Capable of replacing up to 175w HID luminaires
- Easy to install and retrofit existing HID luminaires with similar footprint
- Control capabilities offer additional energy savings options
- Zero uplight distribution
- Integral battery backup options
- DesignLights Consortium® (DLC) qualified. Please refer to the DLC website for specific product qualifications at www.designlights.org.

8-15 ft. TYPICAL MOUNTING HEIGHT

PERFORMANCE



Quick mounting without needing fixtures. Mount upwards onto the wall, surface, soffit, ceiling, fixture and tighten the screws.

Square offset optimal control and energy savings with 90° programmable reverse with adjustable sweep and 5 mounting levers (factory default is -10%)

Specialized egress optics for true light distribution using the walls of approx. 12 High Power LEDs generate over 2900 lumens in normal mode, and use it 100% for 90 minute if emergency mode.

Features

GEOPAK™

POWERED BY NATIVE

Long-Life LiFePO4 Iron Phosphate battery with optional heater

Weather-tight gasket design seals all electronics

Custom Emergency LED Driver and Power Supply

High reliability AC LED Driver Section

SYSTEM SELF-DIAGNOSTICS	
MANUAL TEST	
Initiating Self Test Cycle	
Press Test Button Once	1 Minute
Press Test Button Twice	7 Minutes
AUTOMATIC RESET	
Testing Period Duration of Test	
Every 4 Months	10 Minutes
Every 6 months	Alternating 30 minutes or 90 minutes
OPERATING STATUS INDICATOR	
OFF	AC OFF
GREEN ON	AC ON
FLASHING GREEN	TEST IN PROGRESS
Normal, ALERT Modes	
1 RED FLASH	BATTERY DISCONNECTED
2 RED FLASHES	BATTERY FAULT
3 RED FLASHES	CHARGER FAULT
4 RED FLASHES	LED DRIVER FAULT
5 RED FLASHES	LAMP FAULT

BATTERY

Lithium Iron Phosphate Battery:
- Offers battery life of 5-7 years
- Outlasts Sealed Lead Acid and NiCad by 30%

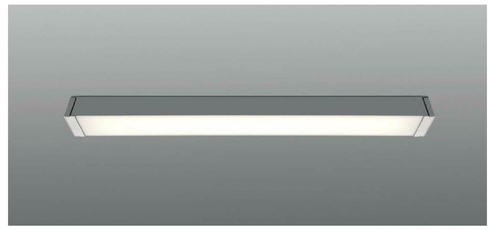
Optional Battery Heater:
- 10W/cm heater ramp and thermostat during charge and dis-charge
- Allows applications to -30°C

4 For more information: www.hubbellbuildingautomation.com

GEOPAK SERIES WALLPACK/LIS 5

WALL LIGHT
SYMBOL:

ALW



LIGHTPLANE 3.5RWL

LP3.5RWL | RECESSED, WET LOCATION

STANDARD SIZES
3.5" Aperture
Configurable in straight run sections
Longest Uninterrupted Length: 4' / Longest Joined Length: 8'

LAMPING
LED - Direct - 80/90 CRI - 2700K/3000K/3500K/4000K
Output Options: LOW/MED/HI/DECOR/Tunable White/RGB/RGB+W
Dimming down to 0%

FINISH
18 standard finishes available at no extra charge
RAL classic colors, TCI / Tiger Drylac catalog colors, and custom color match also available
Optional Natatorium Top-Coat

CONSTRUCTION
Industrial Strength Extruded 6060-T5 Aluminum
IP66 Rated

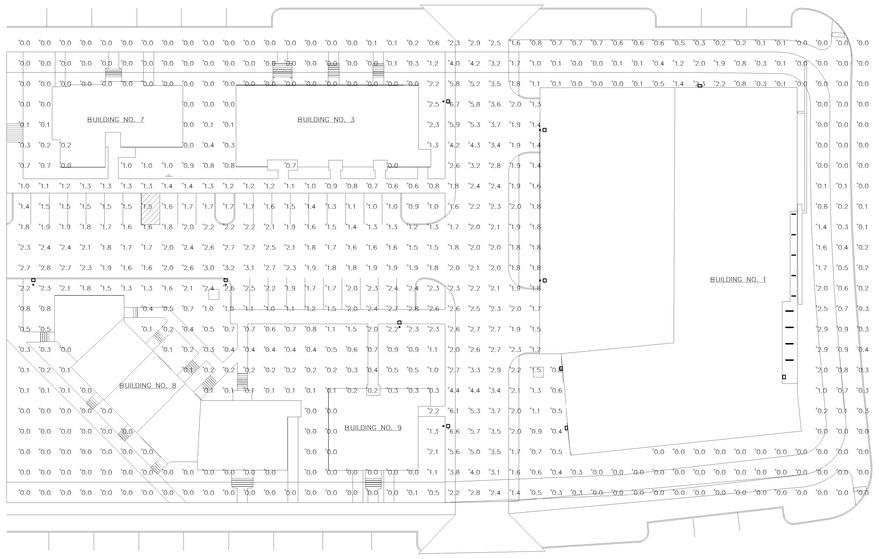
ETL LISTED ETL Listed 5388

enlighted VIVE by LUTRON

LP3.5RWL – SPECIFICATIONS
RECESSED, WET LOCATION

ALWUSA.COM

RECESSED CANOPY LIGHT
SYMBOL:



1 MF-E0.2 SITE PLAN - CALCULATIONS
1" = 30'-0"

KCDC
KNOXVILLE'S COMMUNITY DEVELOPMENT CORPORATION

AUSTIN HOMES REDEVELOPMENT
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Tel 312.456.0123
Fax 312.456.0124

△	Date	Description
1	5-26-2020	REVISION 2

EDWARD C. HENDERSON
REGISTERED ENGINEER
No. 118345
STATE OF TENNESSEE
4/9/20

Seal / Signature

CONSTRUCTION DOCUMENTS
PROGRESS SET
100%

Project Name 05.06.2020
Austin Homes Multi - Family

Project Number
20502

Description
SITE PLAN - LIGHTING CALCULATIONS

Scale
1" = 30'-0"

MF-E0.2

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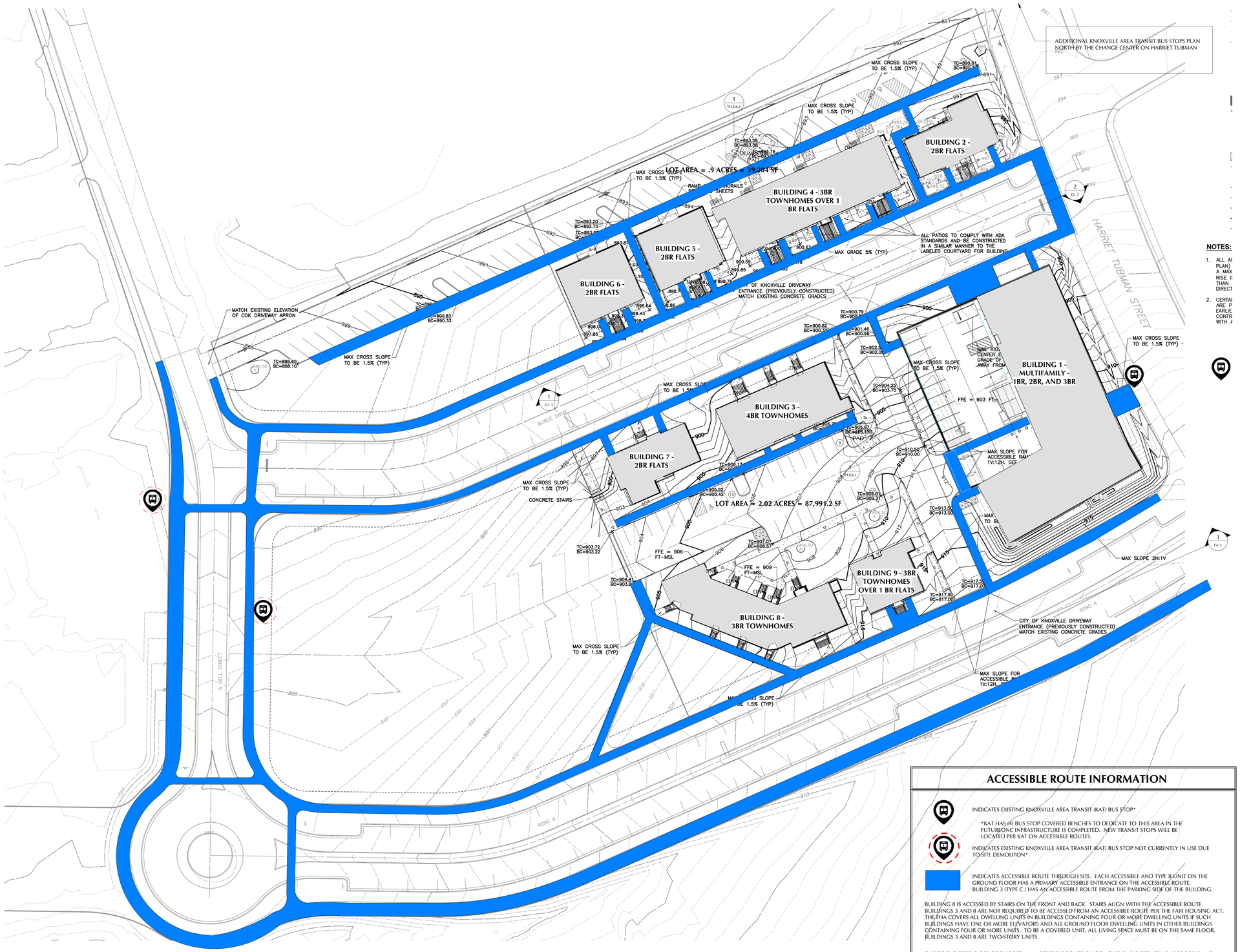

NOTES:

1. ALL AC
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ACCESSIBLE ROUTE INFORMATION

INDICATES EXISTING KNOXVILLE AREA TRANSIT (KAT) BUS STOP*

*KAT HAS (4) BUS STOP COVERED BENCHES TO DEDICATE TO THIS AREA IN THE FUTURE ONC INFRASTRUCTURE IS COMPLETED. NEW TRANSIT STOPS WILL BE LOCATED PER KAT ON ACCESSIBLE ROUTES.

INDICATES EXISTING KNOXVILLE AREA TRANSIT (KAT) BUS STOP NOT CURRENTLY IN USE DUE TO SITE DEMOLITON*

INDICATES ACCESSIBLE ROUTE THROUGH SITE. EACH ACCESSIBLE AND TYPE B UNIT ON THE GROUND FLOOR HAS A PRIMARY ACCESSIBLE ENTRANCE ON THE ACCESSIBLE ROUTE. BUILDING 3 (TYPE C) HAS AN ACCESSIBLE ROUTE FROM THE PARKING SIDE OF THE BUILDING.

BUILDING 8 IS ACCESSED BY STAIRS ON THE FRONT AND BACK. STAIRS ALIGN WITH THE ACCESSIBLE ROUTE. BUILDINGS 3 AND 8 ARE NOT REQUIRED TO BE ACCESSED FROM AN ACCESSIBLE ROUTE PER THE FAIR HOUSING ACT. THE FHA COVERS ALL DWELLING UNITS IN BUILDINGS CONTAINING FOUR OR MORE DWELLING UNITS IF SUCH BUILDINGS HAVE ONE OR MORE ELEVATORS AND ALL GROUND FLOOR DWELLING UNITS IN OTHER BUILDINGS CONTAINING FOUR OR MORE UNITS. TO BE A COVERED UNIT, ALL LIVING SPACE MUST BE ON THE SAME FLOOR. BUILDINGS 3 AND 8 ARE TWO-STORY UNITS.

DUE TO THE STEEP SLOPE OF THIS SITE, AN ACCESSIBLE ROUTE IS NOT ACHIEVEABLE BETWEEN BURGE DRIVE AND THE NEW BOULEVARD ON THE NORTH EAST SIDE OF THE PROPERTY. NEW INFRASTRUCTURE WILL REWORK THE SITE TO MAKE BELL ST. AND THE LENGTH OF BURGE AND THE BOULEVARD ACCESSIBLE. EXISTING HARRIET TUBMAN'S SLOPE IS NOT ACCESSIBLE. BUILDING ONE HAS AN ELEVATOR CONNECTING THE GROUND LEVEL AT BURGE TO LEVEL ONE AT THE BOULEVARD AND HARRIET TUBMAN ST. ACCESSIBLE PARKING SPACES ARE AVAILABLE ON THE LEVEL 01 PARKING DECK FOR BUILDING ONE. THE EXTERIOR MAIL KIOSK, WHICH SERVES BUILDINGS 2 - 9 AND FACES BURGE DRIVE, HAS AN ADJACENT ACCESSIBLE PARKING SPACE. THE ACCESSIBLE ROUTE THROUGH THE SITE COMPLIES WITH THE FHA GUIDELINES FOR SITES WITH STEEP TERRIAN PER THE "SITE IMPRACTICALITY TESTS FOR SITES WITH DIFFICULT TERRIAN.'

1 G1.2 ARCHITECTURAL SITE PLAN
1" = 30'-0"

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Tel 312.456.0123
Fax 312.456.0124

△	Date	Description
2	5/26/20	ADDENDUM 1

DARYL R. JOHNSON — REGISTERED ARCHITECT — STATE OF TENNESSEE — 05/21/2020

Seal / Signature

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
ARCHITECTURAL SITE PLAN

Scale
As indicated

G1.2

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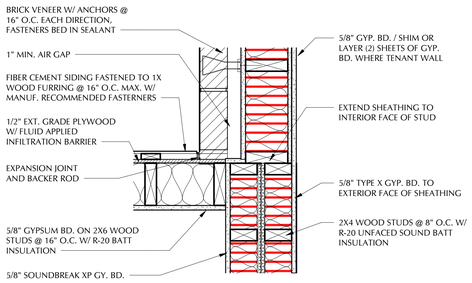
BUILDING 2 - DOOR SCHEDULE

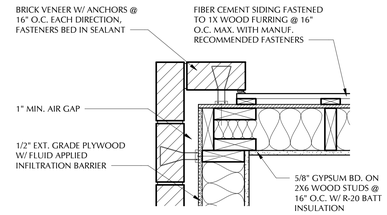
MARK	WIDTH	HEIGHT	THICKNESS	DOOR TYPE	DOOR MATERIAL	DOOR FINISH	FIRE RATING	FRAME TYPE	FRAME MATERIAL	FRAME FINISH	THRESHOLD DTL. #	JAMB DTL. #	HEAD DTL. #	HARDWARE SET	QUANTITY PER BLDG.
B2-1	3' - 0"	6' - 8"	0' - 1 3/4"	V	FIBERGLASS	PREFINISHED STAIN	N/A	F2	HM	PAINTED	14/TH.G1.2	9/TH.G1.2 / 11/TH.G1.2	4/TH.G1.2	A	2
B2-2	3' - 0"	6' - 8"	0' - 1 3/4"	E2	SCW	PAINTED	20 MINUTES	F2	WD	PAINTED	15/TH.G1.2	10/TH.G1.2	6/TH.G1.2	B	6
B2-3A	3' - 0"	6' - 8"	0' - 1 3/4"	G-SL	FIBERGLASS	PREFINISHED STAIN	N/A	F2	HM	PAINTED	17/TH.G1.2	11/TH.G1.2	5/TH.G1.2	A	1
B2-3B	3' - 0"	6' - 8"	0' - 1 3/4"	G	FIBERGLASS	PREFINISHED STAIN	N/A	F2	HM	PAINTED	14/TH.G1.2	17/TH.G1.2	4/TH.G1.2	A	1
B2-4	3' - 0"	7' - 0"	0' - 2"	F	HM	PAINTED	N/A	F1	HM	PAINTED	14/TH.G1.2	11/TH.G1.2	11/TH.G1.2	A	1
B2-5	5' - 0"	6' - 8"	0' - 1 3/4"	DF	SCW	PAINTED	N/A	F3	WD	PAINTED	16/TH.G1.2	7/TH.G1.2	7/TH.G1.2	D/E	12
B2-6	2' - 10"	6' - 8"	0' - 1 3/4"	E2	SCW	PAINTED	N/A	F1	WD	PAINTED	16/TH.G1.2	7/TH.G1.2	7/TH.G1.2	C/D	23
B2-7	2' - 0"	6' - 8"	0' - 1 3/4"	E2	SCW	PAINTED	N/A	F1	WD	PAINTED	16/TH.G1.2	7/TH.G1.2	7/TH.G1.2	D	1
B2-8	5' - 6"	6' - 8"	0' - 1 3/4"	DF	SCW	PAINTED	N/A	F3	WD	PAINTED	16/TH.G1.2	7/TH.G1.2	7/TH.G1.2	D	10
B2-9	4' - 0"	6' - 8"	0' - 1 3/4"	BF	HCW	PAINTED	N/A	F3	WD	PAINTED	16/TH.G1.2	7/TH.G1.2	7/TH.G1.2	D	2

FLOOR PLAN NOTES

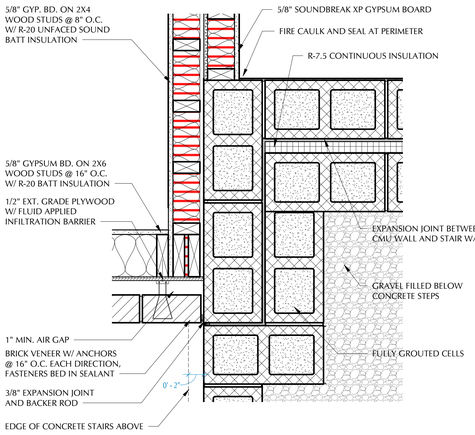
1. COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS.
2. SEE SHEET G1.0 FOR ABBREVIATIONS, SYMBOLS, GENERAL NOTES AND WALL LEGEND. SEE SHEET G1.1 FOR ACCESSIBLE MOUNTING HEIGHTS AND DETAILS.
3. SEE THE G2.0 SERIES SHEETS FOR U.L. ASSEMBLIES.
4. PROVIDE BLOCKING, ROUGH HARDWARE, ETC. AS REQUIRED TO MOUNT EQUIPMENT, CLOSET SHELVING, AND GRAB BARS. ALL SHOWERS AND TOILET LOCATIONS TO RECEIVE BLOCKING FOR FUTURE GRAB BAR MOUNTING. SEE INTERIOR SHEETS FOR DETAILS.
5. PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS.
6. PROVIDE GYPSUM BOARD CONTROL JOINTS AT 30'-0" O.C. MAX. COORDINATE LOCATIONS WITH INTERIOR ELEVATIONS. WHERE JOINTS ARE NOT SHOWN, CENTER SPACING WITHIN ROOM, EDGE OF WALL OPENINGS.
7. INSTALL ONE SHELF PER CLOSET, PANTRIES, AND OVER WASHER / DRYER WITH HEAVY DUTY ANCHORS MOUNTED INTO STUDS (2'-0" O.C. MAX.) WITH MANUFACTURER APPROVED MOUNTING HARDWARE.
8. SEE ENLARGED UNIT PLANS AND LIFE SAFETY SHEETS FOR ADDITIONAL ACCESSIBLE CLEARANCE AND CLEAR FLOOR SPACE REQUIREMENTS.
9. WASHER/DRYER, NOT IN CONTRACT, SHOWN FOR REFERENCE ONLY. BEDS ARE TENANT PROVIDED AND SHOWN FOR REFERENCE / SCALE / CLEARANCES ONLY.
10. WINDOWS IN 1 HR RATED WALLS THAT ARE LESS THAN 10' FROM THE INTERIOR EGRESS STAIRWAY WALLS AT LESS THAN A 180 DEGREE ANGLE REQUIRE A FIRE PROTECTION RATING OF NOT LESS THAN 3/4 HR AND A MARKING OF OH-45 OR W-60 PER IBC TABLE 716.1(3). WINDOWS INDICATED ON PLAN WITH AN ASTERISK (*).



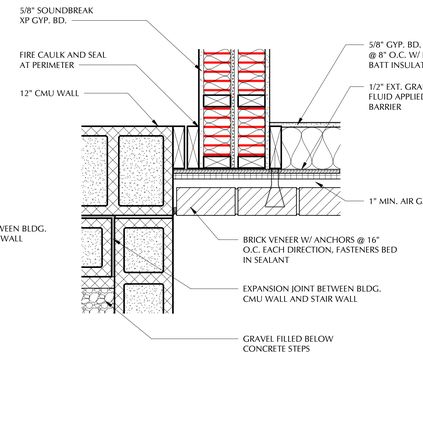
2 TH2.A1.1 WALL DETAIL 1
1 1/2" = 1'-0"



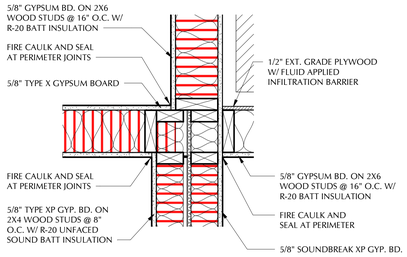
3 TH2.A1.1 WALL DETAIL 2
1 1/2" = 1'-0"



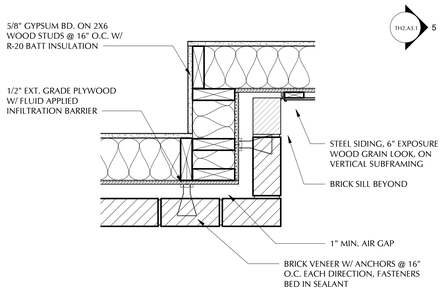
4 TH2.A1.1 WALL DETAIL 3
1 1/2" = 1'-0"



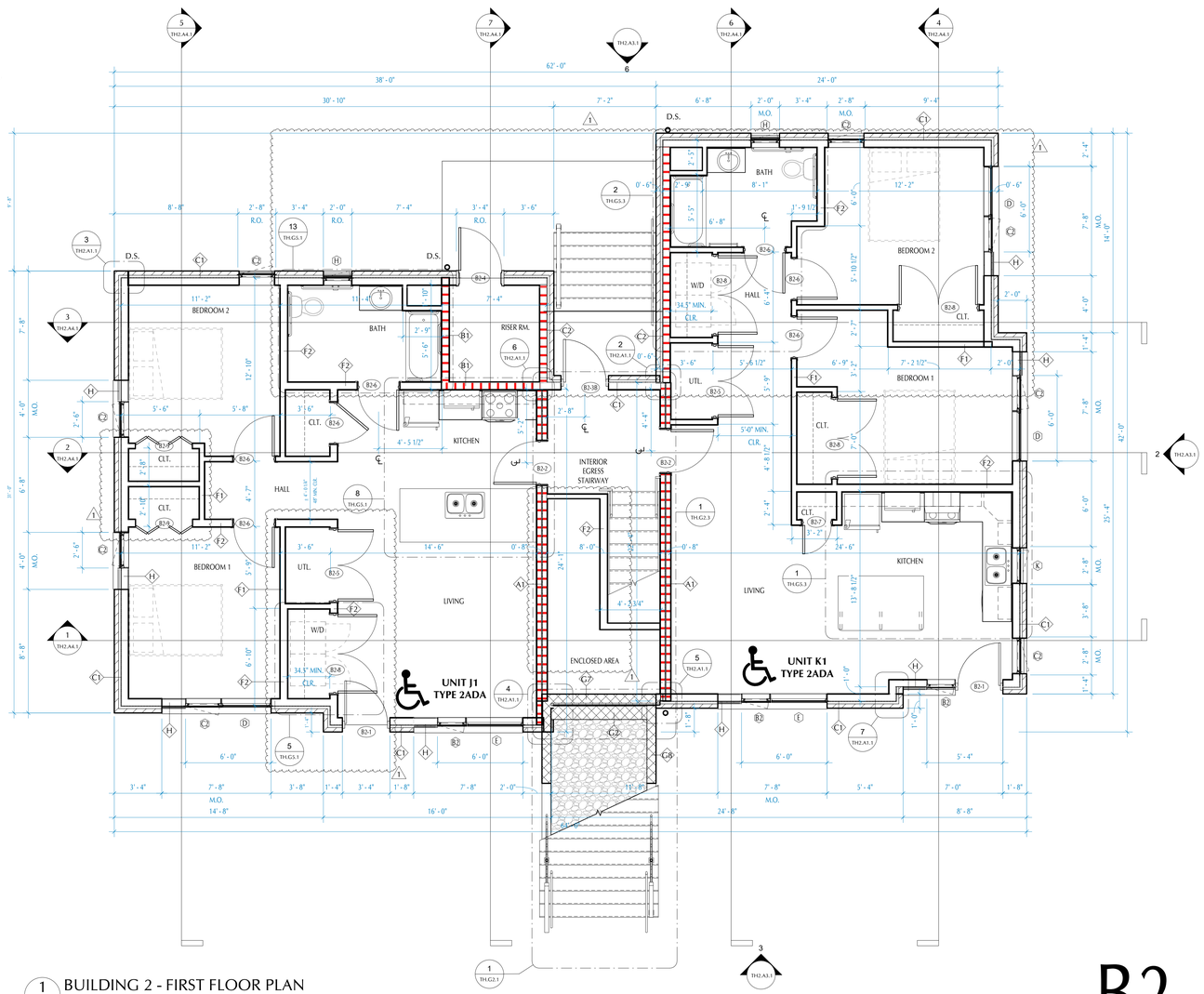
5 TH2.A1.1 WALL DETAIL 4
1 1/2" = 1'-0"



6 TH2.A1.1 WALL DETAIL 5
1 1/2" = 1'-0"



7 TH2.A1.1 WALL DETAIL 6
1 1/2" = 1'-0"



1 TH2.A1.1 BUILDING 2 - FIRST FLOOR PLAN
1/4" = 1'-0"

B2

KCDC
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United States
Tel 312.456.0123
Fax 312.456.0124

△	Date	Description
1	5/06/20	PLANS REVIEW COMMENTS
2	5/26/20	ADDENDUM 1

Seal / Signature

DARYL R. JOHNSON — REGISTERED ARCHITECT — STATE OF TENNESSEE — 05/26/2020

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
BUILDING 2 - FIRST FLOOR PLAN

Scale
As indicated

TH2.A1.1

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ROOF PLAN NOTES

1. PRIOR TO INSTALLING DOWNSPOUTS, COORDINATE WITH ARCHITECT FOR EXACT LOCATIONS WITH BUILT CONDITIONS. LOCATIONS INDICATED ARE SUBJECT TO CHANGE AND TO BE COORDINATED WITH DOORS, WINDOWS, ENTRANCE STOOPS, ETC.
2. PROVIDE PRE-FINISHED ALUMINUM GUTTERS AND DOWNSPOUTS AT SHOWN LOCATIONS EXCEPT WHERE INDICATED ON SITE PLAN TO BE TIED INTO STORM SEWER.
3. CONT. PRE-FIN. ALUM. GUTTERS W/ SUPPORTS @ 3'-0" O.C. TYP., GUTTERS TO BE 0.027". COLOR TO BE SELECTED BY OWNER AND ARCHITECT.
   A. FRONT 'STREET SIDE' ENTRANCE ROOFS TO HAVE 6" HALF ROUND GUTTERS
   B. ALL OTHER GUTTERS TO BE 6" BOX STYLE GUTTERS
4. PRE-FINISHED ALUMINUM DOWNSPOUTS W/ STRAP SUPPORTS @ 5'-0" O.C. VERT., TYP., MIN. OF 2 STRAPS PER DOWNSPOUT. DOWNSPOUTS TO BE 0.032". COLOR TO BE SELECTED BY OWNER AND ARCHITECT.
   A. ALL DOWNSPOUTS TO BE 3" ROUND DOWNSPOUTS
5. ALL DOWNSPOUTS TO BE TIED INTO UNDERGROUND STORM WATER SYSTEM. COORDINATE WITH CIVIL PLANS FOR STORMWATER PIPING WITH DOWNSPOUT LOCATIONS. PROVIDE CONNECTION BOOT AS REQUIRED TO CONNECT TO UNDERGROUND STORM WATER SYSTEM.
6. DOWNSPOUTS FROM UPPER ROOFS SPILLING ON LOWER ROOF LEVELS TO HAVE A SPLASH PAD UNDER DOWNSPOUT.
7. PROVIDE VENTS THROUGH ROOF AS INDICATED FOR PLUMBING SYSTEMS. LOCATIONS TO BE NO CLOSER THAN 5'-0" TO PARAPET CONDITION AND NO CLOSER THAN 10'-0" TO ANY AIR INTAKE.
8. VENT PIPE, ROOF PENETRATIONS AND REFRIGERANT LINES NOT SHOWN FOR CLARITY.
9. VERIFY EXACT NUMBER & LOCATION OF ALL VENT PIPES, ROOF PENETRATIONS & REFRIGERANT LINES IN FIELD. PROVIDE SELF-ADHERING FLASHING AROUND ALL ROOF PENETRATIONS.
10. PROVIDE ALL ROOF ACCESSORIES INCLUDING FLASHING BOOTS, COUNTER FLASHING, DRIP EDGES, COPING, AND ALL OTHER ACCESSORIES REQUIRED TO PROVIDE A WATER TIGHT ROOF SYSTEM THAT WILL MEET THE ROOF WARRANTY REQUIREMENTS.
11. FOR ROOF PITCHES 4:12 OR GREATER, INSTALL 30# FELT AS UNDERLAYMENT OVER SHEATHING WITH AN ICE AND WATER SHIELD TO EXTEND 18" FROM ALL EDGES. ICE & WATER SHIELD TO BE AT ALL VALLEYS 36" WIDE. FOR ROOF PITCHES LESS THAN 4:12, INSTALL ICE AND WATER SHIELD AS UNDERLAYMENT CONTINUOUSLY FROM RIDGE TO EAVE AND FROM EDGE TO EDGE.
12. GROUNDS TO BE CLEANED OR DEBRIS AND NAILS DAILY PRIOR TO LEAVING SITE.
13. PROVIDE CONT. STEP FLASHING @ ALL SLOPED WALL/ROOF CONNECTION, TYP.
14. 1011.13 GUARDS. WHERE THE ROOF HATCH OPENING IS LOCATED WITHIN 10 FEET OF THE ROOF EDGE, SUCH ROOF ACCESS OR ROOF EDGE SHALL BE PROTECTED BY GUARDS INSTALLED IN ACCORDANCE WITH IBC 2018, SECTION 1015.
15. 1015.6 MECHANICAL EQUIPMENT, SYSTEMS AND DEVICES. | 1015.7 ROOF ACCESS. GUARDS SHALL BE PROVIDED WHERE VARIOUS COMPONENTS THAT REQUIRE SERVICE ARE LOCATED WITHIN 10 FEET OF A ROOF EDGE. THE GUARD SHALL EXTEND NOT LESS THAN 30 INCHES BEYOND EACH END OF SUCH COMPONENTS. THE GUARD SHALL BE CONSTRUCTED SO AS TO PREVENT THE PASSAGE OF A SPHERE 21 INCHES IN DIAMETER. BASIS OF DESIGN - KEEGUARD SAFETY RAIL SYSTEM; SEE IMAGE 18/TH.G3.1
16. AT ALL ROOFTOP EQUIPMENT, ROOF HATCHES, ETC., PROVIDE TAPERED RIGID INSULATION SADDLE TO SLOPE AWAY AND AROUND FOR POSITIVE WATER FLOW.
17. PROVIDE ROOF WALK PADS AS REQUIRED TO ACCESS ALL ROOFTOP EQUIPMENT AND PENETRATIONS FROM ROOF HATCH. SEE WALKPAD DETAIL.

o D.S.	ROUND DOWNSPOUT
------	DASHED LINE INDICATES EXTENDING ROOF MEMBRANE UP WALL A MINIMUM OF 8" OR PER MANUFACTURER'S SPECIFICATIONS. REFER TO TYPICAL ROOF DETAIL SHEET FOR TERMINATION DETAILS. • AT BRICK - MEMBRANE TO EXTEND UP THE EXTERIOR FACE OF BRICK W/ TERMINATION BAR AND COUNTERFLASHING IN THE GROUT JOINT OF BRICK, WITH SEALANT. • AT SIDING - MEMBRANE TO EXTEND UNDER EXTERIOR SHEATHING W/ COUNTERFLASHING.
	CRICKET PLACED ON HIGH SIDE FOR POSITIVE DRAINAGE AROUND OBJECT (OR) IN LOW SIDE OF CORNER TO CREATE POSITIVE DRAINAGE
	PROTECTION WALK PAD. PLACE AROUND PERIMETER OF ROOF HATCH

BLDG 2 - ROOF DRAIN CALCS

MAIN "FLAT" ROOF (SPLIT IN 3 AREAS FOR DRAINAGE CALCS)
- AREA 1: 647 SF
- AREA 2: 333 SF
- AREA 3: 922 SF

ENTRANCE ROOF OVERHANGS
- AREA 4: 49 SF
- AREA 5: 132 SF + AREA 2 = 465 SF

REFER TO FIGURE 1106.1 (EASTERN UNITED STATES)
KNOXVILLE, TENNESSEE FALLS APPROX. ON THE 3.25" (ROUNDED UP TO 4.0" PER ENGINEERS RECOMMENDATION)

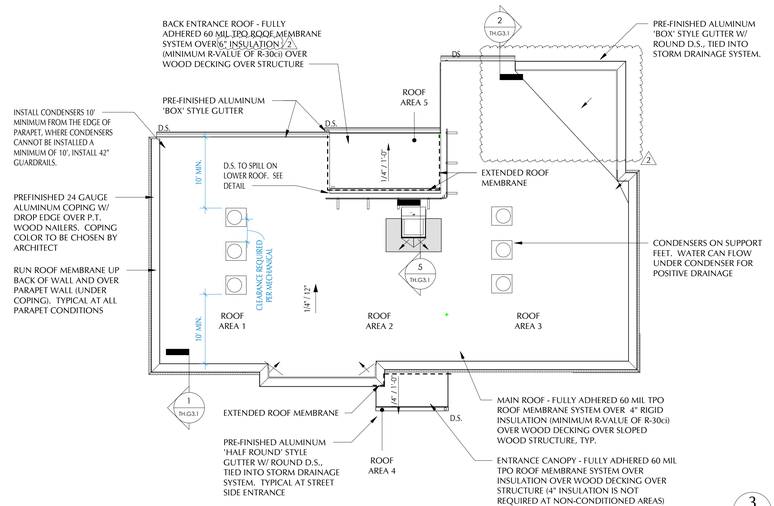
RAINFALL CONVERSION DATA
4.0" RAINFALL = .0416 G.P.M. PER S.F. (MULTIPLIER TO USE)
- AREA 1: 647 SF x .0416 = **26.9 gpm**
- AREA 2: 333 SF x .0416 = **13.9 gpm**
- AREA 3: 922 SF x .0416 = **38.4 gpm**
- AREA 4: 49 SF x .0416 = **2.0 gpm**
- AREA 5: 465 SF x .0416 = **19.3 gpm**

FIGURE 1106.3 (VERTICAL LEADER SIZING)
- 3" ROUND DOWNSPOUTS ARE SHOWN TO MEET SIZE AND QUANTITY REQUIREMENTS

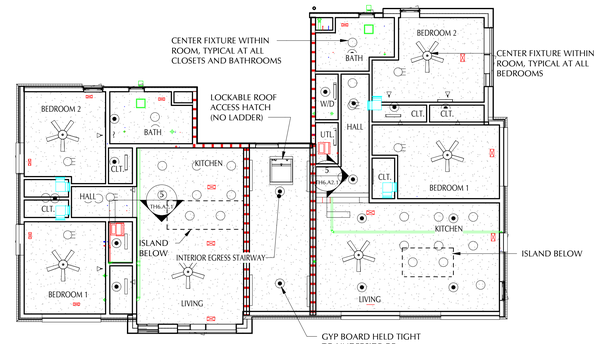
FIGURE 1106.6 (HORIZONTAL GUTTER SIZING)
- STREET ENTRANCE CANOPY = 5" HALF ROUND GUTTER AT 1/8" SLOPE SHOWN TO MEET SIZE AND SLOPE REQUIREMENTS
- ALL OTHER ROOFS = 5" BOX GUTTER AT 1/4" SLOPE SHOWN TO MEET SIZE AND SLOPE REQUIREMENTS

** CALCULATIONS TAKEN FROM INTERNATIONAL PLUMBING CODE 2018, SECTION 1105 & 1106 FOR ROOF DRAINS, SIZE OF CONDUCTORS, LEADERS AND STORM DRAINS

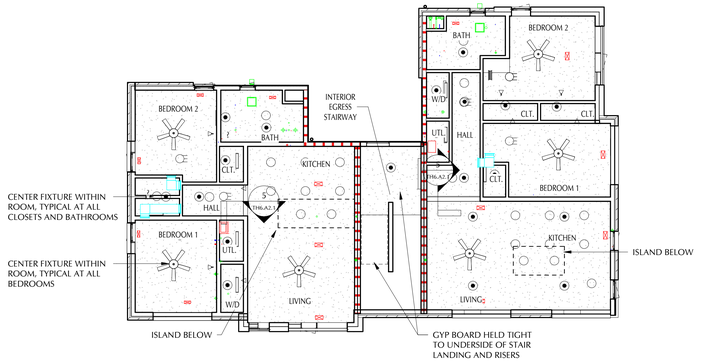
**CONTRACTOR TO VERIFY SQUARE FOOTAGES FOR PRICING. AREAS SHOWN ARE FOR CODE DRAINAGE CALCULATIONS ONLY.



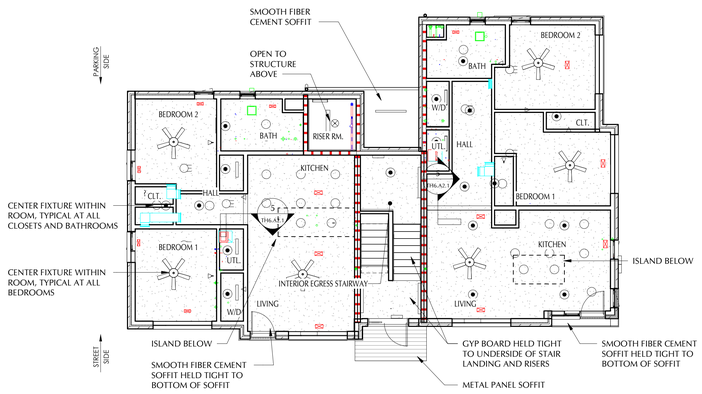
4 TH2.A2.1 BUILDING 2 - ROOF PLAN
1/8" = 1'-0"



3 TH2.A2.1 BUILDING 2 - 3RD FLOOR RCP
1/8" = 1'-0"



2 TH2.A2.1 BUILDING 2 - 2ND FLOOR RCP
1/8" = 1'-0"



1 TH2.A2.1 BUILDING 2 - 1ST FLOOR RCP
1/8" = 1'-0"

REFLECTED CEILING PLAN NOTES

1. THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE REFLECTED CEILING PLANS WITH THE ELECTRICAL LIGHTING PLANS, MECHANICAL PLANS, AND FIRE PROTECTION PLANS. GENERAL CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY ERROR, INCONSISTENCY OR OMISSION THAT IS DISCOVERED.
2. ALL SOFFITS AND CEILING HEIGHTS INDICATED SHALL BE MEASURED FROM BOTTOM OF FINISH MATERIAL TO FINISH FLOOR ELEVATION DIRECTLY BELOW.
3. ALL DIMENSIONS SHOWN ON REFLECTED CEILING PLANS ARE FINISHED DIMENSIONS.
4. THE CONTRACTOR SHALL VERIFY THAT ACCESS PANELS OF APPROPRIATE SIZE AND TYPE ARE INSTALLED IN GYPSUM BOARD CEILING ASSEMBLIES, SOFFITS, AND IN OTHER NON-ACCESSIBLE TYPE AREAS WHERE ACCESS, SERVICE OR ADJUSTMENT TO MECHANICAL, PLUMBING OR ELECTRICAL ITEMS MAY BE REQUIRED. ACCESS PANELS SHALL BE FIRE RATED EQUAL TO ANY RATING OF THE CEILING OR SOFFIT IN WHICH THEY OCCUR.
5. ONLY CEILING MOUNTED EXIT LIGHTING IS SHOWN ON THE REFLECTED CEILING PLANS. SEE ELECTRICAL DRAWINGS FOR LOCATIONS OF WALL MOUNTED EXIT LIGHTING.
6. SEE THE ELECTRICAL DRAWINGS AND / OR THE COMMUNICATIONS DRAWINGS FOR LOCATIONS OF CEILING MOUNTED SMOKE DETECTORS, SPEAKERS, FIRE ALARM DEVICES, ETC.
7. CONTRACTOR TO COORDINATE WITH ARCHITECT AND OWNER ALL FIXTURE SELECTIONS AND FINISHES PRIOR TO INSTALLATION.
8. COORDINATE WITH APPLICABLE NOTES AND DIMENSIONS ON OTHER SHEETS.
9. EXTEND GYPSUM BOARD WALL CONSTRUCTION TO UNDERSIDE OF ROOF / FLOOR DECK IN AREAS WITHOUT FINISHED CEILINGS TYPICAL.
10. SEE FIRE PROTECTION SHEETS FOR SPRINKLER HEAD LOCATIONS.
11. PROVIDE STRUCTURAL SUPPORT FOR CEILING MOUNTED EQUIPMENT AS REQUIRED.
12. ALL GYPSUM BOARD CEILINGS IN WET AREAS SHALL BE MOISTURE RESISTANT GYPSUM BOARD
13. PROVIDE CEILING CONTROL JOINTS AS INDICATED. ALL CEILINGS OVER 900 SF TO RECEIVE PERIMETER RELIEF JOINTS.
14. ALL CEILINGS IN WET AREAS TO BE MOISTURE RESISTANT GYP. BOARD.
15. ALL CEILINGS IN LIVING UNITS TO BE HELD TIGHT TO UNDERSIDE OF STRUCTURE UNLESS NOTED OTHERWISE.
16. COORDINATE LOCATIONS OF FIRE ALARMS, SMOKE DETECTORS WITH LIGHT FIXTURES, HVAC DIFFUSERS / RETURNS AND SPRINKLER HEADS.
17. CENTER SINGLE LIGHT FIXTURES IN LIVING UNIT WITH ROOM, UNLESS NOTED OTHERWISE.
18. REFER TO ELECTRICAL PLAN FOR ATTIC LIGHTING.
19. FLOOR/ CEILING ASSEMBLIES TO MEET A MINIMUM STC RATING OF 50. TYPE X GYPSUM BOARD REQUIRED FOR ALL CEILINGS BETWEEN UNITS.

REFLECTED CEILING PLAN LEGEND

	SURFACE MOUNTED LIGHT FIXTURE (CEILING)
	WALL OR CEILING MOUNTED FIXTURE (SEE PLAN FOR MOUNTING TYPE)
	PENDANT LIGHT FIXTURE
	CEILING FAN W/ INTEGRAL LIGHT FIXTURE
	SOFFIT / CANOPY RECESSED SLOT FIXTURE
	GYPSUM BOARD CEILING – PAINTED • ±9'-0" A.F.F. – LIVING, KITCHEN, BEDROOMS (5/8" TYPE X GYP. BD. ON 7/8" HAT CHANNELS FASTENED TO UNDERSIDE OF TRUSSES. • ±8'-0" A.F.F. – CLOSETS, BATHROOMS, HALLS (5/8" TYPE X GYP. BD. ON 2X FRAMING TO ACHEIVE SOFFIT FOR DUCTS, PIPING, ETC.)
	"STREET SIDE" ENTRANCE CANOPY – METAL SOFFIT - LONGBOARD - COLOR: DARK CHERRY; 6" V-GROOVE
	"PARKING SIDE" BACK ENTRANCE & SOFFITS - SMOOTH FIBER CEMENT SOFFIT; PAINTED
	EXHAUST FAN
	HVAC SUPPLY DIFFUSER (CEILING)
	HVAC RETURN GRILLE (THRU-WALL)
EXIT	EXIT SIGN - REFER TO ELECTRICAL PLANS
	EMERGENCY LIGHT - REFER TO ELECTRICAL PLANS
	SMOKE DETECTOR
	CEILING MOUNTED SPRINKLER HEAD
	WALL MOUNTED SPRINKLER HEAD

B2

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Tel 312.456.0123
Fax 312.456.0124

△	Date	Description
2	5/26/20	ADDENDUM 1

Seal / Signature

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
BUILDING 2 - REFLECTED CEIILING PLAN, ROOF PLAN & NOTES

Scale
As indicated

TH2.A2.1

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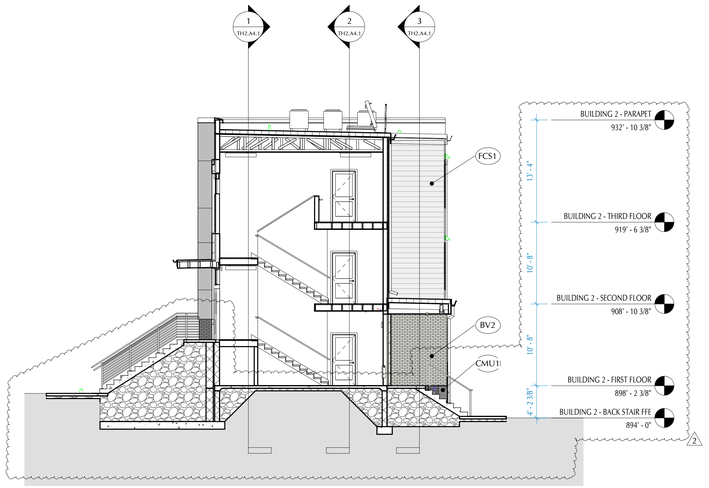

1 TH2.A3.1 BUILDING 2 - STAIR SECTION 2
1/8" = 1'-0"

2 TH2.A3.1 BUILDING 2 - EAST ELEVATION
1/8" = 1'-0"

3 TH2.A3.1 BUILDING 2 - FRONT ELEVATION
1/8" = 1'-0"

4 TH2.A3.1 BUILDING 2 - STAIR SECTION 1
1/8" = 1'-0"

5 TH2.A3.1 BUILDING 2 - WEST ELEVATION
1/8" = 1'-0"

6 TH2.A3.1 BUILDING 2 - BACK ELEVATION
1/8" = 1'-0"

ELEVATION NOTES

1. CJ = CONTROL JOINT, SEE DETAIL 6/TH.G4.2
2. ICJ = INSIDE CONTROL JOINT, SEE DETAIL 7/TH.G4.2
3. CONTROL JOINTS TO BE ALIGNED WITH EDGE OF ADJACENT WINDOW OR DOOR FRAME AS SHOWN ON ELEVATIONS. LOCATE CONTROL JOINTS MAXIMUM 25'-0" O.C. WHERE NOT SHOWN. COORDINATE LOCATIONS WITH ARCHITECT.
4. PROVIDE CONTROL JOINTS MINIMUM 2'-0" OFF EDGE OF OUTSIDE CORNER IF NOT SHOWN ALIGNED WITH FRAME. ALIGN DOWNSPOUT TO COVER CONTROL JOINTS WHERE APPLICABLE.
5. PROVIDE HORIZONTAL CONTROL JOINTS AT LOCATIONS SHOWN ON ELEVATIONS. REFER TO STRUCTURAL DRAWINGS FOR DETAILS.
6. VERTICAL CONTROL JOINT FILLER TO MATCH MASONRY COLOR. HORIZONTAL CONTROL JOINT FILLER TO MATCH GROUT COLOR.
7. COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS.
8. DIMENSIONS ARE TO FACE OF MASONRY, FIBER CEMENT PANEL, CURTAIN WALL OR EDGE OF OPENING UNLESS NOTED OTHERWISE.
10. COORDINATE DOWNSPOUT LOCATIONS WITH ROOF PLAN.
11. PROVIDE MASONRY VENEER EXPANSION JOINTS AT INSIDE CORNERS AND INTERSECTIONS WITH DISSIMILAR MATERIALS.

MATERIAL REQUIREMENTS

PER CITY OF KNOXVILLE ZONING CODE | ARTICLE 9
SECTION 9.3 PRINCIPLE USE STANDARDS (PROPERTY ZONED RN-6)

3. MULTI-FAMILY DWELLINGS REQUIRE A MINIMUM OF 20% TRANSPARENCY ON ANY FACADE FACING A STREET AND IS CALCULATED ON THE BASIS OF THE ENTIRE AREA OF THE FACADE.

5.a. THE FOLLOWING BUILDING MATERIALS ARE PROHIBITED ON ANY PART OF ANY FACADE:
- i. PLAIN CONCRETE BLOCK
- ii. PLASTIC
- iii. EXTERIOR INSULATION FINISH SYSTEMS ON THE GROUND FLOOR

5.b. THE FOLLOWING BUILDING MATERIALS ARE PROHIBITED AS A PRIMARY SURFACE FINISH MATERIAL ON ANY FACADE, BUT MAY BE USED AS A DECORATIVE OR DETAIL ELEMENT FOR UP TO 15% OF THE FACADE:
- i. CORRUGATED METAL
- ii. ALUMINUM, STEEL, OR OTHER METAL SIDINGS
- iii. EXPOSED AGGREGATE (ROUGH FINISH) CONCRETE WALL PANELS
- iv. T-111 COMPOSITE PLYWOOD SIDING
- v. VINYL SIDING

ELEVATION MATERIALS

1. BRICK VENEER; FIELD (BV1) - MODULAR
   ACME BRICK - MARBLE GRAY; HOLCIM SANTEE BLACK MORTAR
2. BRICK VENEER; FIELD (BV2) - MODULAR
   ACME BRICK - STEEL GRAY; HOLCIM FROSTY MORTAR
3. BRICK VENEER; FIELD (BV3) - MODULAR
   GENERAL SHALE - MISTYHOLLOW; HOLCIM SANTEE BLACK MORTAR
4. SMOOTH FACE CMU; ACCENT (CMU1) - DOUBLE MONARCH
   BELDEN - GRAPHITE; VELOUR TEXTURE, HOLCIM SANTEE BLACK MORTAR
5. FIBERGLASS WINDOWS WITH 1" INSULATED GLASS (FW1) - BLACK FRAME
6. FIBER CEMENT SIDING; SMOOTH FACE 6" LAP, MITERED AT CORNERS
   FIELD (FCS1) - SW 9166 DRIFT OF MIST
7. ACCENT (FCS2) - SW 7674 PEPPERCORN
8. FIBER CEMENT PANEL (FCP1) - EQUITONE TECTIVA - TE90
9. FIBER CEMENT PANEL (FCP2) - EQUITONE TECTIVA - TE00
10. FIBER CEMENT PANEL (FCP3) - EQUITONE TECTIVA - TE10
11. FIBER CEMENT PANEL (FCP4) - EQUITONE TECTIVA - TE20
12. FIBER CEMENT PANEL (FCP5) - EQUITONE TECTIVA - MA400
13. STEEL SIDING; WOOD GRAIN LOOK; ACCENT (SS1)
    LONGBOARD DARK CHERRY, 6" V-GROOVE
14. ALUMINUM WRAPPED HEADER TRIM (AT1) - CHARCOAL GRAY
15. PREFINISHED METAL COPING (MC1) - BLACK
16. PREFINISHED METAL PANEL (MP1) - ALPOLIC, AZZ ZINC
17. INSULATED HOLLOW METAL DOOR (HM1) - SW 6991 BLACK MAGIC
18. FIBERGLASS DOOR WITH HOLLOW METAL FRAME (FD1) - STAINED DARK CHERRY
19. FIBER CEMENT FASCIA BOARD; SMOOTH; PAINTED (FB1) - SW 6991 BLACK MAGIC
    1x10 AT PITCHED GABLES, SIZE ACCORDINGLY ELSEWHERE
20. PREFINISHED ALUMINUM GUTTER AND ROUND DOWNSPOUT (GD1) - BLACK
21. PREFINISHED HALF-ROUND GUTTER AND ROUND DOWNSPOUT (GD2) - BLACK
22. PREFINISHED ALUMINUM GUARD AND HANDRAIL SYSTEM (GH1) - BLACK
23. ARCHITECTURAL ASPHALT ROOF (AS1) - COLOR TO BE SELECTED BY ARCHITECT
24. PREFINISHED METAL LOUVER (ML1) - CHARCOAL GRAY

BUILDING 2 - MATERIAL SQ. FOOTAGES

MATERIAL	SOUTH - STREET FACING	WEST	EAST - STREET FACING	NORTH	BACK ENTRY WEST	BACK ENTRY EAST	TOTAL BRICK
BRICK	905.69	782.09	619.30	438.78	149.32	0.00	2895.18
FIBER CEMENT PANEL	516.42	186.42	441.25	222.93	26.25	0.00	
FIBER CEMENT SIDING	0.00	0.00	0.00	1048.49	369.73	224.92	
STEEL SIDING - WOOD GRAIN LOOK	140.17	49.50	84.71	0.00	0.00	0.00	
GLAZING	439.78	82.50	356.28	163.36	0.00	0.00	
ALUMINUM TRIM	70.25	11.98	35.94	25.31	0.00	0.00	
CONCRETE STEPS	50.00	0.00	0.00	0.00	0.00	0.00	TOTAL ELEVATION SQ FOOTAGE
OPAQUE DOOR SURFACE	71.61	0.00	0.00	40.40	0.00	0.00	
TOTAL ELEVATION SQ. FOOTAGE	2193.92	1112.49	1537.48	1939.27	545.30	224.92	7553.38
TOTAL OPAQUE ELEVATION SQ. FT.	1754.14	1029.99	1181.20	1775.91	545.30	224.92	6511.46
% OF TRANSPARENCY FACING R.O.W.	**20.05**		**23.17**				
% OF BRICK MATERIAL OF OPAQUE MATERIAL	**44.46**						

*GENERAL CONTRACTOR TO VERIFY REQUIRED QUANTITIES OF MATERIALS; FOR AHJ REFERENCE ONLY.

7 TH2.A3.1 BUILDING 2 - ZONING/ HUD MATERIAL CALCULATIONS
3/4" = 1'-0"

B2

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△	Date	Description
1	5/06/20	PLANS REVIEW COMMENTS
2	5/26/20	ADDENDUM 1

DARL R. JOHNSON — REGISTERED ARCHITECT — STATE OF TENNESSEE — 05/26/2020

Seal / Signature

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
BUILDING 2 - EXTERIOR ELEVATIONS

Scale
As indicated

TH2.A3.1

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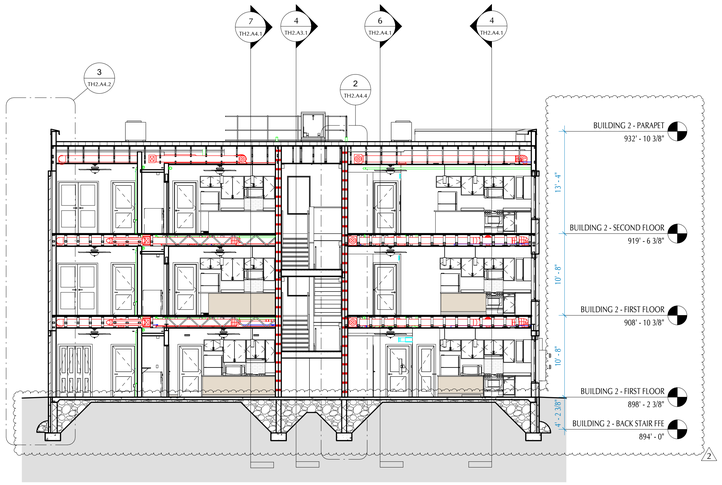
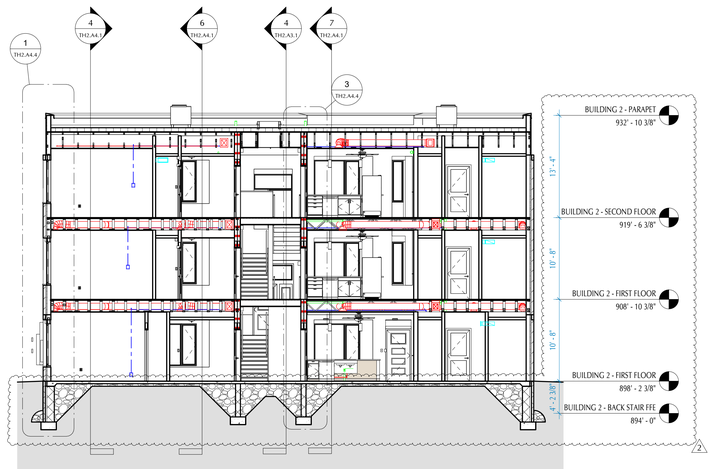


1 TH2.A4.1 BUILDING 2 - BUILDING SECTION 1
1/8" = 1'-0"



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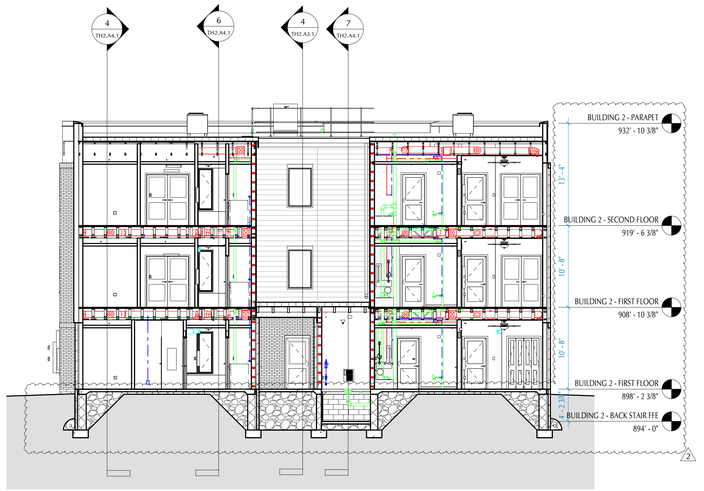
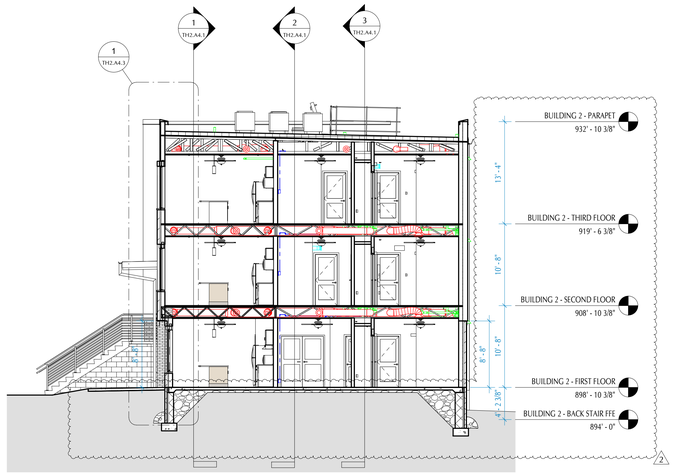
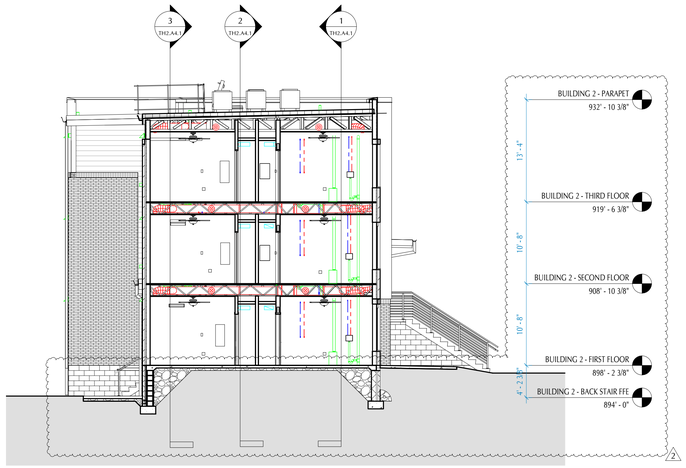
1/8" = 1'-0"



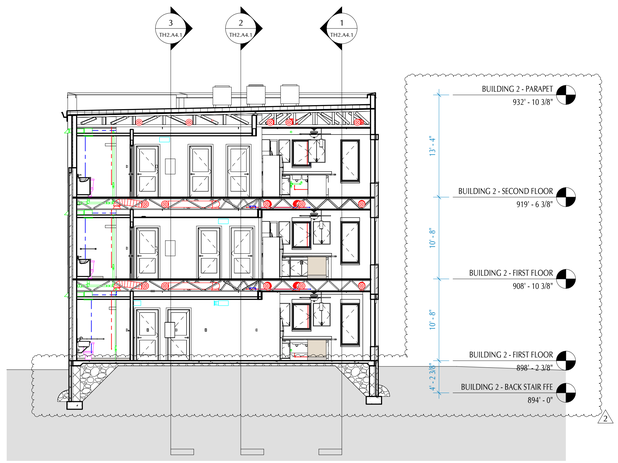
3 TH2.A4.1 BUILDING 2 - BUILDING SECTION 3
1/8" = 1'-0"



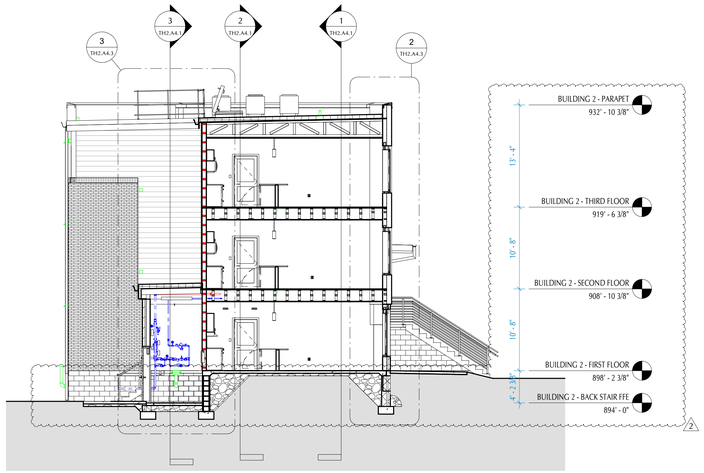
4 TH2.A4.1 BUILDING 2 - BUILDING SECTION 4
1/8" = 1'-0"



5 TH2.A4.1 BUILDING 2 - BUILDING SECTION 5
1/8" = 1'-0"



6 TH2.A4.1 BUILDING 2 - BUILDING SECTION 6
1/8" = 1'-0"



7 TH2.A4.1 BUILDING 2 - BUILDING SECTION 7
1/8" = 1'-0"

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KNOXVILLE'S COMMUNITY DEVELOPMENT CORPORATION

AUSTIN HOMES REDEVELOPMENT
PHASE 1A
BURGE DRIVE AND HARRIET TUBMAN ST.

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2240 Sutherland Avenue
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United States
Tel 865.671.9060

Gensler
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Suite 300
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United States
Tel 312.456.0123
Fax 312.456.0124

△	Date	Description
2	5/26/20	ADDENDUM 1

DARYL R. JOHNSON
REGISTERED
ARCHITECT
STATE OF TENNESSEE
05/26/2020

Seal / Signature

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
BUILDING 2 - BUILDING SECTIONS

Scale
1/8" = 1'-0"

TH2.A4.1

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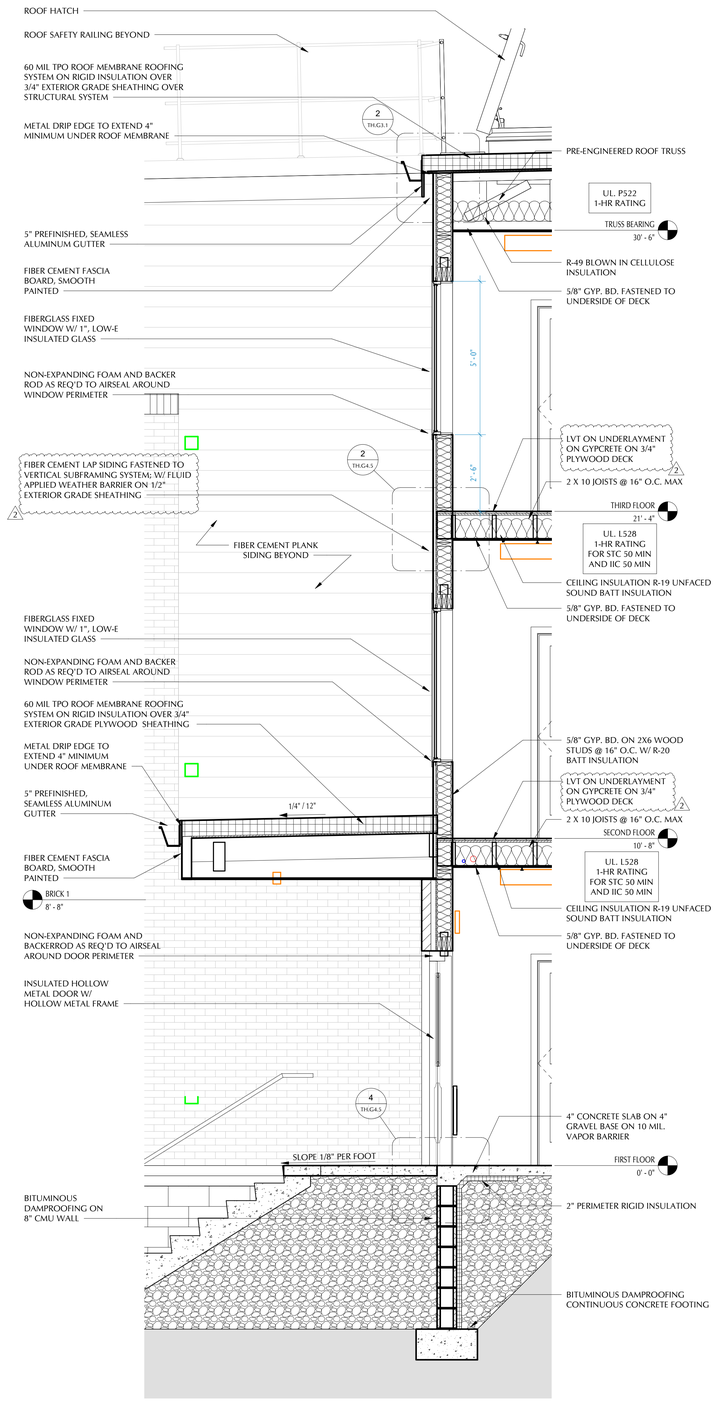
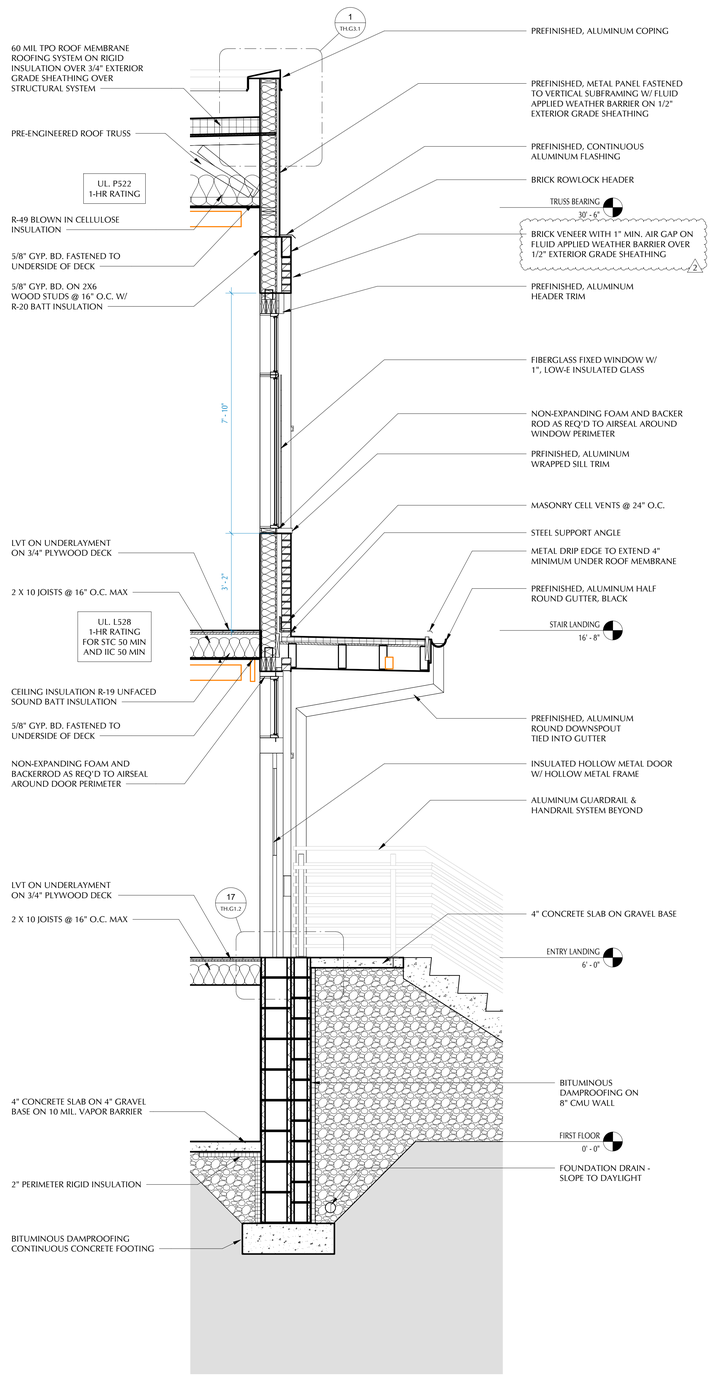
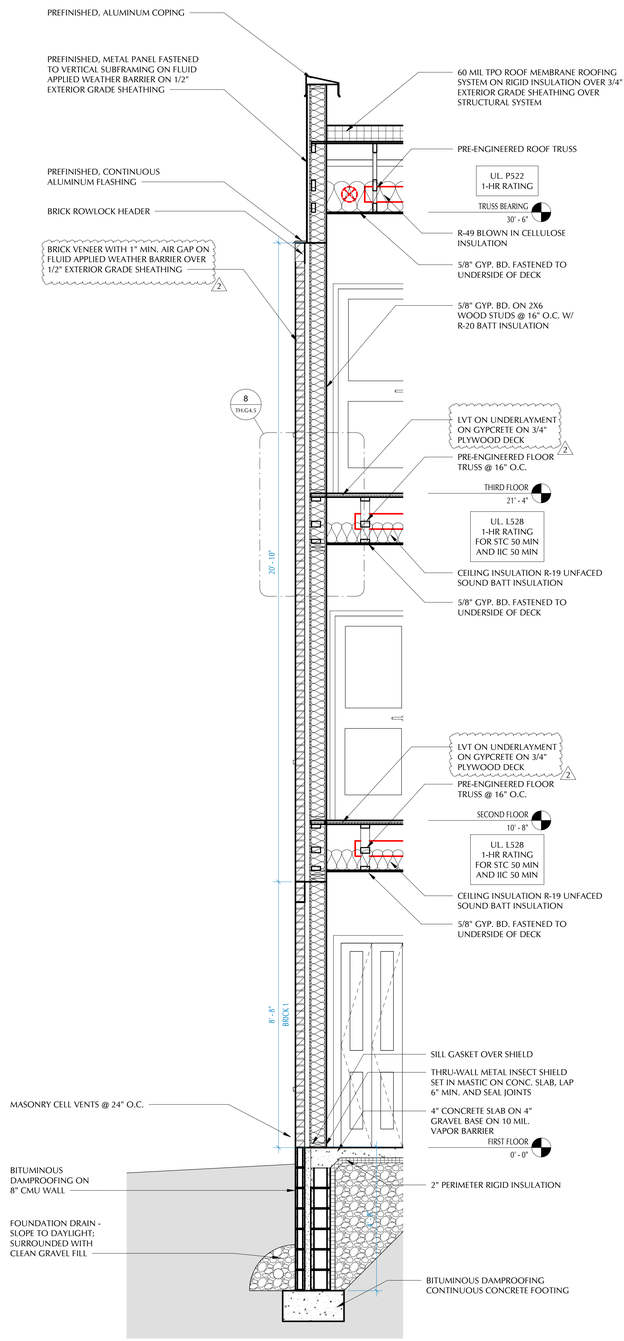


1 TH2.A4.2 BUILDING 2 - WALL SECTION AT BACK ENTRY
1/2" = 1'-0"



2 TH2.A4.2 BUILDING 2 - WALL SECTION AT FRONT ENTRY
1/2" = 1'-0"



3 TH2.A4.2 BUILDING 2 - WALL SECTION - BRICK TRANSITION
1/2" = 1'-0"

B2

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△	Date	Description
2	5/26/20	ADDENDUM 1

DARYL R. JOHNSON — REGISTERED ARCHITECT — STATE OF TENNESSEE — 02118 — 05/26/20

Seal / Signature

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
BUILDING 2 - WALL SECTIONS

Scale
1/2" = 1'-0"

TH2.A4.2

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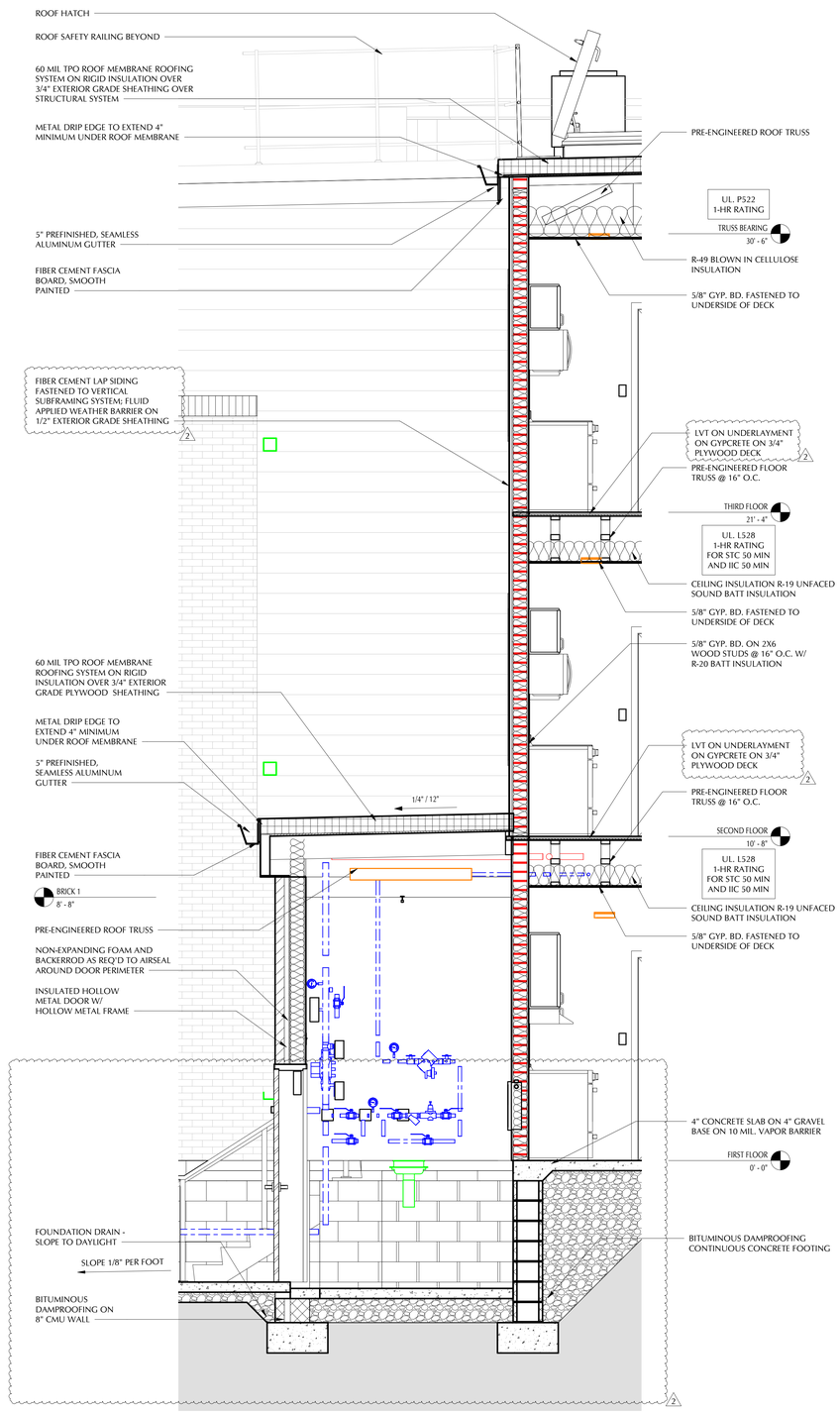
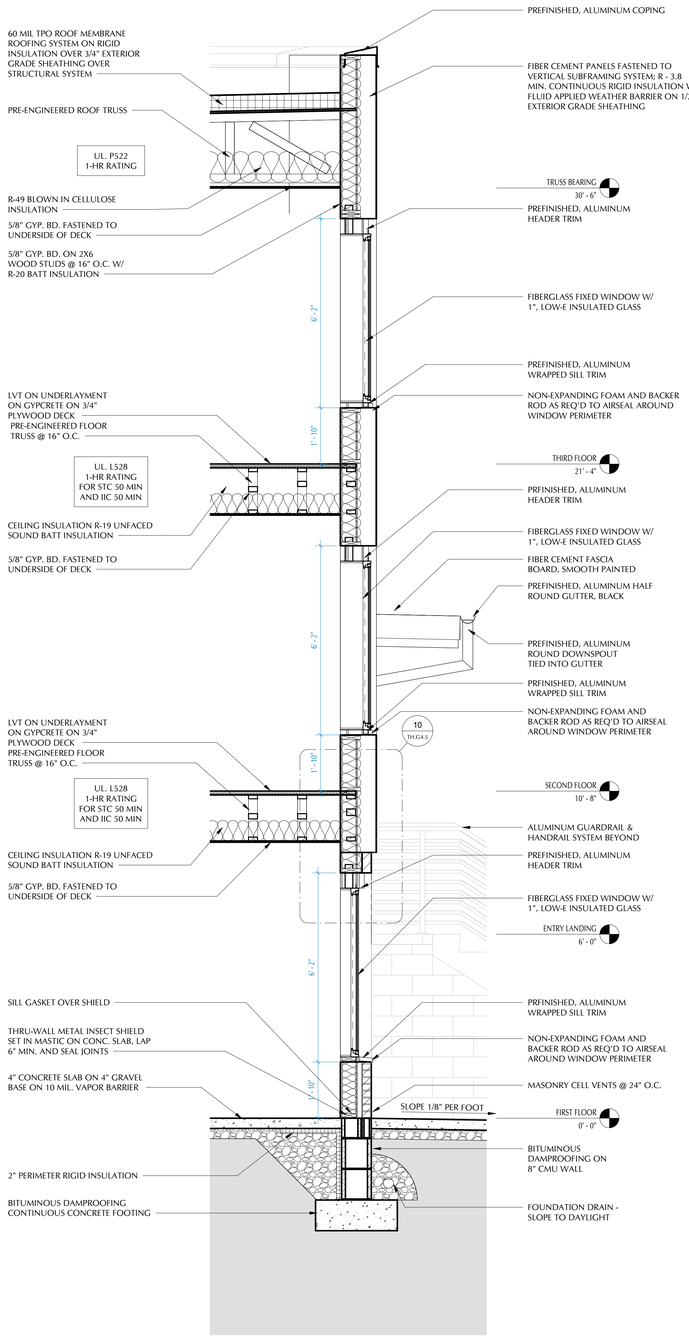
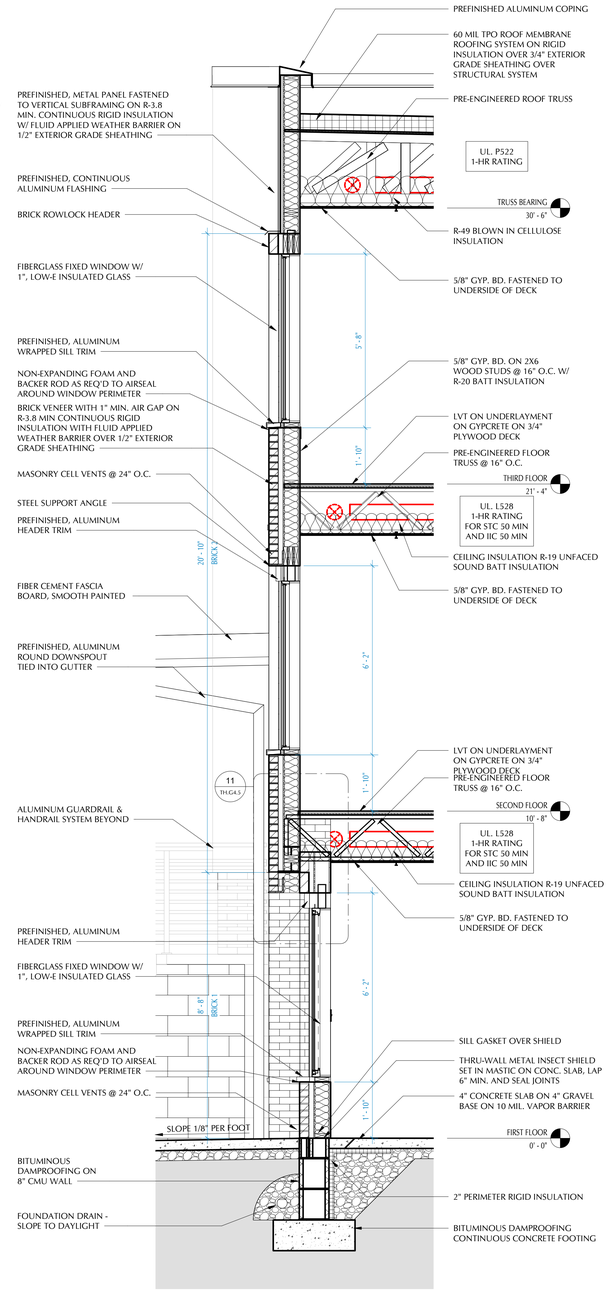


3 BUILDING 2 - WALL SECTION - RISER ROOM
TH2.A4.3 1/2" = 1'-0"



2 BUILDING 2 - WALL SECTION - PANEL ACCENT
TH2.A4.3 1/2" = 1'-0"



1 BUILDING 2 - WALL SECTION - INSET AT GROUND LEVEL
TH2.A4.3 1/2" = 1'-0"

B2

KCDC
KNOXVILLE'S COMMUNITY DEVELOPMENT CORPORATION

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△	Date	Description
2	5/26/20	ADDENDUM 1

DARYL R. JOHNSON REGISTERED ARCHITECT STATE OF TENNESSEE 05/26/20

Seal / Signature

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
BUILDING 2 - WALL SECTIONS

Scale
1/2" = 1'-0"

TH2.A4.3

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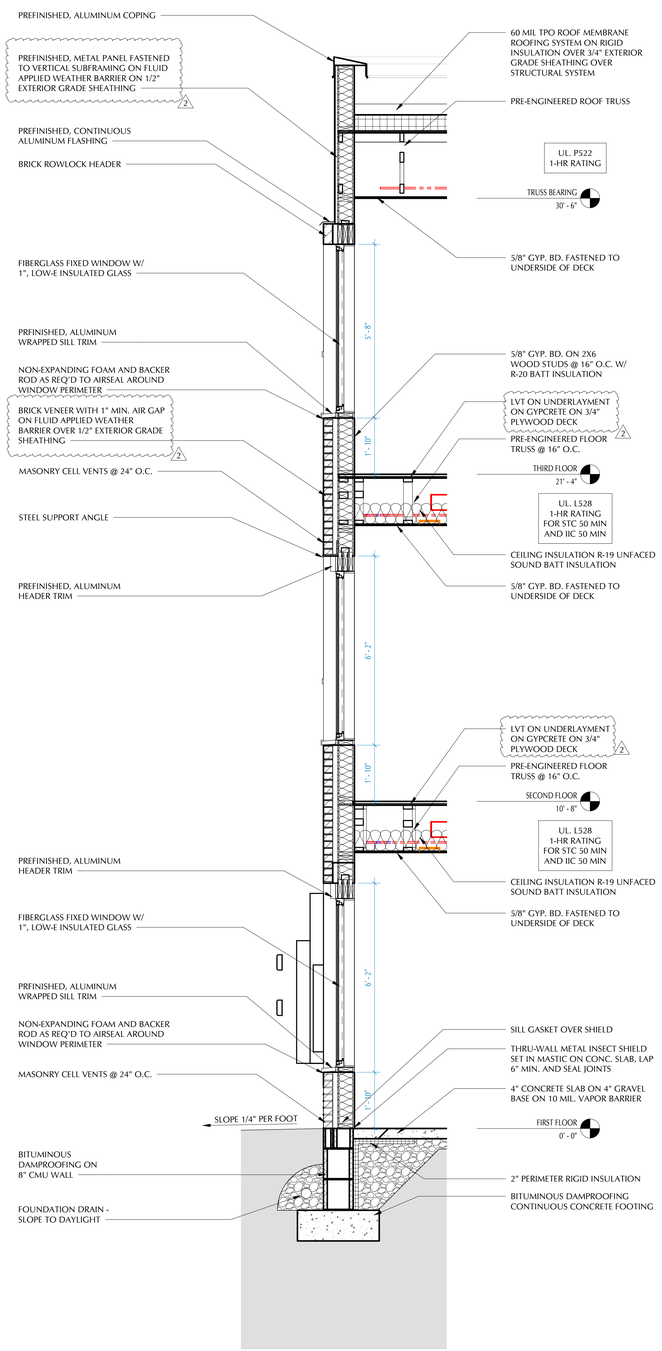
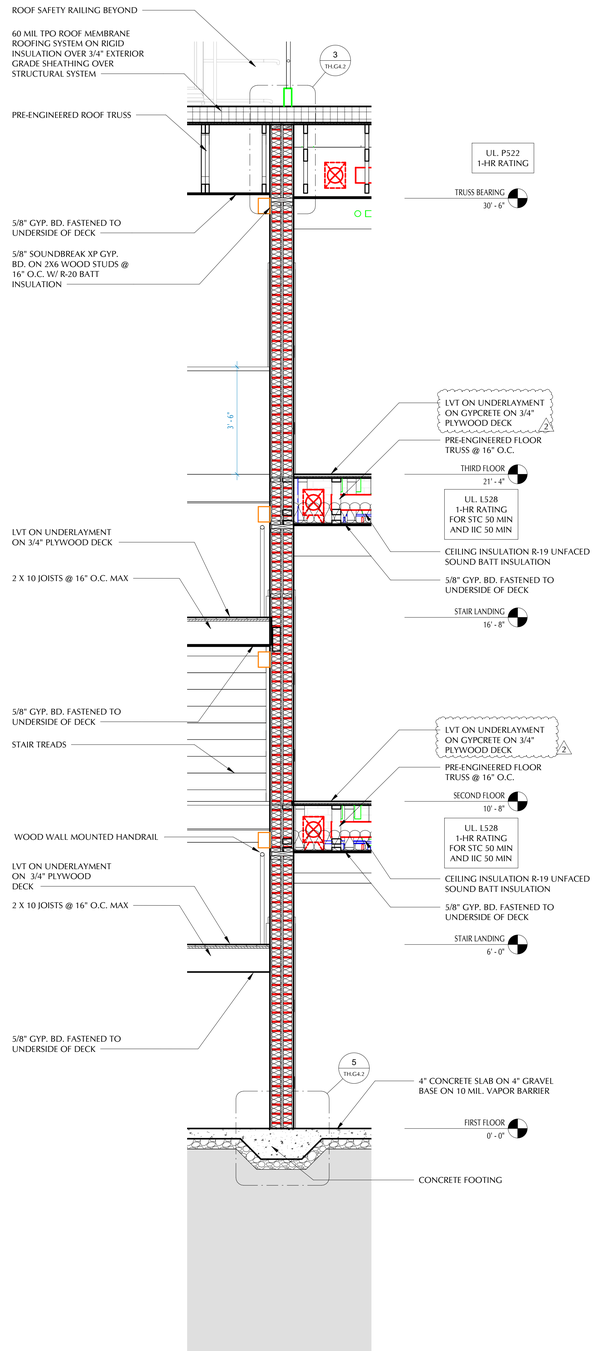
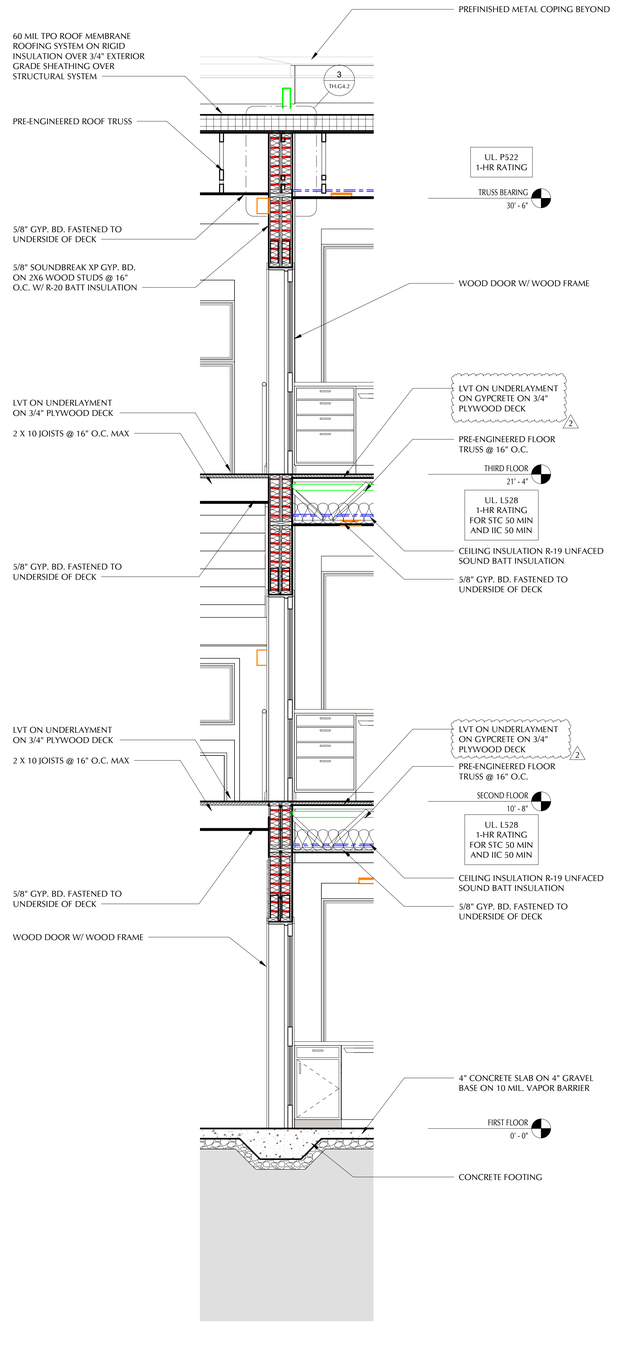


1 TH2.A4.4 BUILDING 2 - WALL SECTION - BRICK W/ WINDOWS
1/2" = 1'-0"



2 TH2.A4.4 BUILDING 2 - WALL SECTION - FIRE RATED PARTITION
1/2" = 1'-0"



3 TH2.A4.4 BUILDING 2 - WALL SECTION - FIRE RATED PARTITION AT DOORS
1/2" = 1'-0"

B2

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KNOXVILLE'S COMMUNITY DEVELOPMENT CORPORATION

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△	Date	Description
2	5/26/20	ADDENDUM 1

DARYL R. JOHNSON REGISTERED ARCHITECT STATE OF TENNESSEE 05/18/20

Seal / Signature

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
BUILDING 2 - WALL SECTIONS

Scale
1/2" = 1'-0"

TH2.A4.4

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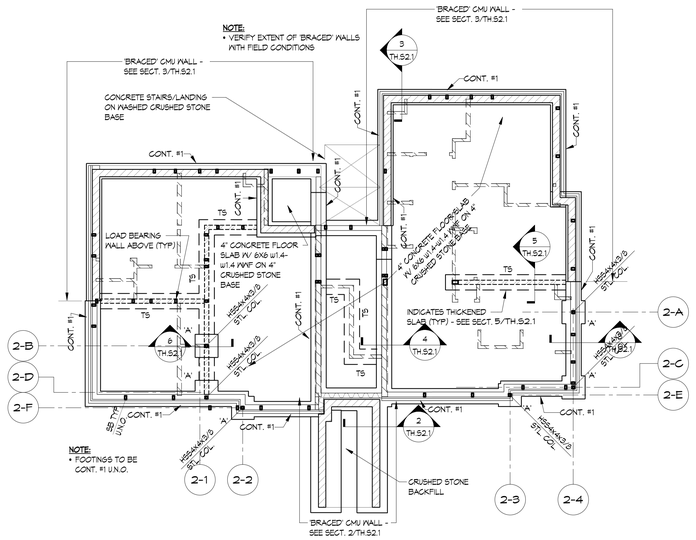
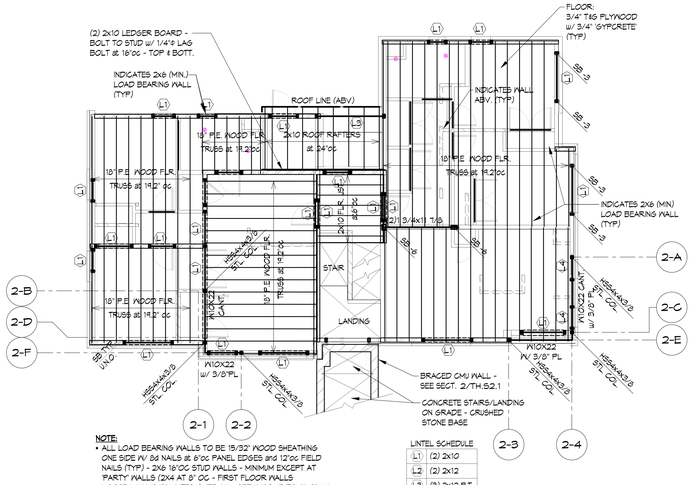


1 TH2.S1.1 B2 - FOUNDATION PLAN
1/8" = 1'-0"

FOUNDATION SCHEDULE				
CONT. #1	2' - 0"	CONT.	1' - 0"	(2) #5 CONT. w/ #5 TRANS. @ 48"o.c., TOP AND BOTTOM

FOOTING SCHEDULE				
MARK	SIZE			REINFORCING
	WIDTH	LENGTH	DEPTH	
'A'	3' - 0"	3' - 0"	1' - 0"	(3) #5 EACH WAY, TOP AND BOTTOM

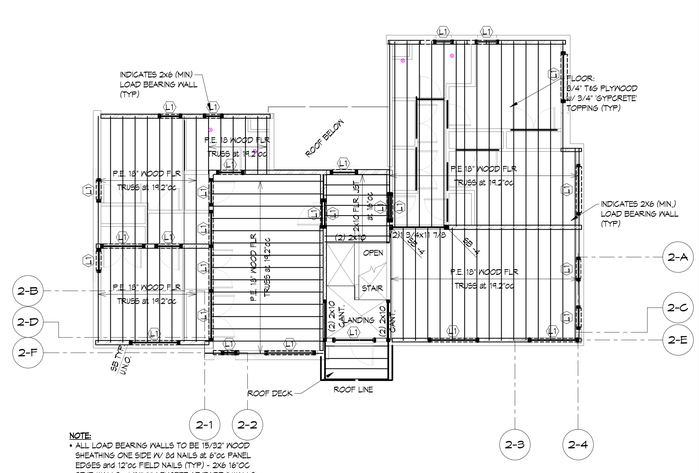
RETAINING WALL FOOTING SCHEDULE					
MARK	WIDTH	DEPTH	TOE LENGTH	HEEL LENGTH	REINFORCING
RET. #1	3' - 11 5/8"	1' - 0"	1' - 0"	2' - 0"	(4) #5 CONT. TOP & BOTT. w/ #4 @16" TRANS. AT TOP AND BOTTOM



NOTE:
- ALL LOAD BEARING WALLS TO BE 15/32" WOOD SHEATHING ONE SIDE W/ 8d NAILS @ 6"oc PANEL EDGES and 12"oc FIELD NAILS (TYP) - 2x6 16"OC STUD WALLS - MINIMUM EXCEPT AT 'PARTY' WALLS (2x4 AT 8" OC - FIRST FLOOR WALLS
- LOOSE L4X4X3/8" LINTES OVER ALL OPENINGS UP TO 8'-0" W/ BRICK ABOVE (TYP)
- COORDINATE LAYOUT OF TRUSS WITH FLOOR DRAINS AND MECHANICAL DRAWINGS (AVOID CONFLICTS)
- ALL LINTES @ NON-LOAD BEARING WALLS TO BE (2) 2x8 (U.N.O.)

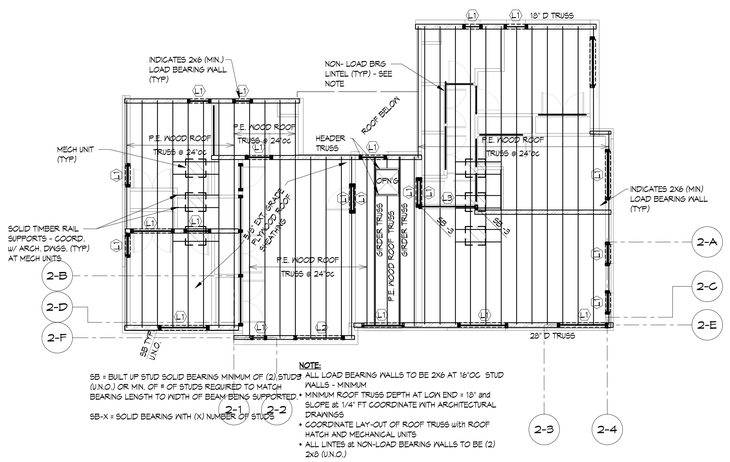
LINTEL SCHEDULE	
L1	(2) 2x10
L2	(2) 2x12
L3	(3) 2x12 P.T.
L4	(2) 2x6

2 TH2.S1.1 B2 - 2ND FLOOR FRAMING PLAN
1/8" = 1'-0"



NOTE:
- ALL LOAD BEARING WALLS TO BE 15/32" WOOD SHEATHING ONE SIDE W/ 8d NAILS @ 6"oc PANEL EDGES and 12"oc FIELD NAILS (TYP) - 2x6 16"OC STUD WALLS - MINIMUM EXCEPT AT 'PARTY' WALLS (2x4 AT 16" OC - SECOND FLOOR WALLS
- LOOSE L4X4X3/8" LINTES OVER ALL OPENINGS UP TO 8'-0" W/ BRICK ABOVE (TYP)
- COORDINATE LAYOUT OF TRUSS WITH PLUMBING DRAINS AND MECHANICAL DRAWINGS (AVOID CONFLICTS)
- ALL LINTES @ NON-LOAD BEARING WALLS TO BE (2) 2x8 (U.N.O.)

3 TH2.S1.1 B2 - 3RD FLR FRAMING PLAN
1/8" = 1'-0"



4 TH2.S1.1 B2 - ROOF FRAMING PLAN
1/8" = 1'-0"

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PARTNERS
502 Union Avenue
Knoxville, TN 37902
United States
Tel 865.524.777

△	Date	Description
2	5.22.2020	Revision 2

REVISION 2 =
• REVISED FOUNDATION/FRAMING BASED ON REVISED GRADING PLAN. MINOR REVISIONS TO UNIT FRAMING PLANS FOR ADA COMPLIANCE

ROBERT H. HOUSER REGISTERED ENGINEER 115 PROFESSIONAL ENGINEER 109514 State of Tennessee 5-26-2020

Seal / Signature

CONSTRUCTION DOCUMENTS 100% 05 06 2020

Project Name
AUSTIN HOMES - PHASE 1A

Project Number
193076

Description
BLDG B2 STRUCTURAL PLANS

Scale
As indicated

TH2.S1.1

B2

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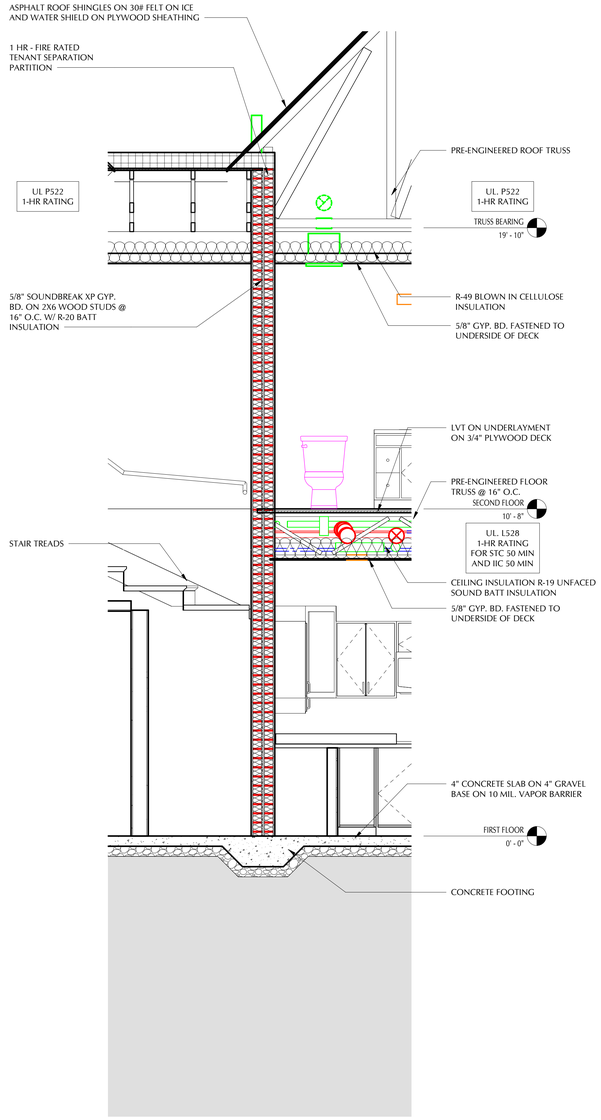
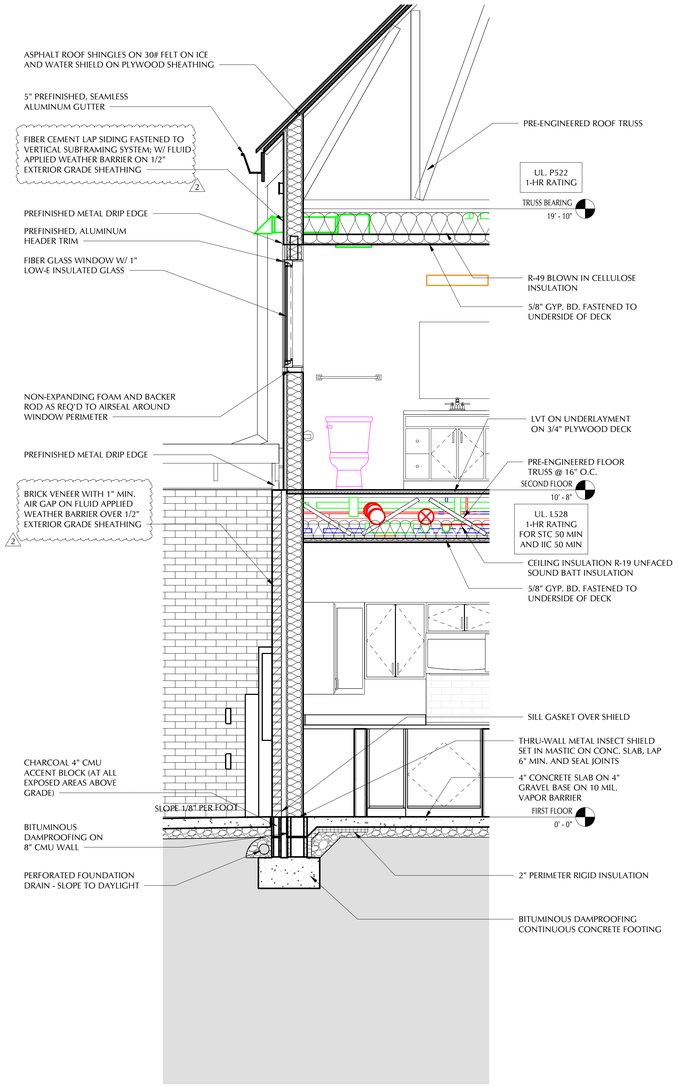
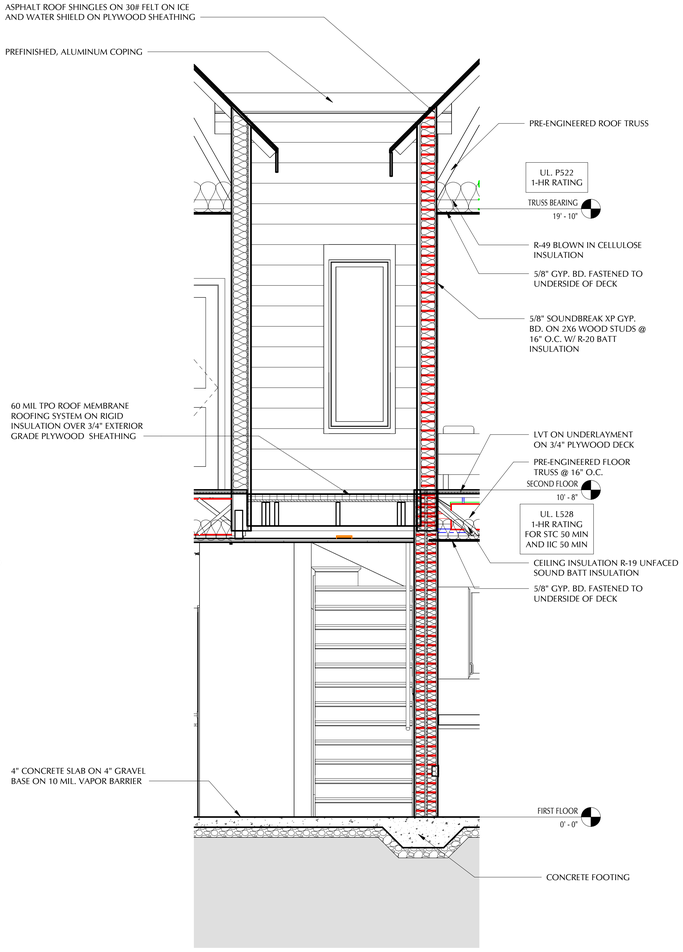


1 TH3.A4.2 BUILDING 3 - WALL SECTION 1
1/2" = 1'-0"



2 TH3.A4.2 BUILDING 3 - WALL SECTION 2
1/2" = 1'-0"



3 TH3.A4.2 BUILDING 3 - WALL SECTION 3
1/2" = 1'-0"

B3

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KCDC
KNOXVILLE'S COMMUNITY DEVELOPMENT CORPORATION

AUSTIN HOMES REDEVELOPMENT
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△	Date	Description
2	5/26/20	ADDENDUM 1

DARYL R. JOHNSON REGISTERED ARCHITECT STATE OF TENNESSEE
05/26/20

Seal / Signature

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
BUILDING 3 - WALL SECTIONS

Scale
1/2" = 1'-0"

TH3.A4.2

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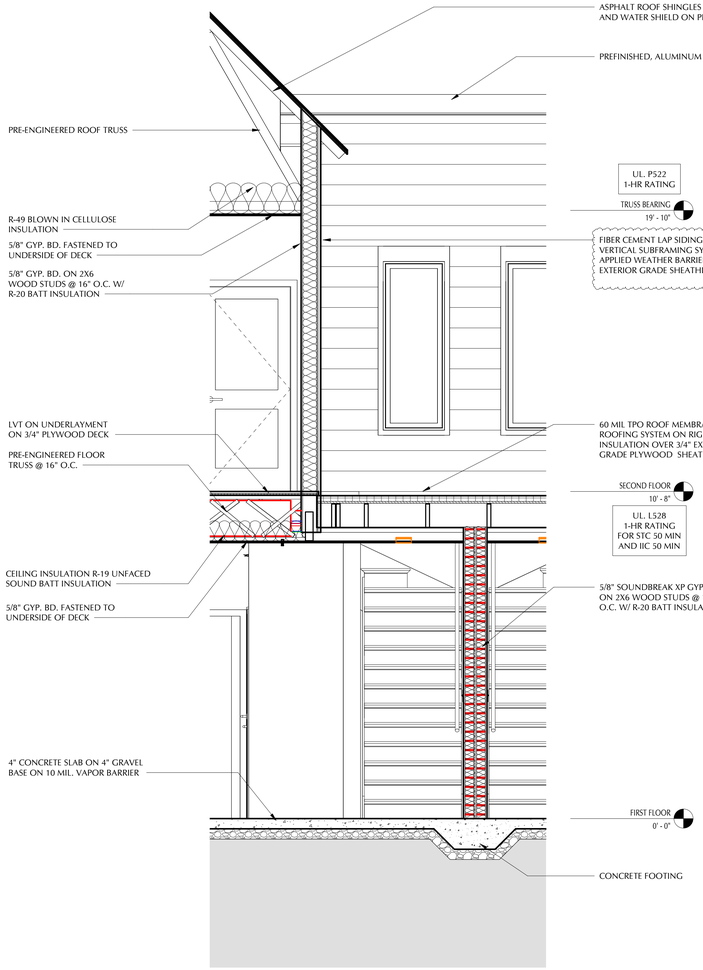

1 TH3.A4.3 BUILDING 3 - WALL SECTION 4
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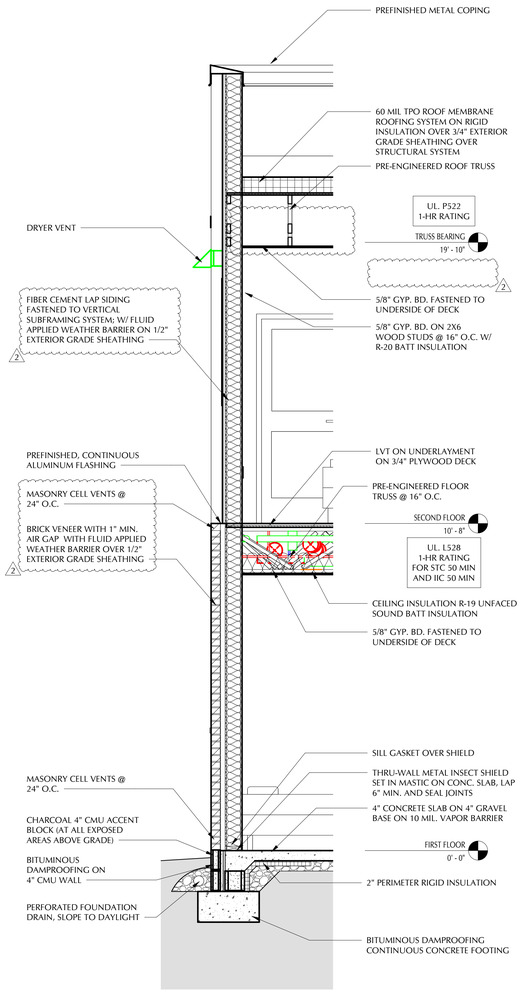
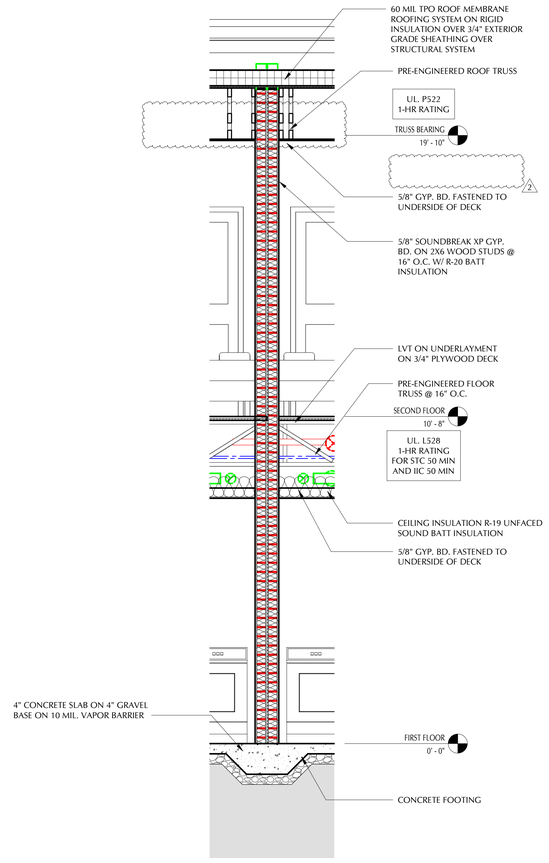


2 TH3.A4.3 BUILDING 3 - WALL SECTION 5
1/2" = 1'-0"



3 TH3.A4.3 BUILDING 3 - WALL SECTION 6
1/2" = 1'-0"

KCDC
KNOXVILLE'S COMMUNITY DEVELOPMENT CORPORATION

AUSTIN HOMES REDEVELOPMENT
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△	Date	Description
2	5/26/20	ADDENDUM 1

DARYL R. JOHNSON REGISTERED ARCHITECT STATE OF TENNESSEE 05/26/20

Seal / Signature

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
BUILDING 3 - WALL SECTIONS

Scale
1/2" = 1'-0"

TH3.A4.3

B3

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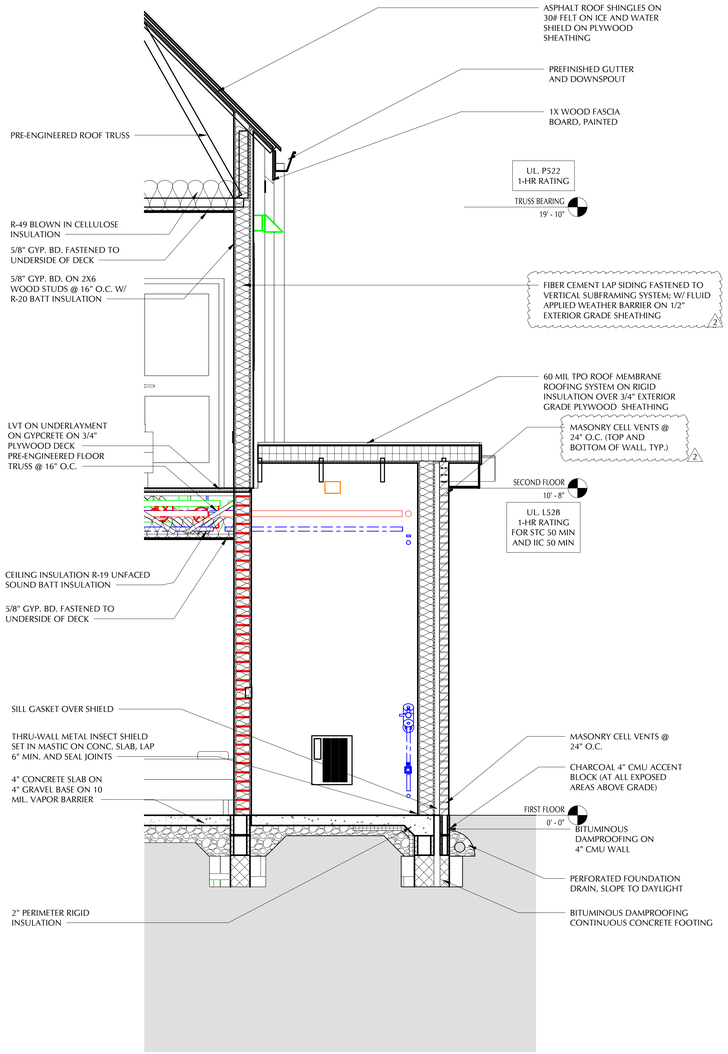

1 TH3.A4.4 BUILDING 3 - WALL SECTION 7
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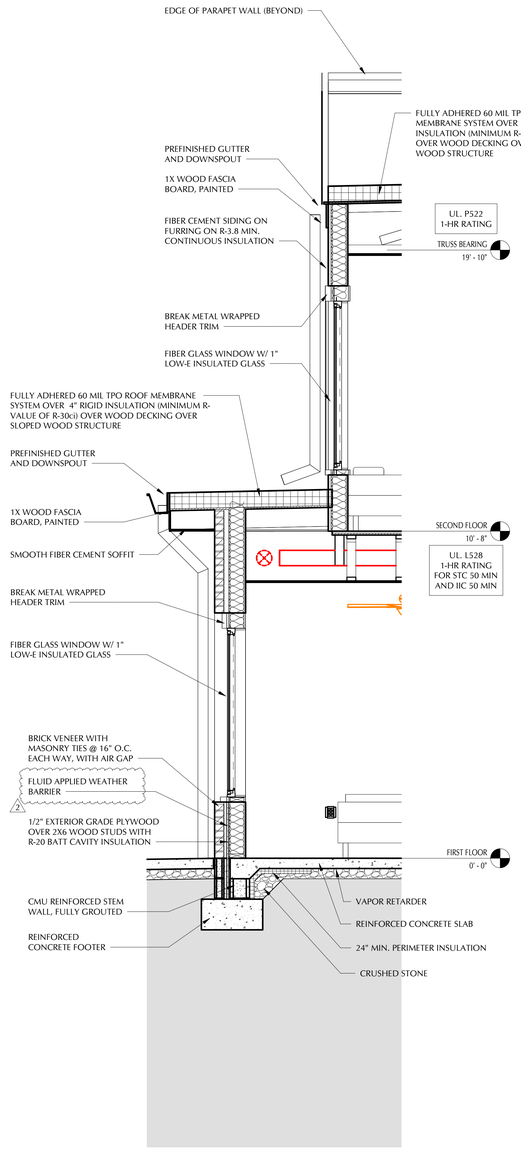
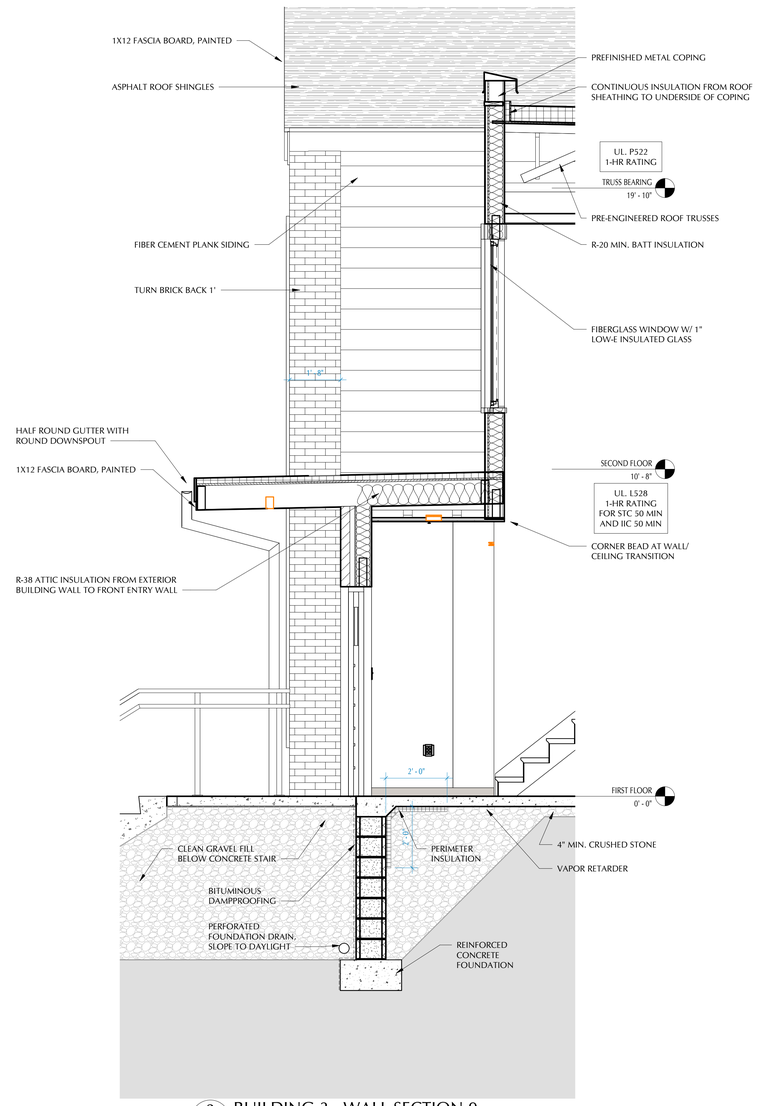


2 TH3.A4.4 BUILDING 3 - WALL SECTION 8
1/2" = 1'-0"



3 TH3.A4.4 BUILDING 3 - WALL SECTION 9
1/2" = 1'-0"

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United States
Tel 312.456.0123
Fax 312.456.0124

△	Date	Description
1	5/06/20	PLANS REVIEW COMMENTS
2	5/26/20	ADDENDUM 1

DARYL R. JOHNSON
REGISTERED
ARCHITECT
102665
STATE OF TENNESSEE
05/26/2020

Seal / Signature

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
BUILDING 3 - WALL SECTIONS

Scale
1/2" = 1'-0"

TH3.A4.4 1

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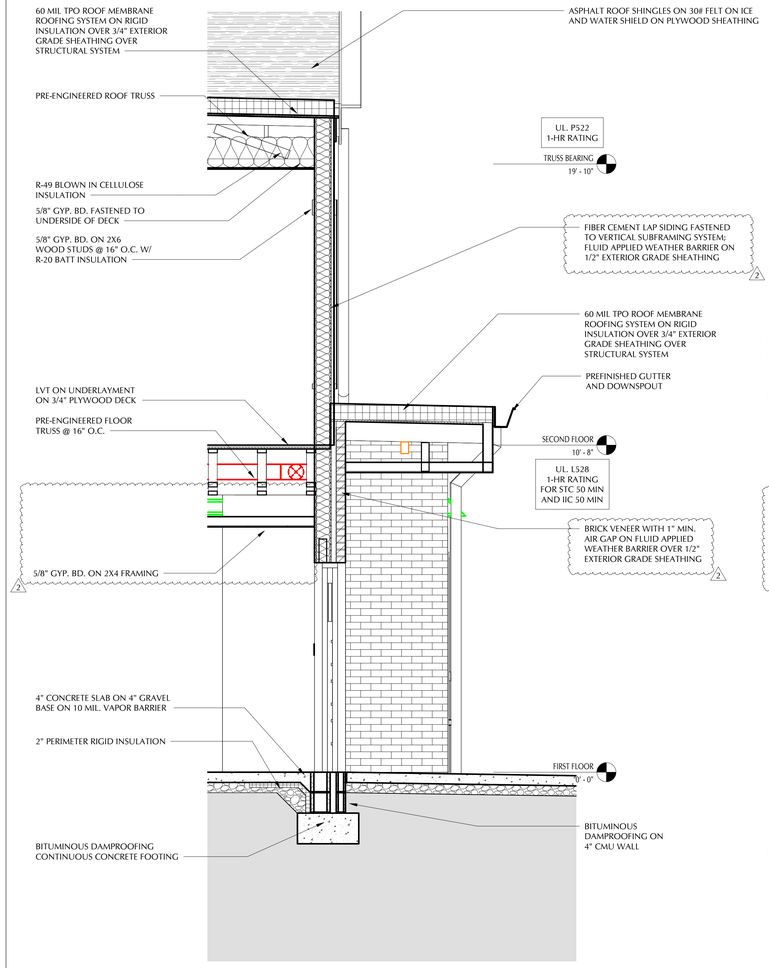

1 TH3.A4.5 BUILDING 3 - WALL SECTION 10
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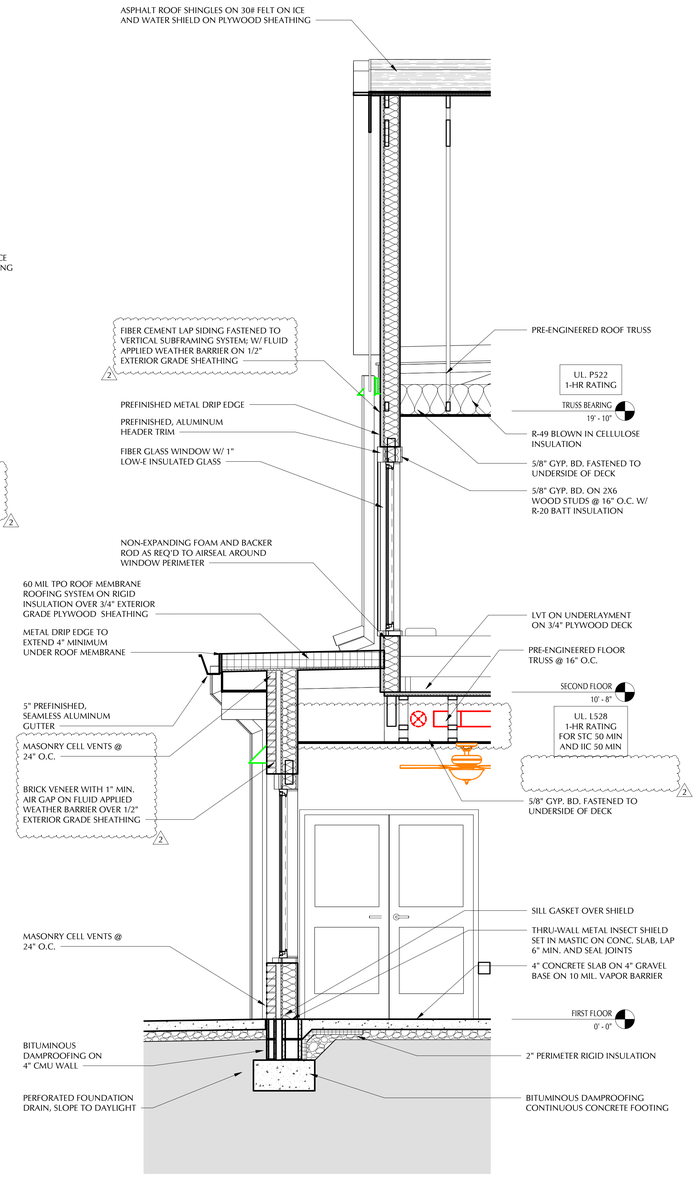
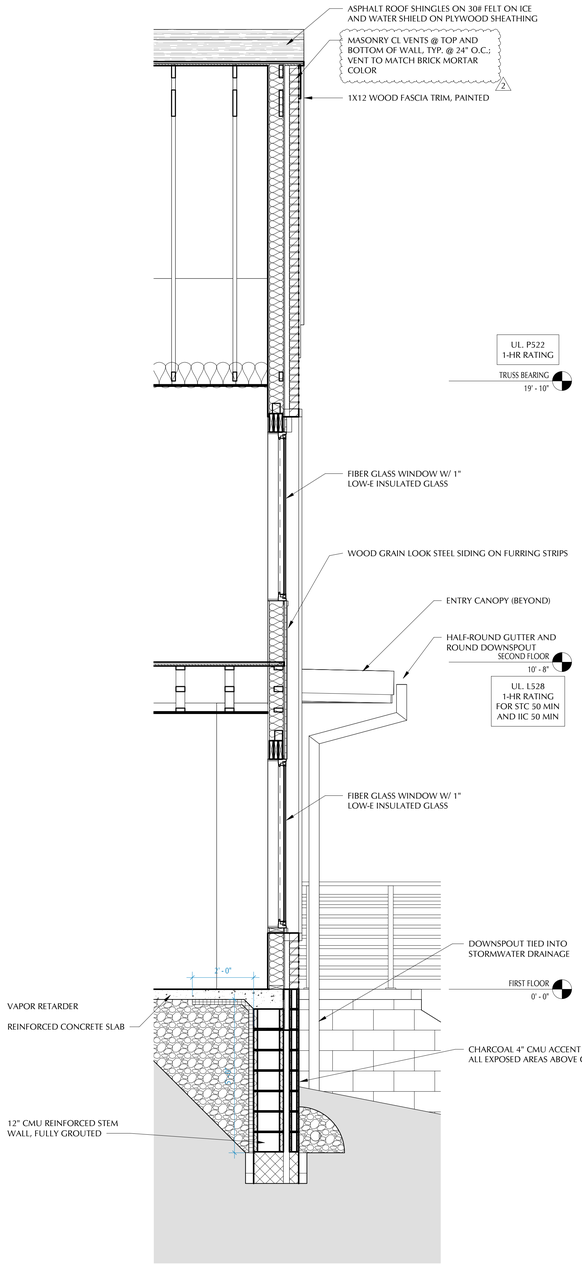


2 TH3.A4.5 BUILDING 3 - WALL SECTION 11
1/2" = 1'-0"



3 TH3.A4.5 BUILDING 3 - WALL SECTION 12
1/2" = 1'-0"

KCDC
KNOXVILLE'S COMMUNITY DEVELOPMENT CORPORATION

AUSTIN HOMES REDEVELOPMENT
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△	Date	Description
1	5/06/20	PLANS REVIEW COMMENTS
2	5/26/20	ADDENDUM 1

DARYL R. JOHNSON — REGISTERED ARCHITECT — STATE OF TENNESSEE — 05/26/2020

Seal / Signature

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
BUILDING 3 - WALL SECTIONS

Scale
1/2" = 1'-0"

TH3.A4.5 1

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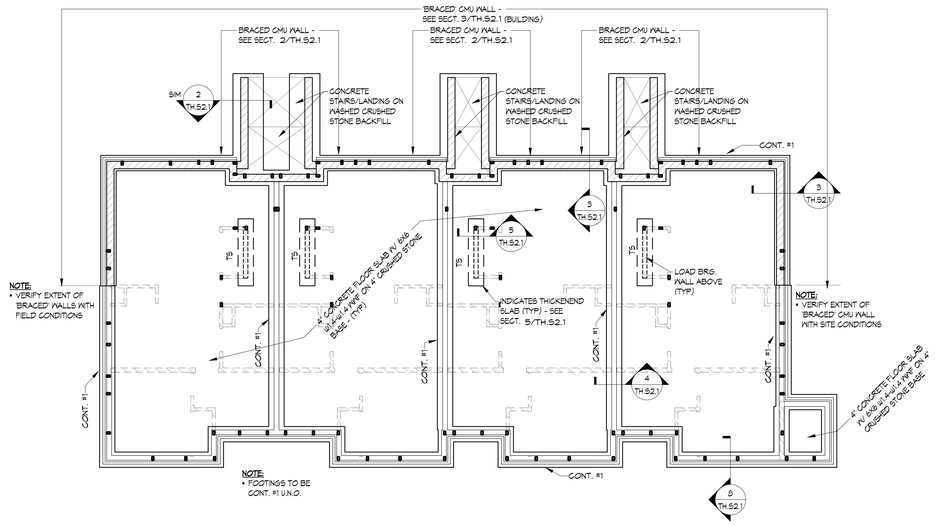
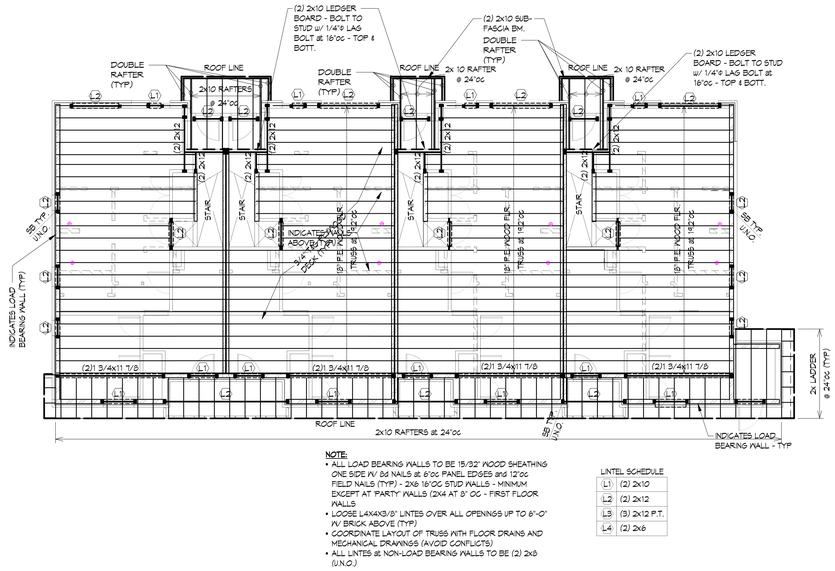


FOUNDATION SCHEDULE				
CONT. #1	2' - 0"	CONT.	1' - 0"	(2) #5 CONT. w/ #5 TRANS. @ 48"O.C., TOP AND BOTTOM

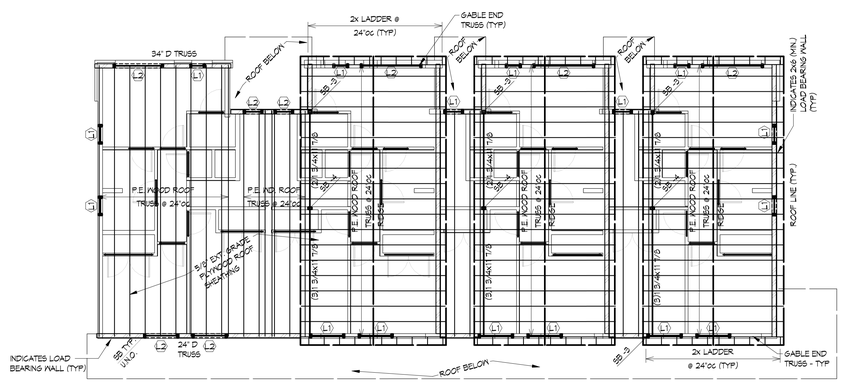
1 TH3.S1.1 B3 - 0-FOUNDATION PLAN
1/8" = 1'-0"



NOTE:
- ALL LOAD BEARING WALLS TO BE 15/32" WOOD SHEATHING ONE SIDE W/ 8d NAILS at 6'oc PANEL EDGES and 12'oc FIELD NAILS (TYP) - 2x6 16'OC STUD WALLS - MINIMUM EXCEPT AT PARTY WALLS (2x4 AT 9' OC - FIRST FLOOR WALLS
- LOOSE L4X4X5/8" LINTES OVER ALL OPENINGS UP TO 6'-0" W/ BRICK ABOVE (TYP)
- COORDINATE LAY-OUT OF TRUSS WITH FLOOR DRAINS AND MECHANICAL DRAWINGS (AVOID CONFLICTS)
- ALL LINTES at NON-LOAD BEARING WALLS TO BE (2) 2x8 (U.N.O.)

LINTEL SCHEDULE	
L1	(2) 2x10
L2	(2) 2x12
L3	(3) 2x12 P.T.
L4	(2) 2x6

2 TH3.S1.1 B3 - 2ND FLOOR FRAMING PLAN
1/8" = 1'-0"



NOTE:
- ALL LOAD BEARING WALLS TO BE 2x6 AT 16'OC STUD WALLS - MINIMUM
- MINIMUM ROOF TRUSS DEPTH AT LOW END = 24" and SLOPE @ 1/4" FT COORDINATE WITH ARCHITECTURAL DRAWINGS
- COORDINATE LAY-OUT OF ROOF TRUSS with ROOF HATCH AND MECHANICAL UNITS
- ALL LINTES at NON-LOAD BEARING WALLS TO BE (2)-2x8 (U.N.O.)

3 TH3.S1.1 B3 - ROOF FRAMING PLAN
1/8" = 1'-0"

REVISION 2 =
- REVISED FOUNDATION/FRAMING BASED ON REVISED GRADING PLAN. MINOR REVISIONS TO UNIT FRAMING PLANS FOR ADA COMPLIANCE

KCDC
Knoxville Community Development Corporation
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△	Date	Description
2	5.22.2020	Revision 2

ROBERT H. HOUSER
REGISTERED ENGINEER
AGRICULTURE
5-6-2020
No. 100511
State of Tennessee

Seal / Signature

CONSTRUCTION DOCUMENTS
100%
05 06 2020

Project Name
AUSTIN HOMES - PHASE 1A

Project Number
193076

Description
BLDG 3 STRUCTURAL PLAN

Scale
As indicated

B3

TH3.S1.1

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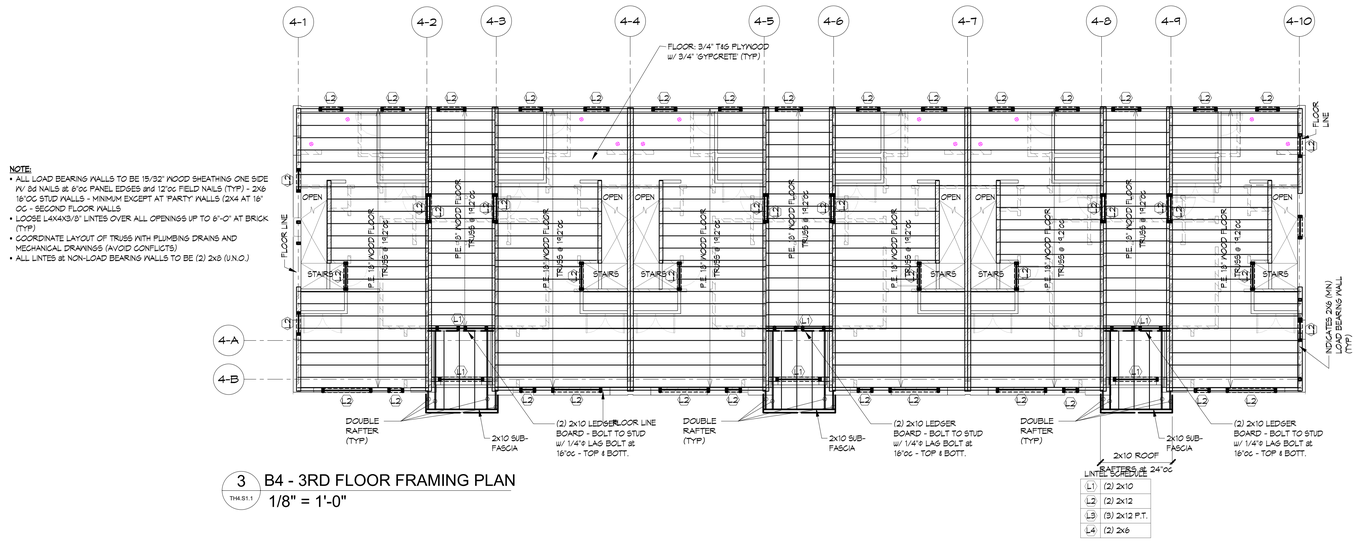
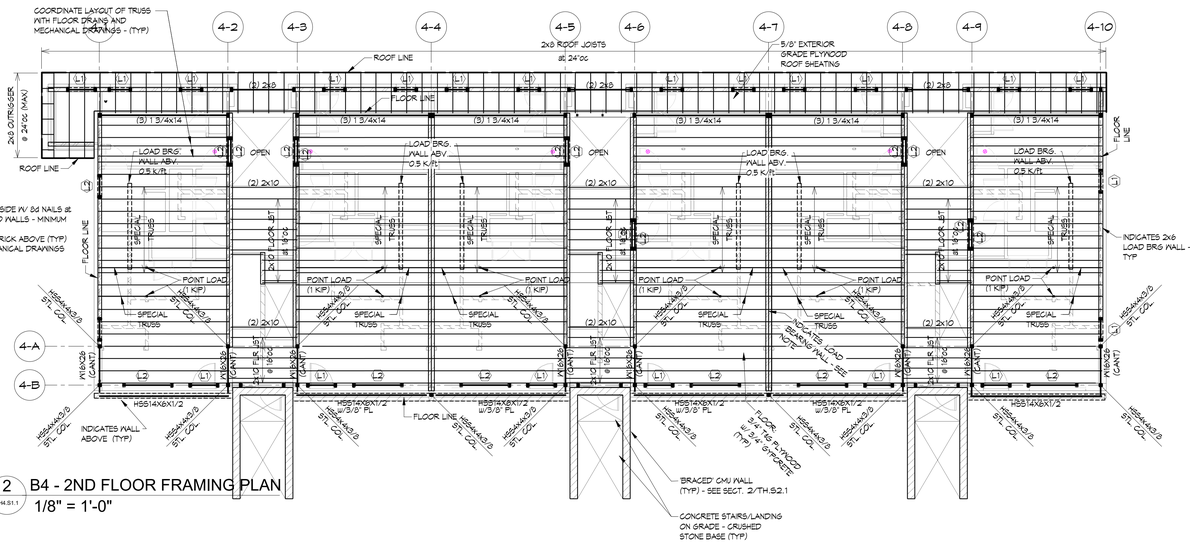


NOTE:
- ALL LOAD BEARING WALLS TO BE 15/32" WOOD SHEATHING ONE SIDE W/ 8d NAILS at 6"OC PANEL EDGES and 12"OC FIELD NAILS (TYP) - 2x6 16"OC STUD WALLS - MINIMUM EXCEPT AT 'PARTY' WALLS (2X4 AT 16" OC - SECOND FLOOR WALLS
- LOOSE L4X4X3/8" LINTES OVER ALL OPENINGS UP TO 6'-0" AT BRICK (TYP)
- COORDINATE LAYOUT OF TRUSS WITH PLUMBING DRAINS AND MECHANICAL DRAWINGS (AVOID CONFLICTS)
- ALL LINTES at NON-LOAD BEARING WALLS TO BE (2) 2x8 (U.N.O.)

LINTEL SCHEDULE

L1	(2) 2x10
L2	(2) 2x12
L3	(3) 2x12 P.T.
L4	(2) 2x6

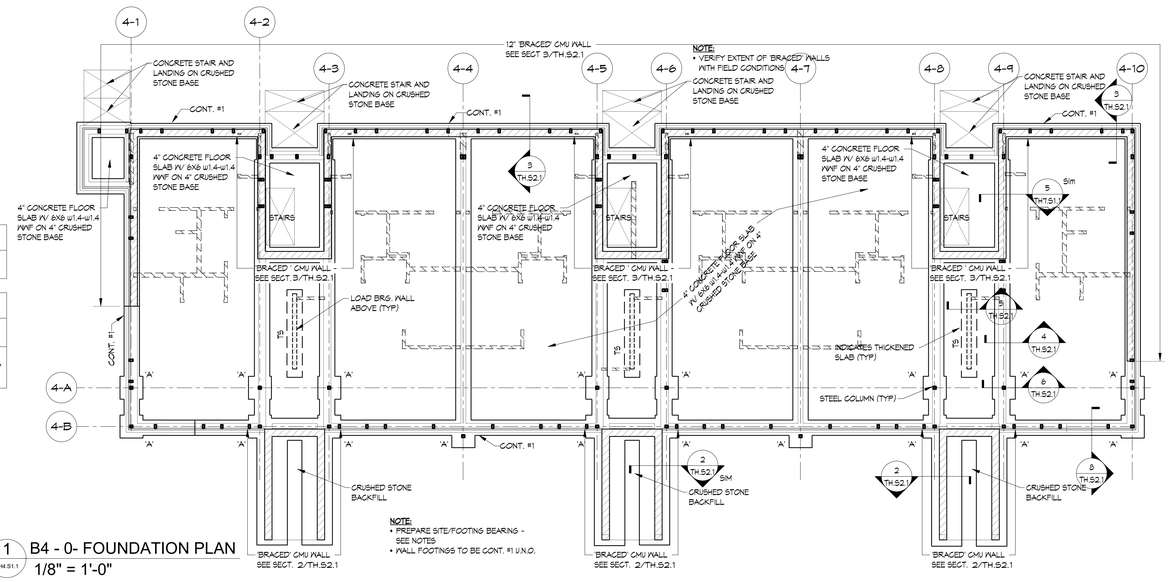
3 TH4.S1.1 **B4 - 3RD FLOOR FRAMING PLAN**
1/8" = 1'-0"



2 TH4.S1.1 **B4 - 2ND FLOOR FRAMING PLAN**
1/8" = 1'-0"

FOUNDATION SCHEDULE				
CONT. #1	2' - 0"	CONT.	1' - 0"	(2) #5 CONT. w/ #5 TRANS. @ 48"o.c., TOP AND BOTTOM

RETAINING WALL FOOTING SCHEDULE					
MARK	WIDTH	DEPTH	TOE LENGTH	HEEL LENGTH	REINFORCING
RET. #1	3' - 11 5/8"	1' - 0"	1' - 0"	2' - 0"	(4) #5 CONT. TOP & BOTT. w/ #4 at 16" TRANS. AT TOP AND BOTTOM



NOTE:
- VERIFY EXTENT OF 'BRACED' WALLS WITH FIELD CONDITIONS

NOTE:
- PREPARE SITE/FOOTING BEARING - SEE NOTES
- WALL FOOTINGS TO BE CONT. #1 U.N.O.

1 TH4.S1.1 **B4 - 0- FOUNDATION PLAN**
1/8" = 1'-0"

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REVISION 2 =
- REVISED FOUNDATION/FRAMING BASED ON REVISED GRADING PLAN. MINOR REVISIONS TO UNIT FRAMING PLANS FOR ADA COMPLIANCE

△	Date	Description
2	5.22.2020	Revision 2

ROBERT H. HOUSER REGISTERED ENGINEER 5-6-2020 State of Tennessee

Seal / Signature

CONSTRUCTION DOCUMENTS 100% 05.06.2020

Project Name
AUSTIN HOMES - PHASE 1A

Project Number
193076

Description
BLDG B4 STRUCTURAL PLANS

Scale
As indicated

TH4.S1.1

B4

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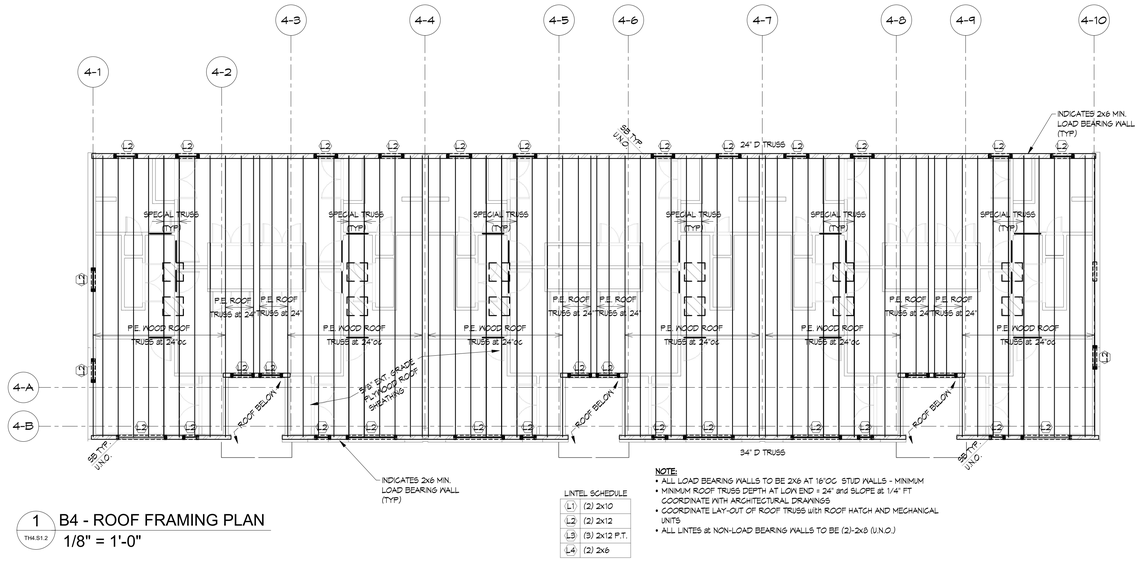

1 TH4.S1.2 B4 - ROOF FRAMING PLAN
1/8" = 1'-0"

LINTEL SCHEDULE

L1	(2) 2x10
L2	(2) 2x12
L3	(3) 2x12 P.T.
L4	(2) 2x6

NOTE:
- ALL LOAD BEARING WALLS TO BE 2X6 AT 16"OC STUD WALLS - MINIMUM.
- MINIMUM ROOF TRUSS DEPTH AT LOW END = 24" and SLOPE at 1/4" FT COORDINATE WITH ARCHITECTURAL DRAWINGS
- COORDINATE LAY-OUT OF ROOF TRUSS with ROOF HATCH AND MECHANICAL UNITS.
- ALL LINTES at NON-LOAD BEARING WALLS TO BE (2)-2x6 (U.N.O.)

REVISION 2 =
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△	Date	Description
2	5.22.2020	Revision 2

ROBERT H. HOUSER REGISTERED ENGINEER 5-22-2020 No. 100911 State of Tennessee

Seal / Signature

CONSTRUCTION DOCUMENTS 100% 05 06 2020

Project Name
AUSTIN HOMES - PHASE 1A

Project Number
193076

Description
BLDG B4 STRUCTURAL PLANS

Scale
As indicated

TH4.S1.2

B4

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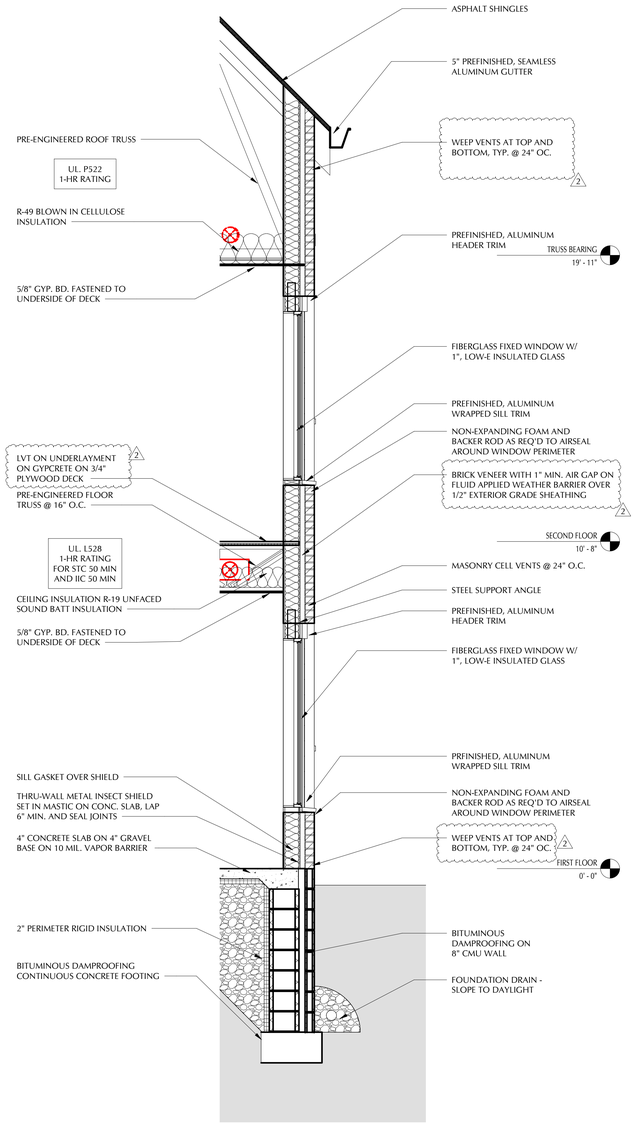
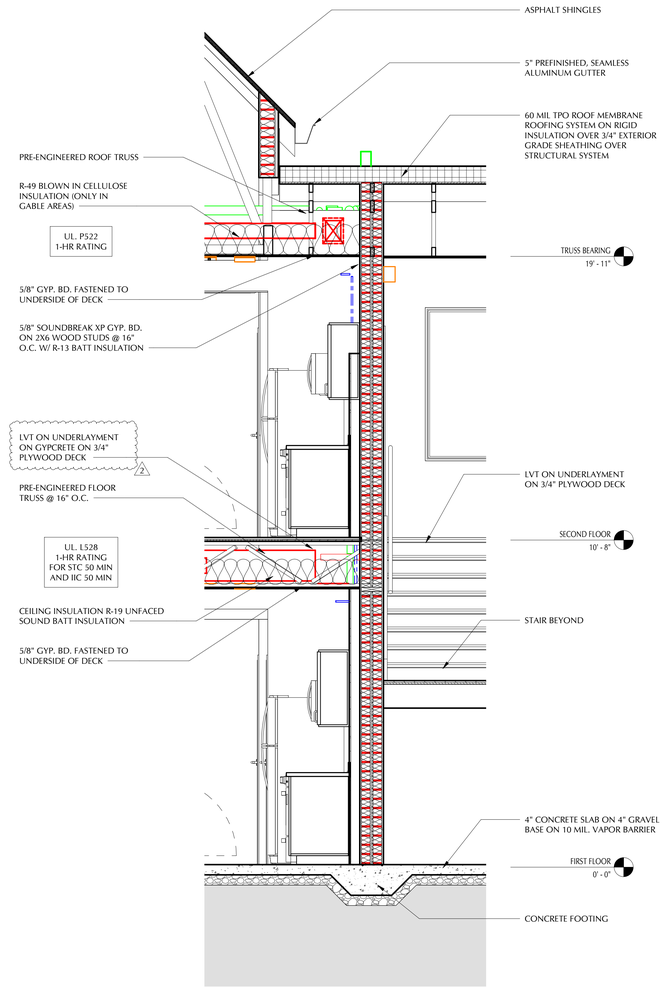
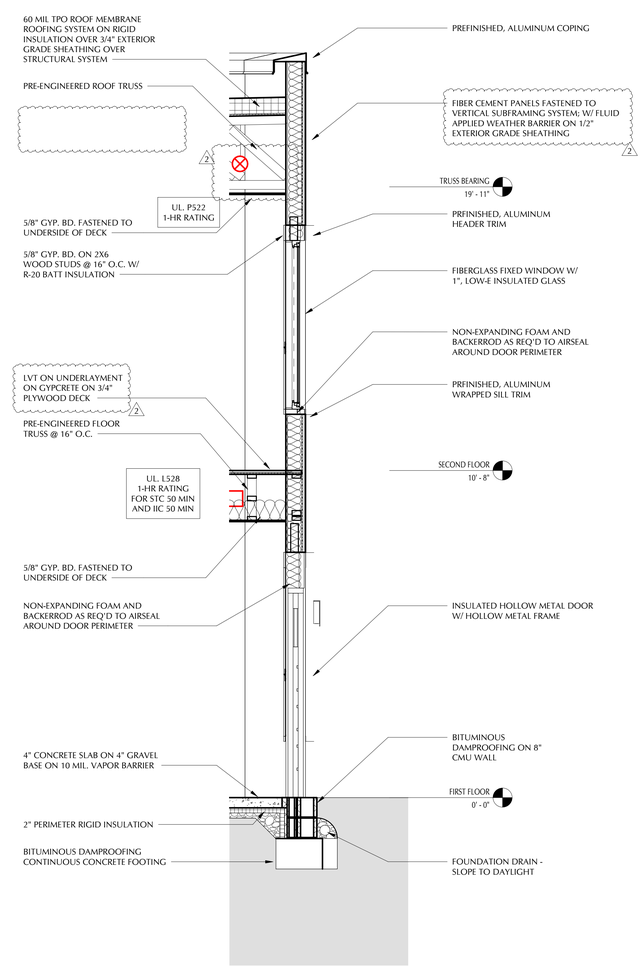


1 TH5.A4.2 BUILDING 5 - WALL SECTION 1
1/2" = 1'-0"



2 TH5.A4.2 BUILDING 5 - WALL SECTION 2
1/2" = 1'-0"



3 TH5.A4.2 BUILDING 5 - WALL SECTION 3
1/2" = 1'-0"

KCDC
KNOXVILLE'S COMMUNITY DEVELOPMENT CORPORATION

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△	Date	Description
1	5/06/20	PLANS REVIEW COMMENTS
2	5/26/20	ADDENDUM 1

DARYL R. JOHNSON REGISTERED ARCHITECT STATE OF TENNESSEE 05/26/2020

Seal / Signature

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
BUILDING 5 - WALL SECTIONS

Scale
1/2" = 1'-0"

TH5.A4.2 △1

B5

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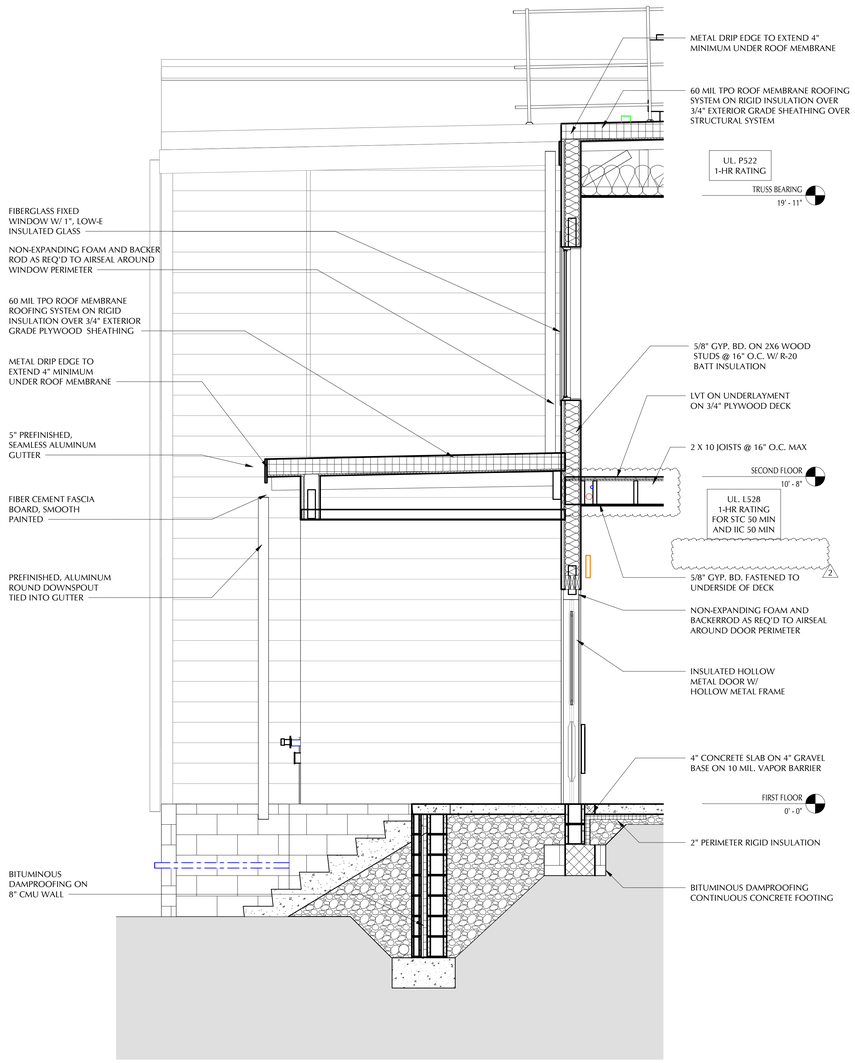
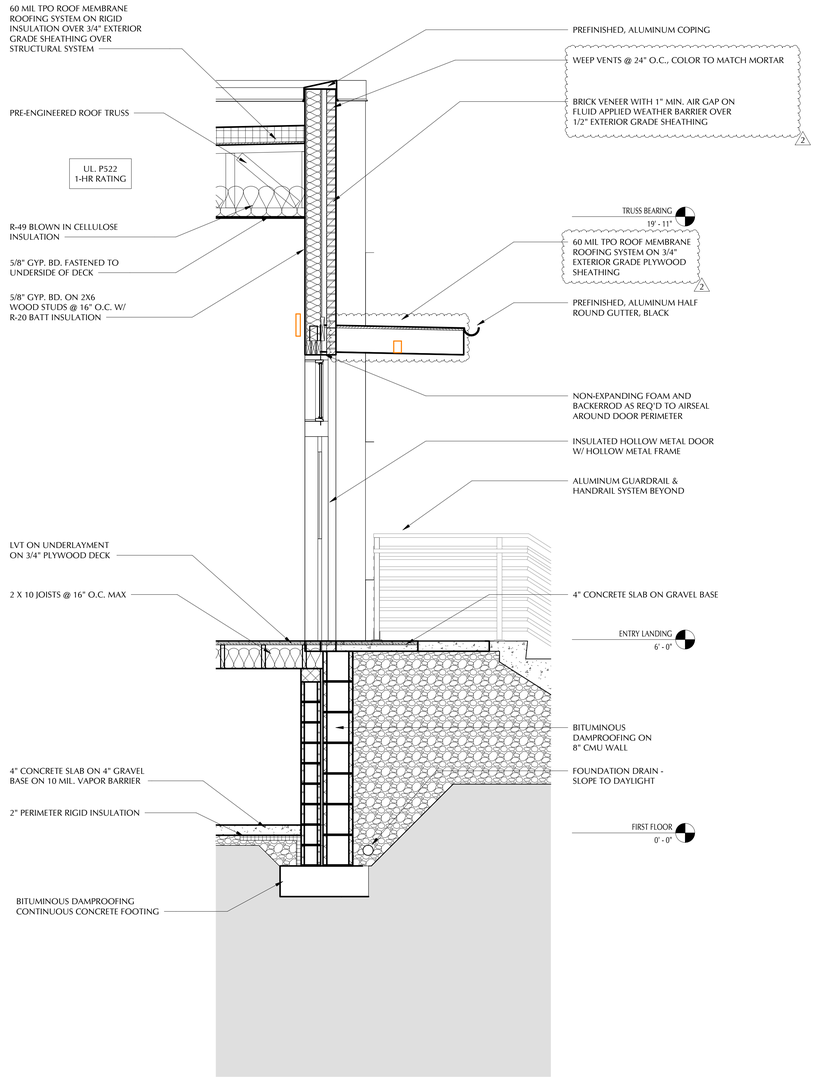


1 TH5.A4.3 BUILDING 5 - WALL SECTION 4
1/2" = 1'-0"



2 TH5.A4.3 BUILDING 5 - WALL SECTION 5
1/2" = 1'-0"

KCDC
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△	Date	Description
1	5/06/20	PLANS REVIEW COMMENTS
2	5/26/20	ADDENDUM 1

DARYL R. JOHNSON REGISTERED ARCHITECT STATE OF TENNESSEE 05/26/20

Seal / Signature

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
BUILDING 5 - WALL SECTIONS

Scale
1/2" = 1'-0"

TH5.A4.3

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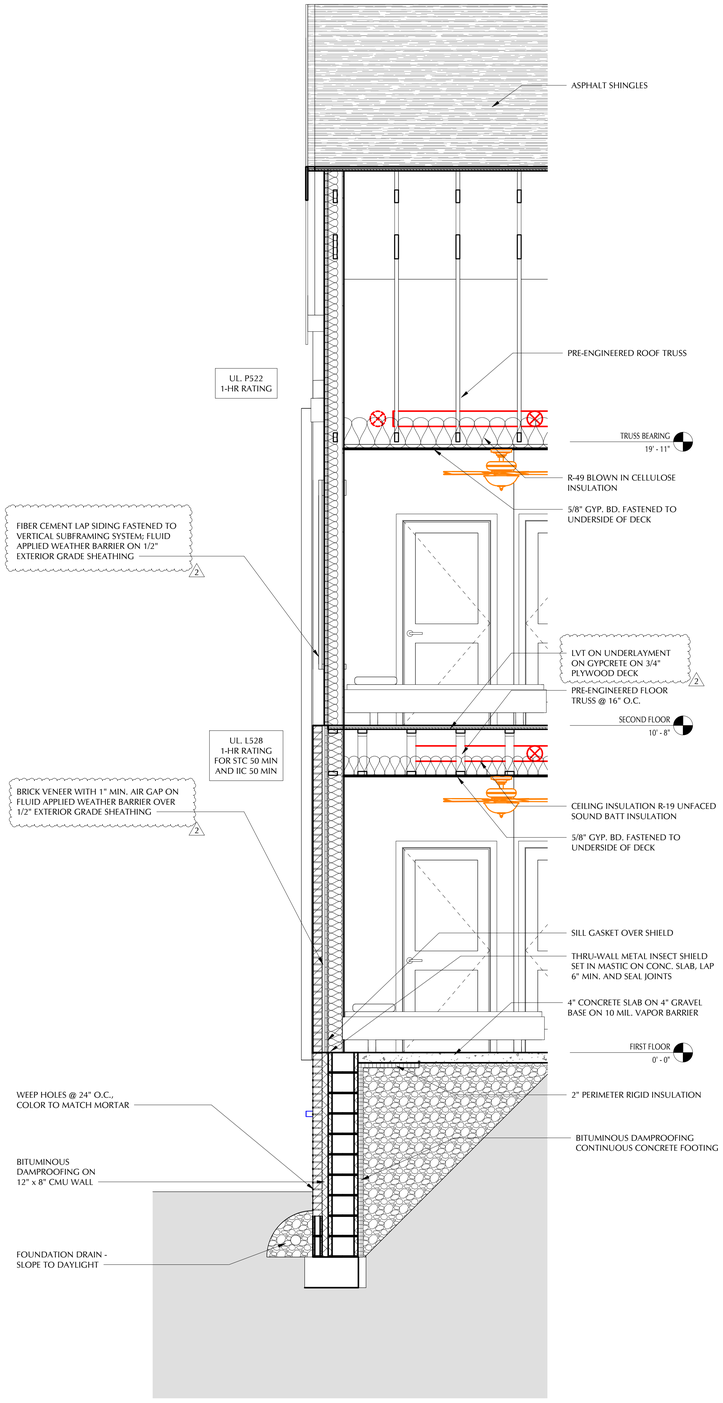
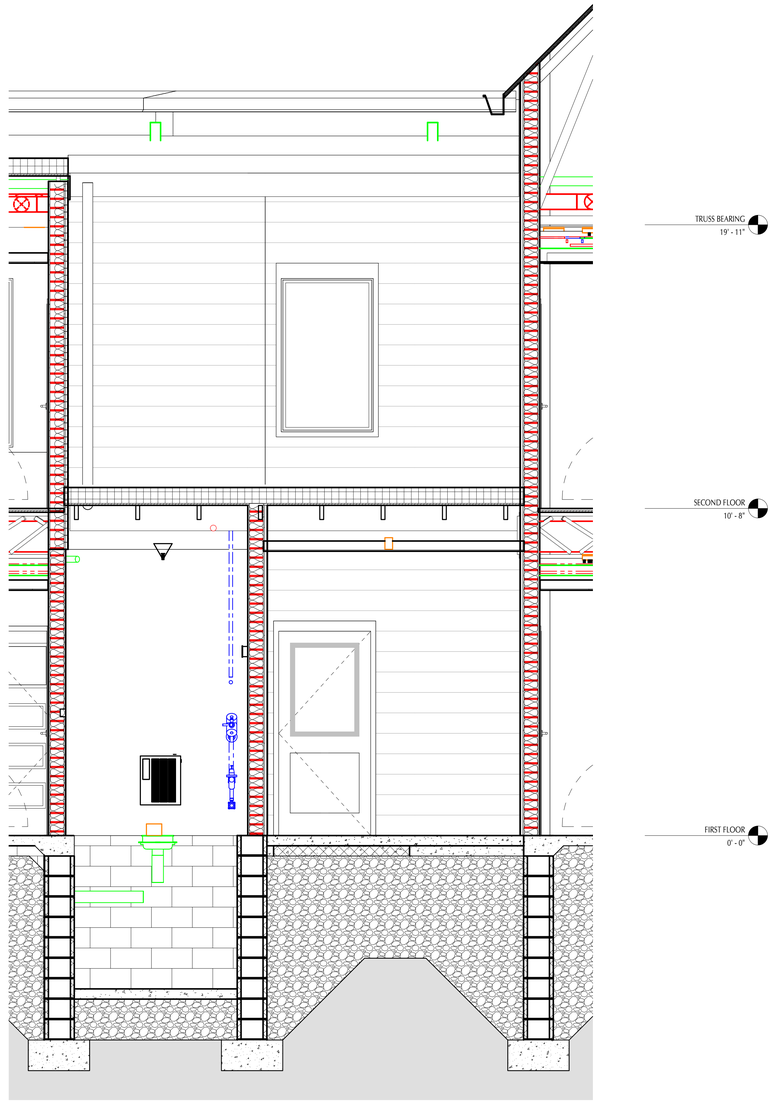


1 TH5.A4.4 BUILDING 5 - WALL SECTION 6
1/2" = 1'-0"



2 TH5.A4.4 BUILDING 5 - WALL SECTION 7
1/2" = 1'-0"

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△	Date	Description
1	5/06/20	PLANS REVIEW COMMENTS
2	5/26/20	ADDENDUM 1

DARYL P. JOHNSON
REGISTERED
ARCHITECT
102613
STATE OF TENNESSEE
05/26/2020

Seal / Signature

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
BUILDING 5 - WALL SECTIONS

Scale
1/2" = 1'-0"

TH5.A4.4
1

B5

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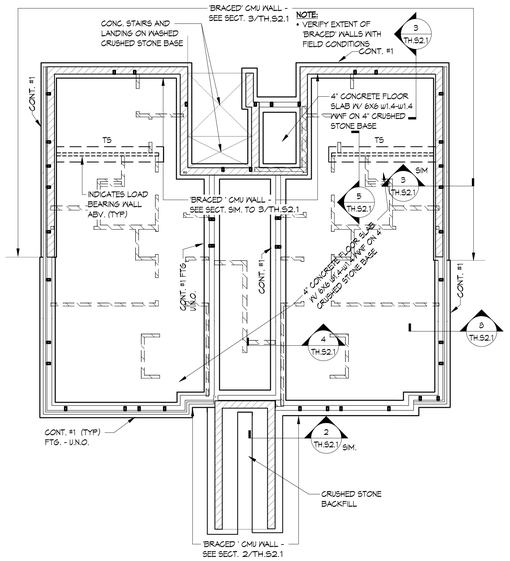
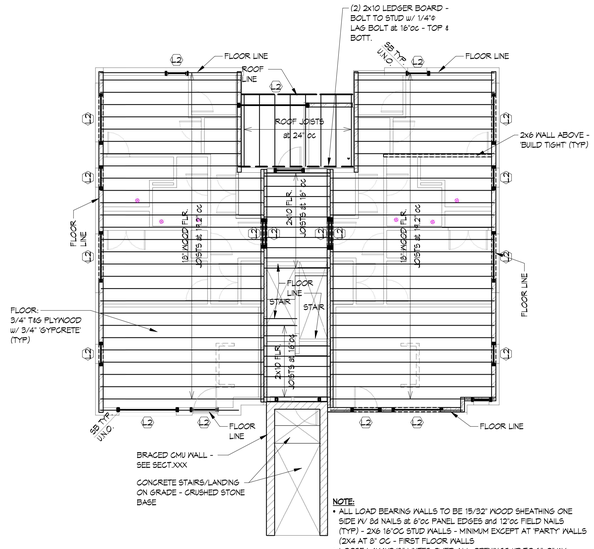
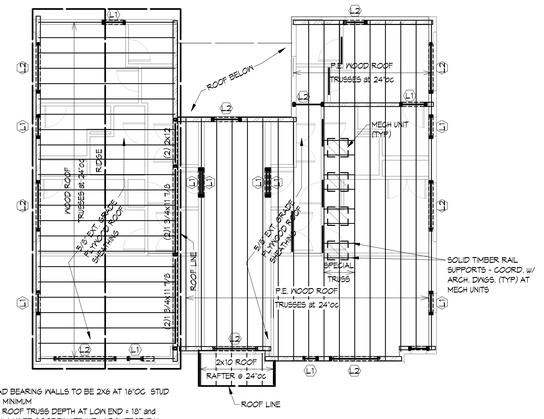


1 TH5.S1.1 B5 - 0-FOUNDATION PLAN
1/8" = 1'-0"



NOTE:
- ALL LOAD BEARING WALLS TO BE 15/32" WOOD SHEATHING ONE SIDE W/ 8d NAILS at 6"oc PANEL EDGES and 12"oc FIELD NAILS (TYP) - 2x6 16"OC STUD WALLS - MINIMUM EXCEPT AT 'PARTY' WALLS (2x4 AT 8" OC - FIRST FLOOR WALLS
- LOOSE LAWAS/0" LINTES OVER ALL OPENINGS UP TO 6'-0" W/ BRICK ABOVE (TYP.)
- COORDINATE LAYOUT OF TRUSS WITH FLOOR DRAINS AND MECHANICAL DRAWINGS (AVOID CONFLICTS)
- ALL LINTES at NON-LOAD BEARING WALLS TO BE (2) 2x6 (U.N.O.)

2 TH5.S1.1 B5 - 2ND FLOOR FRAMING PLAN
1/8" = 1'-0"



NOTE:
- ALL LOAD BEARING WALLS TO BE 2x6 AT 16"OC STUD WALLS - MINIMUM
- MINIMUM ROOF TRUSS DEPTH AT LOW END = 18" and SLOPE at 1/4" FT COORDINATE WITH ARCHITECTURAL DRAWINGS
- COORDINATE LAY-OUT OF ROOF TRUSS with ROOF HATCH AND MECHANICAL UNITS
- ALL LINTES at NON-LOAD BEARING WALLS TO BE (2) 2x8 (U.N.O.)

LINTEL SCHEDULE

L1	(2) 2x10
L2	(2) 2x12
L3	(3) 2x12 P.T.
L4	(2) 2x8

3 TH5.S1.1 B5 - ROOF FRAMING PLAN
1/8" = 1'-0"

FOUNDATION SCHEDULE

CONT. #1	2' - 0"	CONT.	1' - 0"	(2) #5 CONT. w/ #5 TRANS. @ 48"o.c., TOP AND BOTTOM

RETAINING WALL FOOTING SCHEDULE

MARK	WIDTH	DEPTH	TOE LENGTH	HEEL LENGTH	REINFORCING
RET. #1	3' - 11 5/8"	1' - 0"	1' - 0"	2' - 0"	(4) #5 CONT. TOP & BOTT. w/ #4 at 16" TRANS. AT TOP AND BOTTOM

REVISION 2 =
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△	Date	Description
2	5.22.2020	Revision 2

ROBERT H. HOUSER REGISTERED ENGINEER 5-14-2020 No. 109581 State of Tennessee

Seal / Signature

CONSTRUCTION DOCUMENTS 100% 05 06 2020

Project Name
AUSTIN HOMES - PHASE 1A

Project Number
193076

Description
BLDG 5 STRUCTURAL PLANS

Scale
As indicated

TH5.S1.1

B5

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ROOF PLAN NOTES

1. PRIOR TO INSTALLING DOWNSPOUTS, COORDINATE WITH ARCHITECT FOR EXACT LOCATIONS WITH BUILT CONDITIONS. LOCATIONS INDICATED ARE SUBJECT TO CHANGE AND TO BE COORDINATED WITH DOORS, WINDOWS, ENTRANCE STOOPS, ETC.
2. PROVIDE PRE-FINISHED ALUMINUM GUTTERS AND DOWNSPOUTS AT SHOWN LOCATIONS EXCEPT WHERE INDICATED ON SITE PLAN TO BE TIED INTO STORM SEWER.
3. CONT. PRE-FIN. ALUM. GUTTERS W/ SUPPORTS @ 3'-0" O.C. TYP., GUTTERS TO BE 0.027". COLOR TO BE SELECTED BY OWNER AND ARCHITECT.
   A. FRONT 'STREET SIDE' ENTRANCE ROOFS TO HAVE 6" HALF ROUND GUTTERS
   B. ALL OTHER GUTTERS TO BE 6" BOX STYLE GUTTERS
4. PRE-FINISHED ALUMINUM DOWNSPOUTS W/ STRAP SUPPORTS @ 5'-0" O.C. VERT., TYP., MIN. OF 2 STRAPS PER DOWNSPOUT. DOWNSPOUTS TO BE 0.032". COLOR TO BE SELECTED BY OWNER AND ARCHITECT.
   A. ALL DOWNSPOUTS TO BE 3" ROUND DOWNSPOUTS
5. ALL DOWNSPOUTS TO BE TIED INTO UNDERGROUND STORM WATER SYSTEM. COORDINATE WITH CIVIL PLANS FOR STORMWATER PIPING WITH DOWNSPOUT LOCATIONS. PROVIDE CONNECTION BOOT AS REQUIRED TO CONNECT TO UNDERGROUND STORM WATER SYSTEM.
6. DOWNSPOUTS FROM UPPER ROOFS SPILLING ON LOWER ROOF LEVELS TO HAVE A SPLASH PAD UNDER DOWNSPOUT.
7. PROVIDE VENTS THROUGH ROOF AS INDICATED FOR PLUMBING SYSTEMS. LOCATIONS TO BE NO CLOSER THAN 5'-0" TO PARAPET CONDITION AND NO CLOSER THAN 10'-0" TO ANY AIR INTAKE.
8. VENT PIPE, ROOF PENETRATIONS AND REFRIGERANT LINES NOT SHOWN FOR CLARITY.
9. VERIFY EXACT NUMBER & LOCATION OF ALL VENT PIPES, ROOF PENETRATIONS & REFRIGERANT LINES IN FIELD. PROVIDE SELF-ADHERING FLASHING AROUND ALL ROOF PENETRATIONS.
10. PROVIDE ALL ROOF ACCESSORIES INCLUDING FLASHING BOOTS, COUNTER FLASHING, DRIP EDGES, COPING, AND ALL OTHER ACCESSORIES REQUIRED TO PROVIDE A WATER TIGHT ROOF SYSTEM THAT WILL MEET THE ROOF WARRANTY REQUIREMENTS.
11. FOR ROOF PITCHES 4:12 OR GREATER, INSTALL 30# FELT AS UNDERLAYMENT OVER SHEATHING WITH AN ICE AND WATER SHIELD TO EXTEND 18" FROM ALL EDGES. ICE & WATER SHIELD TO BE AT ALL VALLEYS 36" WIDE. FOR ROOF PITCHES LESS THAN 4:12, INSTALL ICE AND WATER SHIELD AS UNDERLAYMENT CONTINUOUSLY FROM RIDGE TO EAVE AND FROM EDGE TO EDGE.
12. GROUNDS TO BE CLEANED OR DEBRIS AND NAILS DAILY PRIOR TO LEAVING SITE.
13. PROVIDE CONT. STEP FLASHING @ ALL SLOPED WALL/ROOF CONNECTION, TYP.
14. 1011.13 GUARDS. WHERE THE ROOF HATCH OPENING IS LOCATED WITHIN 10 FEET OF THE ROOF EDGE, SUCH ROOF ACCESS OR ROOF EDGE SHALL BE PROTECTED BY GUARDS INSTALLED IN ACCORDANCE WITH IBC 2018, SECTION 1015.
15. 1015.6 MECHANICAL EQUIPMENT, SYSTEMS AND DEVICES. | 1015.7 ROOF ACCESS. GUARDS SHALL BE PROVIDED WHERE VARIOUS COMPONENTS THAT REQUIRE SERVICE ARE LOCATED WITHIN 10 FEET OF A ROOF EDGE. THE GUARD SHALL EXTEND NOT LESS THAN 30 INCHES BEYOND EACH END OF SUCH COMPONENTS. THE GUARD SHALL BE CONSTRUCTED SO AS TO PREVENT THE PASSAGE OF A SPHERE 21 INCHES IN DIAMETER. BASIS OF DESIGN - KEEGUARD SAFETY RAIL SYSTEM; SEE IMAGE 18/TH.G3.1
16. AT ALL ROOFTOP EQUIPMENT, ROOF HATCHES, ETC., PROVIDE TAPERED RIGID INSULATION SADDLE TO SLOPE AWAY AND AROUND FOR POSITIVE WATER FLOW.
17. PROVIDE ROOF WALK PADS AS REQUIRED TO ACCESS ALL ROOFTOP EQUIPMENT AND PENETRATIONS FROM ROOF HATCH. SEE WALKPAD DETAIL.

o D.S.	ROUND DOWNSPOUT
------	DASHED LINE INDICATES EXTENDING ROOF MEMBRANE UP WALL A MINIMUM OF 8" OR PER MANUFACTURER'S SPECIFICATIONS. REFER TO TYPICAL ROOF DETAIL SHEET FOR TERMINATION DETAILS. • AT BRICK - MEMBRANE TO EXTEND UP THE EXTERIOR FACE OF BRICK W/ TERMINATION BAR AND COUNTERFLASHING IN THE GROUT JOINT OF BRICK, WITH SEALANT. • AT SIDING - MEMBRANE TO EXTEND UNDER EXTERIOR SHEATHING W/ COUNTERFLASHING.
	CRICKET PLACED ON HIGH SIDE FOR POSITIVE DRAINAGE AROUND OBJECT (OR) IN LOW SIDE OF CORNER TO CREATE POSITIVE DRAINAGE
	PROTECTION WALK PAD. PLACE AROUND PERIMETER OF ROOF HATCH

BLDG 6 - ROOF DRAIN CALCS

MAIN "FLAT" ROOF (SPLIT IN 3 AREAS FOR DRAINAGE CALCS)
- AREA 1: 848 SF
- AREA 2: 443 SF
- AREA 3: 837 SF

ENTRANCE ROOF OVERHANGS
- AREA 4: 151 SF + AREA 2 = 594 SF
- AREA 5: 52 SF

FIGURE 1106.1 (EASTERN UNITED STATES)
KNOXVILLE, TENNESSEE FALLS APPROX. ON THE 3.25" (ROUNDED UP TO 4.0" PER ENGINEERS RECOMMENDATION)

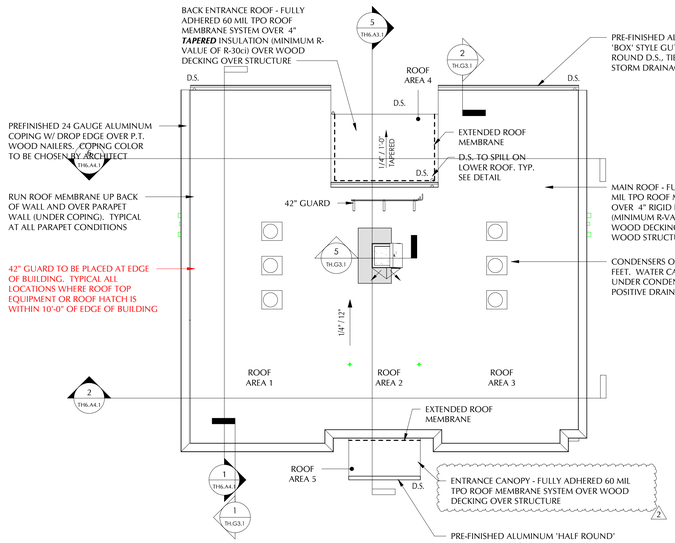
RAINFALL CONVERSION DATA
4.0" RAINFALL = .0416 G.P.M. PER S.F. (MULTIPLIER TO USE)
- AREA 1: 848 SF x .0416 = **35.3 gpm**
- AREA 2: 443 SF x .0416 = **18.4 gpm**
- AREA 3: 837 SF x .0416 = **34.8 gpm**
- AREA 4: 594 SF x .0416 = **24.7 gpm**
- AREA 5: 52 SF x .0416 = **2.2 gpm**

FIGURE 1106.3 (VERTICAL LEADER SIZING)
- 3" ROUND DOWNSPOUTS ARE SHOWN TO MEET SIZE AND QUANTITY REQUIREMENTS

FIGURE 1106.6 (HORIZONTAL GUTTER SIZING)
- STREET ENTRANCE CANOPY = 5" HALF ROUND GUTTER AT 1/8" SLOPE SHOWN TO MEET SIZE AND SLOPE REQUIREMENTS
- ALL OTHER ROOFS = 5" BOX GUTTER AT 1/4" SLOPE SHOWN TO MEET SIZE AND SLOPE REQUIREMENTS

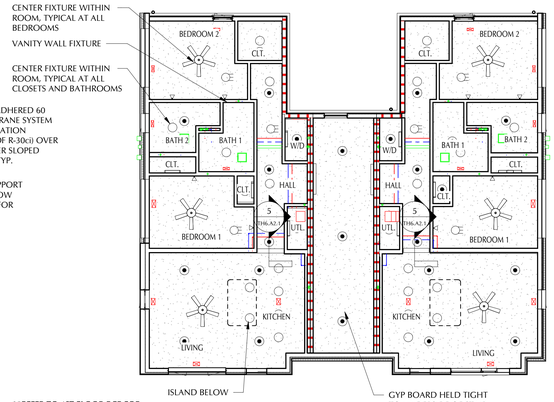
** CALCULATIONS TAKEN FROM INTERNATIONAL PLUMBING CODE 2018, SECTION 1105 & 1106 FOR ROOF DRAINS, SIZE OF CONDUCTORS, LEADERS AND STORM DRAINS

**CONTRACTOR TO VERIFY SQUARE FOOTAGES FOR PRICING. AREAS SHOWN ARE FOR CODE DRAINAGE CALCULATIONS ONLY.



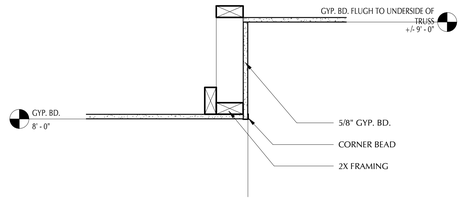
4 TH6.A2.1 BUILDING 6 - ROOF PLAN
1/8" = 1'-0"

BUILDING SECTIONS SHOWN ON ROOF PLAN ONLY FOR CLARITY

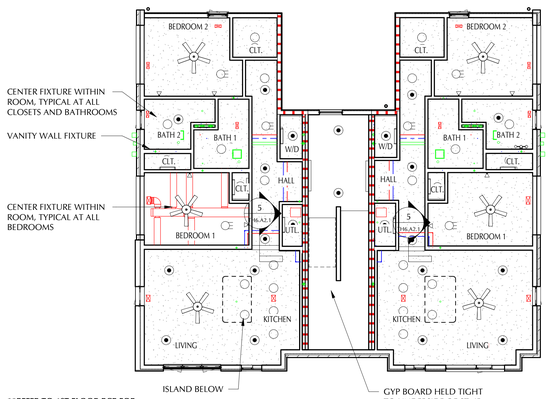


**REFER TO 1ST FLOOR RCP FOR DIMENSIONS OF LIGHT FIXTURES IN LIVING AND KITCHEN SPACES

3 TH6.A2.1 BUILDING 6 - 3RD FLOOR RCP
1/8" = 1'-0"

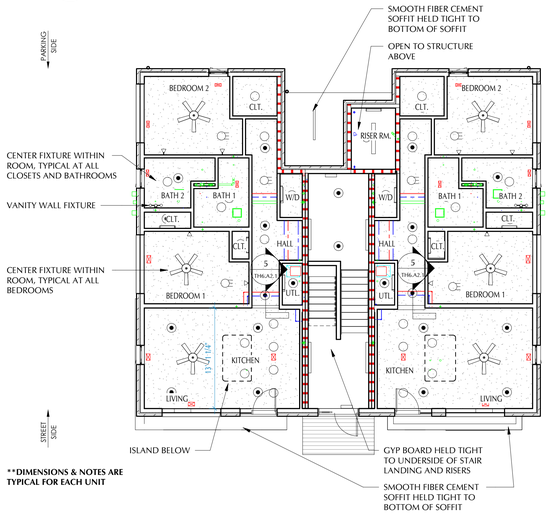


5 TH6.A2.1 SECTION 6 - CEILING DETAIL
1 1/2" = 1'-0"



**REFER TO 1ST FLOOR RCP FOR DIMENSIONS OF LIGHT FIXTURES IN LIVING AND KITCHEN SPACES

2 TH6.A2.1 BUILDING 6 - 2ND FLOOR RCP
1/8" = 1'-0"



**DIMENSIONS & NOTES ARE TYPICAL FOR EACH UNIT

1 TH6.A2.1 BUILDING 6 - 1ST FLOOR RCP
1/8" = 1'-0"

REFLECTED CEILING PLAN NOTES

1. THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE REFLECTED CEILING PLANS WITH THE ELECTRICAL LIGHTING PLANS, MECHANICAL PLANS, AND FIRE PROTECTION PLANS. GENERAL CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY ERROR, INCONSISTENCY OR OMISSION THAT IS DISCOVERED.
2. ALL SOFFITS AND CEILING HEIGHTS INDICATED SHALL BE MEASURED FROM BOTTOM OF FINISH MATERIAL TO FINISH FLOOR ELEVATION DIRECTLY BELOW.
3. ALL DIMENSIONS SHOWN ON REFLECTED CEILING PLANS ARE FINISHED DIMENSIONS.
4. THE CONTRACTOR SHALL VERIFY THAT ACCESS PANELS OF APPROPRIATE SIZE AND TYPE ARE INSTALLED IN GYPSUM BOARD CEILING ASSEMBLIES, SOFFITS, AND IN OTHER NON-ACCESSIBLE TYPE AREAS WHERE ACCESS, SERVICE OR ADJUSTMENT TO MECHANICAL, PLUMBING OR ELECTRICAL ITEMS MAY BE REQUIRED. ACCESS PANELS SHALL BE FIRE RATED EQUAL TO ANY RATING OF THE CEILING OR SOFFIT IN WHICH THEY OCCUR.
5. ONLY CEILING MOUNTED EXIT LIGHTING IS SHOWN ON THE REFLECTED CEILING PLANS. SEE ELECTRICAL DRAWINGS FOR LOCATIONS OF WALL MOUNTED EXIT LIGHTING.
6. SEE THE ELECTRICAL DRAWINGS AND / OR THE COMMUNICATIONS DRAWINGS FOR LOCATIONS OF CEILING MOUNTED SMOKE DETECTORS, SPEAKERS, FIRE ALARM DEVICES, ETC.
7. CONTRACTOR TO COORDINATE WITH ARCHITECT AND OWNER ALL FIXTURE SELECTIONS AND FINISHES PRIOR TO INSTALLATION.
8. COORDINATE WITH APPLICABLE NOTES AND DIMENSIONS ON OTHER SHEETS.
9. EXTEND GYPSUM BOARD WALL CONSTRUCTION TO UNDERSIDE OF ROOF / FLOOR DECK IN AREAS WITHOUT FINISHED CEILINGS TYPICAL.
10. SEE FIRE PROTECTION SHEETS FOR SPRINKLER HEAD LOCATIONS.
11. PROVIDE STRUCTURAL SUPPORT FOR CEILING MOUNTED EQUIPMENT AS REQUIRED.
12. ALL GYPSUM BOARD CEILINGS IN WET AREAS SHALL BE MOISTURE RESISTANT GYPSUM BOARD
13. PROVIDE CEILING CONTROL JOINTS AS INDICATED. ALL CEILINGS OVER 900 SF TO RECEIVE PERIMETER RELIEF JOINTS.
14. ALL CEILINGS IN WET AREAS TO BE MOISTURE RESISTANT GYP. BOARD.
15. ALL CEILINGS IN LIVING UNITS TO BE HELD TIGHT TO UNDERSIDE OF STRUCTURE UNLESS NOTED OTHERWISE.
16. COORDINATE LOCATIONS OF FIRE ALARMS, SMOKE DETECTORS WITH LIGHT FIXTURES, HVAC DIFFUSERS / RETURNS AND SPRINKLER HEADS.
17. CENTER SINGLE LIGHT FIXTURES IN LIVING UNIT WITH ROOM, UNLESS NOTED OTHERWISE.
18. REFER TO ELECTRICAL PLAN FOR ATTIC LIGHTING.
19. FLOOR/ CEILING ASSEMBLIES TO MEET A MINIMUM STC RATING OF 50. TYPE X GYPSUM BOARD REQUIRED FOR ALL CEILINGS BETWEEN UNITS.

REFLECTED CEILING PLAN LEGEND

	SURFACE MOUNTED LIGHT FIXTURE (CEILING)
	WALL OR CEILING MOUNTED FIXTURE (SEE PLAN FOR MOUNTING TYPE)
	PENDANT LIGHT FIXTURE
	CEILING FAN W/ INTEGRAL LIGHT FIXTURE
	SOFFIT / CANOPY RECESSED SLOT FIXTURE
	GYPSUM BOARD CEILING – PAINTED • ±9'-0" A.F.F. – LIVING, KITCHEN, BEDROOMS (5/8" TYPE X GYP. BD. ON 7/8" HAT CHANNELS FASTENED TO UNDERSIDE OF TRUSSES. • ±8'-0" A.F.F. – CLOSETS, BATHROOMS, HALLS (5/8" TYPE X GYP. BD. ON 2X FRAMING TO ACHEIVE SOFFIT FOR DUCTS, PIPING, ETC.)
	"STREET SIDE" ENTRANCE CANOPY – METAL SOFFIT - LONGBOARD - COLOR: DARK CHERRY; 6" V-GROOVE
	"PARKING SIDE" BACK ENTRANCE & SOFFITS - SMOOTH FIBER CEMENT SOFFIT; PAINTED
	EXHAUST FAN
	HVAC SUPPLY DIFFUSER (CEILING)
	HVAC RETURN GRILLE (THRU-WALL)
EXIT	EXIT SIGN - REFER TO ELECTRICAL PLANS
	EMERGENCY LIGHT - REFER TO ELECTRICAL PLANS
	SMOKE DETECTOR
	CEILING MOUNTED SPRINKLER HEAD
	WALL MOUNTED SPRINKLER HEAD

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△	Date	Description
2	5/26/20	ADDENDUM 1

DARYL R. JOHNSON — REGISTERED ARCHITECT — STATE OF TENNESSEE — 102 — 05/26/2020

Seal / Signature

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
BUILDING 6 - REFLECTED CEIILING PLAN, ROOF PLAN & NOTES

Scale
As indicated

TH6.A2.1

B6

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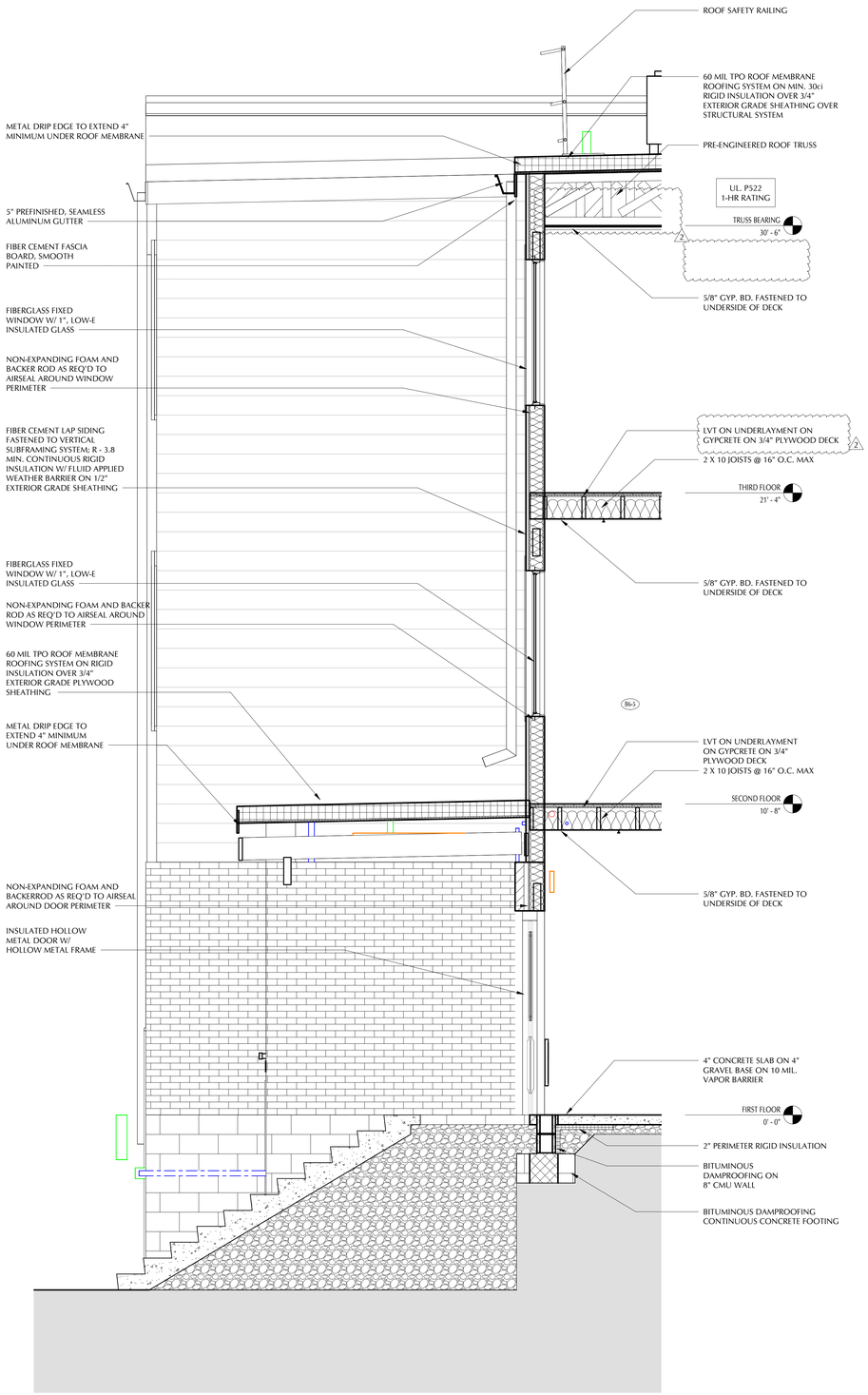
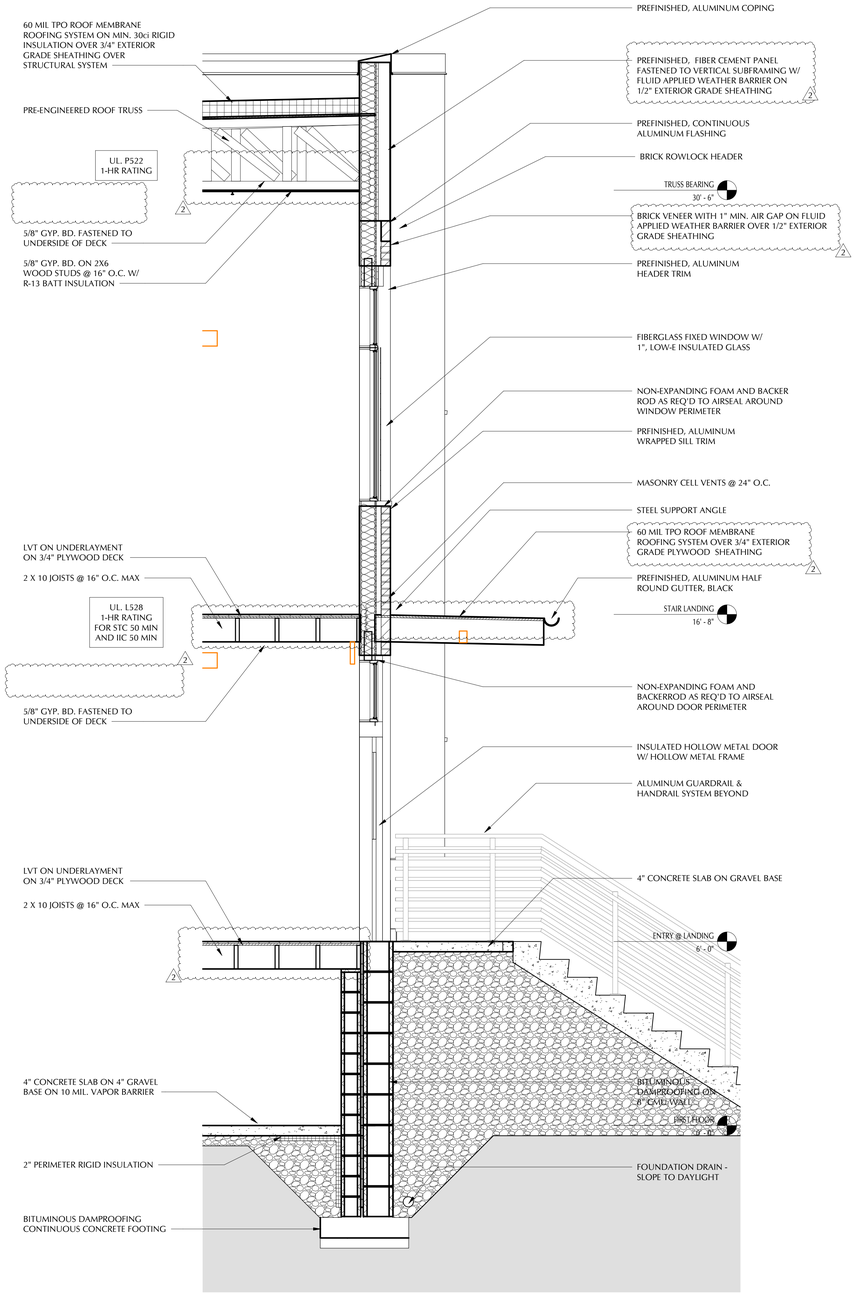


1 TH6.A4.2 BUILDING 6 - WALL SECTION 1
1/2" = 1'-0"



4 TH6.A4.2 BUILDING 6 - WALL SECTION 2
1/2" = 1'-0"

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1	5/06/20	PLANS REVIEW COMMENTS
2	5/26/20	ADDENDUM 1

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Seal / Signature

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
BUILDING 6 - WALL SECTIONS

Scale
1/2" = 1'-0"

TH6.A4.2 △1

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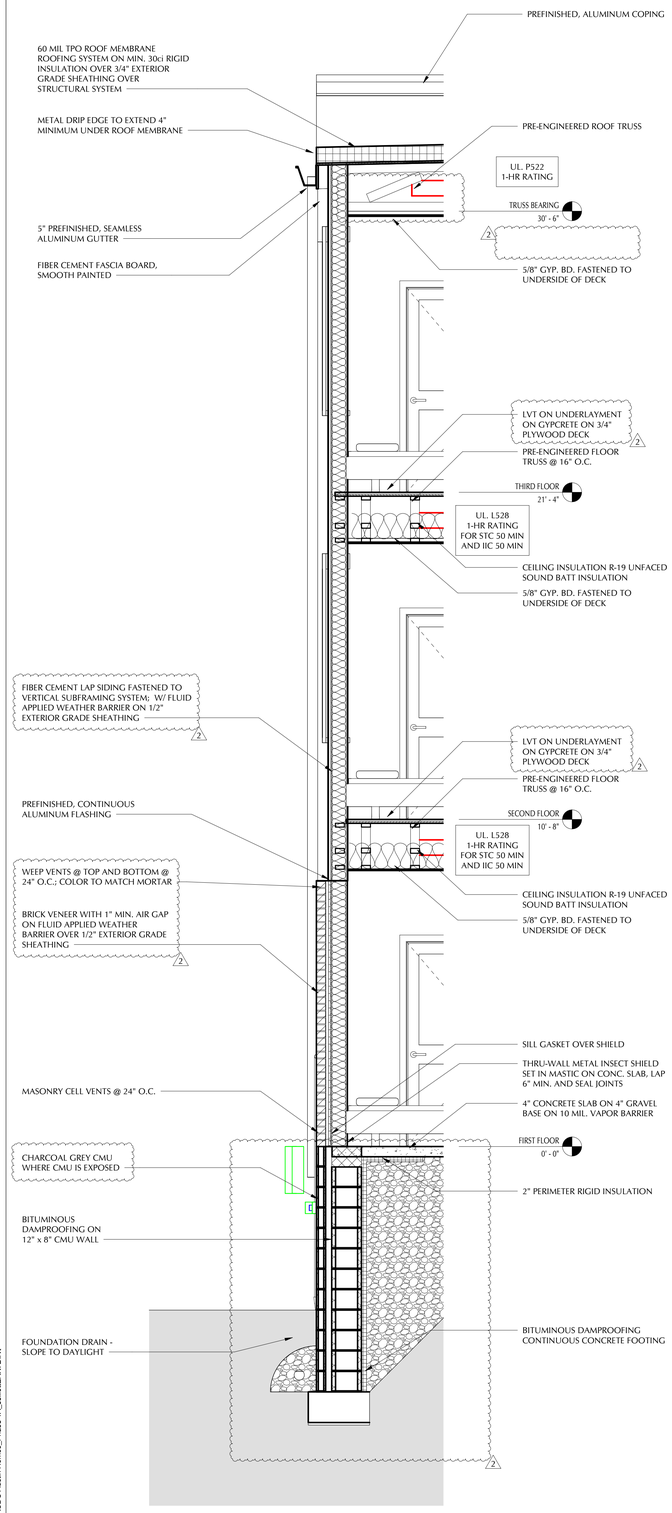
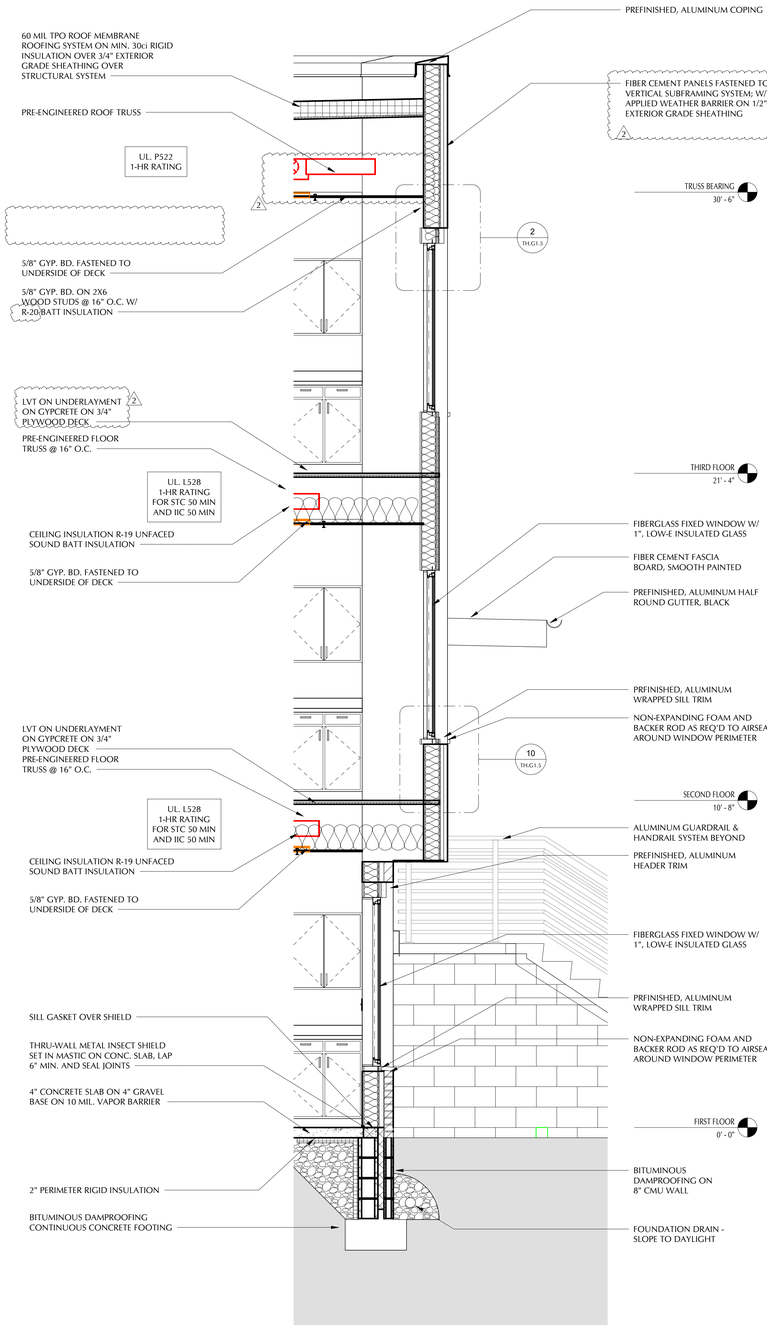
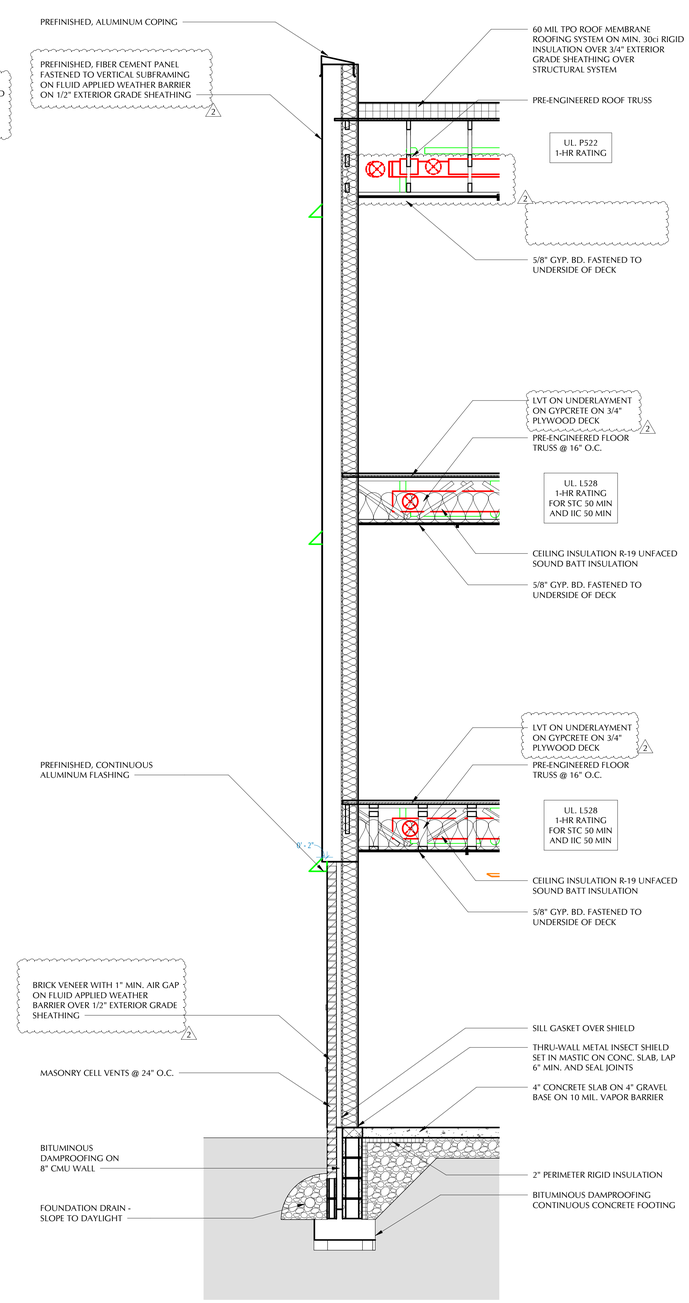


1 TH6.A4.3 BUILDING 6 - WALL SECTION 3
1/2" = 1'-0"



2 TH6.A4.3 BUILDING 6 - WALL SECTION 4
1/2" = 1'-0"



3 TH6.A4.3 BUILDING 6 - WALL SECTION 5
1/2" = 1'-0"

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2	5/26/20	ADDENDUM 1

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Seal / Signature

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
BUILDING 6 - WALL SECTIONS

Scale
1/2" = 1'-0"

TH6.A4.3 1

B6

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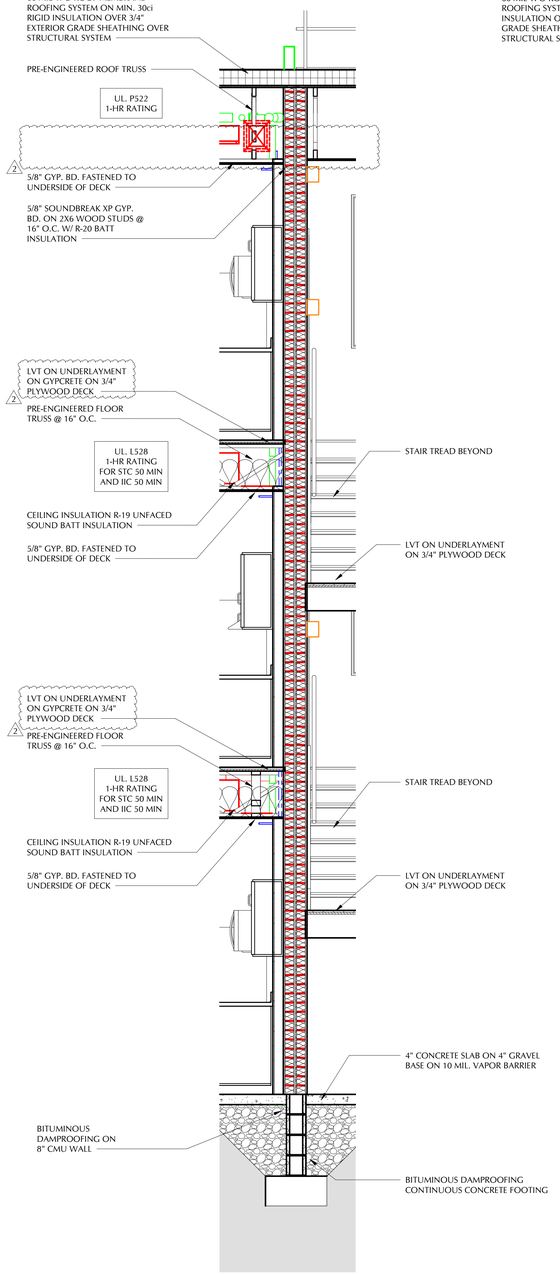

1 TH6.A4.4 BUILDING 6 - WALL SECTION 6
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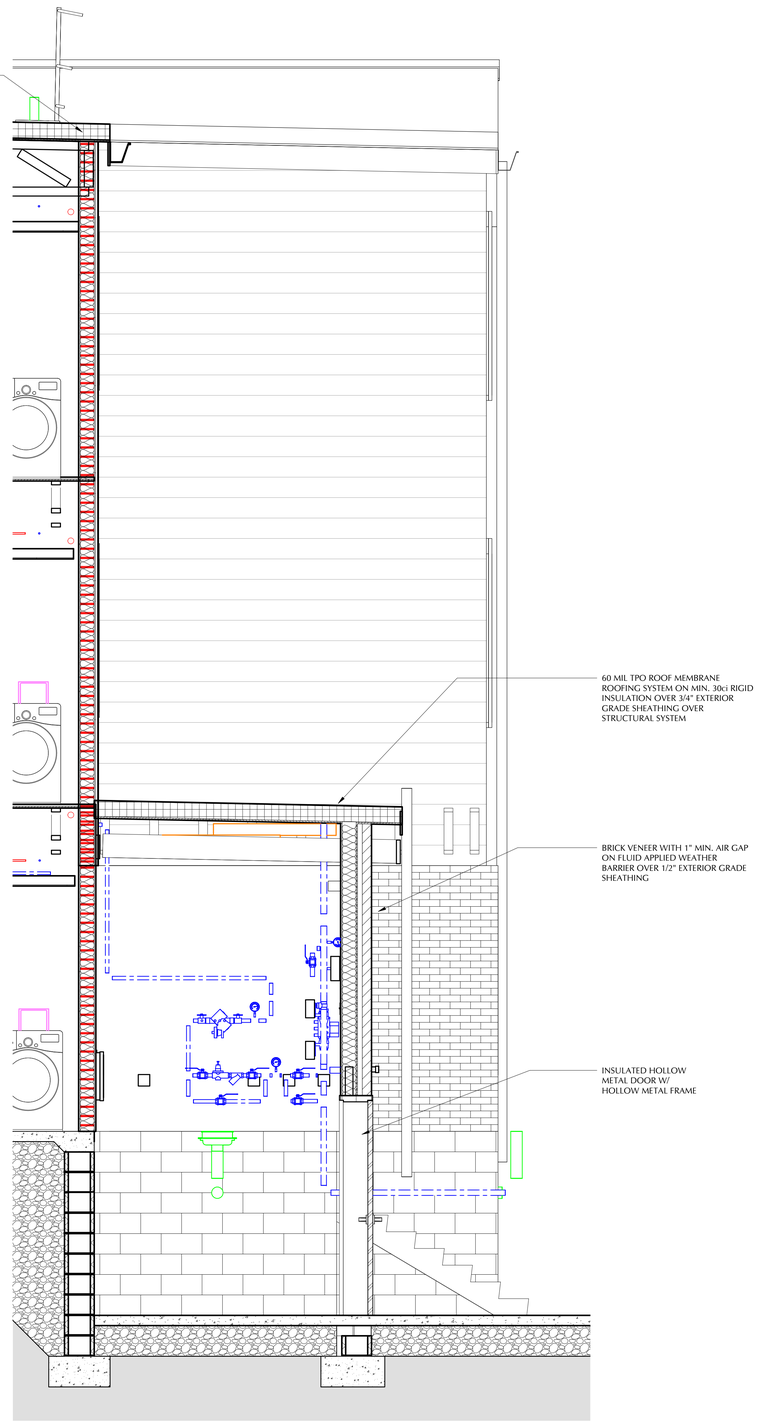
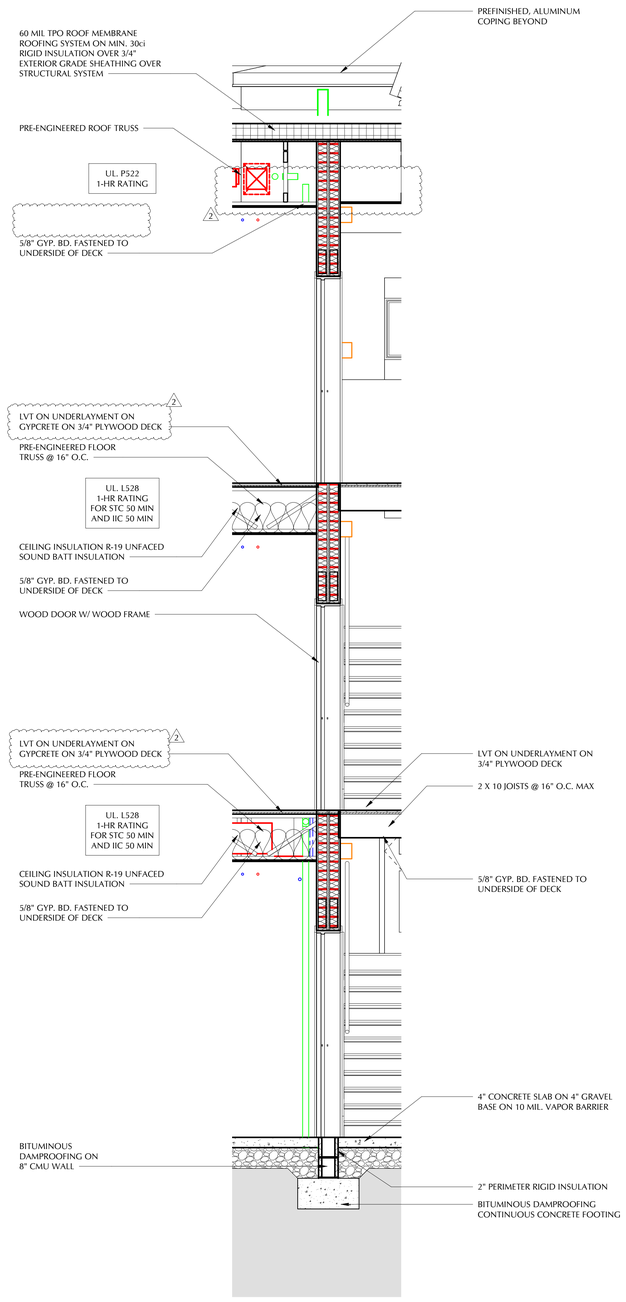


2 TH6.A4.4 BUILDING 6 - WALL SECTION 7
1/2" = 1'-0"



3 TH6.A4.4 BUILDING 6 - WALL SECTION 8
1/2" = 1'-0"

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Description
BUILDING 6 - WALL SECTIONS

Scale
1/2" = 1'-0"

TH6.A4.4 1

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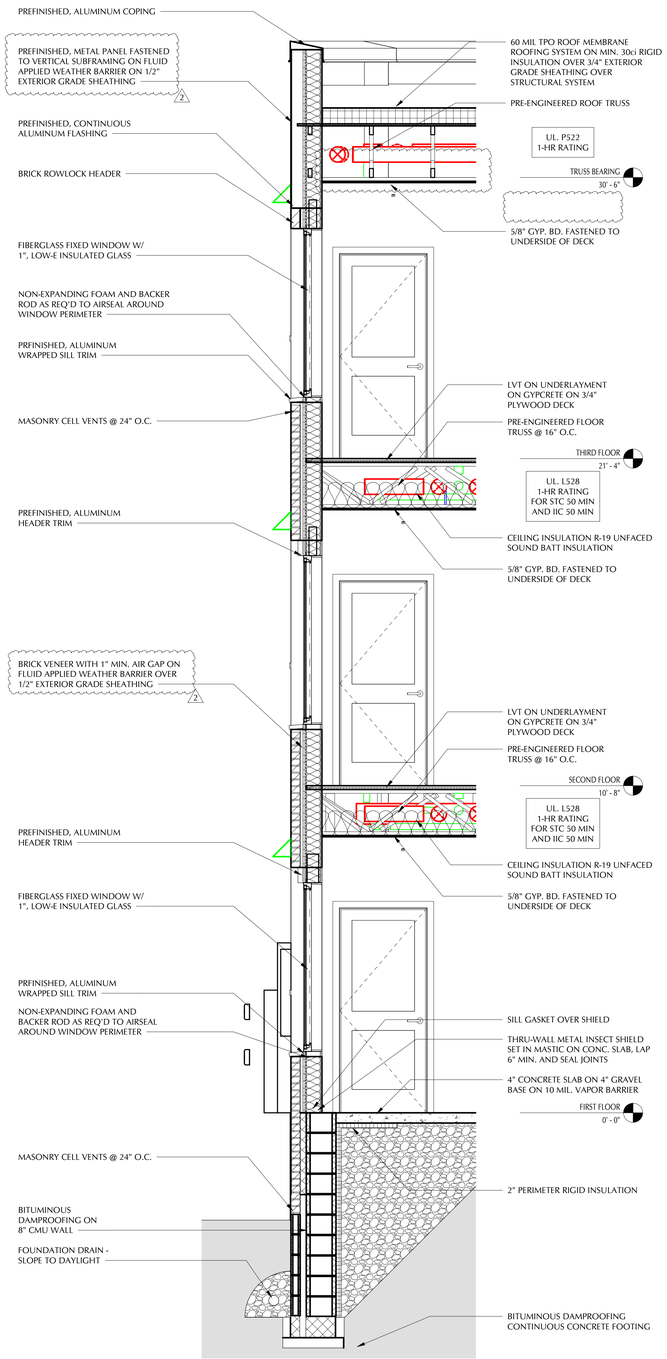

1 TH6.A4.5 BUILDING 6 - WALL SECTION 9
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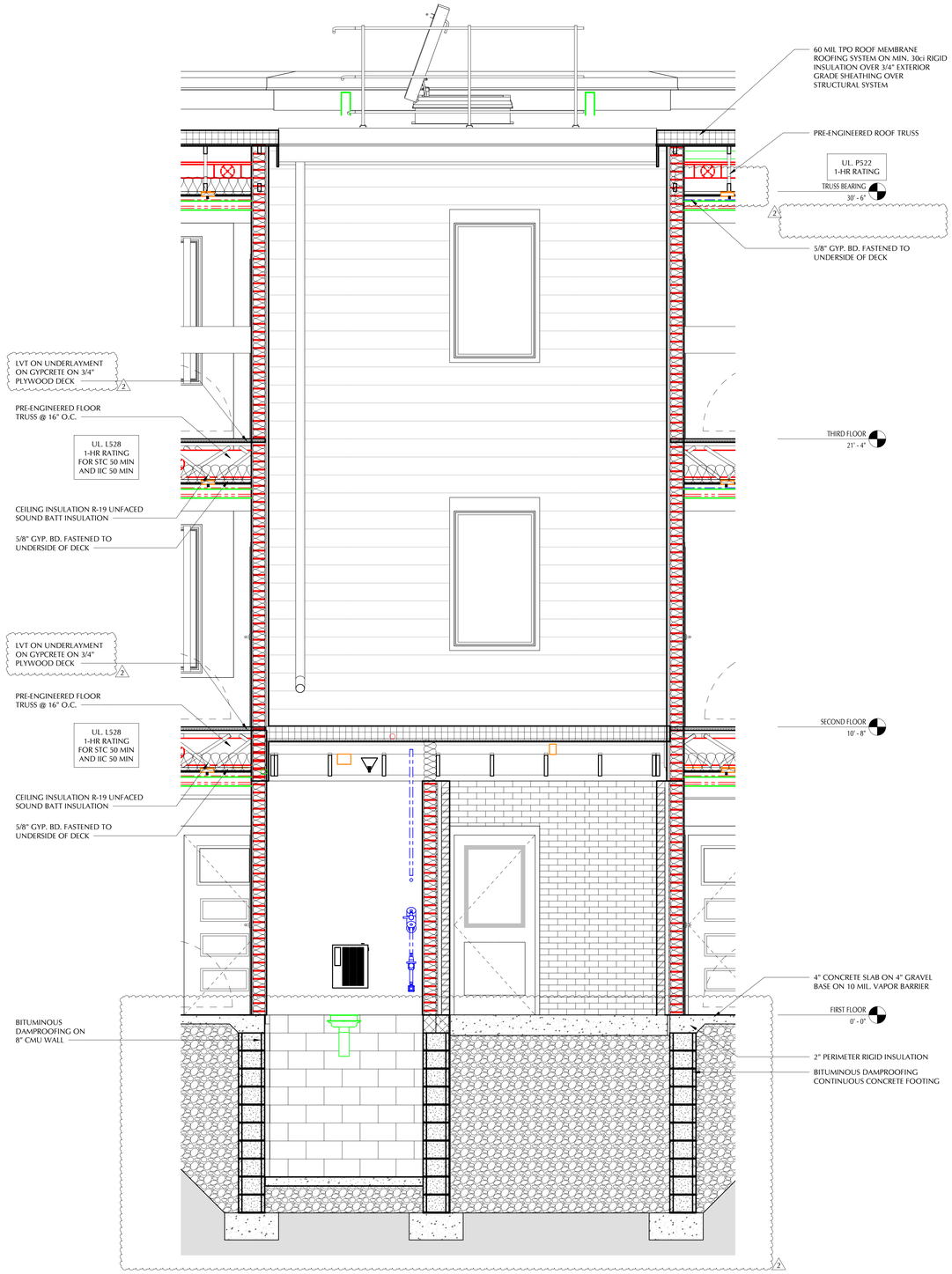

2 TH6.A4.5 BUILDING 6 - WALL SECTION 10
1/2" = 1'-0"

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Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
BUILDING 6 - WALL SECTIONS

Scale
1/2" = 1'-0"

TH6.A4.5 1

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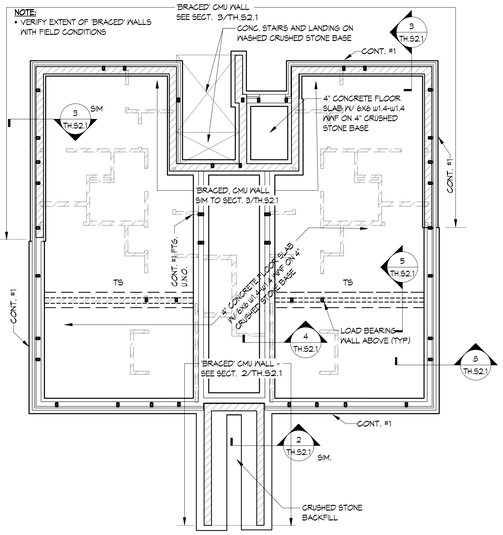
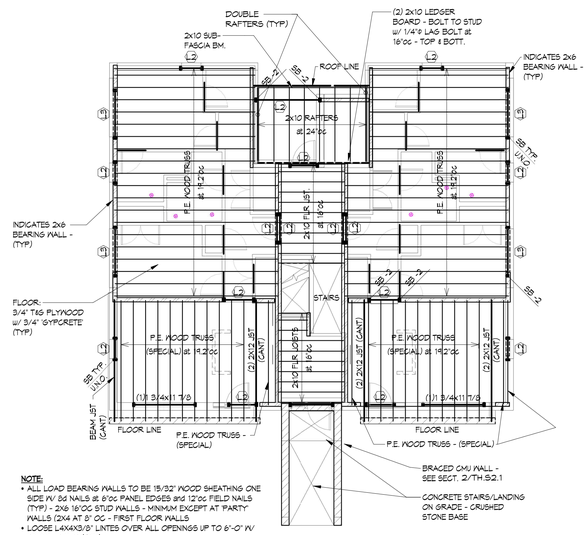


1 TH6.S1.1 B6 - 0-FOUNDATION PLAN
1/8" = 1'-0"

FOUNDATION SCHEDULE				
CONT. #1	2' - 0"	CONT.	1' - 0"	(2) #5 CONT. w/ #5 TRANS. @ 48"O.C., TOP AND BOTTOM

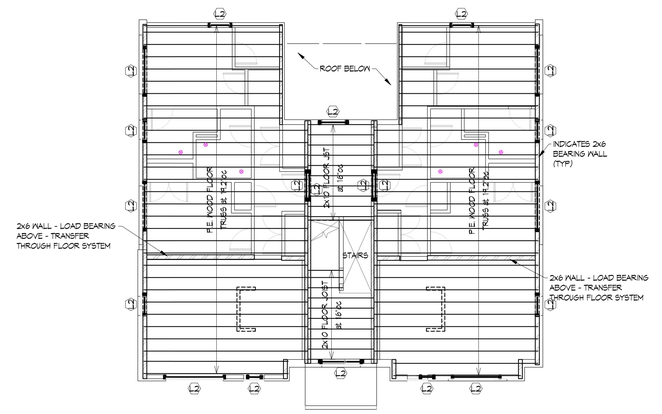
RETAINING WALL FOOTING SCHEDULE					
MARK	WIDTH	DEPTH	TOE LENGTH	HEEL LENGTH	REINFORCING
RET. #1	3' - 11 5/8"	1' - 0"	1' - 0"	2' - 0"	(4) #5 CONT. TOP & BOTT. w/ #4 @16" TRANS. AT TOP AND BOTTOM



NOTE:
• ALL LOAD BEARING WALLS TO BE 15/32" WOOD SHEATHING ONE SIDE W/ 8d NAILS @ 6"OC PANEL EDGES and 12"OC FIELD NAILS (TYP) - 2x6 16"OC STUD WALLS - MINIMUM EXCEPT AT 'PARTY' WALLS (2x4 AT 8' OC - FIRST FLOOR WALLS
• LOOSE L4X4X3/8" LINTES OVER ALL OPENINGS UP TO 6'-0" W/ BRICK ABOVE (TYP)
• COORDINATE LAYOUT OF TRUSS WITH FLOOR DRAINS AND MECHANICAL DRAWINGS (AVOID CONFLICTS)
• ALL LINTES at NON-LOAD BEARING WALLS TO BE (2) 2x8 (U.N.O.)

LINTEL SCHEDULE	
L1	(2) 2X10
L2	(2) 2X12
L3	(3) 2X12 P.T.
L4	(2) 2X6

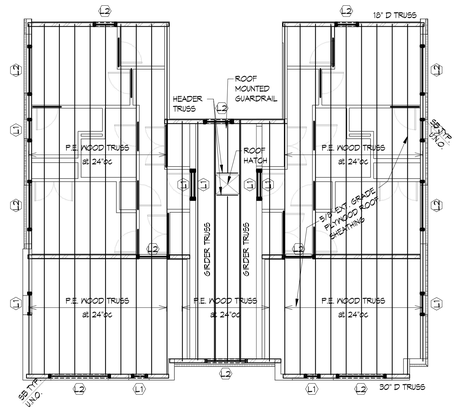
2 TH6.S1.1 B6 - 2ND FLOOR FRAMING PLAN
1/8" = 1'-0"



NOTE:
• ALL LOAD BEARING WALLS TO BE 15/32" WOOD SHEATHING ONE SIDE W/ 8d NAILS @ 6"OC PANEL EDGES and 12"OC FIELD NAILS (TYP) - 2x6 16"OC STUD WALLS - MINIMUM EXCEPT AT 'PARTY' WALLS (2x4 AT 8' OC - FIRST FLOOR WALLS
• LOOSE L4X4X3/8" LINTES OVER ALL OPENINGS UP TO 6'-0" W/ BRICK ABOVE (TYP)
• COORDINATE LAYOUT OF TRUSS WITH FLOOR DRAINS AND MECHANICAL DRAWINGS (AVOID CONFLICTS)
• ALL LINTES at NON-LOAD BEARING WALLS TO BE (2) 2x8 (U.N.O.)

3 TH6.S1.1 B6 - 3RD FLOOR FRAMING PLAN
1/8" = 1'-0"

REVISION 2 =
• REVISED FOUNDATION/FRAMING BASED ON REVISED GRADING PLAN. MINOR REVISIONS TO UNIT FRAMING PLANS FOR ADA COMPLIANCE



NOTE:
• ALL LOAD BEARING WALLS TO BE 2X6 AT 16"OC STUD WALLS - MINIMUM
• MINIMUM ROOF TRUSS DEPTH AT LOW END = 18" and SLOPE at 1/4" FT COORDINATE WITH ARCHITECTURAL DRAWINGS
• COORDINATE LAY-OUT OF ROOF TRUSS with ROOF HATCH AND MECHANICAL UNITS
• ALL LINTES at NON-LOAD BEARING WALLS TO BE (2) 2x8 (U.N.O.)

4 TH6.S1.1 B6 - ROOF FRAMING PLAN
1/8" = 1'-0"

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△	Date	Description
2	5.22.2020	Revision 2

ROBERT H. HOUSER REGISTERED ENGINEER AGRICULTURE 5-14-2020 No. 100591 State of Tennessee

Seal / Signature

100% CONSTRUCTION DOCUMENTS 05.06.2020

Project Name
AUSTIN HOMES - PHASE 1A

Project Number
193076

Description
BLDG 6 STRUCTURAL PLANS

Scale
As indicated

TH6.S1.1

B6

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ROOF PLAN NOTES

1. PRIOR TO INSTALLING DOWNSPOUTS, COORDINATE WITH ARCHITECT FOR EXACT LOCATIONS WITH BUILT CONDITIONS. LOCATIONS INDICATED ARE SUBJECT TO CHANGE AND TO BE COORDINATED WITH DOORS, WINDOWS, ENTRANCE STOOPS, ETC.
2. PROVIDE PRE-FINISHED ALUMINUM GUTTERS AND DOWNSPOUTS AT SHOWN LOCATIONS EXCEPT WHERE INDICATED ON SITE PLAN TO BE TIED INTO STORM SEWER.
3. CONT. PRE-FIN. ALUM. GUTTERS W/ SUPPORTS @ 3'-0" O.C. TYP., GUTTERS TO BE 0.027". COLOR TO BE SELECTED BY OWNER AND ARCHITECT.
   A. FRONT 'STREET SIDE' ENTRANCE ROOFS TO HAVE 6" HALF ROUND GUTTERS
   B. ALL OTHER GUTTERS TO BE 6" BOX STYLE GUTTERS
4. PRE-FINISHED ALUMINUM DOWNSPOUTS W/ STRAP SUPPORTS @ 5'-0" O.C. VERT., TYP., MIN. OF 2 STRAPS PER DOWNSPOUT. DOWNSPOUTS TO BE 0.032". COLOR TO BE SELECTED BY OWNER AND ARCHITECT.
   A. ALL DOWNSPOUTS TO BE 3" ROUND DOWNSPOUTS
5. ALL DOWNSPOUTS TO BE TIED INTO UNDERGROUND STORM WATER SYSTEM. COORDINATE WITH CIVIL PLANS FOR STORMWATER PIPING WITH DOWNSPOUT LOCATIONS. PROVIDE CONNECTION BOOT AS REQUIRED TO CONNECT TO UNDERGROUND STORM WATER SYSTEM.
6. DOWNSPOUTS FROM UPPER ROOFS SPILLING ON LOWER ROOF LEVELS TO HAVE A SPLASH PAD UNDER DOWNSPOUT.
7. PROVIDE VENTS THROUGH ROOF AS INDICATED FOR PLUMBING SYSTEMS. LOCATIONS TO BE NO CLOSER THAN 5'-0" TO PARAPET CONDITION AND NO CLOSER THAN 10'-0" TO ANY AIR INTAKE.
8. VENT PIPE, ROOF PENETRATIONS AND REFRIGERANT LINES NOT SHOWN FOR CLARITY.
9. VERIFY EXACT NUMBER & LOCATION OF ALL VENT PIPES, ROOF PENETRATIONS & REFRIGERANT LINES IN FIELD. PROVIDE SELF-ADHERING FLASHING AROUND ALL ROOF PENETRATIONS.
10. PROVIDE ALL ROOF ACCESSORIES INCLUDING FLASHING BOOTS, COUNTER FLASHING, DRIP EDGES, COPING, AND ALL OTHER ACCESSORIES REQUIRED TO PROVIDE A WATER TIGHT ROOF SYSTEM THAT WILL MEET THE ROOF WARRANTY REQUIREMENTS.
11. FOR ROOF PITCHES 4:12 OR GREATER, INSTALL 30# FELT AS UNDERLAYMENT OVER SHEATHING WITH AN ICE AND WATER SHIELD TO EXTEND 18" FROM ALL EDGES. ICE & WATER SHIELD TO BE AT ALL VALLEYS 36" WIDE. FOR ROOF PITCHES LESS THAN 4:12, INSTALL ICE AND WATER SHIELD AS UNDERLAYMENT CONTINUOUSLY FROM RIDGE TO EAVE AND FROM EDGE TO EDGE.
12. GROUNDS TO BE CLEANED OR DEBRIS AND NAILS DAILY PRIOR TO LEAVING SITE.
13. PROVIDE CONT. STEP FLASHING @ ALL SLOPED WALL/ROOF CONNECTION, TYP.
14. 1011.13 GUARDS. WHERE THE ROOF HATCH OPENING IS LOCATED WITHIN 10 FEET OF THE ROOF EDGE, SUCH ROOF ACCESS OR ROOF EDGE SHALL BE PROTECTED BY GUARDS INSTALLED IN ACCORDANCE WITH IBC 2018, SECTION 1015.
15. 1015.6 MECHANICAL EQUIPMENT, SYSTEMS AND DEVICES. | 1015.7 ROOF ACCESS. GUARDS SHALL BE PROVIDED WHERE VARIOUS COMPONENTS THAT REQUIRE SERVICE ARE LOCATED WITHIN 10 FEET OF A ROOF EDGE. THE GUARD SHALL EXTEND NOT LESS THAN 30 INCHES BEYOND EACH END OF SUCH COMPONENTS. THE GUARD SHALL BE CONSTRUCTED SO AS TO PREVENT THE PASSAGE OF A SPHERE 21 INCHES IN DIAMETER. BASIS OF DESIGN - KEEGUARD SAFETY RAIL SYSTEM; SEE IMAGE 18/TH.G3.1
16. AT ALL ROOFTOP EQUIPMENT, ROOF HATCHES, ETC., PROVIDE TAPERED RIGID INSULATION SADDLE TO SLOPE AWAY AND AROUND FOR POSITIVE WATER FLOW.
17. PROVIDE ROOF WALK PADS AS REQUIRED TO ACCESS ALL ROOFTOP EQUIPMENT AND PENETRATIONS FROM ROOF HATCH. SEE WALKPAD DETAIL.

o D.S.	ROUND DOWNSPOUT
-------	DASHED LINE INDICATES EXTENDING ROOF MEMBRANE UP WALL A MINIMUM OF 8" OR PER MANUFACTURER'S SPECIFICATIONS. REFER TO TYPICAL ROOF DETAIL SHEET FOR TERMINATION DETAILS. • AT BRICK - MEMBRANE TO EXTEND UP THE EXTERIOR FACE OF BRICK W/ TERMINATION BAR AND COUNTERFLASHING IN THE GROUT JOINT OF BRICK, WITH SEALANT. • AT SIDING - MEMBRANE TO EXTEND UNDER EXTERIOR SHEATHING W/ COUNTERFLASHING.
	CRICKET PLACED ON HIGH SIDE FOR POSITIVE DRAINAGE AROUND OBJECT (OR) IN LOW SIDE OF CORNER TO CREATE POSITIVE DRAINAGE
	PROTECTION WALK PAD. PLACE AROUND PERIMETER OF ROOF HATCH

BLDG 7 - ROOF DRAIN CALCS

MAIN "FLAT" ROOF (SPLIT IN 3 AREAS FOR DRAINAGE CALCS)
- AREA 1: 924 SF
- AREA 2: 328 SF
- AREA 3: 644 SF

ENTRANCE ROOF OVERHANGS
- AREA 4: 132 SF + AREA 2 = 460 SF
- AREA 5: 49 SF

FIGURE 1106.1 (EASTERN UNITED STATES)
KNOXVILLE, TENNESSEE FALLS APPROX. ON THE 3.25" (ROUNDED UP TO 4.0" PER ENGINEERS RECOMMENDATION)

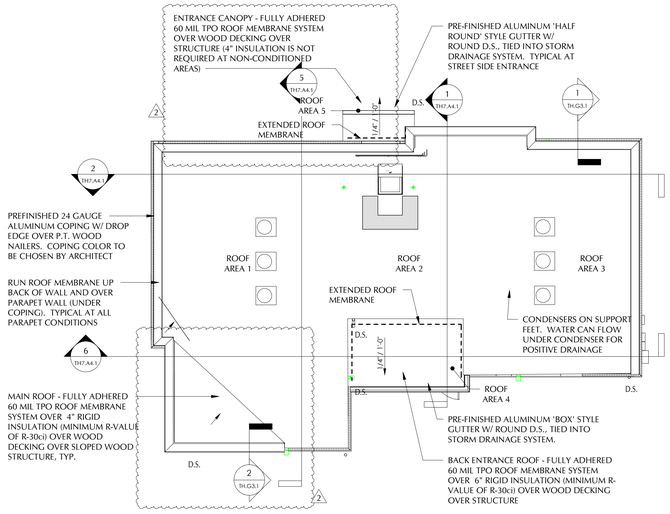
RAINFALL CONVERSION DATA
4.0" RAINFALL = .0416 G.P.M. PER S.F. (MULTIPLIER TO USE)
- AREA 1: 924 SF x .0416 = **38.4 gpm**
- AREA 2: 328 SF x .0416 = **13.6 gpm**
- AREA 3: 644 SF x .0416 = **26.8 gpm**
- AREA 4: 460 SF x .0416 = **19.1 gpm**
- AREA 5: 49 SF x .0416 = **2.0 gpm**

FIGURE 1106.3 (VERTICAL LEADER SIZING)
- 3" ROUND DOWNSPOUTS ARE SHOWN TO MEET SIZE AND QUANTITY REQUIREMENTS

FIGURE 1106.6 (HORIZONTAL GUTTER SIZING)
- STREET ENTRANCE CANOPY – 5" HALF ROUND GUTTER AT 1/8" SLOPE SHOWN TO MEET SIZE AND SLOPE REQUIREMENTS
- ALL OTHER ROOFS – 5" BOX GUTTER AT 1/4" SLOPE SHOWN TO MEET SIZE AND SLOPE REQUIREMENTS

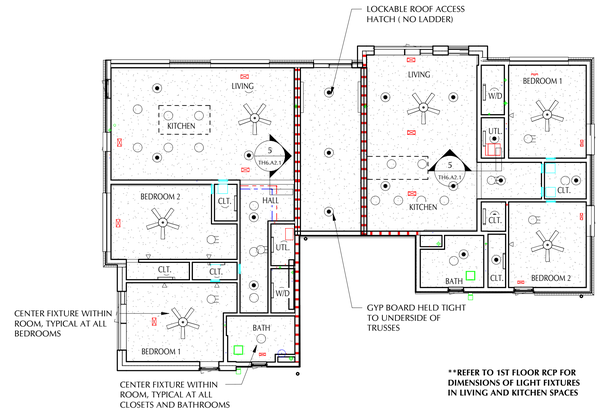
** CALCULATIONS TAKEN FROM INTERNATIONAL PLUMBING CODE 2018, SECTION 1105 & 1106 FOR ROOF DRAINS, SIZE OF CONDUCTORS, LEADERS AND STORM DRAINS

**CONTRACTOR TO VERIFY SQUARE FOOTAGES FOR PRICING. AREAS SHOWN ARE FOR CODE DRAINAGE CALCULATIONS ONLY.

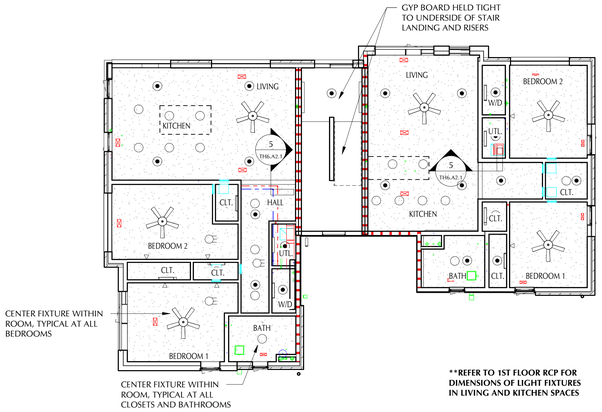


4 TH7.A2.1 BUILDING 7 - ROOF PLAN
1/8" = 1'-0"

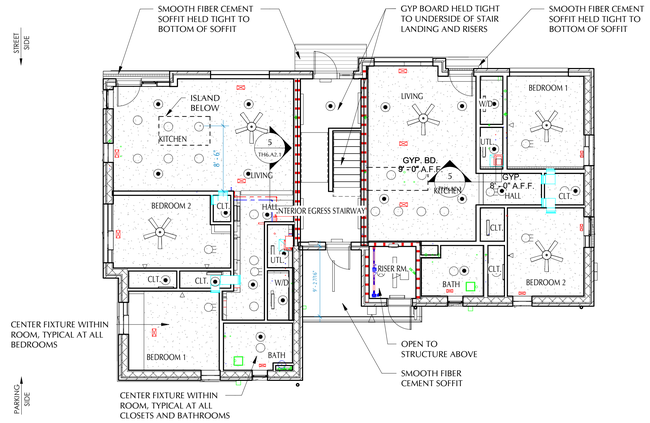
BUILDING SECTIONS SHOWN ON ROOF PLAN ONLY FOR CLARITY



3 TH7.A2.1 BUILDING 7 - 3RD FLOOR RCP
1/8" = 1'-0"



2 TH7.A2.1 BUILDING 7 - 2ND FLOOR RCP
1/8" = 1'-0"



1 TH7.A2.1 BUILDING 7 - 1ST FLOOR RCP
1/8" = 1'-0"

REFLECTED CEILING PLAN NOTES

1. THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE REFLECTED CEILING PLANS WITH THE ELECTRICAL LIGHTING PLANS, MECHANICAL PLANS, AND FIRE PROTECTION PLANS. GENERAL CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY ERROR, INCONSISTENCY OR OMISSION THAT IS DISCOVERED.
2. ALL SOFFITS AND CEILING HEIGHTS INDICATED SHALL BE MEASURED FROM BOTTOM OF FINISH MATERIAL TO FINISH FLOOR ELEVATION DIRECTLY BELOW.
3. ALL DIMENSIONS SHOWN ON REFLECTED CEILING PLANS ARE FINISHED DIMENSIONS.
4. THE CONTRACTOR SHALL VERIFY THAT ACCESS PANELS OF APPROPRIATE SIZE AND TYPE ARE INSTALLED IN GYPSUM BOARD CEILING ASSEMBLIES, SOFFITS, AND IN OTHER NON-ACCESSIBLE TYPE AREAS WHERE ACCESS, SERVICE OR ADJUSTMENT TO MECHANICAL, PLUMBING OR ELECTRICAL ITEMS MAY BE REQUIRED. ACCESS PANELS SHALL BE FIRE RATED EQUAL TO ANY RATING OF THE CEILING OR SOFFIT IN WHICH THEY OCCUR.
5. ONLY CEILING MOUNTED EXIT LIGHTING IS SHOWN ON THE REFLECTED CEILING PLANS. SEE ELECTRICAL DRAWINGS FOR LOCATIONS OF WALL MOUNTED EXIT LIGHTING.
6. SEE THE ELECTRICAL DRAWINGS AND / OR THE COMMUNICATIONS DRAWINGS FOR LOCATIONS OF CEILING MOUNTED SMOKE DETECTORS, SPEAKERS, FIRE ALARM DEVICES, ETC.
7. CONTRACTOR TO COORDINATE WITH ARCHITECT AND OWNER ALL FIXTURE SELECTIONS AND FINISHES PRIOR TO INSTALLATION.
8. COORDINATE WITH APPLICABLE NOTES AND DIMENSIONS ON OTHER SHEETS.
9. EXTEND GYPSUM BOARD WALL CONSTRUCTION TO UNDERSIDE OF ROOF / FLOOR DECK IN AREAS WITHOUT FINISHED CEILINGS TYPICAL.
10. SEE FIRE PROTECTION SHEETS FOR SPRINKLER HEAD LOCATIONS.
11. PROVIDE STRUCTURAL SUPPORT FOR CEILING MOUNTED EQUIPMENT AS REQUIRED.
12. ALL GYPSUM BOARD CEILINGS IN WET AREAS SHALL BE MOISTURE RESISTANT GYPSUM BOARD
13. PROVIDE CEILING CONTROL JOINTS AS INDICATED. ALL CEILINGS OVER 900 SF TO RECEIVE PERIMETER RELIEF JOINTS.
14. ALL CEILINGS IN WET AREAS TO BE MOISTURE RESISTANT GYP. BOARD.
15. ALL CEILINGS IN LIVING UNITS TO BE HELD TIGHT TO UNDERSIDE OF STRUCTURE UNLESS NOTED OTHERWISE.
16. COORDINATE LOCATIONS OF FIRE ALARMS, SMOKE DETECTORS WITH LIGHT FIXTURES, HVAC DIFFUSERS / RETURNS AND SPRINKLER HEADS.
17. CENTER SINGLE LIGHT FIXTURES IN LIVING UNIT WITH ROOM, UNLESS NOTED OTHERWISE.
18. REFER TO ELECTRICAL PLAN FOR ATTIC LIGHTING.
19. FLOOR/ CEILING ASSEMBLIES TO MEET A MINIMUM STC RATING OF 50. TYPE X GYPSUM BOARD REQUIRED FOR ALL CEILINGS BETWEEN UNITS.

REFLECTED CEILING PLAN LEGEND

	SURFACE MOUNTED LIGHT FIXTURE (CEILING)
	WALL OR CEILING MOUNTED FIXTURE (SEE PLAN FOR MOUNTING TYPE)
	PENDANT LIGHT FIXTURE
	CEILING FAN W/ INTEGRAL LIGHT FIXTURE
	SOFFIT / CANOPY RECESSED SLOT FIXTURE
	GYPSUM BOARD CEILING – PAINTED • ± 9'-0" A.F.F. – LIVING, KITCHEN, BEDROOMS (5/8" TYPE X GYP. BD. ON 7/8" HAT CHANNELS FASTENED TO UNDERSIDE OF TRUSSES. • ± 8'-0" A.F.F. – CLOSETS, BATHROOMS, HALLS (5/8" TYPE X GYP. BD. ON 2X FRAMING TO ACHEIVE SOFFIT FOR DUCTS, PIPING, ETC.)
	"STREET SIDE" ENTRANCE CANOPY – METAL SOFFIT - LONGBOARD - COLOR: DARK CHERRY; 6" V-GROOVE
	"PARKING SIDE" BACK ENTRANCE & SOFFITS - SMOOTH FIBER CEMENT SOFFIT; PAINTED
	EXHAUST FAN
	HVAC SUPPLY DIFFUSER (CEILING)
	HVAC RETURN GRILLE (THRU-WALL)
EXIT	EXIT SIGN - REFER TO ELECTRICAL PLANS
	EMERGENCY LIGHT - REFER TO ELECTRICAL PLANS
	SMOKE DETECTOR
	CEILING MOUNTED SPRINKLER HEAD
	WALL MOUNTED SPRINKLER HEAD

B7

KCDC
KNOXVILLE'S COMMUNITY DEVELOPMENT CORPORATION
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△	Date	Description
2	5/26/20	ADDENDUM 1

DARYL R. JOHNSON REGISTERED ARCHITECT STATE OF TENNESSEE 02158 05/26/20

Seal / Signature

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
BUILDING 7 - REFLECTED CEIILING PLAN, ROOF PLAN & NOTES

Scale
As indicated

TH7.A2.1

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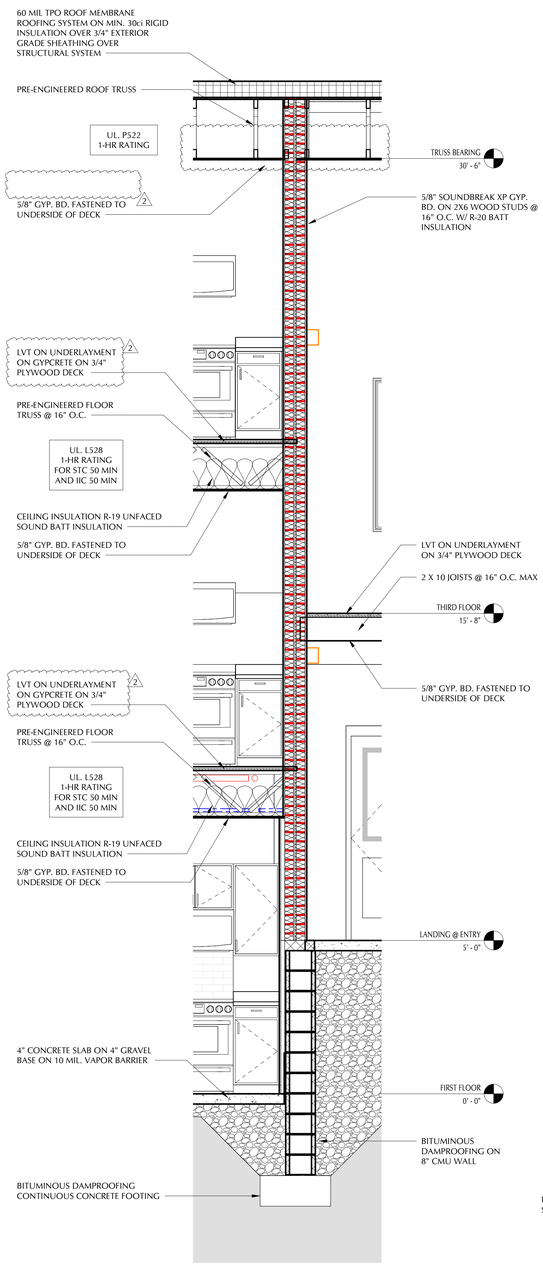
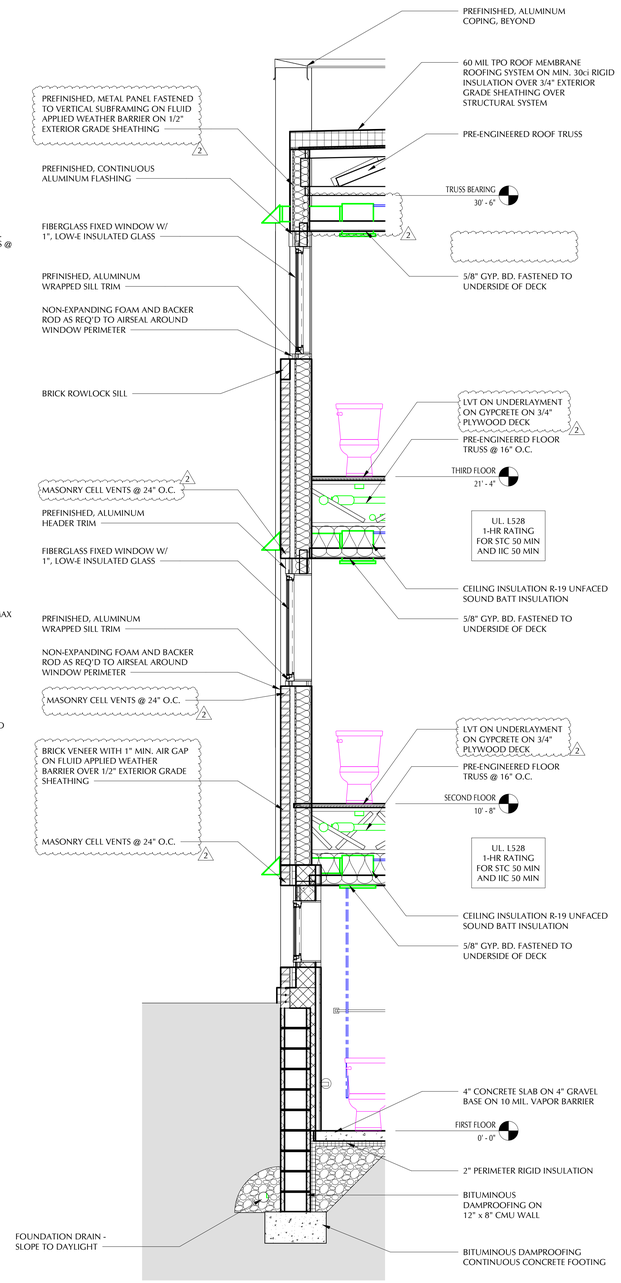
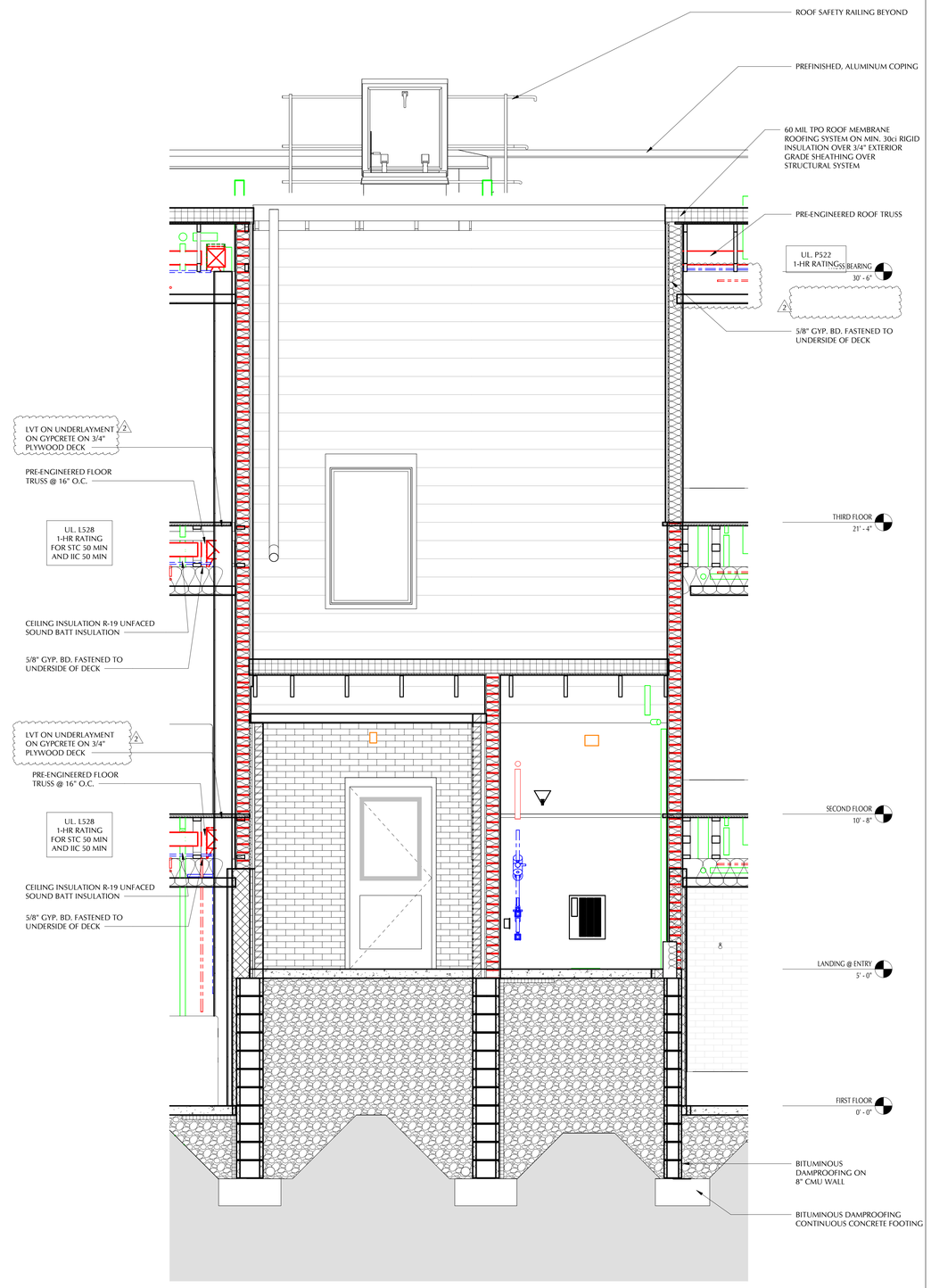


1 BUILDING 7 - WALL SECTION 8
TH7.A4.4
1/2" = 1'-0"



2 BUILDING 7 - WALL SECTION 9
TH7.A4.4
1/2" = 1'-0"



3 BUILDING 7 - WALL SECTION 10
TH7.A4.4
1/2" = 1'-0"

KCDC
KNOXVILLE'S COMMUNITY DEVELOPMENT CORPORATION

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Fax 312.456.0124

△	Date	Description
1	5/06/20	PLANS REVIEW COMMENTS
2	5/26/20	ADDENDUM 1

DARYL R. JOHNSON
REGISTERED ARCHITECT
STATE OF TENNESSEE
05/26/2020

Seal / Signature

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
BUILDING 7 - WALL SECTIONS

Scale
1/2" = 1'-0"

TH7.A4.4
1

B7

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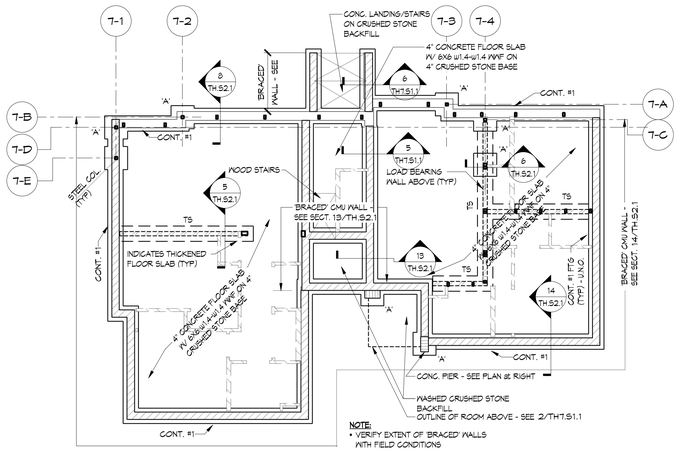
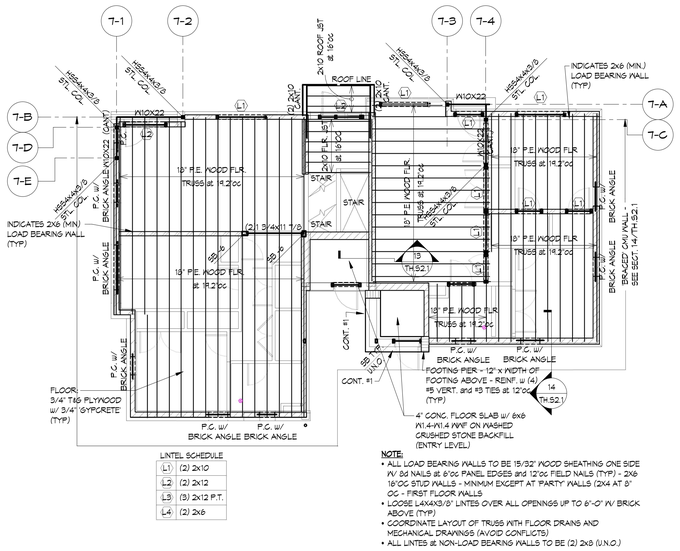


FOUNDATION SCHEDULE				
CONT. #1	2' - 0"	CONT.	1' - 0"	(2) #5 CONT. w/ #5 TRANS. @ 48"O.C., TOP AND BOTTOM

RETAINING WALL FOOTING SCHEDULE					
MARK	WIDTH	DEPTH	TOE LENGTH	HEEL LENGTH	REINFORCING
RET. #1	3' - 11 5/8"	1' - 0"	1' - 0"	2' - 0"	(4) #5 CONT. TOP & BOTT. w/ #4 @16" TRANS. AT TOP AND BOTTOM

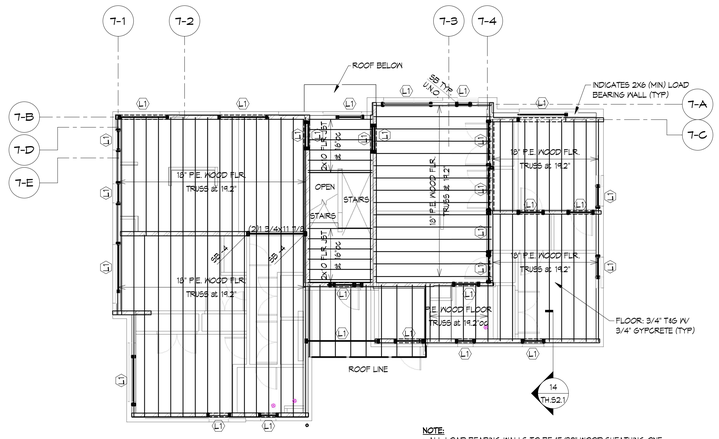
1 TH7.S1.1 B7 - 0-FOUNDATION PLAN
1/8" = 1'-0"



LINTEL SCHEDULE	
L1	(2) 2x10
L2	(2) 2x12
L3	(3) 2x12 P.T.
L4	(2) 2x6

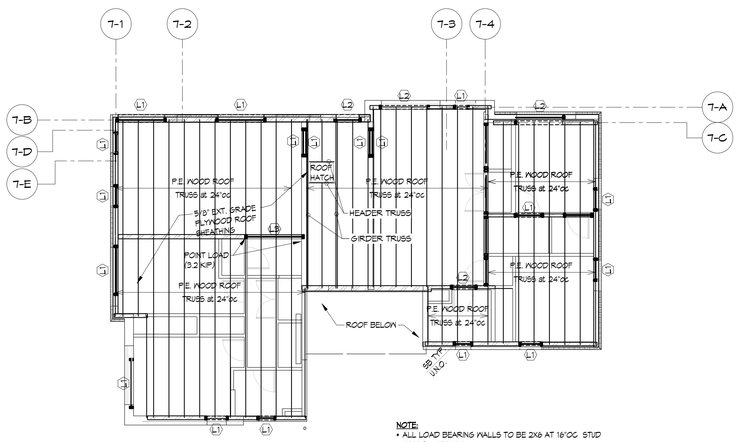
NOTE:
- ALL LOAD BEARING WALLS TO BE 15/32" WOOD SHEATHING ONE SIDE W/ 8d NAILS at 6"oc PANEL EDGES and 12"oc FIELD NAILS (TYP) - 2X6 16"OC STUD WALLS - MINIMUM EXCEPT AT 'PARTY' WALLS (2X4 AT 8" OC - FIRST FLOOR WALLS
- LOOSE L4X4X3/8" LINTES OVER ALL OPENINGS UP TO 6'-0" W/ BRICK ABOVE (TYP)
- COORDINATE LAYOUT OF TRUSS WITH FLOOR DRAINS AND MECHANICAL DRAWINGS (AVOID CONFLICTS)
- ALL LINTES at NON-LOAD BEARING WALLS TO BE (2) 2x6 (U.N.O.)

2 TH7.S1.1 B7 - 2ND FLOOR FRAMING PLAN
1/8" = 1'-0"



NOTE:
- ALL LOAD BEARING WALLS TO BE 15/32" WOOD SHEATHING ONE SIDE W/ 8d NAILS at 6"oc PANEL EDGES and 12"oc FIELD NAILS (TYP) - 2X6 16"OC STUD WALLS - MINIMUM EXCEPT AT 'PARTY' WALLS (2X4 AT 8" OC - FIRST FLOOR WALLS
- LOOSE L4X4X3/8" LINTES OVER ALL OPENINGS UP TO 6'-0" W/ BRICK ABOVE (TYP)
- COORDINATE LAYOUT OF TRUSS WITH FLOOR DRAINS AND MECHANICAL DRAWINGS (AVOID CONFLICTS)
- ALL LINTES at NON-LOAD BEARING WALLS TO BE (2) 2x6 (U.N.O.)

3 TH7.S1.1 B7 - 3RD FLOOR FRAMING PLAN
1/8" = 1'-0"



NOTE:
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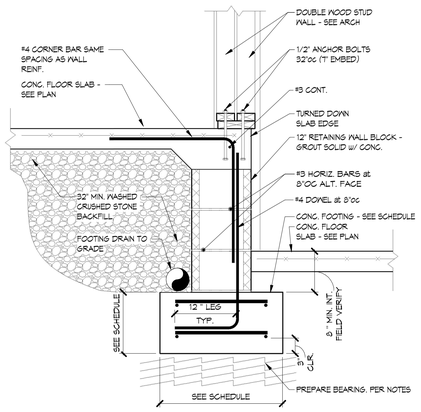
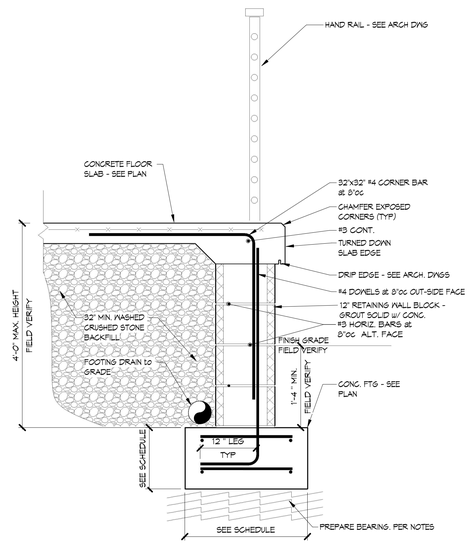
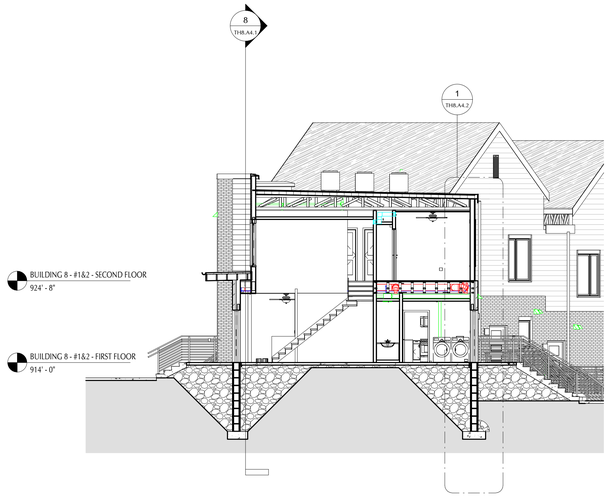
- MINIMUM ROOF TRUSS DEPTH AT LOW END = 24" and SLOPE at 1/4" FT COORDINATE WITH ARCHITECTURAL DRAWINGS
- COORDINATE LAY-OUT OF ROOF TRUSS with ROOF HATCH AND MECHANICAL UNITS
- ALL LINTES at NON-LOAD BEARING WALLS TO BE (2) 2x8 (U.N.O.)

4 TH7.S1.1 B7 - ROOF FRAMING PLAN
1/8" = 1'-0"

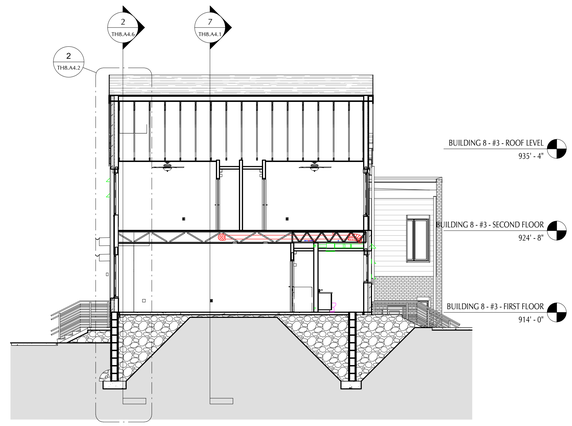


5 TH7.S1.1 SECT. at BRACED CMU WALL - UNIT STEP
0 6" 1 2

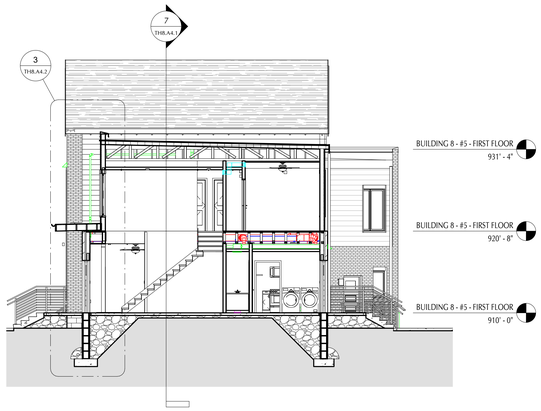

HAND RAIL - SEE ARCH DWG
CONCRETE FLOOR SLAB - SEE PLAN
3'X3'X1/4" ANGLE
3'X3'X1/4" ANGLE
3'X3'X1/4" ANGLE



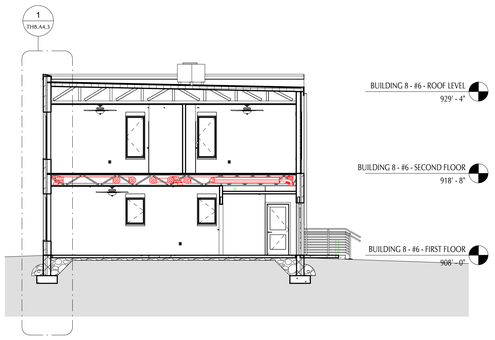
1 TH8.A4.1 BUILDING 8 - BUILDING SECTION 1
1/8" = 1'-0"



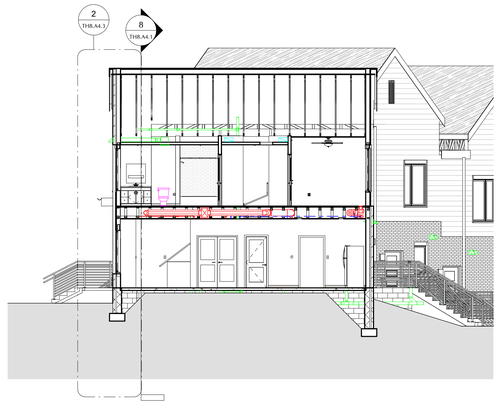
2 TH8.A4.1 BUILDING 8 - BUILDING SECTION 2
1/8" = 1'-0"



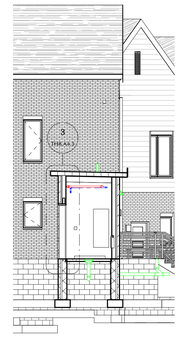
3 TH8.A4.1 BUILDING 8 - BUILDING SECTION 3
1/8" = 1'-0"



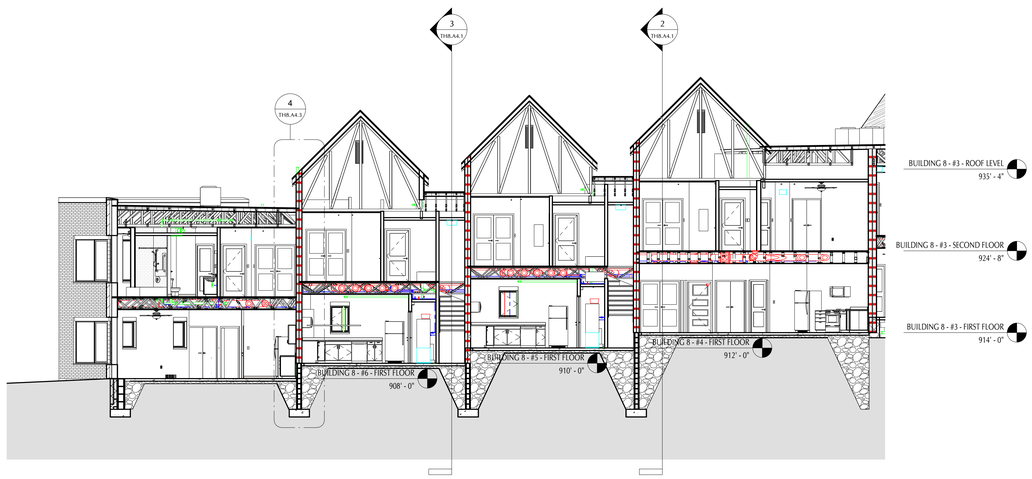
4 TH8.A4.1 BUILDING 8 - BUILDING SECTION 4
1/8" = 1'-0"



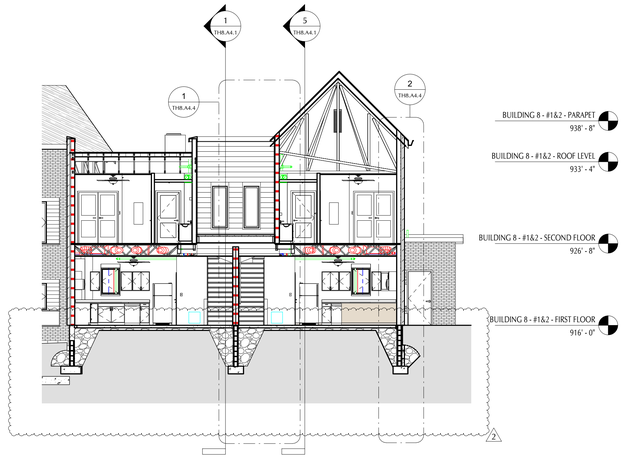
5 TH8.A4.1 BUILDING 8 - BUILDING SECTION 5
1/8" = 1'-0"



6 TH8.A4.1 BUILDING 8 - BUILDING SECTION 6
1/8" = 1'-0"



7 TH8.A4.1 BUILDING 8 - BUILDING SECTION 7
1/8" = 1'-0"



8 TH8.A4.1 BUILDING 8 - BUILDING SECTION 8
1/8" = 1'-0"

B8

KCDC
KNOXVILLE'S COMMUNITY DEVELOPMENT CORPORATION

AUSTIN HOMES REDEVELOPMENT
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△	Date	Description
1	5/06/20	PLANS REVIEW COMMENTS
2	5/26/20	ADDENDUM 1

DARYL R. JOHNSON
REGISTERED
ARCHITECT
102
STATE OF TENNESSEE
05/26/20

Seal / Signature

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
BUILDING 8 - BUILDING SECTIONS

Scale
1/8" = 1'-0"

TH8.A4.1 △1

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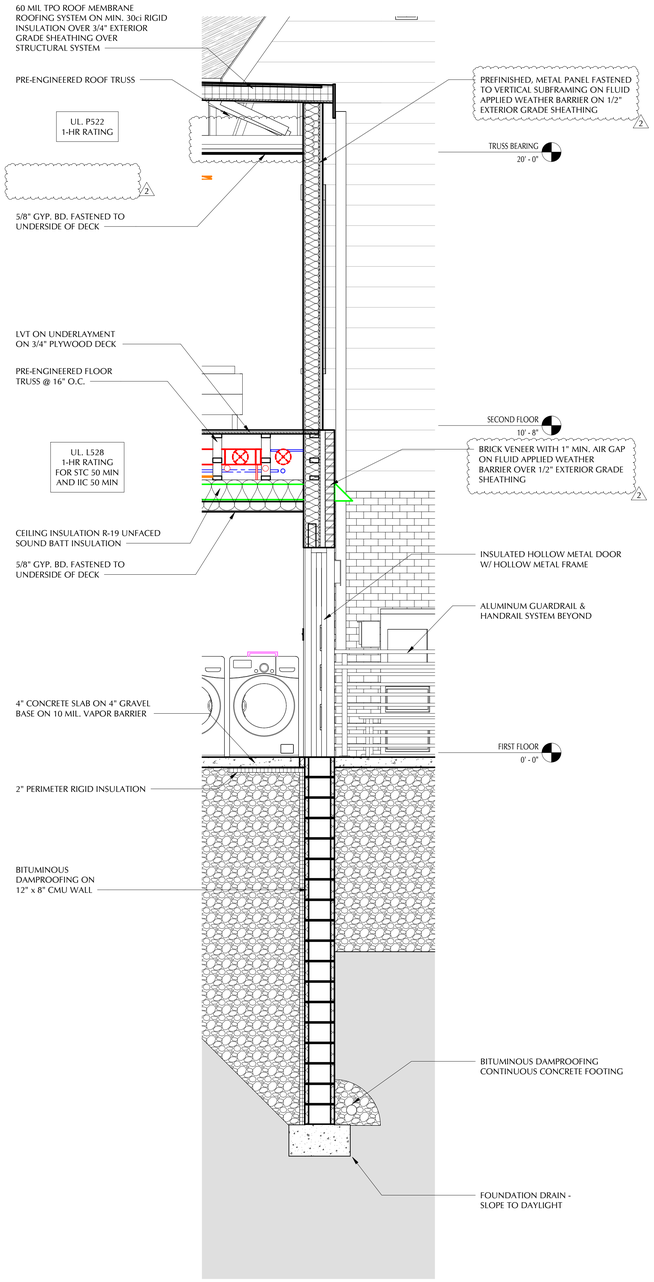
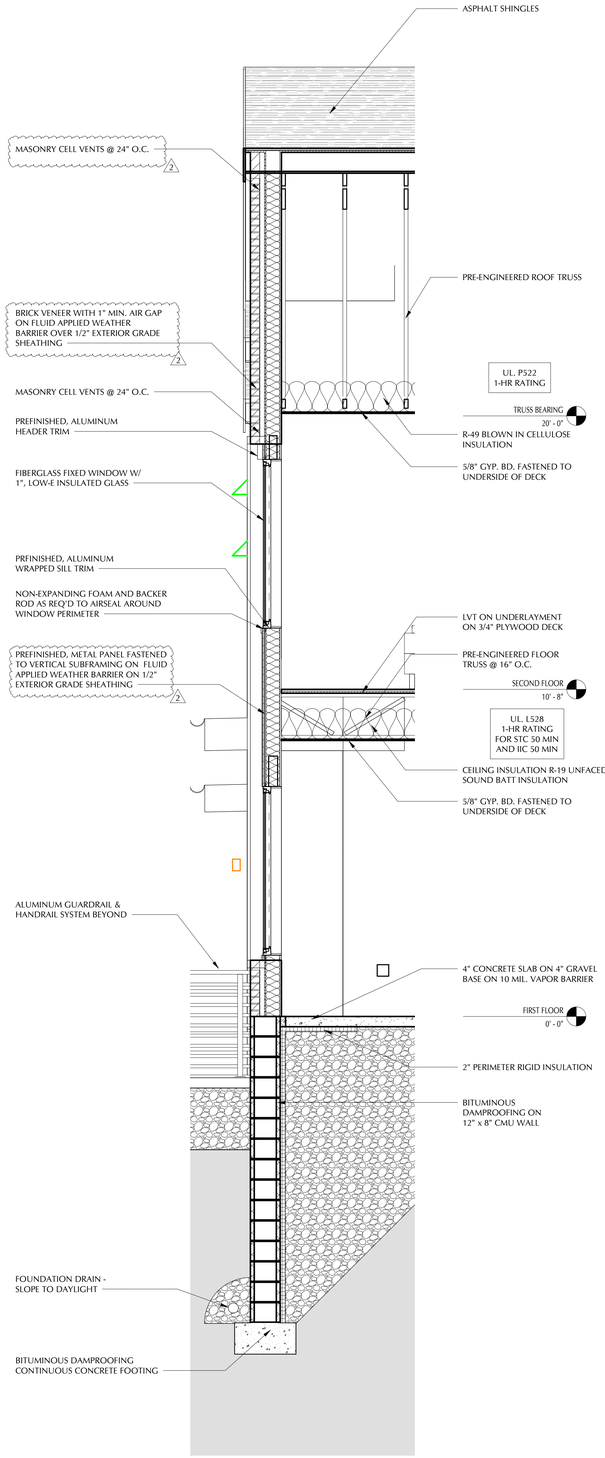


1 TH8.A4.2 BUILDING 8 - WALL SECTION 1
1/2" = 1'-0"



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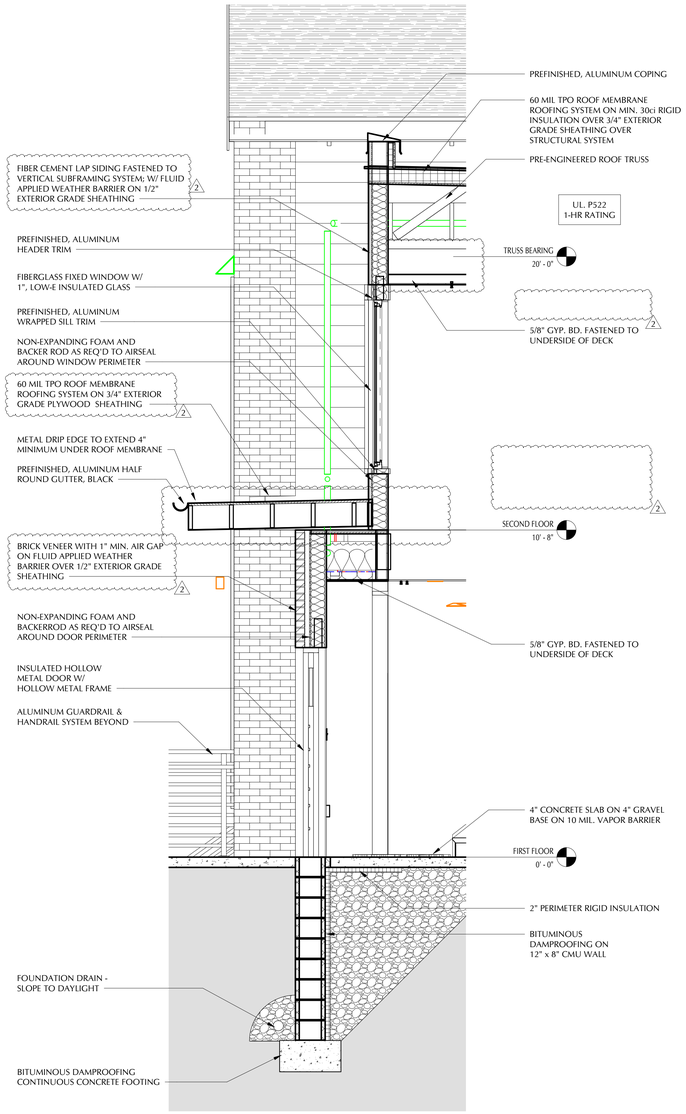

3 TH8.A4.2 BUILDING 8 - WALL SECTION 3
1/2" = 1'-0"

B8

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△	Date	Description
1	5/06/20	PLANS REVIEW COMMENTS
2	5/26/20	ADDENDUM 1

DARYL R. JOHNSON — REGISTERED ARCHITECT — STATE OF TENNESSEE — 05/26/2020

Seal / Signature

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
BUILDING 8 - WALL SECTIONS

Scale
1/2" = 1'-0"

TH8.A4.2

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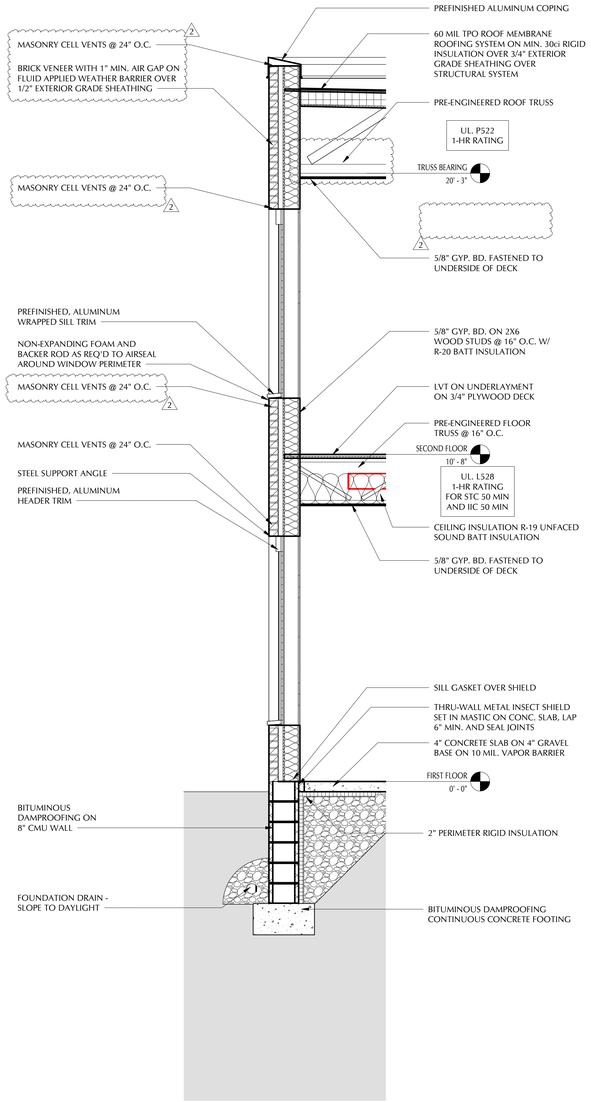

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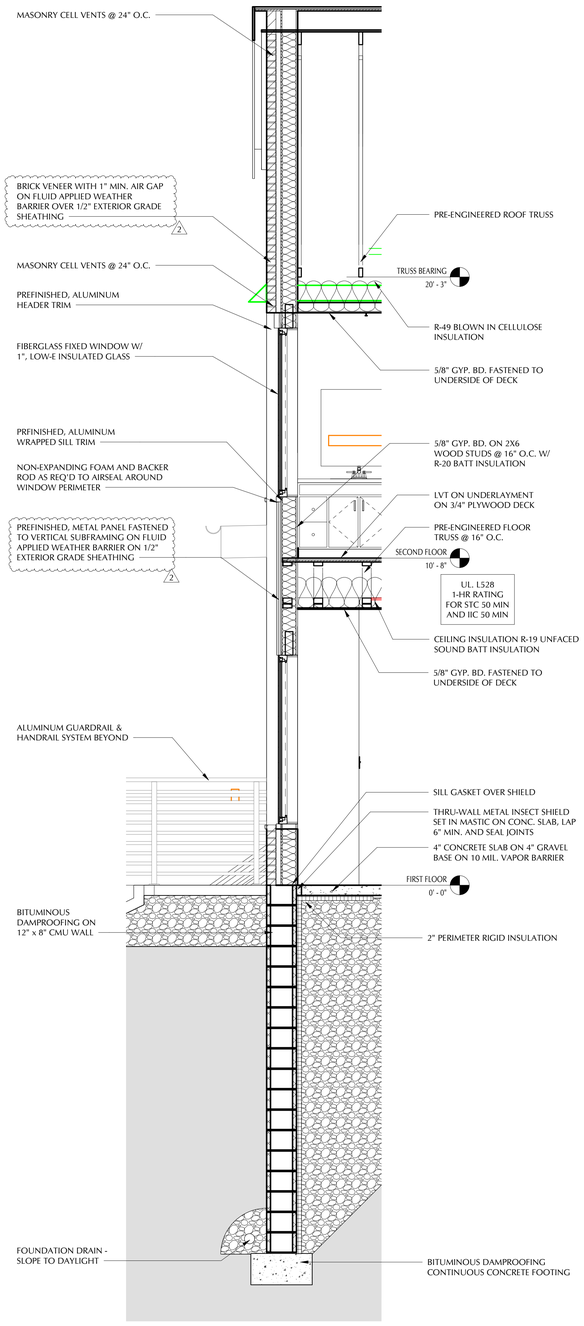
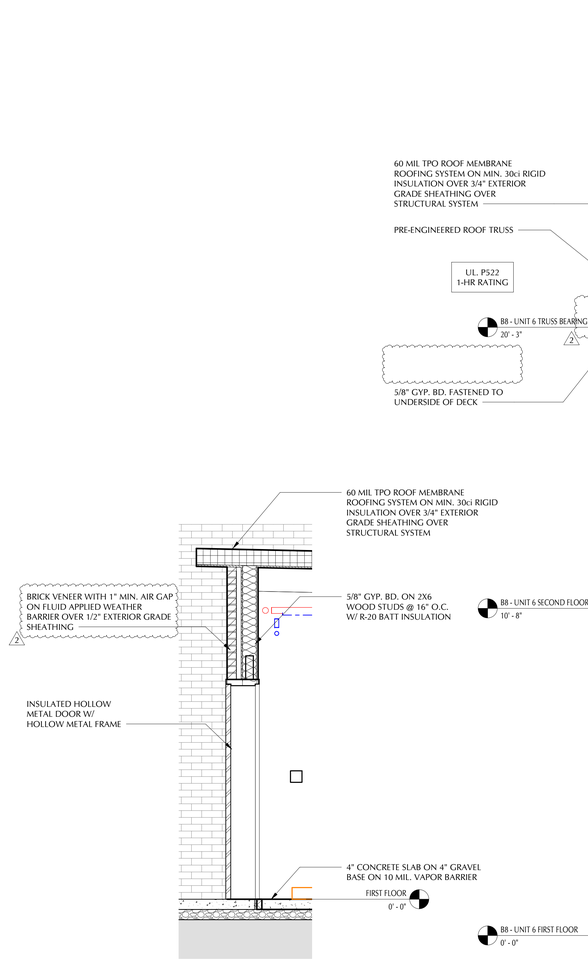


2 TH8.A4.3 BUILDING 8 - WALL SECTION 5
1/2" = 1'-0"



3 TH8.A4.3 BUILDING 8 - WALL SECTION 6
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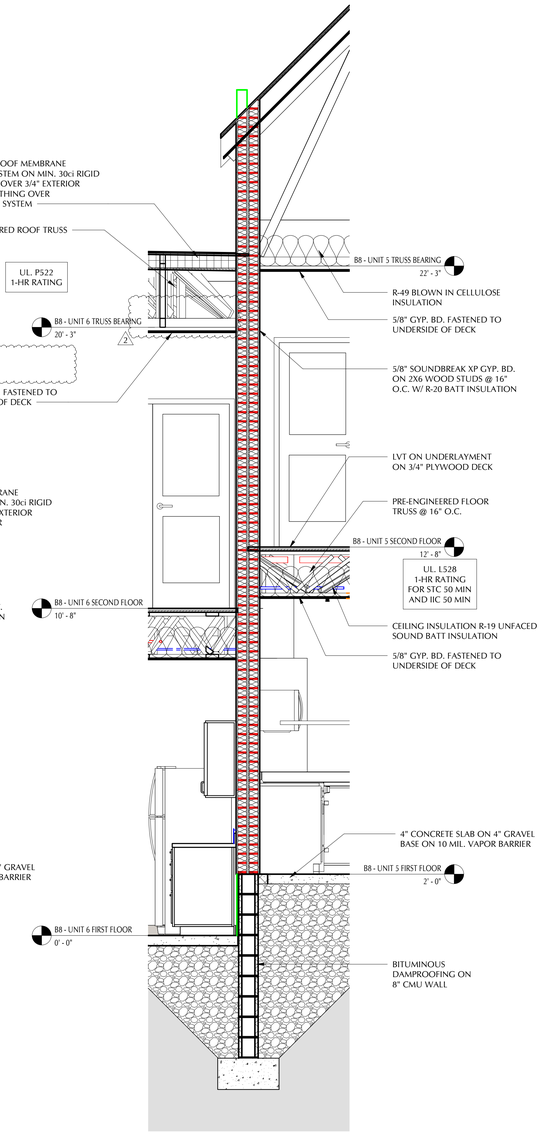

4 TH8.A4.3 BUILDING 8 - WALL SECTION 7
1/2" = 1'-0"

B8

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△	Date	Description
1	5/06/20	PLANS REVIEW COMMENTS
2	5/26/20	ADDENDUM 1

DARYL R. JOHNSON REGISTERED ARCHITECT STATE OF TENNESSEE 05/26/2020

Seal / Signature

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
BUILDING 8 - WALL SECTIONS

Scale
1/2" = 1'-0"

TH8.A4.3 △1

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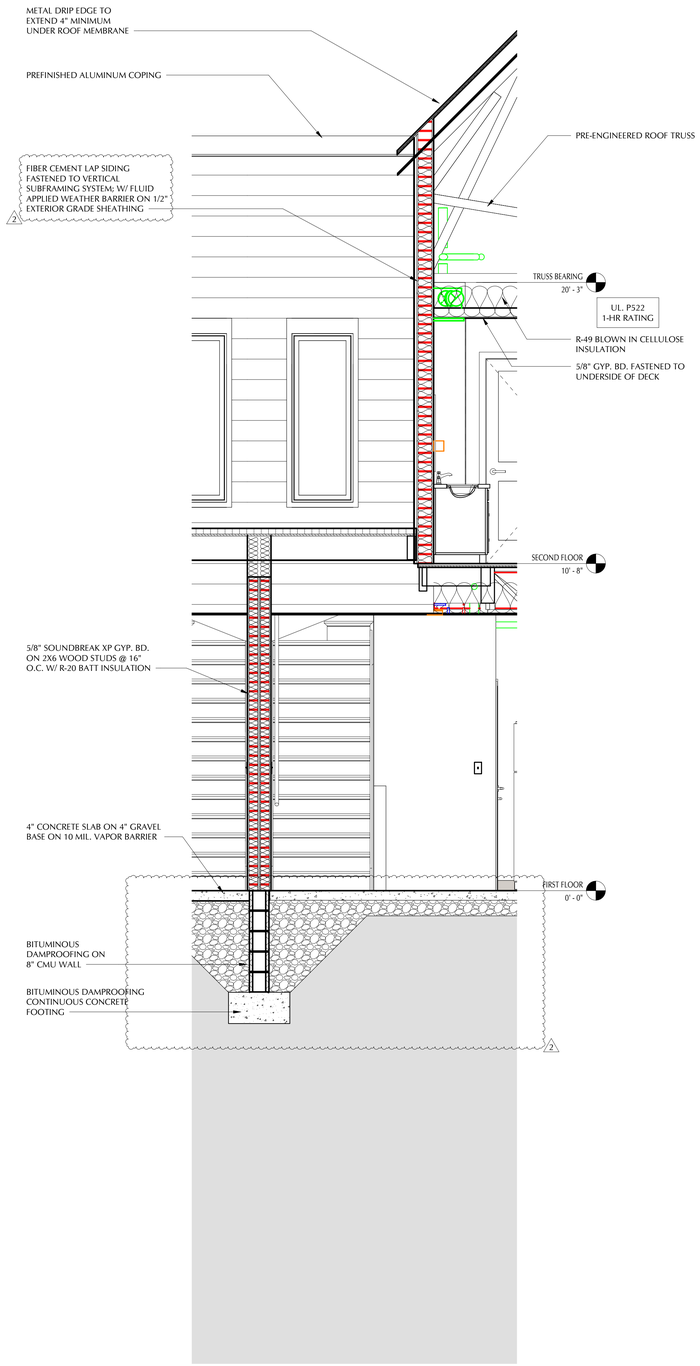

1 TH8.A4.4 BUILDING 8 - WALL SECTION 8
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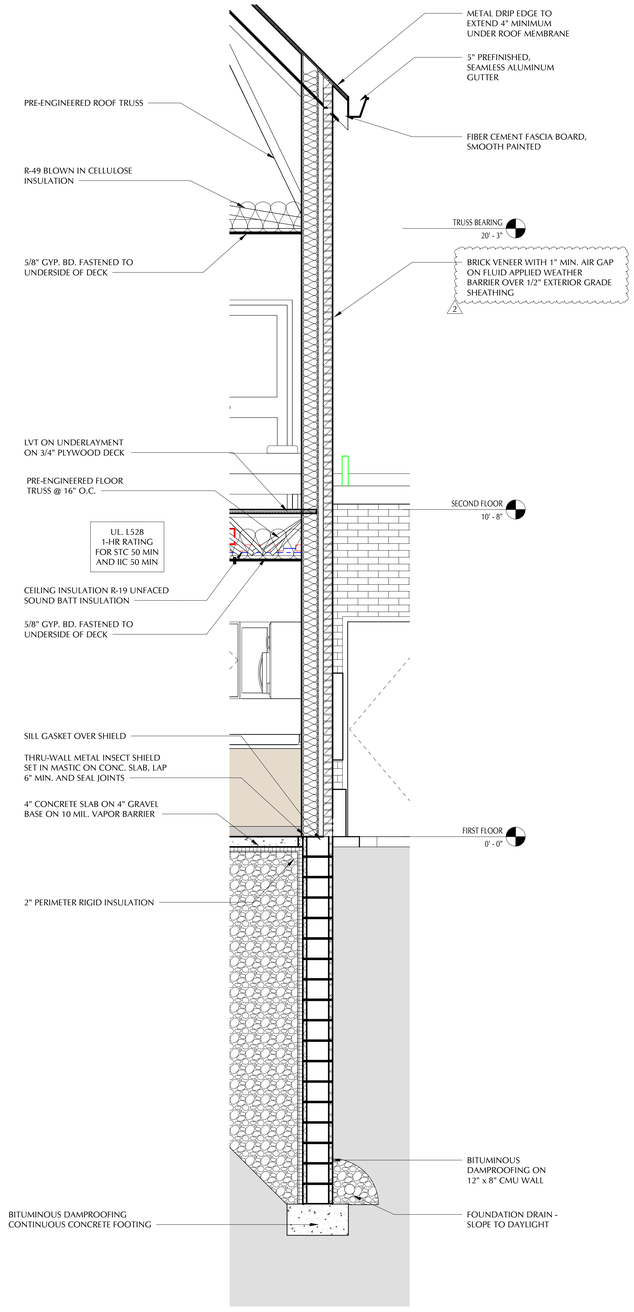

2 TH8.A4.4 BUILDING 8 - WALL SECTION 9
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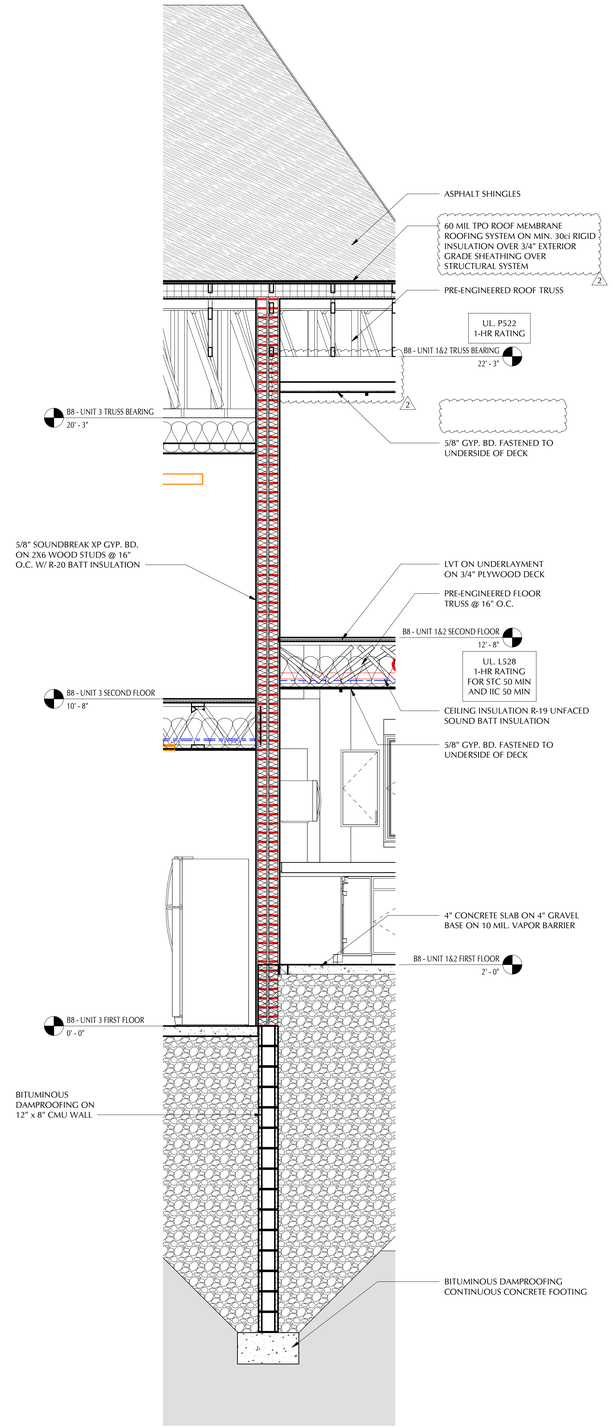

3 TH8.A4.4 BUILDING 8 - WALL SECTION 10
1/2" = 1'-0"

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AUSTIN HOMES REDEVELOPMENT
PHASE 1A
BURGE DRIVE AND HARRIET TUBMAN ST.

△	Date	Description
1	5/06/20	PLANS REVIEW COMMENTS
2	5/26/20	ADDENDUM 1

DARYL R. JOHNSON
REGISTERED ARCHITECT
STATE OF TENNESSEE
05/26/20

Seal / Signature

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
BUILDING 8 - WALL SECTIONS

Scale
1/2" = 1'-0"

TH8.A4.4 1

B8

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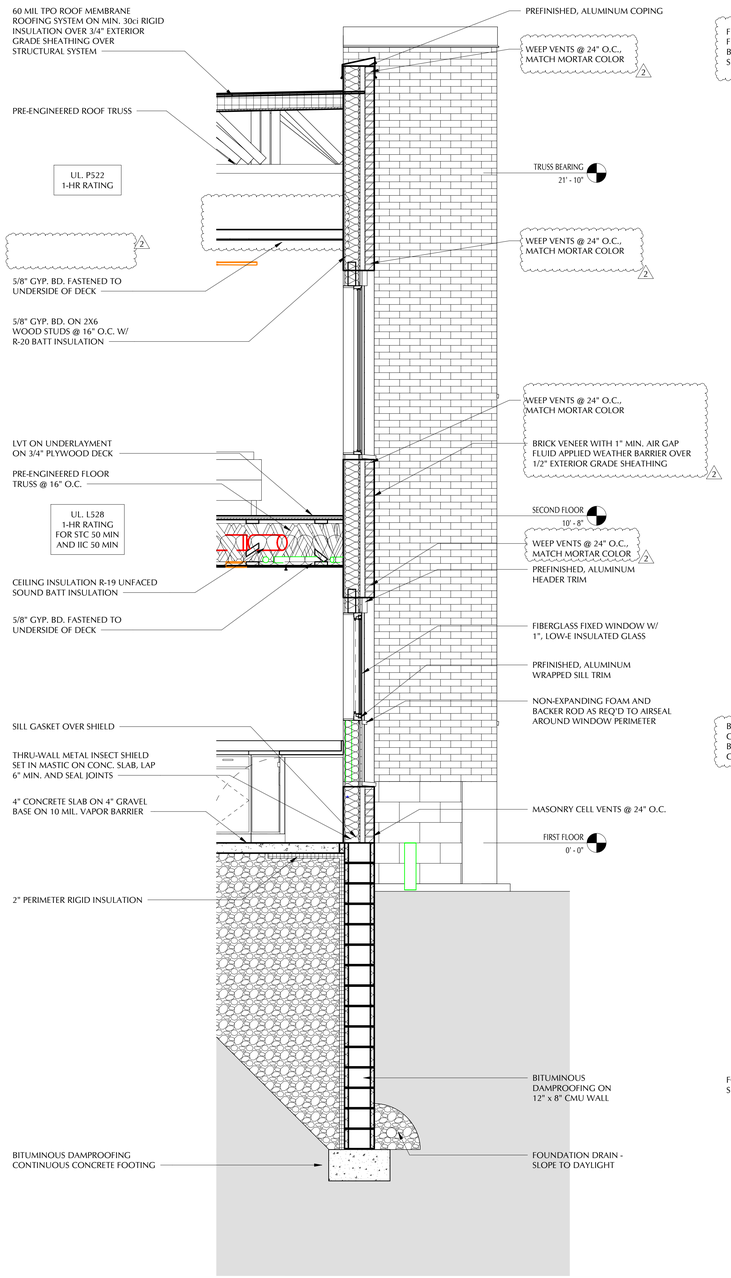

1 TH8.A4.6 BUILDING 8 - WALL SECTION 11
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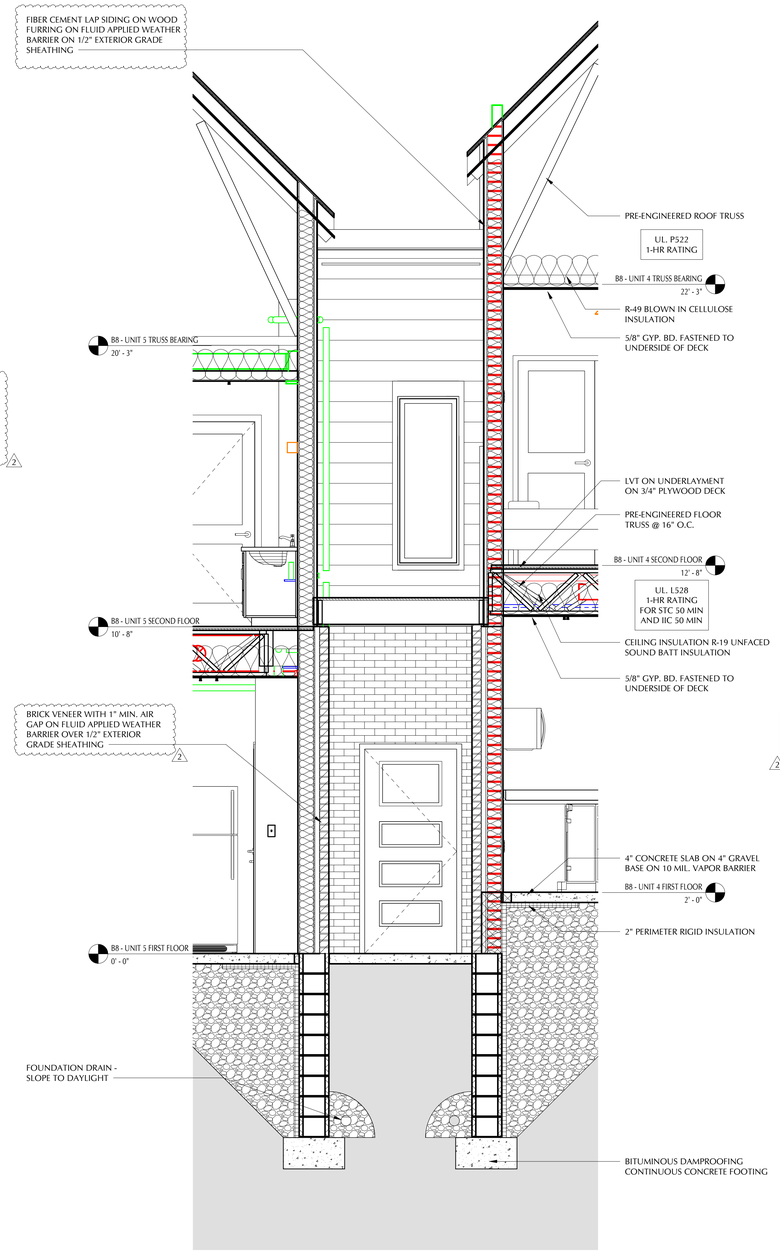

2 TH8.A4.6 BUILDING 8 - WALL SECTION 12
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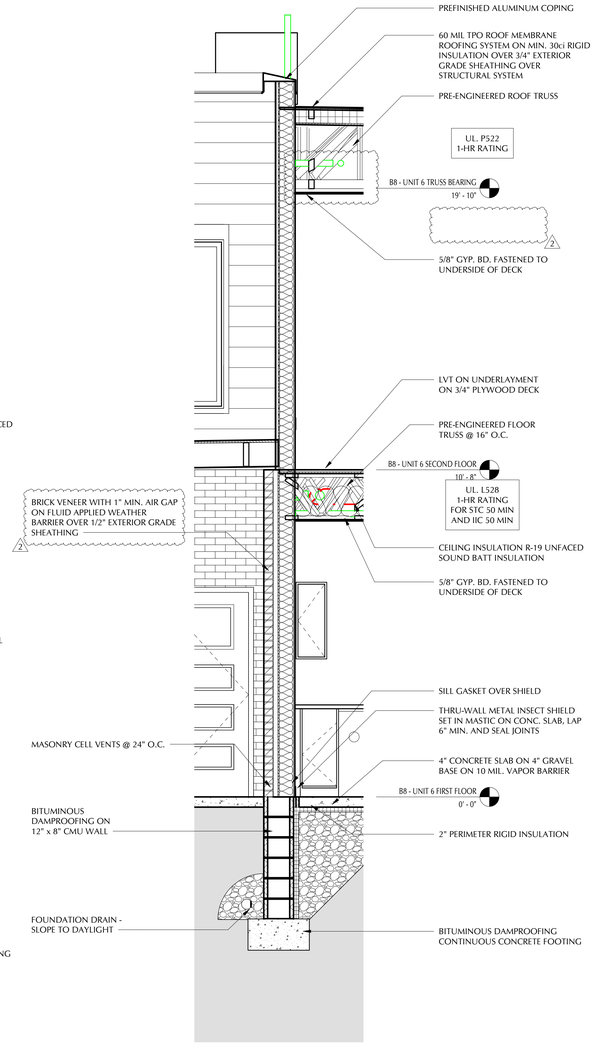

3 TH8.A4.6 BUILDING 8 - WALL SECTION 13
1/2" = 1'-0"

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Tel 312.456.0123
Fax 312.456.0124

△	Date	Description
1	5/06/20	PLANS REVIEW COMMENTS
2	5/26/20	ADDENDUM 1

Seal / Signature

DARYL R. JOHNSON REGISTERED ARCHITECT STATE OF TENNESSEE 05/26/20

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
BUILDING 8 - WALL SECTIONS

Scale
1/2" = 1'-0"

TH8.A4.6 1

B8

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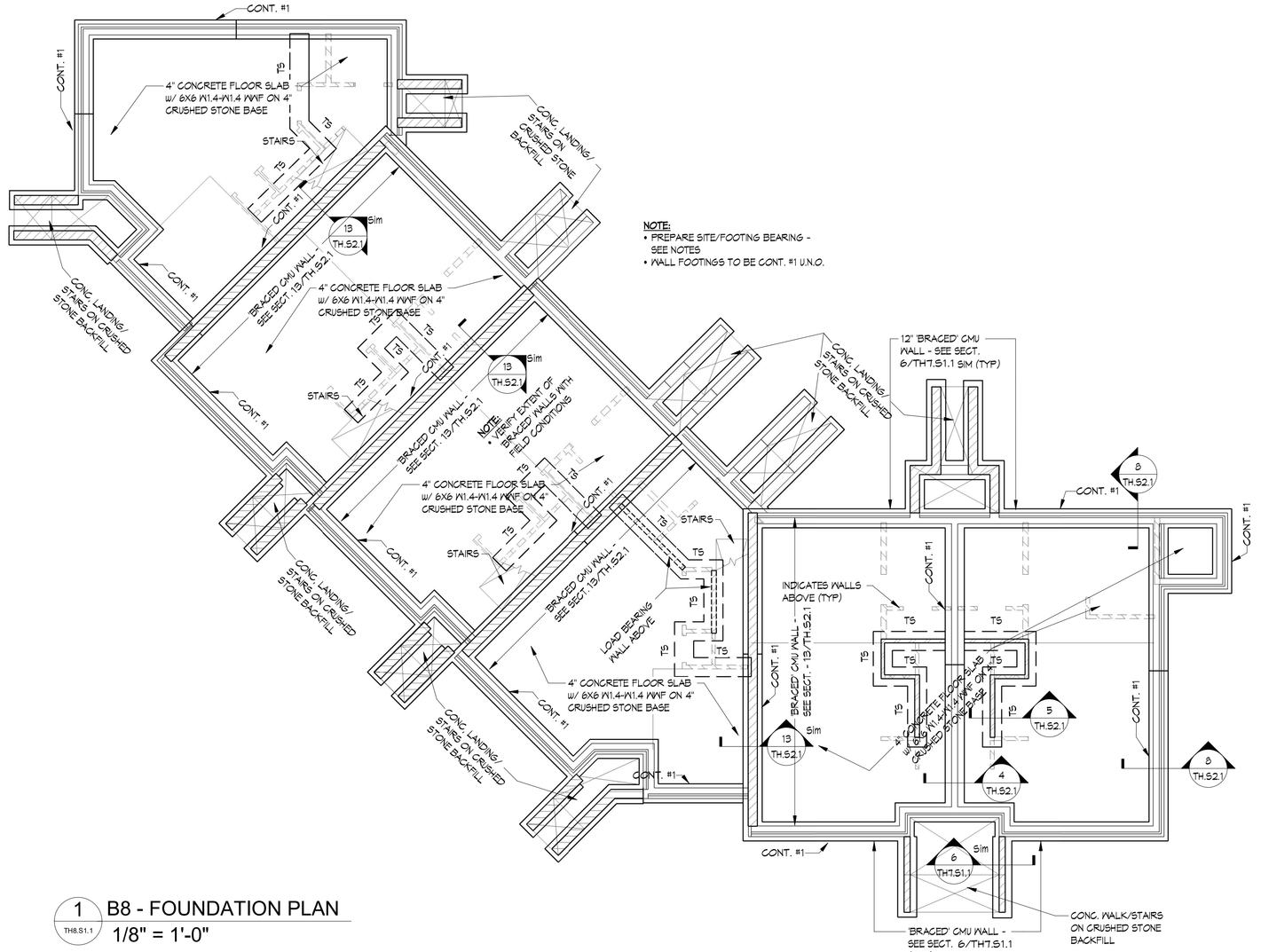
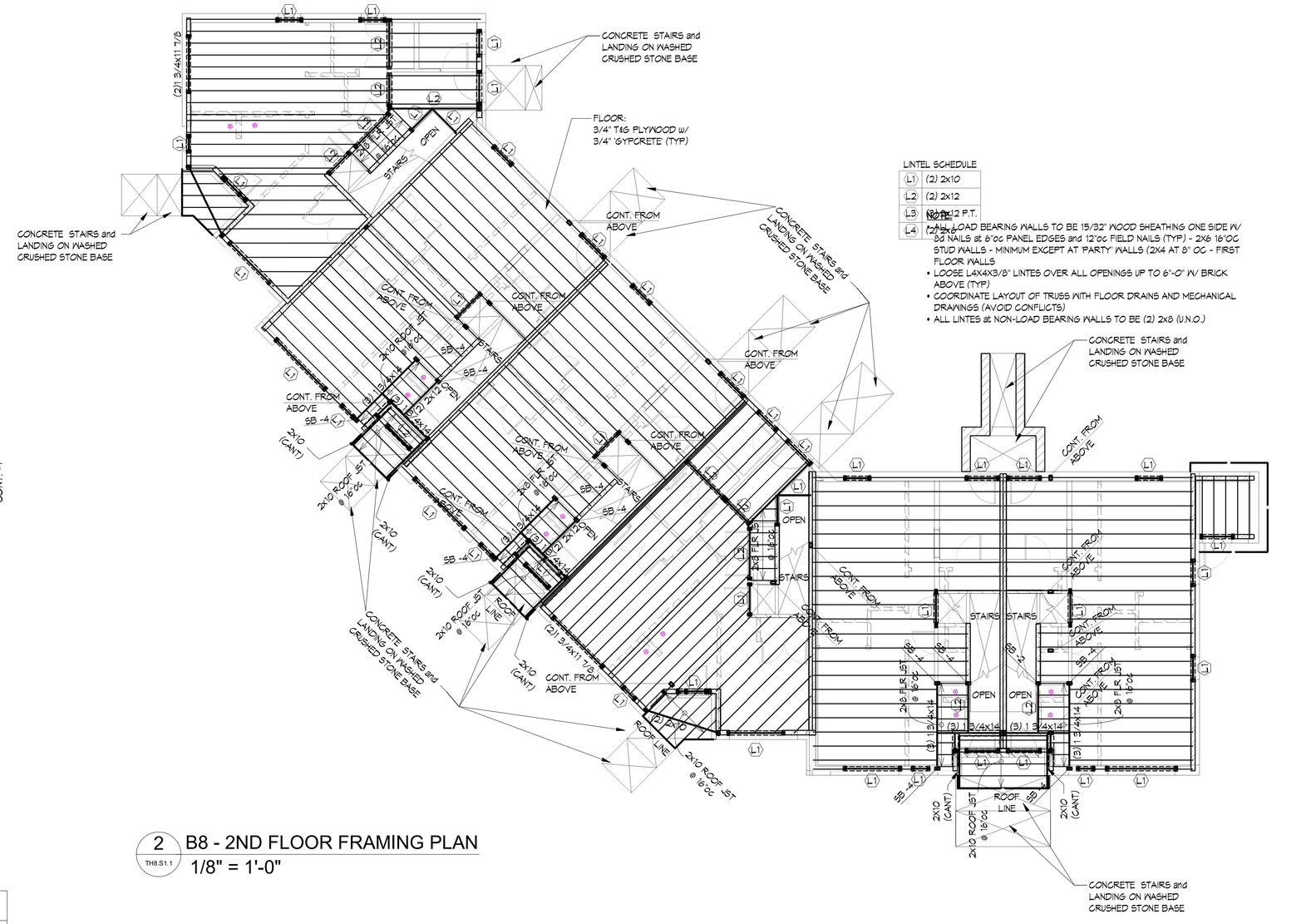
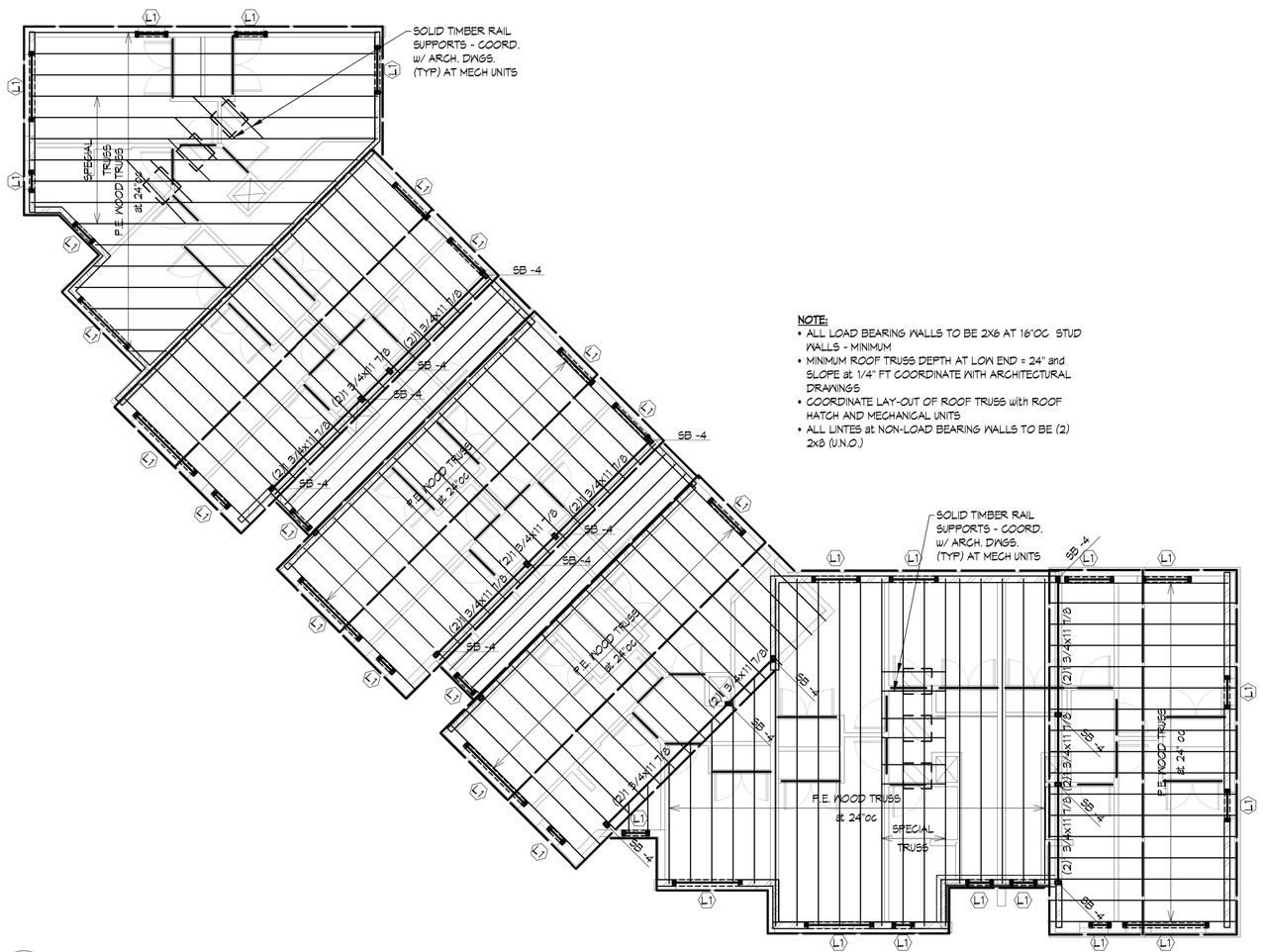


1 TH8.S1.1 B8 - FOUNDATION PLAN
1/8" = 1'-0"

FOUNDATION SCHEDULE				
CONT. #1	2' - 0"	CONT.	1' - 0"	(2) #5 CONT. w/ #5 TRANS. @ 48"o.c., TOP AND BOTTOM



2 TH8.S1.1 B8 - 2ND FLOOR FRAMING PLAN
1/8" = 1'-0"



3 TH8.S1.1 B8 - ROOF FRAMING PLAN
1/8" = 1'-0"

REVISION 2 =
• REVISED FOUNDATION/FRAMING BASED ON REVISED GRADING PLAN. MINOR REVISIONS TO UNIT FRAMING PLANS FOR ADA COMPLIANCE

KCDC
Knoxville Community Development Corporation
901 N Boardway
Knoxville, TN 37917
Tel: 865-403-1100

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United States

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Chicago, IL 60602
United States

PARTNERS
502 Union Avenue
Knoxville, TN 37902
United States
Tel 865.524.777

△	Date	Description
2	5.22.2020	Revision 2

ROBERT H. JOHNSON REGISTERED ARCHITECT 13-6-2020 No. 13958 State of Tennessee

Seal / Signature

CONSTRUCTION DOCUMENTS 100% 05 06 2020

Project Name
AUSTIN HOMES - PHASE 1A

Project Number
193076

Description
BLDG 8 STRUCTURAL PLAN

Scale
As indicated

TH8.S1.1

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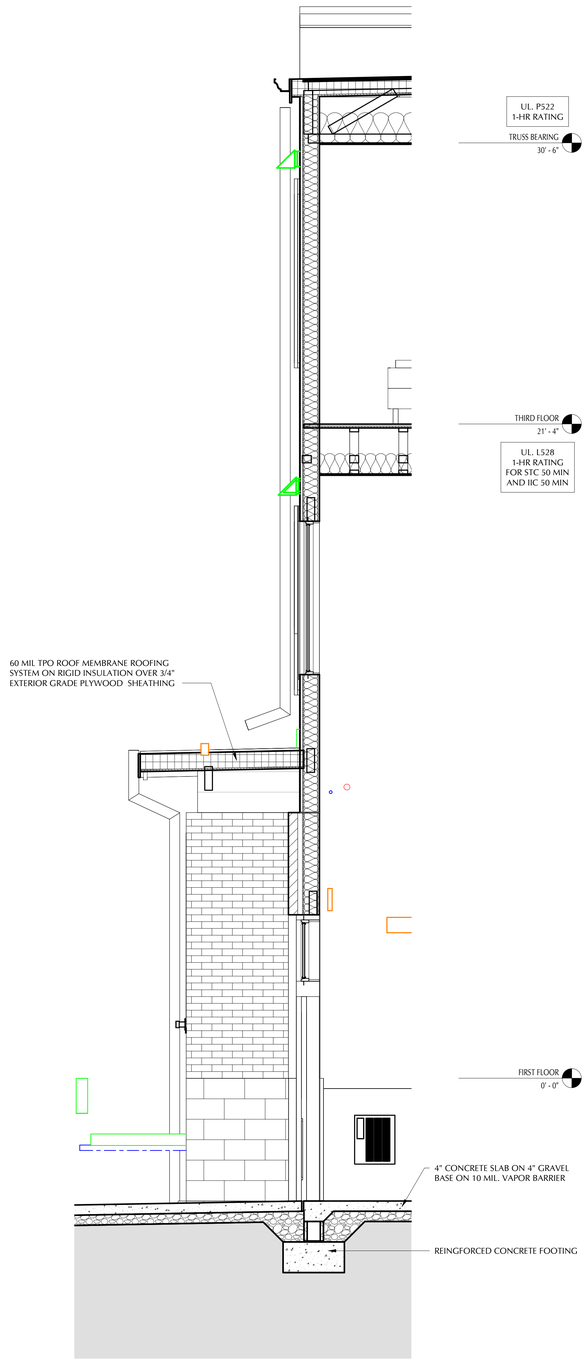
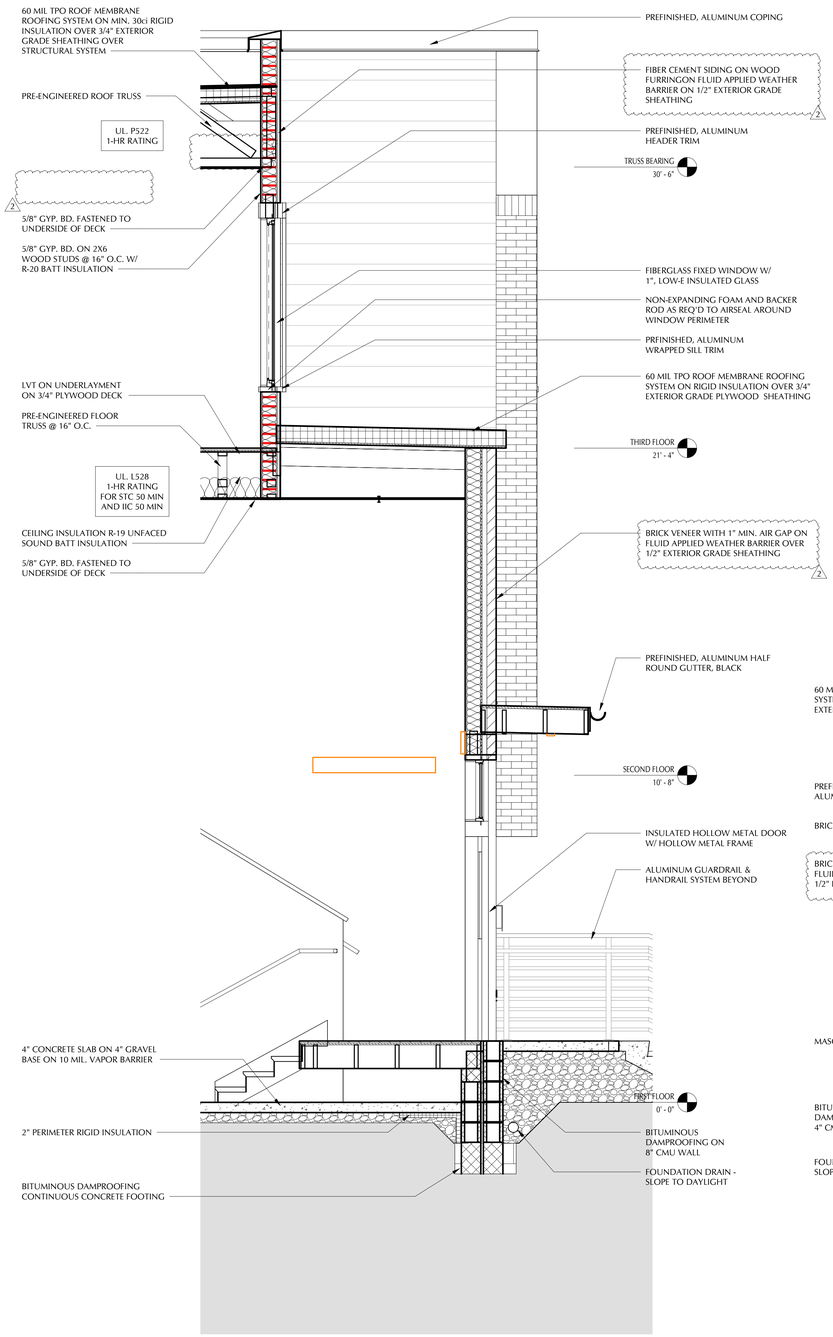
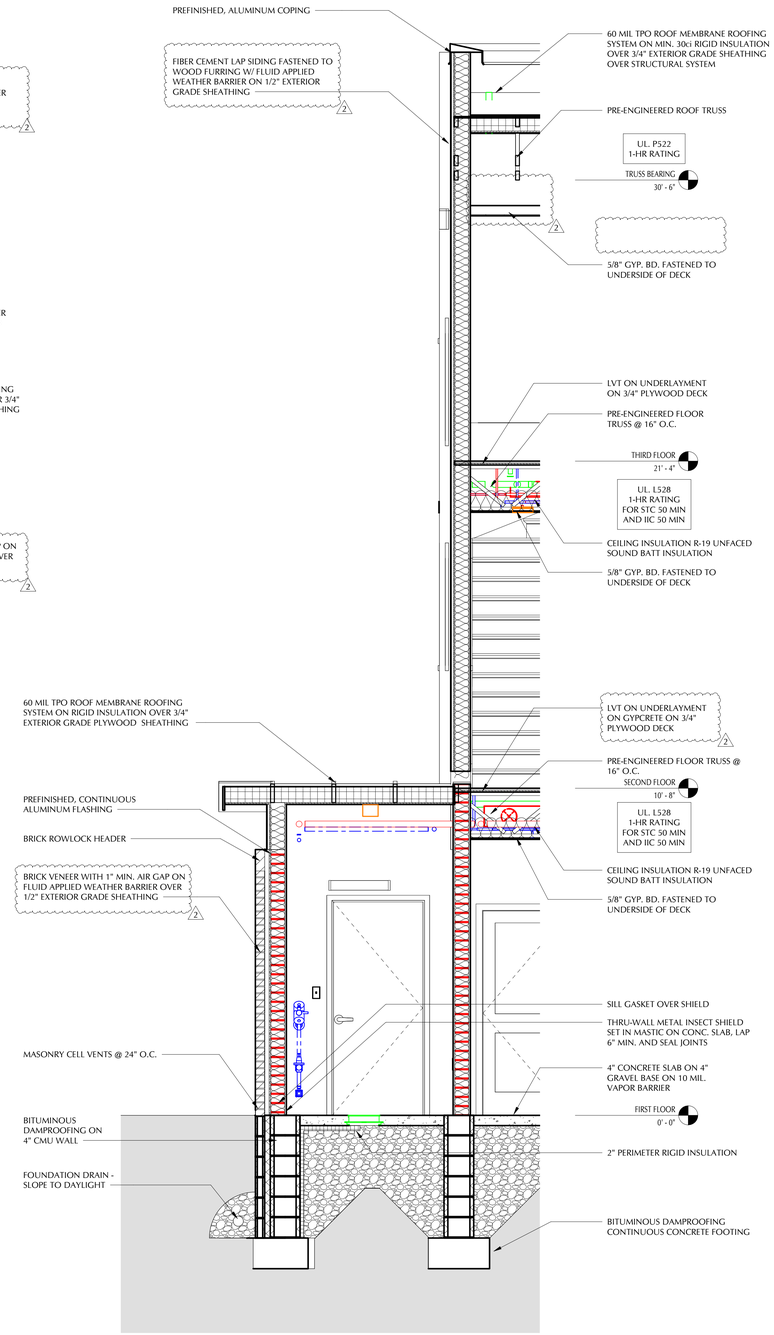


1 TH9.A4.2 BUILDING 9 - WALL SECTION 1
1/2" = 1'-0"



2 TH9.A4.2 BUILDING 9 - WALL SECTION 2
1/2" = 1'-0"



3 TH9.A4.2 BUILDING 9 - WALL SECTION 3
1/2" = 1'-0"

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AUSTIN HOMES REDEVELOPMENT
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△	Date	Description
1	5/06/20	PLANS REVIEW COMMENTS
2	5/26/20	ADDENDUM 1

DARYL R. JOHNSON — REGISTERED ARCHITECT — STATE OF TENNESSEE — 05/26/2020

Seal / Signature

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
BUILDING 9 - WALL SECTIONS

Scale
1/2" = 1'-0"

TH9.A4.2 1

B9

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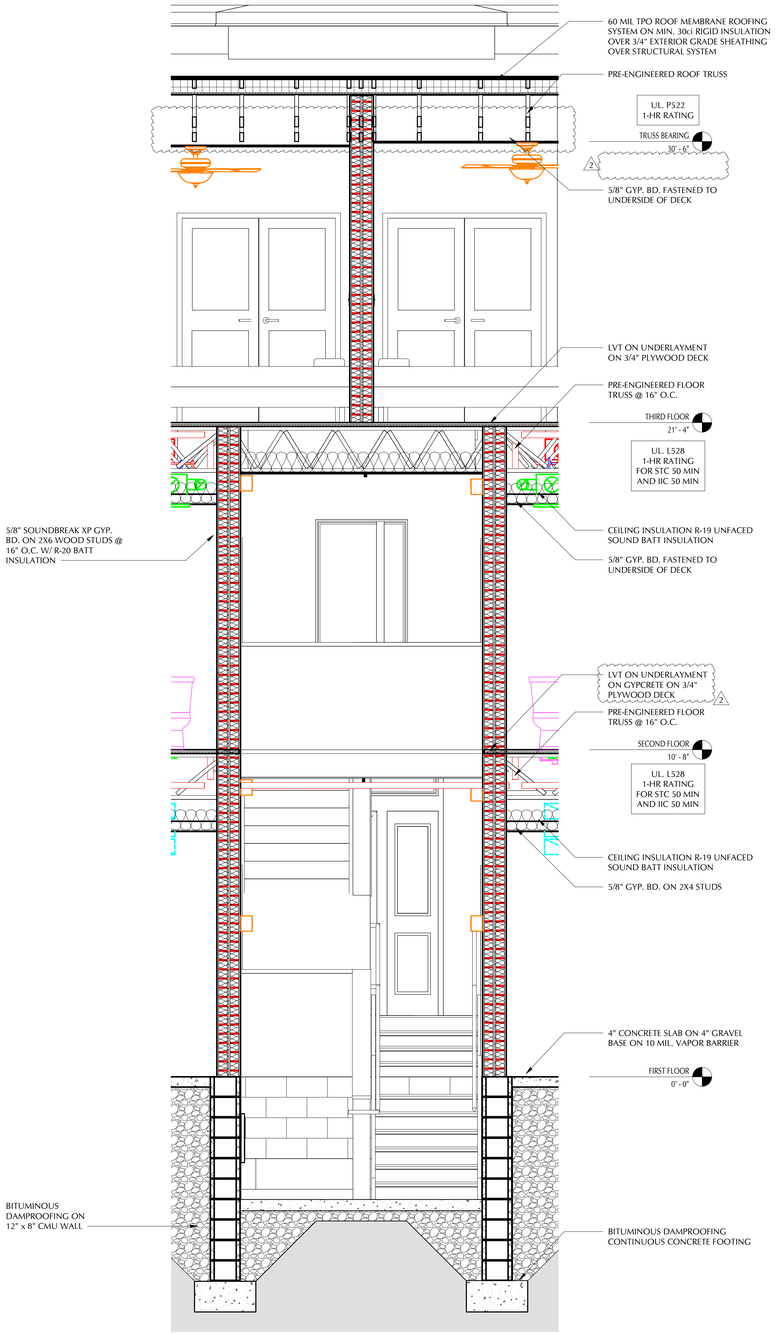

1 TH9.A4.3 BUILDING 9 - WALL SECTION 4
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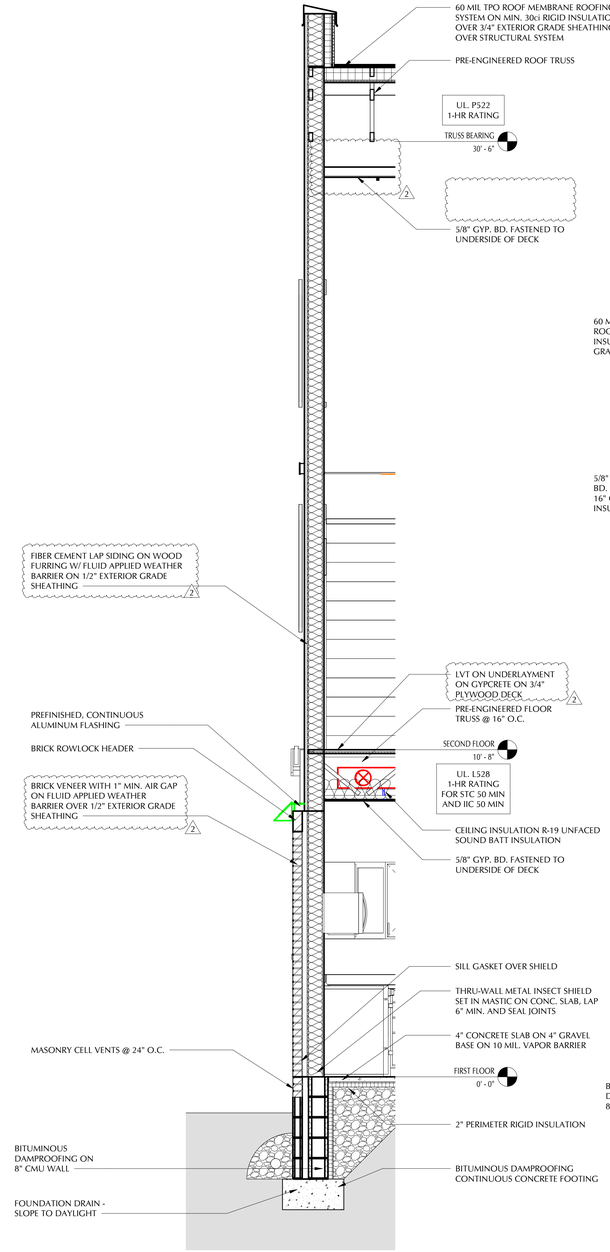

2 TH9.A4.3 BUILDING 9 - WALL SECTION 5
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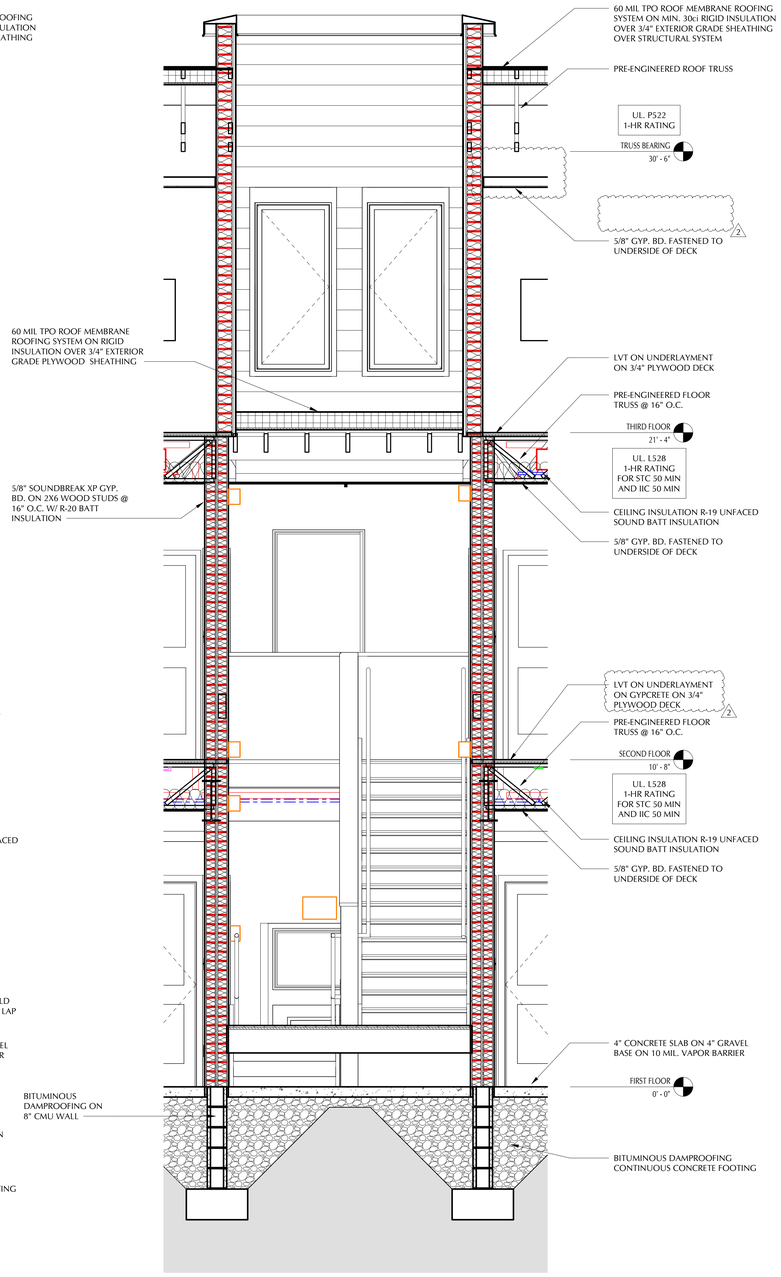

3 TH9.A4.3 BUILDING 9 - WALL SECTION 6
1/2" = 1'-0"

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Seal / Signature

DARYL R. JOHNSON REGISTERED ARCHITECT STATE OF TENNESSEE 05/26/20

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
BUILDING 9 - WALL SECTIONS

Scale
1/2" = 1'-0"

TH9.A4.3 △1

B9

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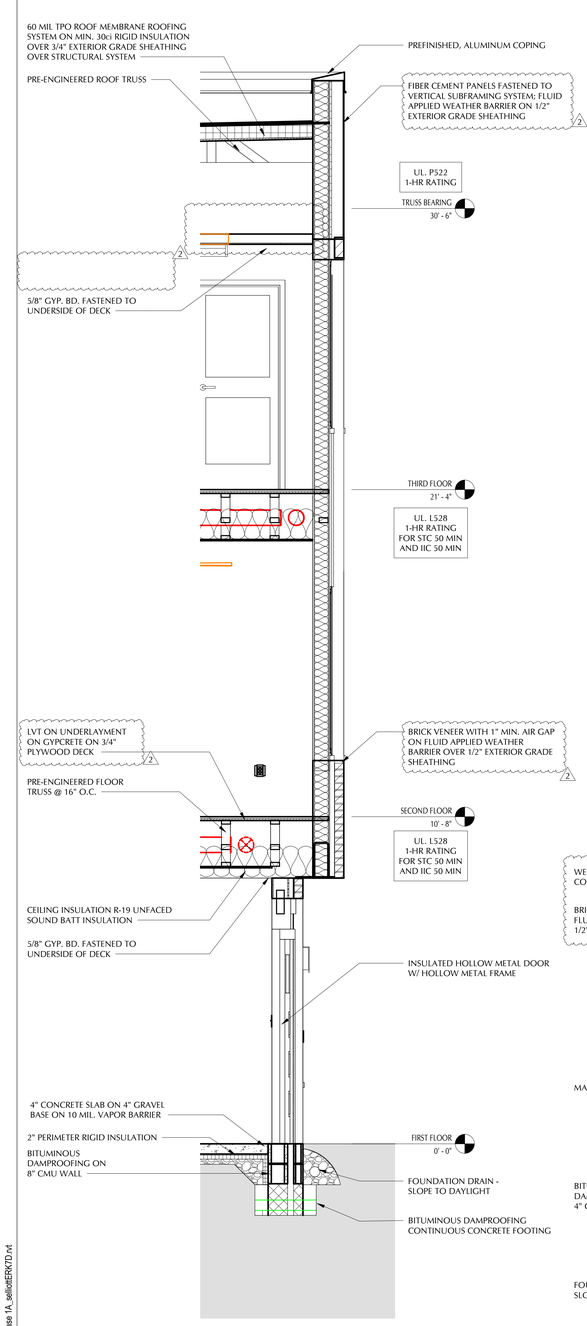

1 TH9.A4.4 BUILDING 9 - WALL SECTION 7
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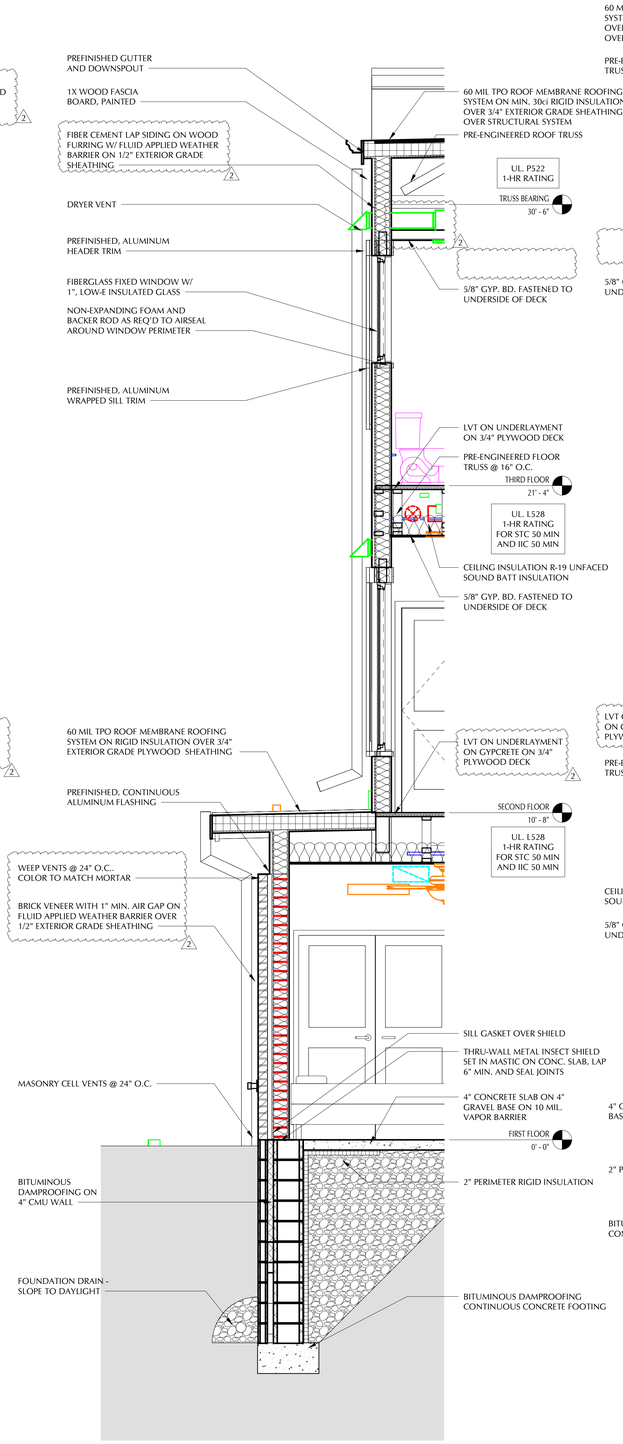

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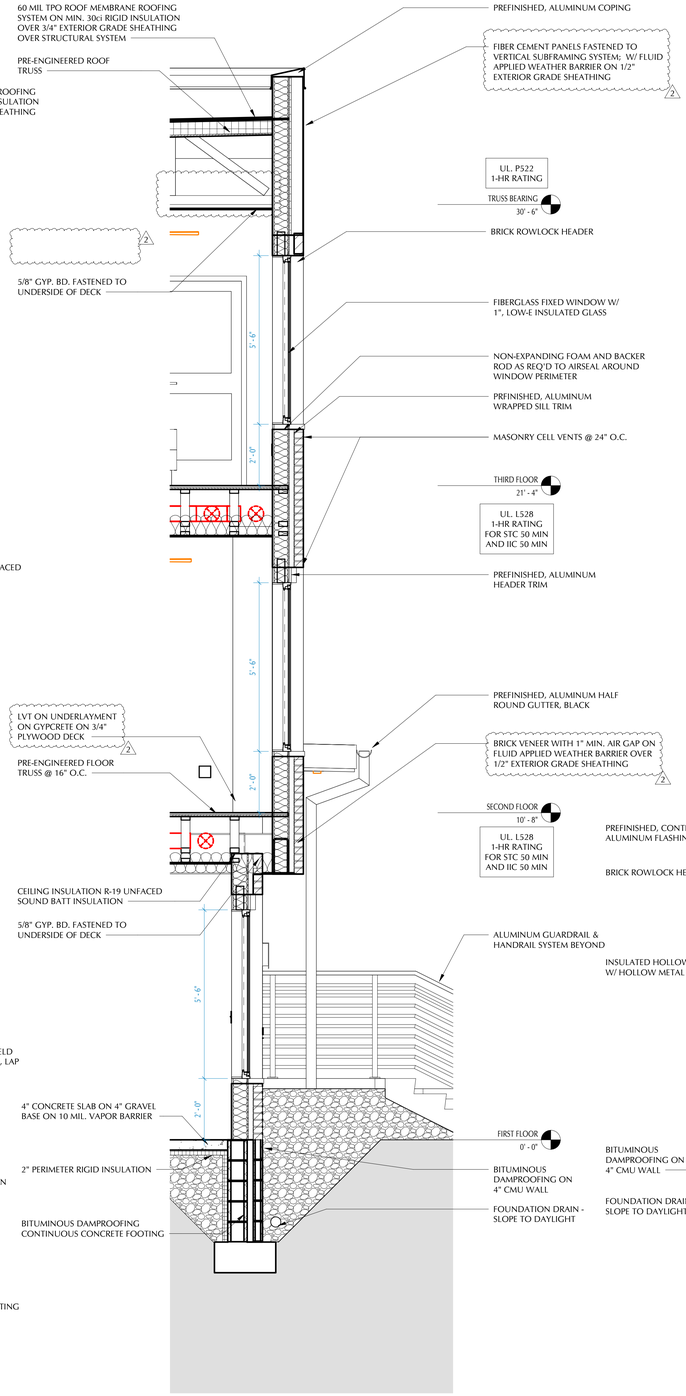
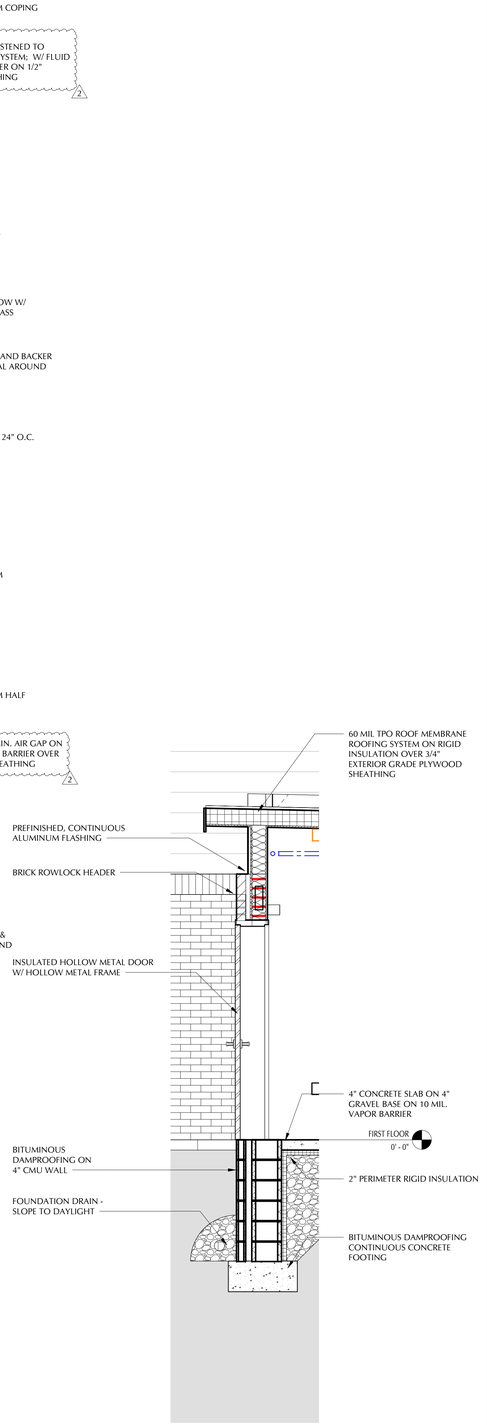


3 TH9.A4.4 BUILDING 9 - WALL SECTION 9
1/2" = 1'-0"



4 TH9.A4.4 BUILDING 9 - WALL SECTION 10
1/2" = 1'-0"

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United States
Tel 865.671.9060

Gensler
11 East Madison Street
Suite 300
Chicago, IL 60602
United States
Tel 312.456.0123
Fax 312.456.0124

△	Date	Description
1	5/06/20	PLANS REVIEW COMMENTS
2	5/26/20	ADDENDUM 1

Seal / Signature

DARYL R. JOHNSON
REGISTERED ARCHITECT
STATE OF TENNESSEE
05/26/2020

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
BUILDING 9 - WALL SECTIONS

Scale
1/2" = 1'-0"

TH9.A4.4 1

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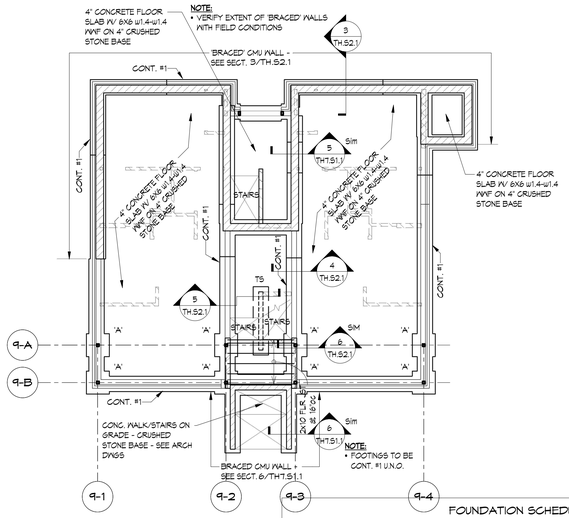
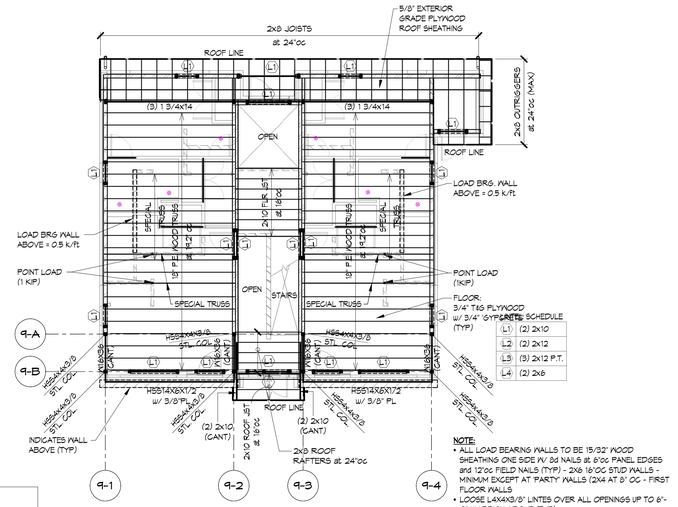


FOUNDATION SCHEDULE				
CONT. #1	2' - 0"	CONT.	1' - 0"	(2) #5 CONT. w/ #5 TRANS. @ 48"O.C., TOP AND BOTTOM

RETAINING WALL FOOTING SCHEDULE					
MARK	WIDTH	DEPTH	TOE LENGTH	HEEL LENGTH	REINFORCING
RET. #1	3' - 11 5/8"	1' - 0"	1' - 0"	2' - 0"	(4) #5 CONT. TOP & BOTT. w/ #4 @16" TRANS. AT TOP AND BOTTOM

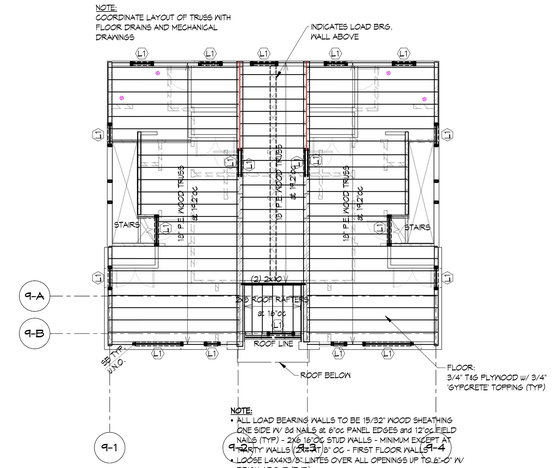
1 TH9.S1.1 B9 - 0-FOUNDATION
1/8" = 1'-0"



SCHEDULE	
L1	(2) 2x10
L2	(2) 2x12
L3	(3) 2x12 P.T.
L4	(2) 2x6

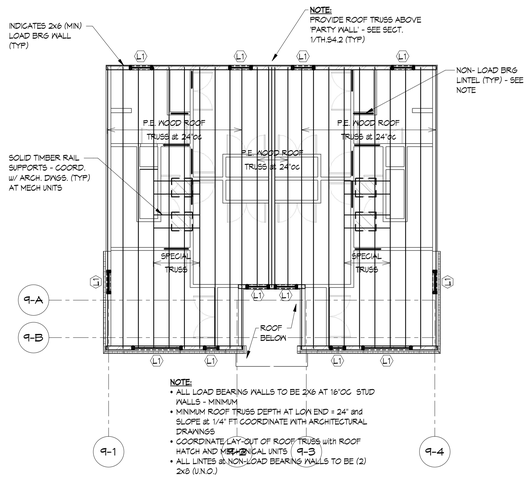
NOTE:
- ALL LOAD BEARING WALLS TO BE 15/32" WOOD SHEATHING ONE SIDE W/ 8d NAILS @ 6"OC PANEL EDGES and 12"OC FIELD NAILS (TYP) - 2X6 16"OC STUD WALLS - MINIMUM EXCEPT AT 'PARTY' WALLS (2X4 AT 8" OC - FIRST FLOOR WALLS
- LOOSE L4X4X3/8" LINTES OVER ALL OPENINGS UP TO 8'-0" W/ BRICK ABOVE (TYP)
- COORDINATE LAYOUT OF TRUSS WITH FLOOR DRAINS AND MECHANICAL DRAWINGS (AVOID CONFLICTS)
- ALL LINTES @ NON-LOAD BEARING WALLS TO BE (2) 2x8 (U.N.O.)

2 TH9.S1.1 B9 - 2ND FLOOR FRAMING PLAN
1/8" = 1'-0"



NOTE:
- ALL LOAD BEARING WALLS TO BE 15/32" WOOD SHEATHING ONE SIDE W/ 8d NAILS @ 6"OC PANEL EDGES and 12"OC FIELD NAILS (TYP) - 2X6 16"OC STUD WALLS - MINIMUM EXCEPT AT 'PARTY' WALLS (2X4 AT 8" OC - FIRST FLOOR WALLS
- LOOSE L4X4X3/8" LINTES OVER ALL OPENINGS UP TO 8'-0" W/ BRICK ABOVE (TYP)
- COORDINATE LAYOUT OF TRUSS WITH FLOOR DRAINS AND MECHANICAL DRAWINGS (AVOID CONFLICTS)
- ALL LINTES @ NON-LOAD BEARING WALLS TO BE (2) 2x8 (U.N.O.)

3 TH9.S1.1 B9 - 3RD FLOOR FRAMING PLAN
1/8" = 1'-0"



4 TH9.S1.1 B9 - ROOF FRAMING PLAN
1/8" = 1'-0"

REVISION 2 =
- REVISED FOUNDATION/FRAMING BASED ON REVISED GRADING PLAN. MINOR REVISIONS TO UNIT FRAMING PLANS FOR ADA COMPLIANCE

KCDC
Knoxville Community Development Corporation
901 N Boardway
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PARTNERS
502 Union Avenue
Knoxville, TN 37902
United States
Tel 865.524.777

△	Date	Description
2	5.22.2020	Revision 2

ROBERT H. HOUSER REGISTERED ENGINEER 5-6-2020 State of Tennessee No. 100514

Seal / Signature

CONSTRUCTION DOCUMENTS 100% 05 06 2020

Project Name
AUSTIN HOMES - PHASE 1A

Project Number
193076

Description
BLDG 9 STRUCTURAL PLAN

Scale
As indicated

TH9.S1.1

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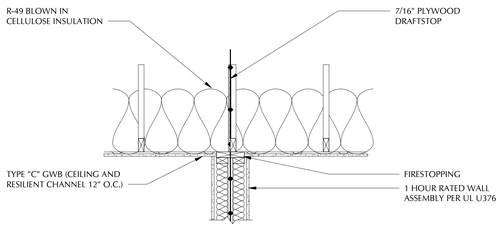
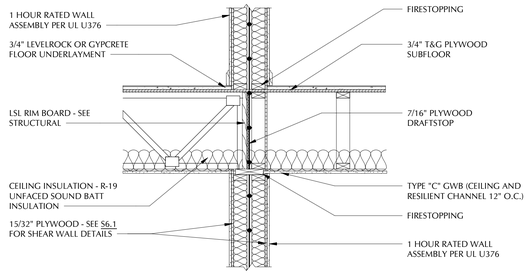
5/22/2020 4:16:01 PM C:\Users\tslaveter\Desktop\WORKING FILES\Austin Homes\Structural\BIM Model\TOWNHOMES\S19_KCDC Austin Homes_Phase 1A_Townhomes.rvt



1 TH.G4.2 SECTION 2 PARTY WALL
3/4" = 1'-0"



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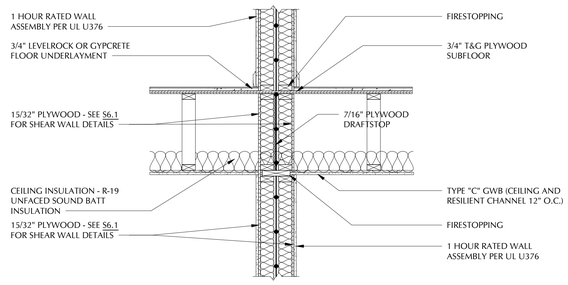

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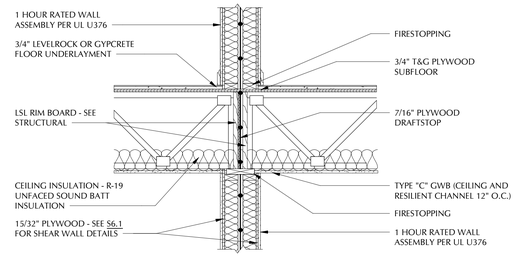

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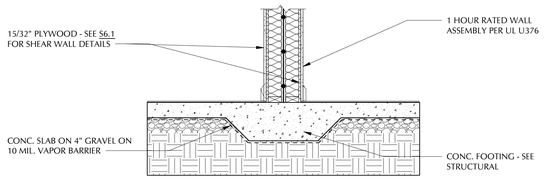
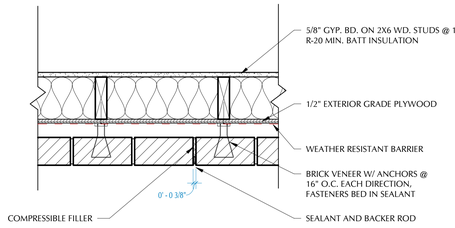
3/4" = 1'-0"

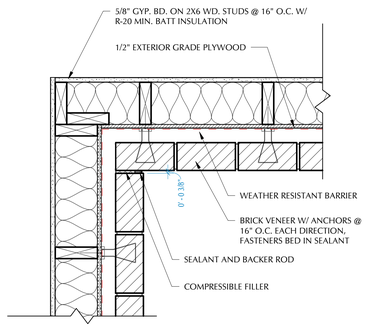


5 TH.G4.2 SECTION AT PARTY WALL @ FLOOR
3/4" = 1'-0"



6 TH.G4.2 VERTICAL CONTROL JOINT
1 1/2" = 1'-0"

2



7 TH.G4.2 INTERIOR CONTROL JOINT DTL.
1 1/2" = 1'-0"

2

KCDC
KNOXVILLE'S COMMUNITY DEVELOPMENT CORPORATION

AUSTIN HOMES REDEVELOPMENT
PHASE 1A
BURGE DRIVE AND HARRIET TUBMAN ST.

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United States
Tel 312.456.0123
Fax 312.456.0124

△	Date	Description
2	5/26/20	ADDENDUM 1

DARYL R. JOHNSON
REGISTERED ARCHITECT
STATE OF TENNESSEE
02.21.20

Seal / Signature

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
TYPICAL FIRE PARTITION & WALL DETAILS

Scale
As indicated

TH.G4.2

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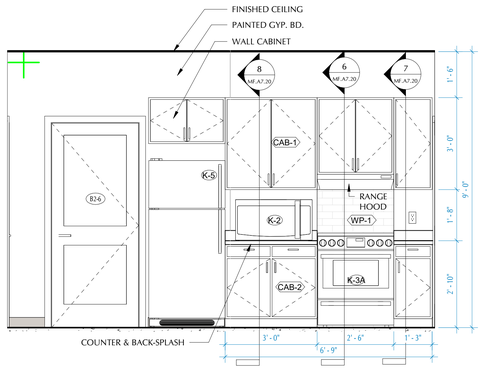
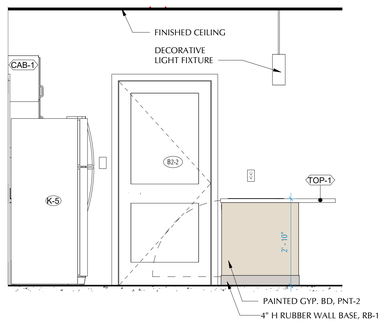


1 TH.G5.1 INT KITCHEN ELEV - J1
1/2" = 1'-0"



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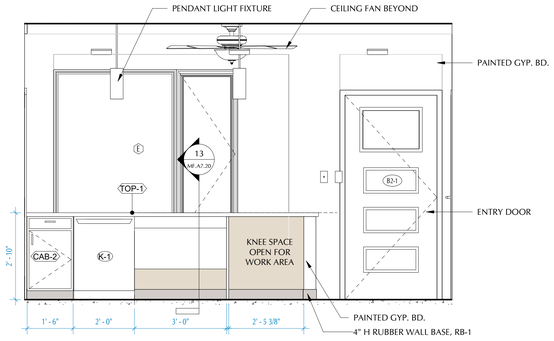
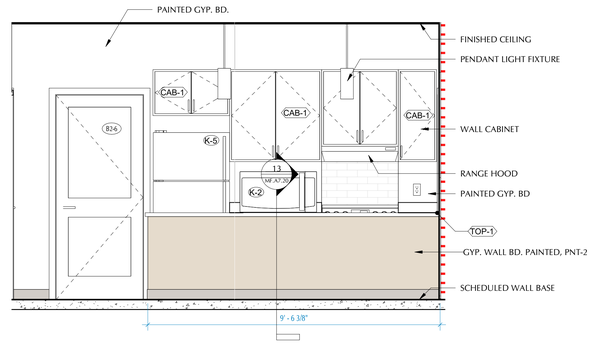
1/2" = 1'-0"



3 TH.G5.1 INT KITCHEN ELEV - J1
1/2" = 1'-0"



4 TH.G5.1 INT KITCHEN ELEV - J1
1/2" = 1'-0"

FLOOR PLAN KEY - TYP. KITCHEN

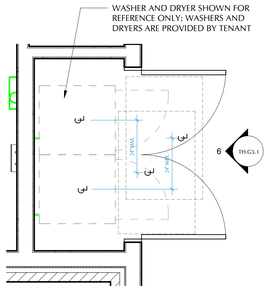
MARK	DESCRIPTION	NOTES
K-1	STANDARD DISHWASHER	O.F.C.I.
K-1A	ACCESSIBLE DISHWASHER	O.F.C.I.
K-2	OVER THE RANGE VENTED MICROWAVE	O.F.C.I.
K-2A	ACCESSIBLE MICROWAVE, COUNTERTOP	O.F.C.I.
K-3	OVEN RANGE	O.F.C.I.
K-3A	ACCESSIBLE RANGE; FRONT ACCESS CONTROLS	O.F.C.I.
K-4	VENTILATION HOOD - ACCESSIBLE WALL SWITCH	
K-5	REFRIGERATOR, TOP FREEZER W/ ICEMAKER	O.F.C.I.
K-6	HEAVY DUTY WIRE SHELVING	NOTE #5
K-7	CLOTHES WASHER; TOP LOADING	N.I.C.
K-8	DRYER; FRONT LOADING	N.I.C.
K-9	DOUBLE-BOWL KITCHEN SINK; UNDERMOUNT	
K-10	STACKING WASHER & DRYER UNIT	N.I.C.
K-11	WATER HEATER	

FLOOR PLAN KEY - TYP. BATH

MARK	DESCRIPTION	NOTES
B-1	FRAMED MIRROR	
B-2	TOILET PAPER DISPENSER	
B-3	GRAB BARS	
B-4	SHOWER CURTAIN ROD	
B-5	TOWEL BAR	
B-6	INTEGRAL VANITY SINK	
B-7	PREFAB BATHTUB W/ FOLDING SEAT	NOTE #9 & 10
B-8	STANDARD SHOWER CONTROLS	SEE PLUMB
B-8A	ADA SHOWER CONTROLS	SEE PLUMB
B-9	WATER CLOSET	SEE PLUMB
B-10	SHOWER PAN BASE	NOTE #9 & 10
B-11	ROBE HOOK	NOTE #7

ENLARGED PLAN NOTES

1. COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS
2. WHERE INDICATED WITH A DASHED LINE, PROVIDE BLOCKING AS REQ'D FOR FUTURE GRAB BAR INSTALLATION
3. COORDINATE ALL KITCHEN APPLIANCE & REQUIREMENTS WITH OWNER PRIOR TO FINAL PURCHASE & INSTALLATION
4. COORDINATE ALL BATHROOM ACCESSORY REQUIREMENTS WITH OWNER PRIOR TO FINAL PURCHASE & INSTALLATION
5. TYPICAL AT ALL LAUNDRY ROOMS - PROVIDE (2) HEAVY DUTY WIRE SHELVING (WHITE) W/ WALL MOUNTED BRACKETS & BLOCKING AS REQ'D ABOVE ALL WASHER & DRYER UNITS. REFER TO FINISH LEGEND FOR BRACKET INFORMATION. WASHER & DRYER (N.I.C)
6. PROVIDE C'TOP SUPPORT & BLOCKING AS REQ'D AT ALL KITCHEN ISLANDS
7. INSTALL (1) ROBE HOOK @ EA. BATHROOM DOOR - TYPICAL AT ALL TENANT BATHROOMS / SINGLE COMPARTMENT RESTROOMS
8. REFER TO SHEET G1.1 FOR MOUNTING HEIGHTS, ACCESSIBLE NOTES & DETAILS
9. SEE SHEET MF.A7.19 FOR FINISHES, LEGENDS, AND NOTES.



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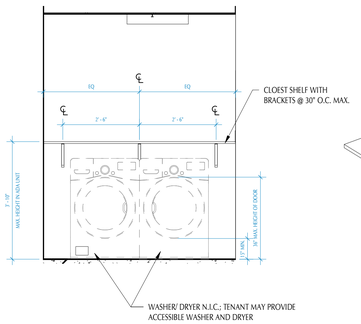
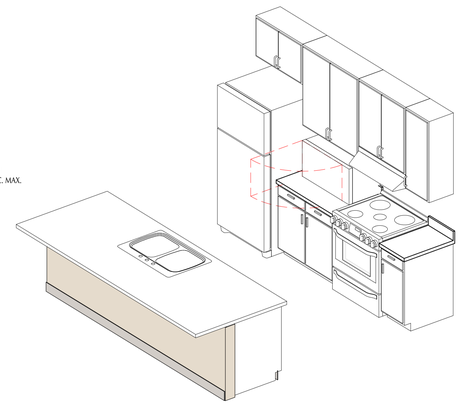
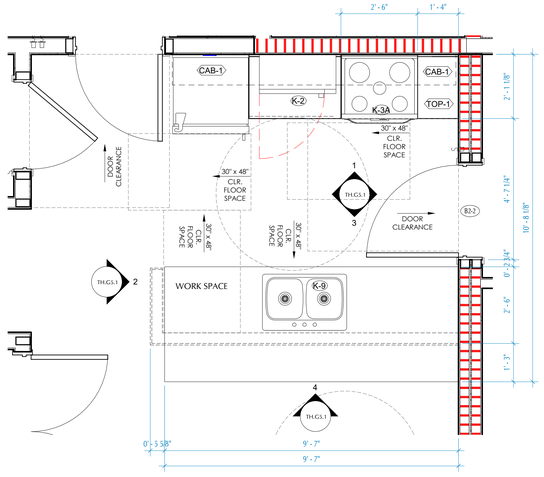
1/2" = 1'-0"



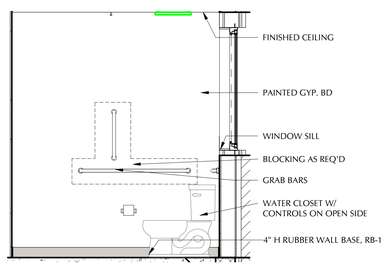
6 TH.G5.1 B2 - J1 - ADA - WASHER/DRYER
1/2" = 1'-0"



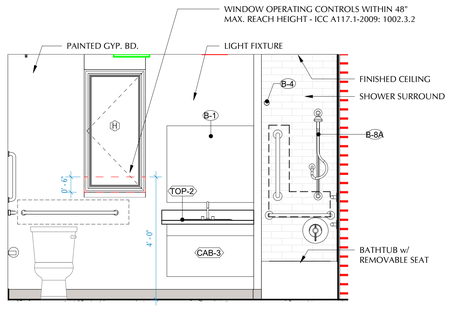
7 TH.G5.1 3D KITCHEN VIEW - J1



8 TH.G5.1 ENLARGED KITCHEN PLAN - UNIT NAME 'J1'
1/2" = 1'-0"



9 TH.G5.1 INT BATH ELEV - J1
1/2" = 1'-0"



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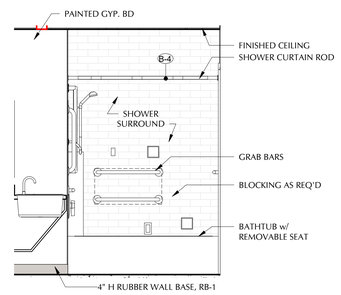
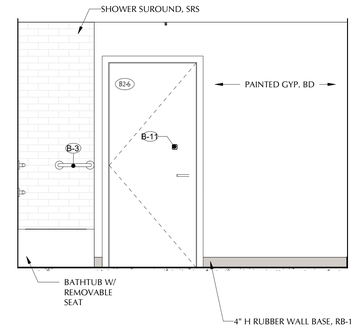
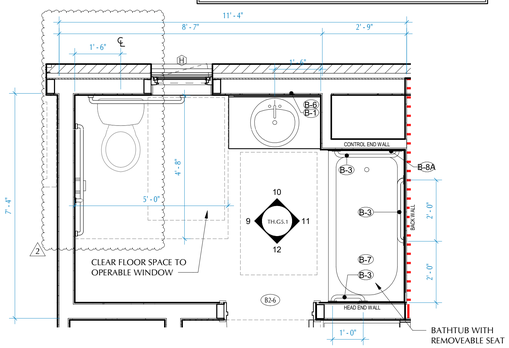
1/2" = 1'-0"



11 TH.G5.1 INT BATH ELEV - J1
1/2" = 1'-0"



12 TH.G5.1 INT BATH ELEV - J1
1/2" = 1'-0"



13 TH.G5.1 ENLARGED BATH PLAN - UNIT NAME 'J1'
1/2" = 1'-0"

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KCDC
KNOXVILLE'S COMMUNITY DEVELOPMENT CORPORATION

AUSTIN HOMES REDEVELOPMENT
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United States
Tel 312.456.0123
Fax 312.456.0124

△	Date	Description
1	5/06/20	PLANS REVIEW COMMENTS
2	5/26/20	ADDENDUM 1

DARYL R. JOHNSON REGISTERED ARCHITECT STATE OF TENNESSEE 05/26/20

Seal / Signature

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
ENLARGED FLOOR PLANS & INTERIOR ELEVATIONS - ACCESSIBLE UNIT PLAN 'J1'

Scale
As indicated

TH.G5.1

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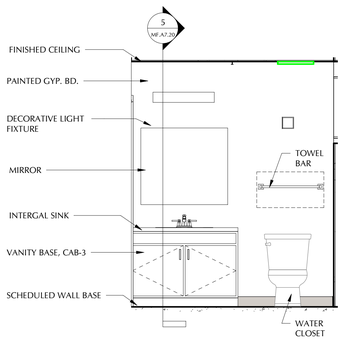

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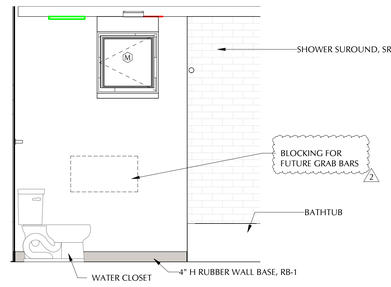
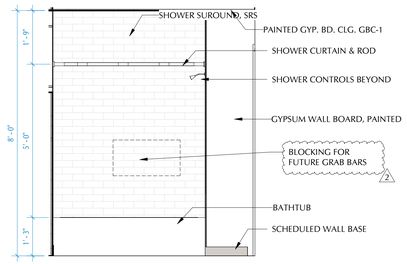
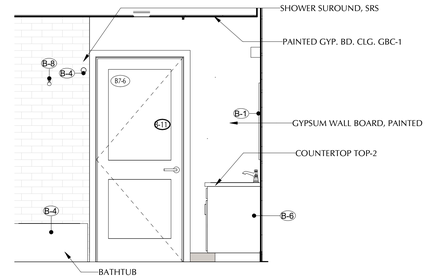


3 TH.G5.2 INT BATH ELEV - J2
1/2" = 1'-0"



4 TH.G5.2 INT BATH ELEV - J2
1/2" = 1'-0"



5 TH.G5.2 INT BATH ELEV - J2
1/2" = 1'-0"

FLOOR PLAN KEY - TYP. KITCHEN

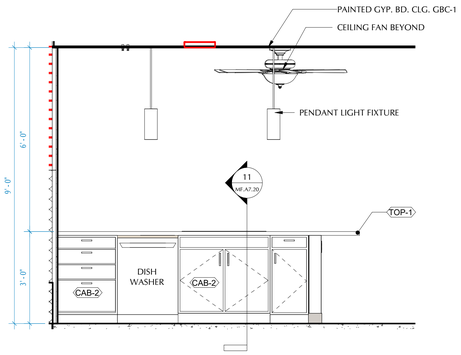
MARK	DESCRIPTION	NOTES
K-1	STANDARD DISHWASHER	O.F.C.I.
K-1A	ACCESSIBLE DISHWASHER	O.F.C.I.
K-2	OVER THE RANGE VENTED MICROWAVE	O.F.C.I.
K-2A	ACCESSIBLE MICROWAVE, COUNTERTOP	O.F.C.I.
K-3	OVEN RANGE	O.F.C.I.
K-3A	ACCESSIBLE RANGE; FRONT ACCESS CONTROLS	O.F.C.I.
K-4	VENTILATION HOOD - ACCESSIBLE WALL SWITCH	
K-5	REFRIGERATOR, TOP FREEZER W/ ICEMAKER	O.F.C.I.
K-6	HEAVY DUTY WIRE SHELVING	NOTE #5
K-7	CLOTHES WASHER; TOP LOADING	N.I.C.
K-8	DRYER; FRONT LOADING	N.I.C.
K-9	DOUBLE-BOWL KITCHEN SINK; UNDERMOUNT	
K-10	STACKING WASHER & DRYER UNIT	N.I.C.
K-11	WATER HEATER	

FLOOR PLAN KEY - TYP. BATH

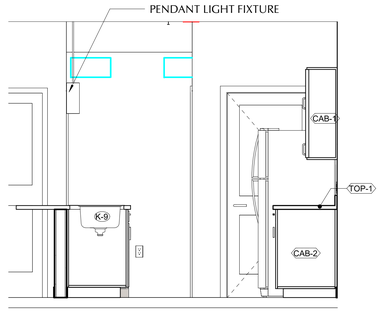
MARK	DESCRIPTION	NOTES
B-1	FRAMED MIRROR	
B-2	TOILET PAPER DISPENSER	
B-3	GRAB BARS	
B-4	SHOWER CURTAIN ROD	
B-5	TOWEL BAR	
B-6	INTEGRAL VANITY SINK	
B-7	PREFAB BATHTUB W/ FOLDING SEAT	NOTE #9 & 10
B-8	STANDARD SHOWER CONTROLS	SEE PLUMB
B-8A	ADA SHOWER CONTROLS	SEE PLUMB
B-9	WATER CLOSET	SEE PLUMB
B-10	SHOWER PAN BASE	NOTE #9 & 10
B-11	ROBE HOOK	NOTE #7

ENLARGED PLAN NOTES

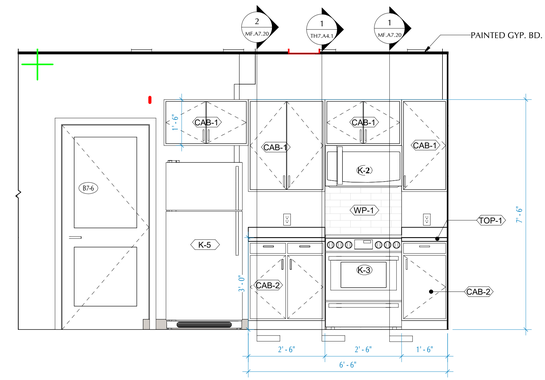
1. COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS
2. WHERE INDICATED WITH A DASHED LINE, PROVIDE BLOCKING AS REQ'D FOR FUTURE GRAB BAR INSTALLATION
3. COORDINATE ALL KITCHEN APPLIANCE & REQUIREMENTS WITH OWNER PRIOR TO FINAL PURCHASE & INSTALLATION
4. COORDINATE ALL BATHROOM ACCESSORY REQUIREMENTS WITH OWNER PRIOR TO FINAL PURCHASE & INSTALLATION
5. TYPICAL AT ALL LAUNDRY ROOMS - PROVIDE (2) HEAVY DUTY WIRE SHELVING (WHITE) W/ WALL MOUNTED BRACKETS & BLOCKING AS REQ'D ABOVE ALL WASHER & DRYER UNITS. REFER TO FINISH LEGEND FOR BRACKET INFORMATION. WASHER & DRYER (N.I.C)
6. PROVIDE C'TOP SUPPORT & BLOCKING AS REQ'D AT ALL KITCHEN ISLANDS
7. INSTALL (1) ROBE HOOK @ EA. BATHROOM DOOR.- TYPICAL AT ALL TENANT BATHROOMS / SINGLE COMPARTMENT RESTROOMS
8. REFER TO SHEET G1.1 FOR MOUNTING HEIGHTS, ACCESSIBLE NOTES & DETAILS
9. SEE SHEET MF.A7.19 FOR FINISHES, LEGENDS, AND NOTES.



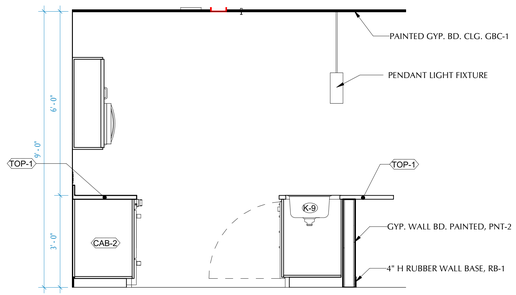
6 TH.G5.2 INT KITCHEN ELEV - J2
1/2" = 1'-0"



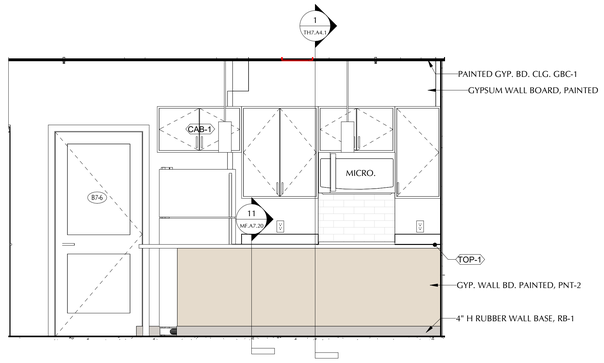
7 TH.G5.2 INT KITCHEN ELEV - J2
1/2" = 1'-0"



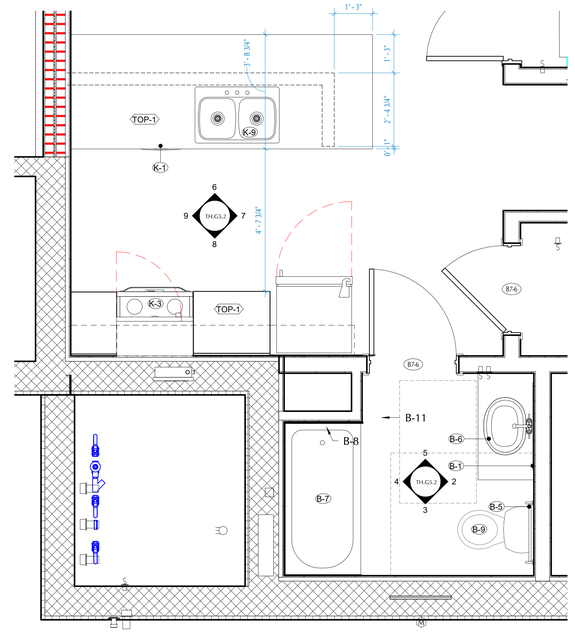
8 TH.G5.2 INT KITCHEN ELEV - J2
1/2" = 1'-0"



9 TH.G5.2 INT KITCHEN ELEV - J2
1/2" = 1'-0"



10 TH.G5.2 INT KITCHEN ELEV - J2
1/2" = 1'-0"



1 TH.G5.2 ENLARGED KITCHEN & BATH PLAN - J2
1/2" = 1'-0"

KCDC
KNOXVILLE'S COMMUNITY DEVELOPMENT CORPORATION
AUSTIN HOMES REDEVELOPMENT
PHASE 1A
BURGE DRIVE AND HARRIET TUBMAN ST.

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Gensler
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United States
Tel 312.456.0123
Fax 312.456.0124

△	Date	Description
1	5/06/20	PLANS REVIEW COMMENTS
2	5/26/20	ADDENDUM 1

Seal / Signature

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
ENLARGED FLOOR PLANS & INTERIOR ELEVATIONS - UNIT NAME 'J2'

Scale
As indicated

TH.G5.2 1

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FLOOR PLAN KEY - TYP. BATH

MARK	DESCRIPTION	NOTES
B-1	FRAMED MIRROR	
B-2	TOILET PAPER DISPENSER	
B-3	GRAB BARS	
B-4	SHOWER CURTAIN ROD	
B-5	TOWEL BAR	
B-6	INTEGRAL VANITY SINK	
B-7	PREFAB BATHTUB W/ FOLDING SEAT	NOTE #9 & 10
B-8	STANDARD SHOWER CONTROLS	SEE PLUMB
B-8A	ADA SHOWER CONTROLS	SEE PLUMB
B-9	WATER CLOSET	SEE PLUMB
B-10	SHOWER PAN BASE	NOTE #9 & 10
B-11	ROBE HOOK	NOTE #7

FLOOR PLAN KEY - TYP. KITCHEN

MARK	DESCRIPTION	NOTES
K-1	STANDARD DISHWASHER	O.F.C.I.
K-1A	ACCESSIBLE DISHWASHER	O.F.C.I.
K-2	OVER THE RANGE VENTED MICROWAVE	O.F.C.I.
K-2A	ACCESSIBLE MICROWAVE, COUNTERTOP	O.F.C.I.
K3	OVEN RANGE	O.F.C.I.
K-3A	ACCESSIBLE RANGE; FRONT ACCESS CONTROLS	O.F.C.I.
K-4	VENTILATION HOOD - ACCESSIBLE WALL SWITCH	
K-5	REFRIGERATOR, TOP FREEZER W/ ICEMAKER	O.F.C.I.
K-6	HEAVY DUTY WIRE SHELVING	NOTE #5
K-7	CLOTHES WASHER; TOP LOADING	N.I.C.
K-8	DRYER; FRONT LOADING	N.I.C.
K-9	DOUBLE-BOWL KITCHEN SINK; UNDERMOUNT	
K-10	STACKING WASHER & DRYER UNIT	N.I.C.
K-11	WATER HEATER	

ENLARGED PLAN NOTES

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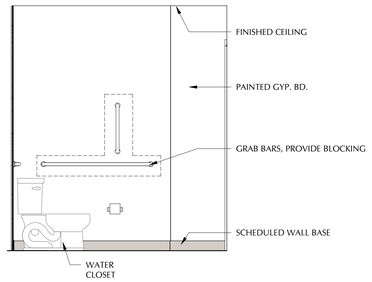
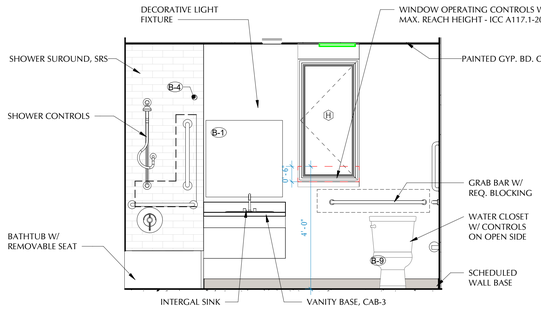
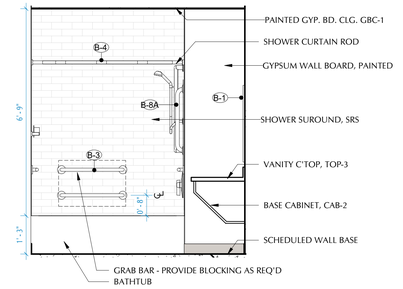


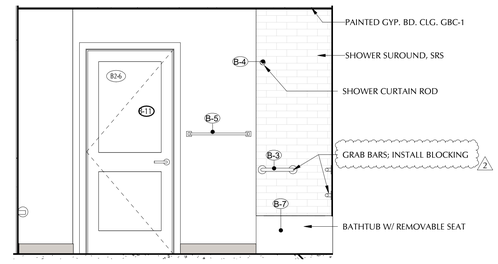
3 TH.G5.3 INT. BATH ELEV - K1
1/2" = 1'-0"



4 TH.G5.3 INT. BATH ELEV - K1
1/2" = 1'-0"



5 TH.G5.3 INT. BATH ELEV - K1
1/2" = 1'-0"

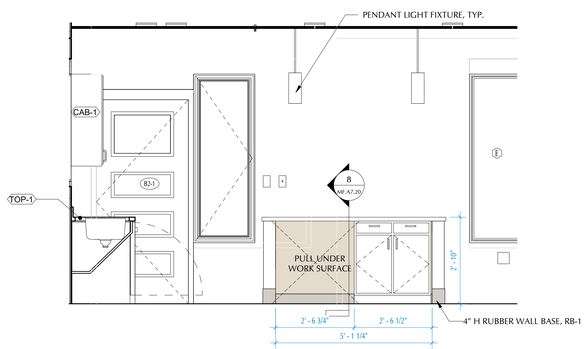


6 TH.G5.3 INT. BATH ELEV - K1
1/2" = 1'-0"

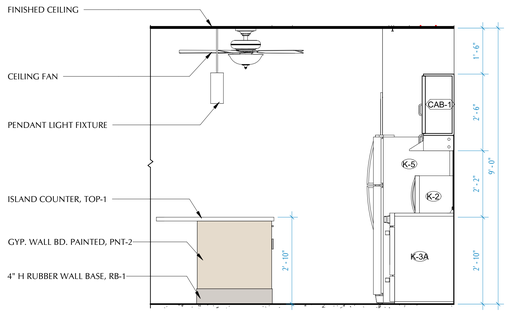
7 TH.G5.3 INT. KITCHEN ELEV - K1
1/2" = 1'-0"

8 TH.G5.3 INT. KITCHEN ELEV - K1
1/2" = 1'-0"

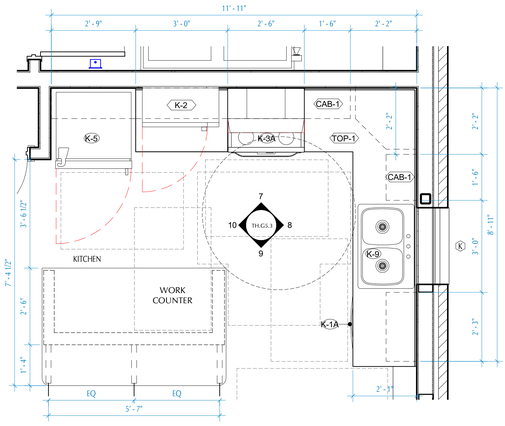
2 TH.G5.3 ENLARGED BATH PLAN - UNIT NAME 'K1'
1/2" = 1'-0"



9 TH.G5.3 INT. KITCHEN ELEV - K1
1/2" = 1'-0"



10 TH.G5.3 INT. KITCHEN ELEV - K1
1/2" = 1'-0"



1 TH.G5.3 ENLARGED KITCHEN PLAN - UNIT NAME 'K1'
1/2" = 1'-0"

KCDC
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△	Date	Description
1	5/06/20	PLANS REVIEW COMMENTS
2	5/26/20	ADDENDUM 1

DARYL R. JOHNSON
REGISTERED ARCHITECT
STATE OF TENNESSEE
05/26/20

Seal / Signature

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
ENLARGED FLOOR PLAN & INTERIOR ELEVATIONS - ACCESSIBLE UNIT 'K1'

Scale
As indicated

TH.G5.3

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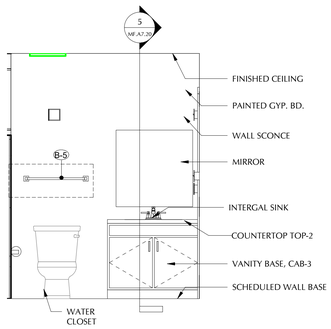
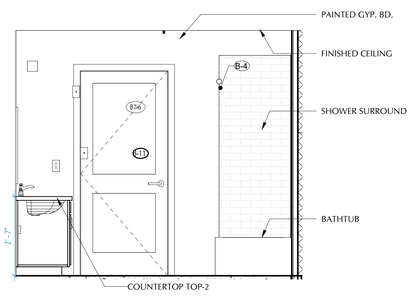


3 INT BATH ELEV - K2
TH.G5.4 1/2" = 1'-0"



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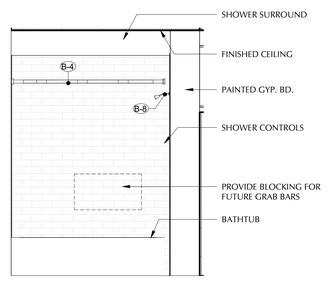

5 INT BATH ELEV - K2
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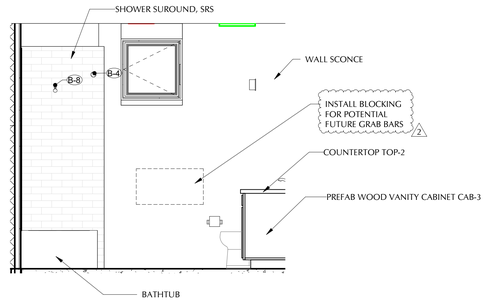

6 INT BATH ELEV - K2
TH.G5.4 1/2" = 1'-0"

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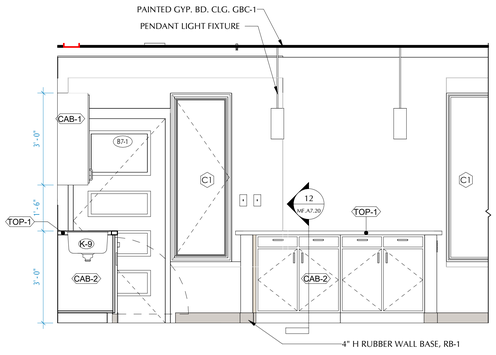
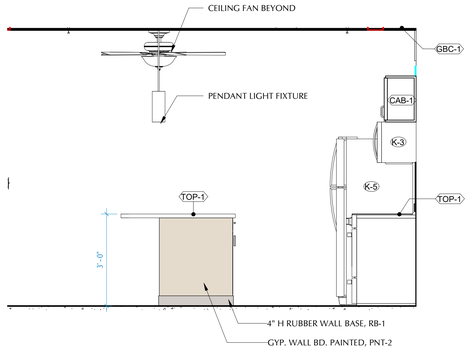
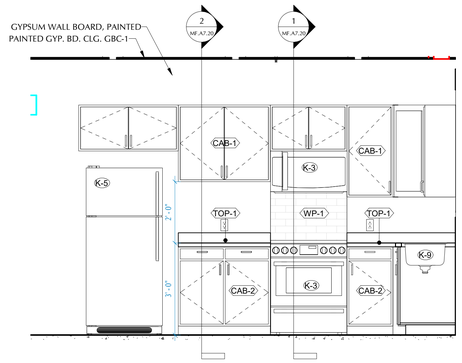


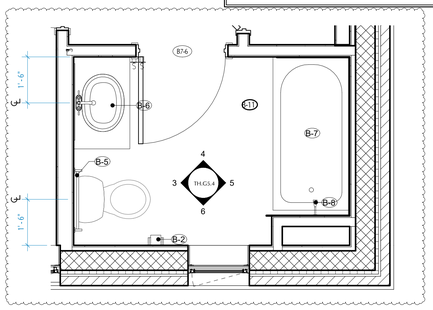
7 INT KITCHEN ELEV - K2
TH.G5.4 1/2" = 1'-0"



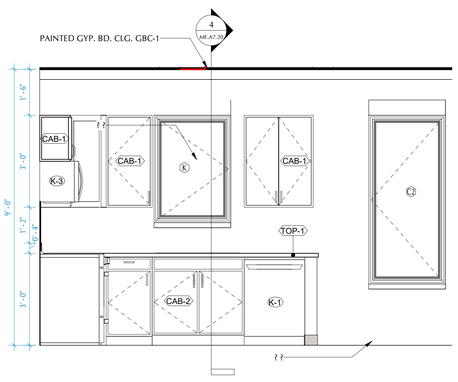
8 INT KITCHEN ELEV - K2
TH.G5.4 1/2" = 1'-0"



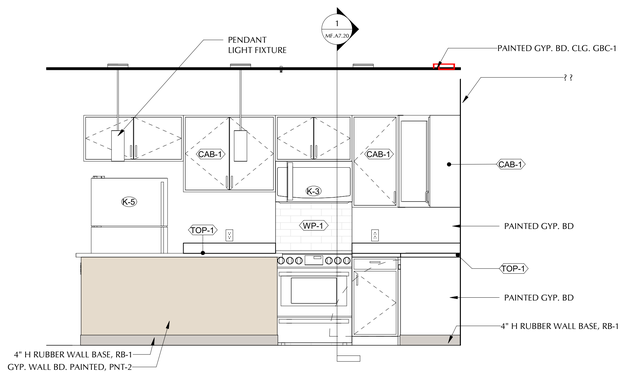
9 INT KITCHEN ELEV - K2
TH.G5.4 1/2" = 1'-0"



2 ENLARGED BATH PLAN - UNIT NAME 'K2'
TH.G5.4 1/2" = 1'-0"



10 INT KITCHEN ELEV - K2
TH.G5.4 1/2" = 1'-0"



11 INT KITCHEN ELEV - K2
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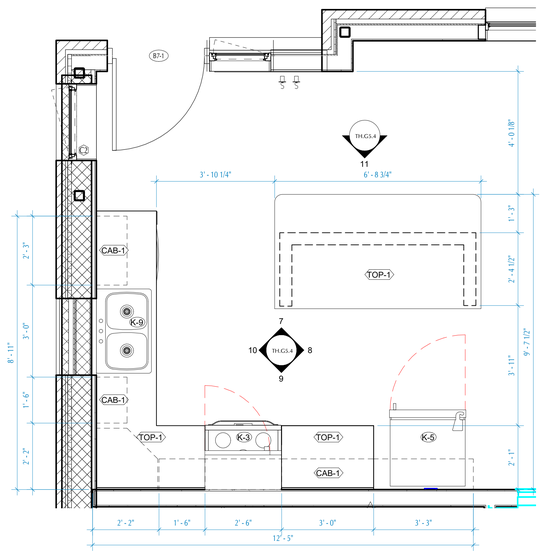

1 ENLARGED BATH PLAN - UNIT NAME 'K2'
TH.G5.4 1/2" = 1'-0"

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Fax 312.456.0124

	Date	Description
1	5/06/20	PLANS REVIEW COMMENTS
2	5/26/20	ADDENDUM 1

DARYL R. JOHNSON — REGISTERED ARCHITECT — STATE OF TENNESSEE — 05/26/20

Seal / Signature

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
ENLARGED FLOOR PLANS & INTERIOR ELEVATIONS - UNIT NAME 'K2'

Scale
As indicated

TH.G5.4

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ENLARGED PLAN NOTES

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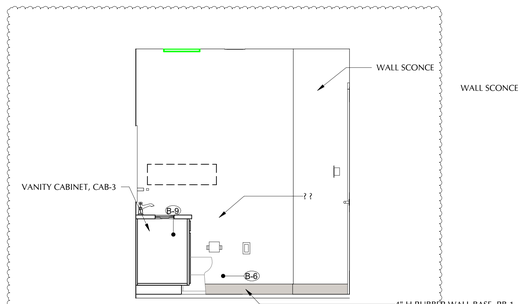
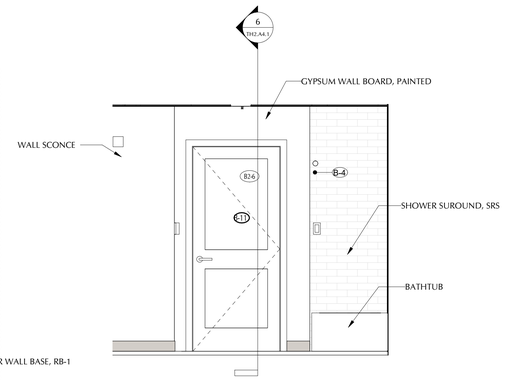
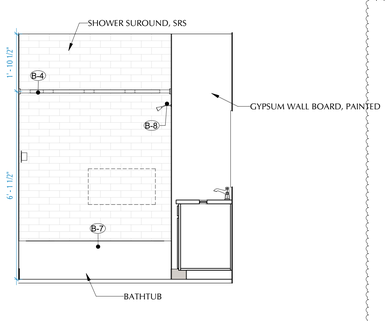


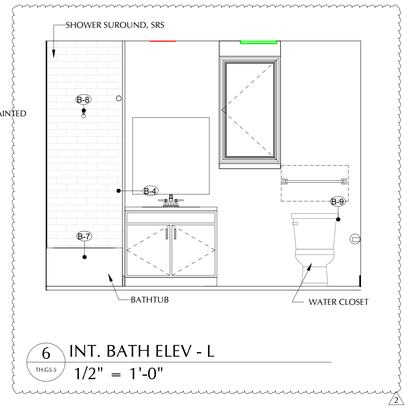
3 TH.G5.5 INT. BATH ELEV - L
1/2" = 1'-0"



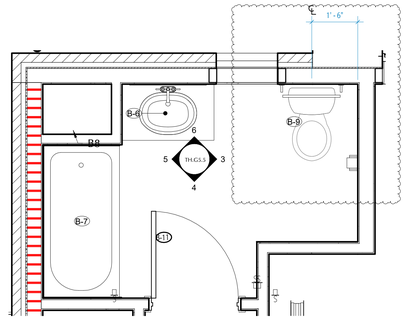
4 TH.G5.5 INT. BATH ELEV - L
1/2" = 1'-0"



5 TH.G5.5 INT. BATH ELEV - L
1/2" = 1'-0"



6 TH.G5.5 INT. BATH ELEV - L
1/2" = 1'-0"



2 TH.G5.5 ENLARGED BATH PLAN - UNIT NAME 'L'
1/2" = 1'-0"

7 TH.G5.5 INT KITCHEN ELEV - L
1/2" = 1'-0"

8 TH.G5.5 INT KITCHEN ELEV - L
1/2" = 1'-0"

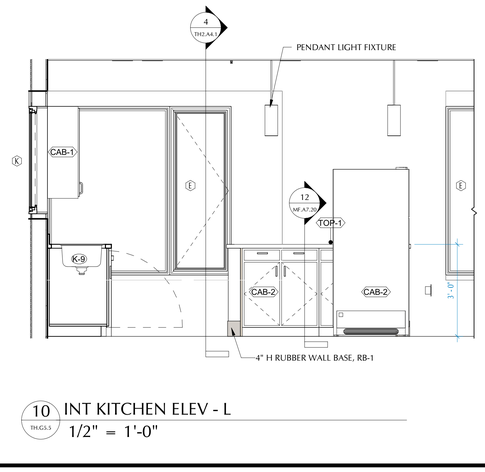
9 TH.G5.5 INT KITCHEN ELEV - L
1/2" = 1'-0"

FLOOR PLAN KEY - TYP. KITCHEN

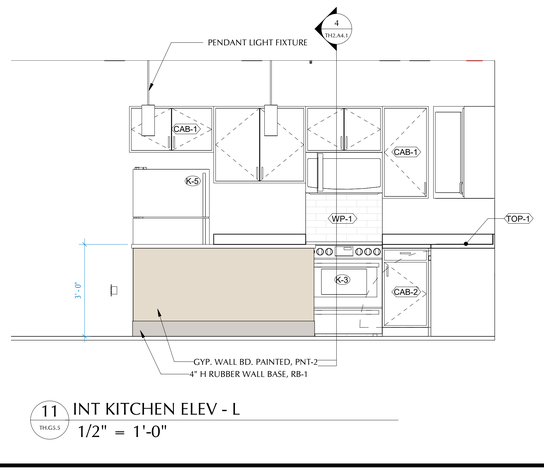
MARK	DESCRIPTION	NOTES
K-1	STANDARD DISHWASHER	O.F.C.I.
K-1A	ACCESSIBLE DISHWASHER	O.F.C.I.
K-2	OVER THE RANGE VENTED MICROWAVE	O.F.C.I.
K-2A	ACCESSIBLE MICROWAVE, COUNTERTOP	O.F.C.I.
K-3	OVEN RANGE	O.F.C.I.
K-3A	ACCESSIBLE RANGE; FRONT ACCESS CONTROLS	O.F.C.I.
K-4	VENTILATION HOOD - ACCESSIBLE WALL SWITCH	
K-5	REFRIGERATOR, TOP FREEZER W/ ICEMAKER	O.F.C.I.
K-6	HEAVY DUTY WIRE SHELVING	NOTE #5
K-7	CLOTHES WASHER; TOP LOADING	N.I.C.
K-8	DRYER; FRONT LOADING	N.I.C.
K-9	DOUBLE-BOWL KITCHEN SINK; UNDERMOUNT	
K-10	STACKING WASHER & DRYER UNIT	N.I.C.
K-11	WATER HEATER	

FLOOR PLAN KEY - TYP. BATH

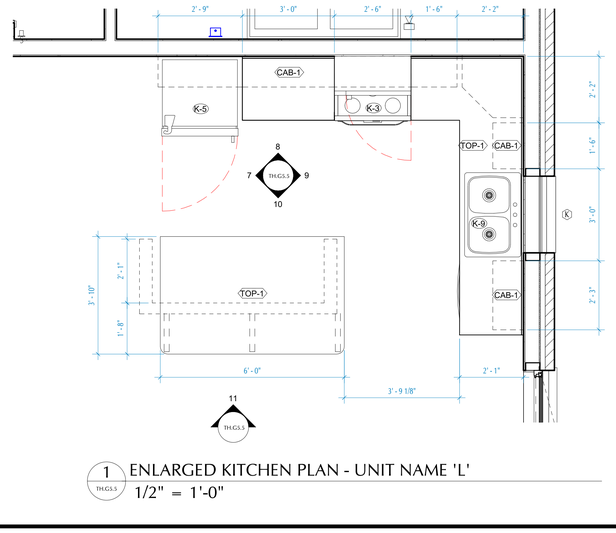
MARK	DESCRIPTION	NOTES
B-1	FRAMED MIRROR	
B-2	TOILET PAPER DISPENSER	
B-3	GRAB BARS	
B-4	SHOWER CURTAIN ROD	
B-5	TOWEL BAR	
B-6	INTEGRAL VANITY SINK	
B-7	PREFAB BATHTUB W/ FOLDING SEAT	NOTE #9 & 10
B-8	STANDARD SHOWER CONTROLS	SEE PLUMB
B-8A	ADA SHOWER CONTROLS	SEE PLUMB
B-9	WATER CLOSET	SEE PLUMB
B-10	SHOWER PAN BASE	NOTE #9 & 10
B-11	ROBE HOOK	NOTE #7



10 TH.G5.5 INT KITCHEN ELEV - L
1/2" = 1'-0"



11 TH.G5.5 INT KITCHEN ELEV - L
1/2" = 1'-0"



1 TH.G5.5 ENLARGED KITCHEN PLAN - UNIT NAME 'L'
1/2" = 1'-0"

KCDC
KNOXVILLE'S COMMUNITY DEVELOPMENT CORPORATION

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United States
Tel 312.456.0123
Fax 312.456.0124

△	Date	Description
1	5/06/20	PLANS REVIEW COMMENTS
2	5/26/20	ADDENDUM 1

DARYL R. JOHNSON — REGISTERED ARCHITECT — STATE OF TENNESSEE — 05/26/2020

Seal / Signature

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
ENLARGED FLOOR PLANS & INTERIOR ELEVATIONS - UNIT NAME 'L'

Scale
As indicated

TH.G5.5 △1

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ENLARGED PLAN NOTES

1. COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS
2. WHERE INDICATED WITH A DASHED LINE, PROVIDE BLOCKING AS REQ'D FOR FUTURE GRAB BAR INSTALLATION
3. COORDINATE ALL KITCHEN APPLIANCE & REQUIREMENTS WITH OWNER PRIOR TO FINAL PURCHASE & INSTALLATION
4. COORDINATE ALL BATHROOM ACCESSORY REQUIREMENTS WITH OWNER PRIOR TO FINAL PURCHASE & INSTALLATION
5. TYPICAL AT ALL LAUNDRY ROOMS - PROVIDE (2) HEAVY DUTY WIRE SHELVING (WHITE) W/ WALL MOUNTED BRACKETS & BLOCKING AS REQ'D ABOVE ALL WASHER & DRYER UNITS. REFER TO FINISH LEGEND FOR BRACKET INFORMATION. WASHER & DRYER (N.I.C)
6. PROVIDE C'TOP SUPPORT & BLOCKING AS REQ'D AT ALL KITCHEN ISLANDS
7. INSTALL (1) ROBE HOOK @ EA. BATHROOM DOOR - TYPICAL AT ALL TENANT BATHROOMS / SINGLE COMPARTMENT RESTROOMS
8. REFER TO SHEET G1.1 FOR MOUNTING HEIGHTS, ACCESSIBLE NOTES & DETAILS
9. SEE SHEET MF.A7.19 FOR FINISHES, LEGENDS, AND NOTES.

FLOOR PLAN KEY - TYP. KITCHEN

MARK	DESCRIPTION	NOTES
K-1	STANDARD DISHWASHER	O.F.C.I.
K-1A	ACCESSIBLE DISHWASHER	O.F.C.I.
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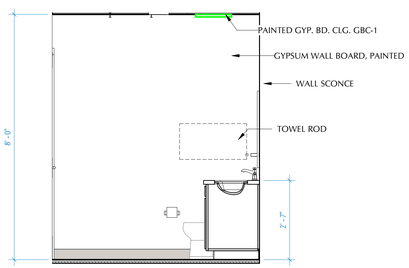
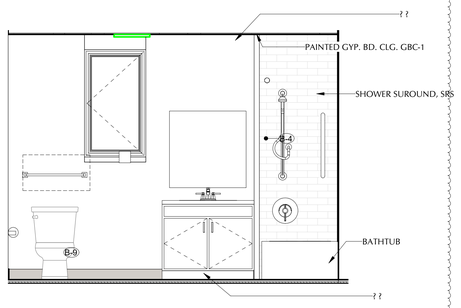
K-4	VENTILATION HOOD - ACCESSIBLE WALL SWITCH	
K-5	REFRIGERATOR, TOP FREEZER W/ ICEMAKER	O.F.C.I.
K-6	HEAVY DUTY WIRE SHELVING	NOTE #5
K-7	CLOTHES WASHER; TOP LOADING	N.I.C.
K-8	DRYER; FRONT LOADING	N.I.C.
K-9	DOUBLE-BOWL KITCHEN SINK; UNDERMOUNT	
K-10	STACKING WASHER & DRYER UNIT	N.I.C.
K-11	WATER HEATER	

FLOOR PLAN KEY - TYP. BATH

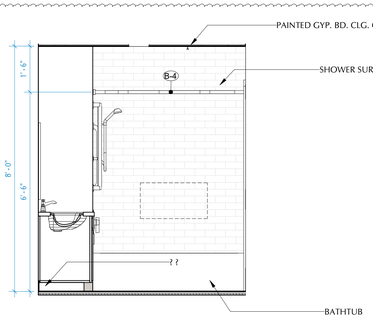
MARK	DESCRIPTION	NOTES
B-1	FRAMED MIRROR	
B-2	TOILET PAPER DISPENSER	
B-3	GRAB BARS	
B-4	SHOWER CURTAIN ROD	
B-5	TOWEL BAR	
B-6	INTEGRAL VANITY SINK	
B-7	PREFAB BATHTUB W/ FOLDING SEAT	NOTE #9 & 10
B-8	STANDARD SHOWER CONTROLS	SEE PLUMB
B-8A	ADA SHOWER CONTROLS	SEE PLUMB
B-9	WATER CLOSET	SEE PLUMB
B-10	SHOWER PAN BASE	NOTE #9 & 10
B-11	ROBE HOOK	NOTE #7



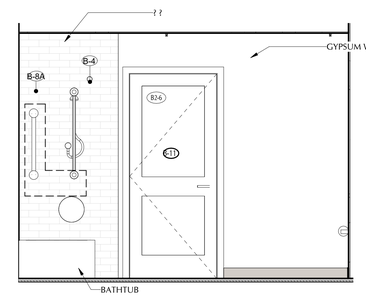
3 TH.G5.6 INT BATH ELEV - M
1/2" = 1'-0"



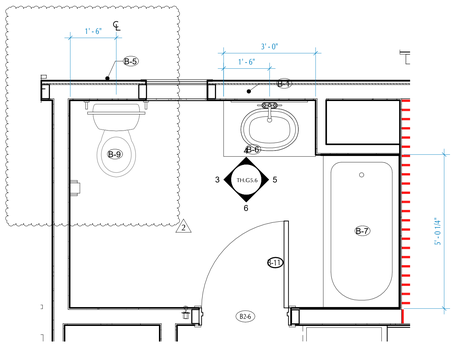
4 TH.G5.6 INT BATH ELEV - M
1/2" = 1'-0"



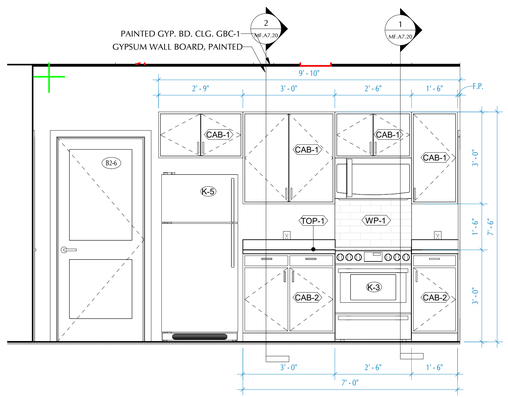
5 TH.G5.6 INT BATH ELEV - M
1/2" = 1'-0"



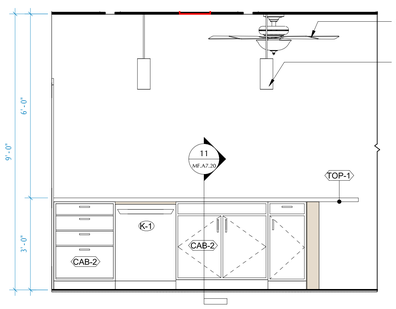
6 TH.G5.6 INT BATH ELEV - M
1/2" = 1'-0"



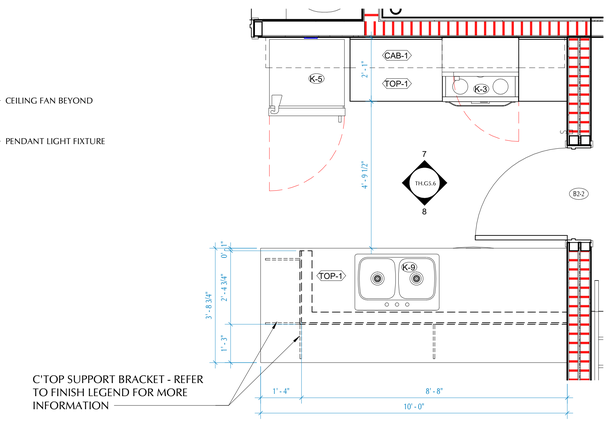
2 TH.G5.6 ENLARGED BATH PLAN - UNIT NAME 'M'
1/2" = 1'-0"



7 TH.G5.6 INT KITCHEN ELEV - M
1/2" = 1'-0"



8 TH.G5.6 INT KITCHEN ELEV - M
1/2" = 1'-0"



1 TH.G5.6 ENLARGED KITCHEN PLAN - UNIT NAME 'M'
1/2" = 1'-0"

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1	5/06/20	PLANS REVIEW COMMENTS
2	5/26/20	ADDENDUM 1

DARYL F. JOHNSON — REGISTERED ARCHITECT — STATE OF TENNESSEE — 05/26/20

Seal / Signature

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
ENLARGED FLOOR PLANS & INTERIOR ELEVATIONS - UNIT NAME 'M'

Scale
As indicated

TH.G5.6 1

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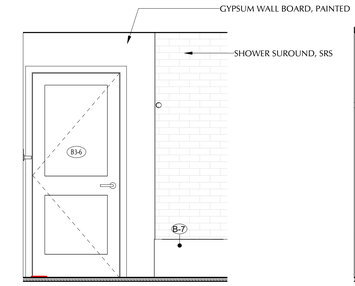

4 TH.G5.7 INT. BATH ELEV - N
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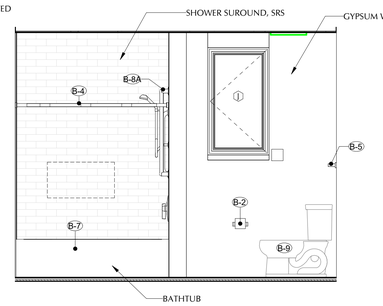
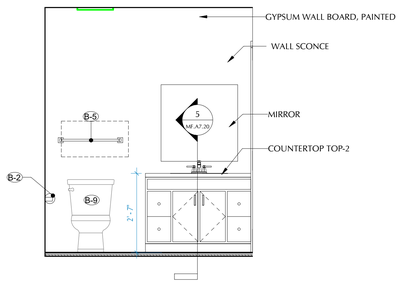
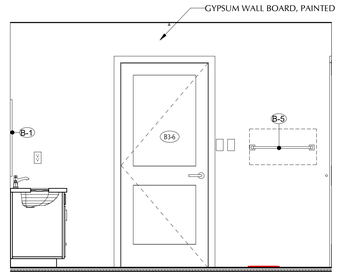


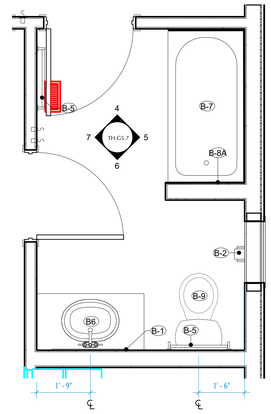
5 TH.G5.7 INT. BATH ELEV - N
1/2" = 1'-0"



6 TH.G5.7 INT. BATH ELEV - N
1/2" = 1'-0"



7 TH.G5.7 INT. BATH ELEV - N
1/2" = 1'-0"



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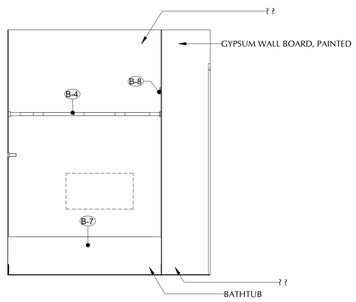
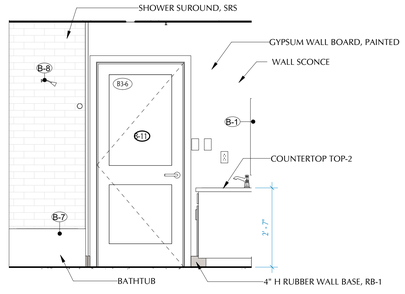
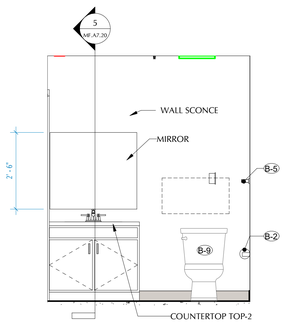
1/2" = 1'-0"



8 TH.G5.7 INT. BATH ELEV - N
1/2" = 1'-0"



9 TH.G5.7 INT. BATH ELEV - N
1/2" = 1'-0"



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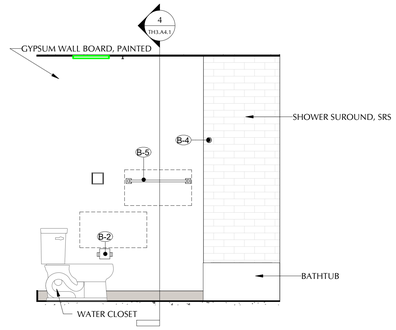
1/2" = 1'-0"



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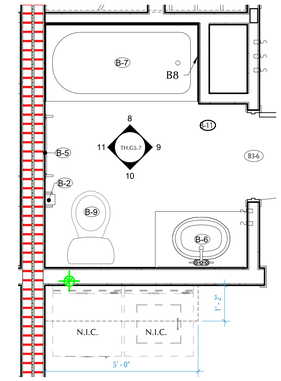
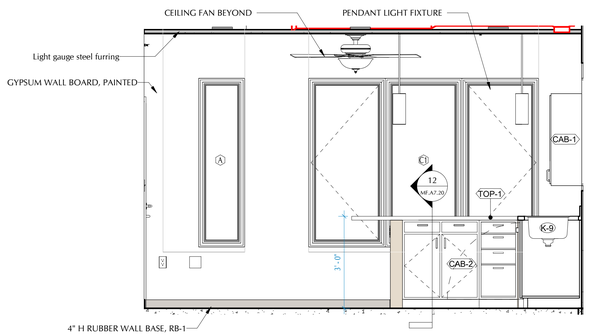
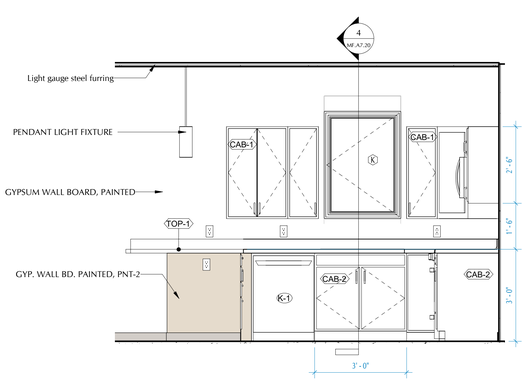
1/2" = 1'-0"



2 TH.G5.7 ENLARGED BATH PLAN - UNIT NAME 'N'
1/2" = 1'-0"



12 TH.G5.7 INT. KITCHEN ELEV - N
1/2" = 1'-0"



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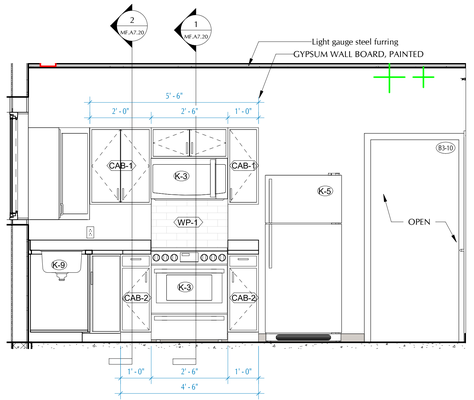

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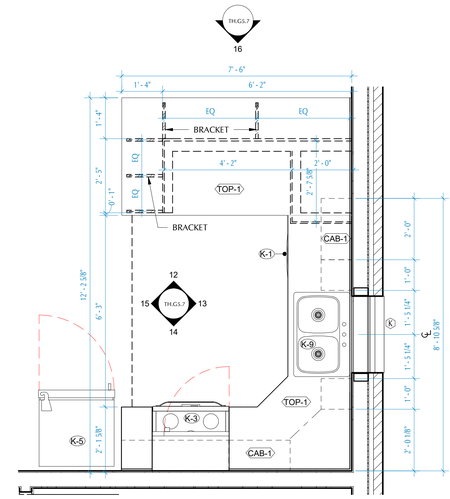

1 TH.G5.7 ENLARGED KITCHEN PLAN - UNIT NAME 'N'
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ENLARGED PLAN NOTES

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K-9	DOUBLE-BOWL KITCHEN SINK; UNDERMOUNT	
K-10	STACKING WASHER & DRYER UNIT	N.I.C.
K-11	WATER HEATER	

FLOOR PLAN KEY - TYP. BATH

MARK	DESCRIPTION	NOTES
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B-4	SHOWER CURTAIN ROD	
B-5	TOWEL BAR	
B-6	INTEGRAL VANITY SINK	
B-7	PREFAB BATHTUB W/ FOLDING SEAT	NOTE #9 & 10
B-8	STANDARD SHOWER CONTROLS	SEE PLUMB
B-8A	ADA SHOWER CONTROLS	SEE PLUMB
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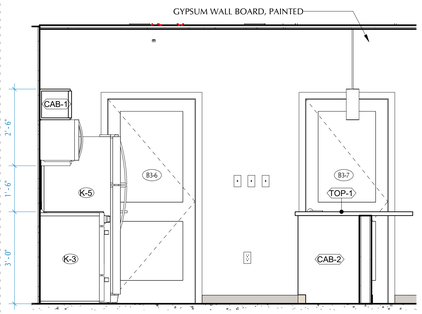
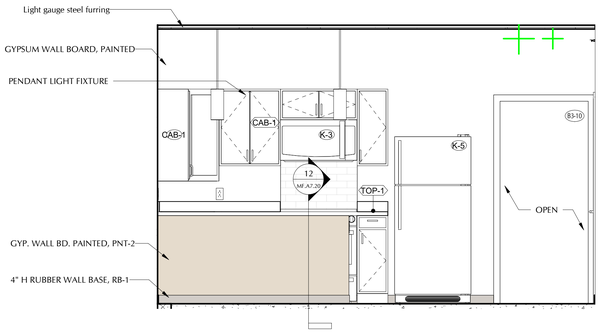
B-10	SHOWER PAN BASE	NOTE #9 & 10
B-11	ROBE HOOK	NOTE #7



15 TH.G5.7 INT. KITCHEN ELEV - N
1/2" = 1'-0"



16 TH.G5.7 INT. KITCHEN ELEV - N
1/2" = 1'-0"

KCDC
KNOXVILLE'S COMMUNITY DEVELOPMENT CORPORATION

AUSTIN HOMES REDEVELOPMENT
PHASE 1A
BURGE DRIVE AND HARRIET TUBMAN ST.

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Tel 312.456.0123
Fax 312.456.0124

△	Date	Description
1	5/06/20	PLANS REVIEW COMMENTS
2	5/26/20	ADDENDUM 1

DARYL R. JOHNSON
REGISTERED ARCHITECT
STATE OF TENNESSEE
02129
05/26/20

Seal / Signature

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
ENLARGED FLOOR PLANS & INTERIOR ELEVATIONS - UNIT NAME 'N'

Scale
As indicated

TH.G5.7
1

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FLOOR PLAN KEY - TYP. BATH

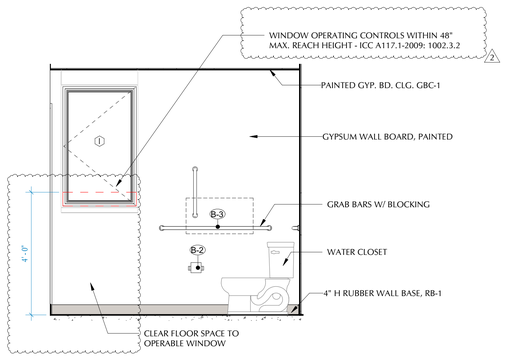
MARK	DESCRIPTION	NOTES
B-1	FRAMED MIRROR	
B-2	TOILET PAPER DISPENSER	
B-3	GRAB BARS	
B-4	SHOWER CURTAIN ROD	
B-5	TOWEL BAR	
B-6	INTEGRAL VANITY SINK	
B-7	PREFAB BATHTUB W/ FOLDING SEAT	NOTE #9 & 10
B-8	STANDARD SHOWER CONTROLS	SEE PLUMB
B-8A	ADA SHOWER CONTROLS	SEE PLUMB
B-9	WATER CLOSET	SEE PLUMB
B-10	SHOWER PAN BASE	NOTE #9 & 10
B-11	ROBE HOOK	NOTE #7

FLOOR PLAN KEY - TYP. KITCHEN

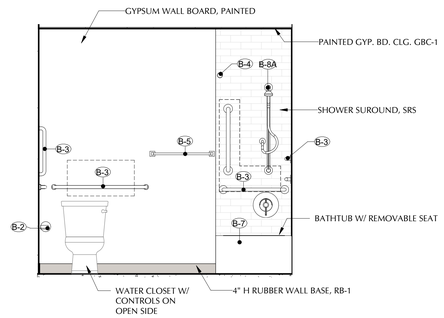
MARK	DESCRIPTION	NOTES
K-1	STANDARD DISHWASHER	O.F.C.I.
K-1A	ACCESSIBLE DISHWASHER	O.F.C.I.
K-2	OVER THE RANGE VENTED MICROWAVE	O.F.C.I.
K-2A	ACCESSIBLE MICROWAVE, COUNTERTOP	O.F.C.I.
K3	OVEN RANGE	O.F.C.I.
K-3A	ACCESSIBLE RANGE; FRONT ACCESS CONTROLS	O.F.C.I.
K-4	VENTILATION HOOD - ACCESSIBLE WALL SWITCH	
K-5	REFRIGERATOR, TOP FREEZER W/ ICEMAKER	O.F.C.I.
K-6	HEAVY DUTY WIRE SHELVING	NOTE #5
K-7	CLOTHES WASHER; TOP LOADING	N.I.C.
K-8	DRYER; FRONT LOADING	N.I.C.
K-9	DOUBLE-BOWL KITCHEN SINK; UNDERMOUNT	
K-10	STACKING WASHER & DRYER UNIT	N.I.C.
K-11	WATER HEATER	

ENLARGED PLAN NOTES

1. COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS
2. WHERE INDICATED WITH A DASHED LINE, PROVIDE BLOCKING AS REQ'D FOR FUTURE GRAB BAR INSTALLATION
3. COORDINATE ALL KITCHEN APPLIANCE & REQUIREMENTS WITH OWNER PRIOR TO FINAL PURCHASE & INSTALLATION
4. COORDINATE ALL BATHROOM ACCESSORY REQUIREMENTS WITH OWNER PRIOR TO FINAL PURCHASE & INSTALLATION
5. TYPICAL AT ALL LAUNDRY ROOMS - PROVIDE (2) HEAVY DUTY WIRE SHELVING (WHITE) W/ WALL MOUNTED BRACKETS & BLOCKING AS REQ'D ABOVE ALL WASHER & DRYER UNITS. REFER TO FINISH LEGEND FOR BRACKET INFORMATION. WASHER & DRYER (N.I.C)
6. PROVIDE C'TOP SUPPORT & BLOCKING AS REQ'D AT ALL KITCHEN ISLANDS
7. INSTALL (1) ROBE HOOK @ EA. BATHROOM DOOR - TYPICAL AT ALL TENANT BATHROOMS / SINGLE COMPARTMENT RESTROOMS
8. REFER TO SHEET G1.1 FOR MOUNTING HEIGHTS, ACCESSIBLE NOTES & DETAILS
9. SEE SHEET MF.A7.19 FOR FINISHES, LEGENDS, AND NOTES.



2 TH.G5.8 INT. BATH ELEV - O
1/2" = 1'-0"



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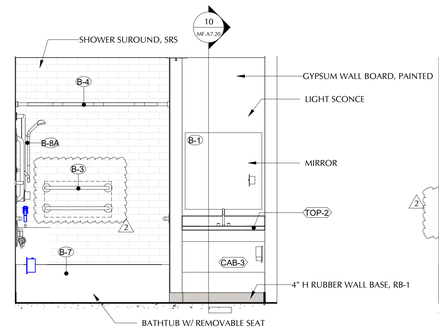
1/2" = 1'-0"



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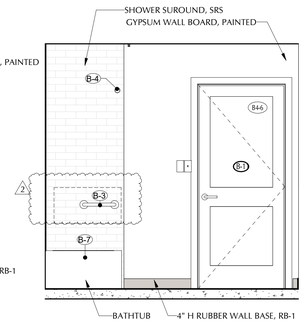
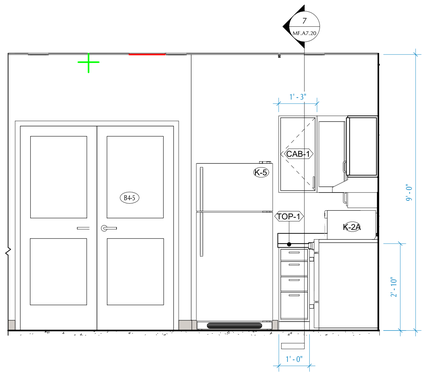
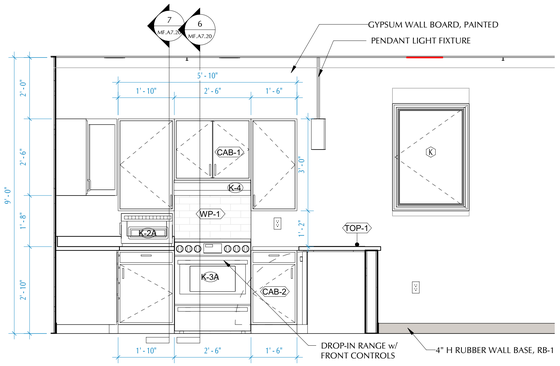


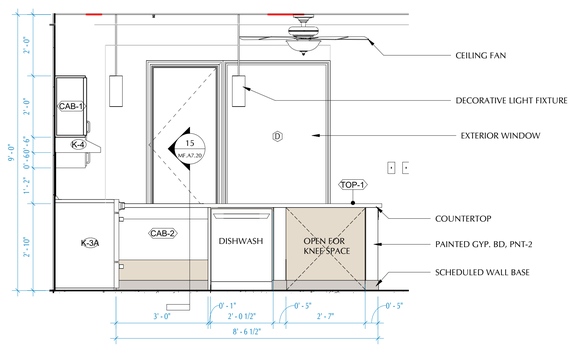
5 TH.G5.8 INT. BATH ELEV - O
1/2" = 1'-0"



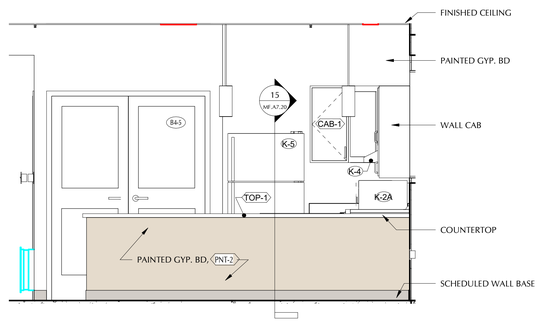
6 TH.G5.8 INT. KITCHEN ELEV - O
1/2" = 1'-0"



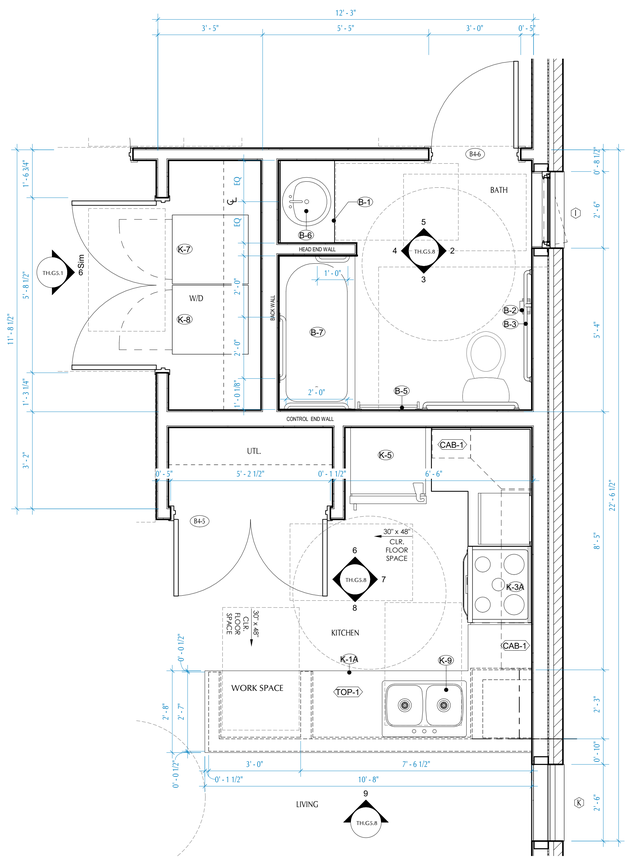
7 TH.G5.8 INT. KITCHEN ELEV - O
1/2" = 1'-0"



8 TH.G5.8 INT. KITCHEN ELEV - O
1/2" = 1'-0"



9 TH.G5.8 INT. KITCHEN ELEV - O
1/2" = 1'-0"



1 TH.G5.8 ENLARGED KIT. PLAN - ACCESSIBLE UNIT 'O'
1/2" = 1'-0"

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△	Date	Description
1	5/06/20	PLANS REVIEW COMMENTS
2	5/26/20	ADDENDUM 1

DARYL R. JOHNSON — REGISTERED ARCHITECT — STATE OF TENNESSEE — 102318 — 05/26/2020

Seal / Signature

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
ENLARGED FLOOR PLANS INTERIOR ELEVATIONS - ACCESSIBLE UNIT 'O'

Scale
As indicated

TH.G5.8

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FLOOR PLAN KEY - TYP. BATH

MARK	DESCRIPTION	NOTES
B-1	FRAMED MIRROR	
B-2	TOILET PAPER DISPENSER	
B-3	GRAB BARS	
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B-5	TOWEL BAR	
B-6	INTEGRAL VANITY SINK	
B-7	PREFAB BATHTUB W/ FOLDING SEAT	NOTE #9 & 10
B-8	STANDARD SHOWER CONTROLS	SEE PLUMB
B-8A	ADA SHOWER CONTROLS	SEE PLUMB
B-9	WATER CLOSET	SEE PLUMB
B-10	SHOWER PAN BASE	NOTE #9 & 10
B-11	ROBE HOOK	NOTE #7

FLOOR PLAN KEY - TYP. KITCHEN

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K-3A	ACCESSIBLE RANGE; FRONT ACCESS CONTROLS	O.F.C.I.
K-4	VENTILATION HOOD - ACCESSIBLE WALL SWITCH	
K-5	REFRIGERATOR, TOP FREEZER W/ ICEMAKER	O.F.C.I.
K-6	HEAVY DUTY WIRE SHELVING	NOTE #5
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K-8	DRYER; FRONT LOADING	N.I.C.
K-9	DOUBLE-BOWL KITCHEN SINK; UNDERMOUNT	
K-10	STACKING WASHER & DRYER UNIT	N.I.C.
K-11	WATER HEATER	

ENLARGED PLAN NOTES

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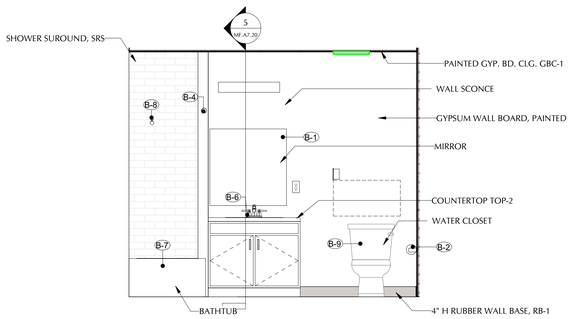
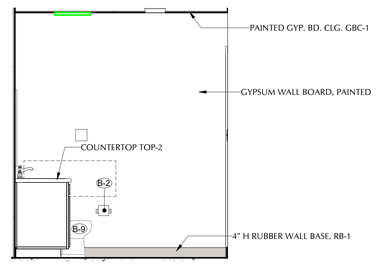
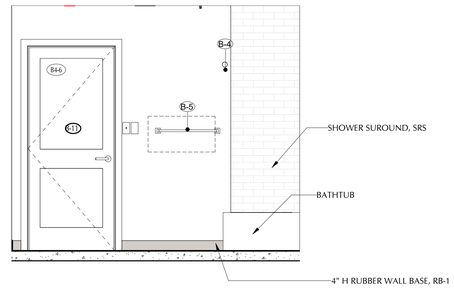


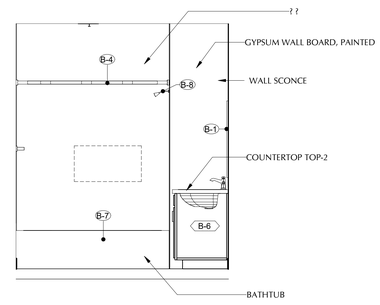
2 TH.G5.9 INT BATH ELEV - P
1/2" = 1'-0"



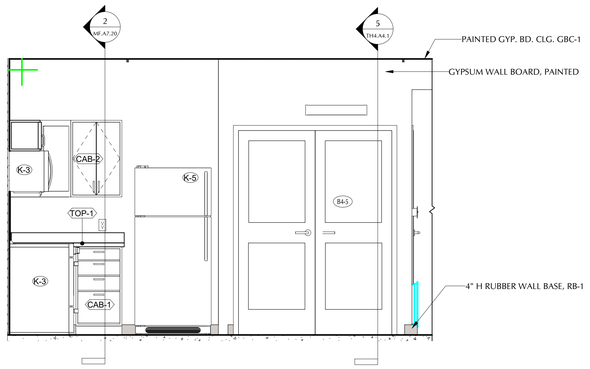
3 TH.G5.9 INT BATH ELEV - P
1/2" = 1'-0"



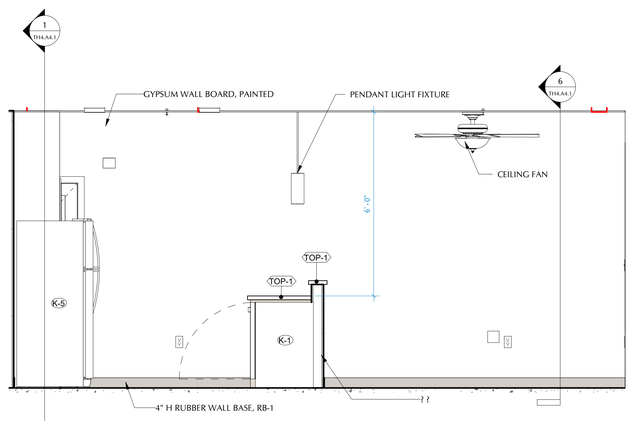
4 TH.G5.9 INT BATH ELEV - P
1/2" = 1'-0"



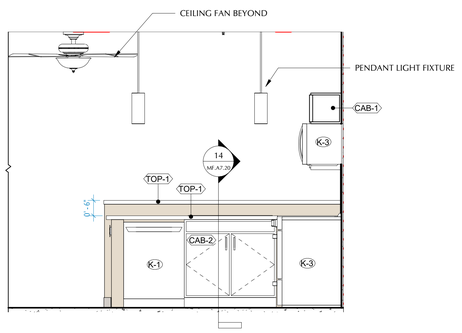
5 TH.G5.9 INT BATH ELEV - P
1/2" = 1'-0"



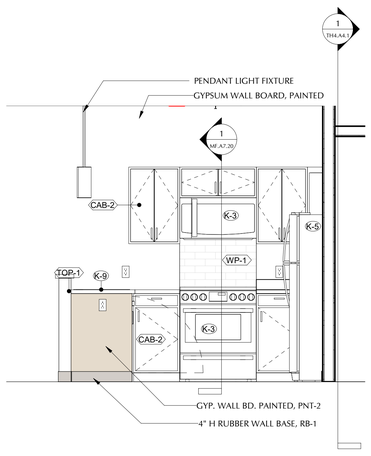
6 TH.G5.9 INT KITCHEN ELEV - P
1/2" = 1'-0"



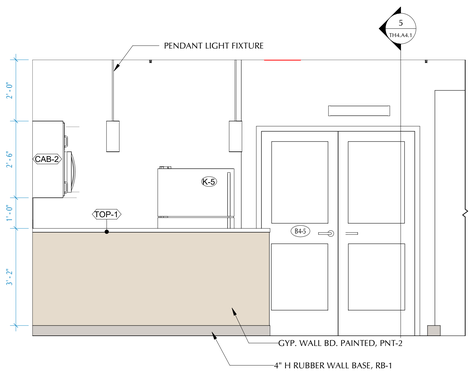
7 TH.G5.9 INT KITCHEN ELEV - P
1/2" = 1'-0"



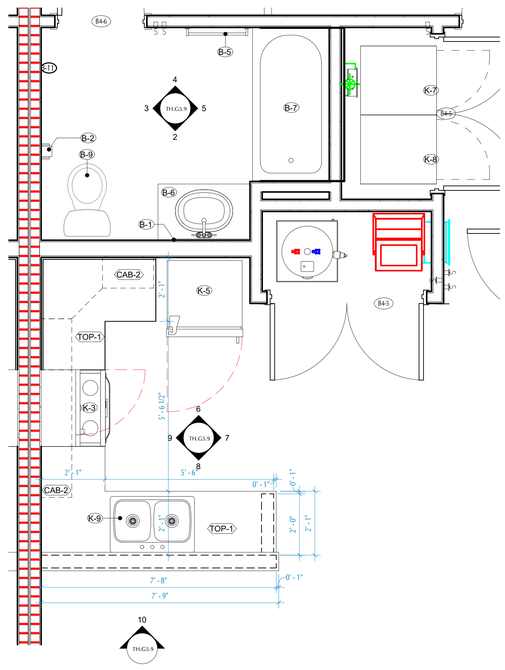
8 TH.G5.9 INT KITCHEN ELEV - P
1/2" = 1'-0"



9 TH.G5.9 INT KITCHEN ELEV - P
1/2" = 1'-0"



10 TH.G5.9 INT KITCHEN ELEV - P
1/2" = 1'-0"



1 TH.G5.9 ENLARGED KITCHEN & BATH PLAN - P
1/2" = 1'-0"

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△	Date	Description
1	5/06/20	PLANS REVIEW COMMENTS
2	5/26/20	ADDENDUM 1

DARYL R. JOHNSON — REGISTERED ARCHITECT — STATE OF TENNESSEE — 02316 — 05/26/2020

Seal / Signature

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
ENLARGED FLOOR PLANS & INTERIOR ELEVATIONS - UNIT NAME 'P'

Scale
As indicated

TH.G5.9

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FLOOR PLAN KEY - TYP. BATH

MARK	DESCRIPTION	NOTES
B-1	FRAMED MIRROR	
B-2	TOILET PAPER DISPENSER	
B-3	GRAB BARS	
B-4	SHOWER CURTAIN ROD	
B-5	TOWEL BAR	
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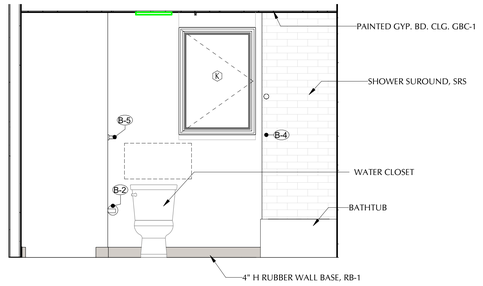

3 TH.GS.10 INT. BATH ELEV - Q
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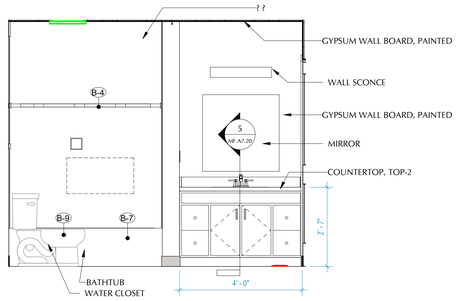
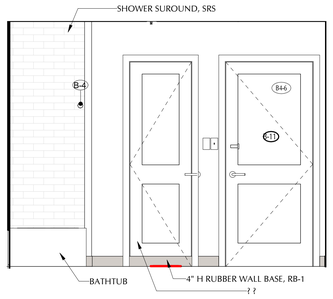


4 TH.GS.10 INT. BATH ELEV Q
1/2" = 1'-0"



5 TH.GS.10 INT. BATH ELEV Q
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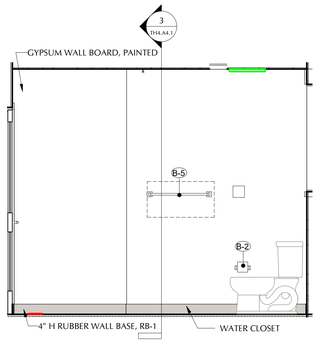
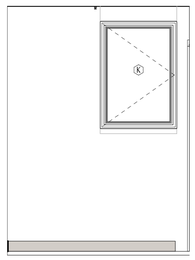


6 TH.GS.10 INT. BATH ELEV - Q
1/2" = 1'-0"



7 TH.GS.10 INT. BATH ELEV - Q
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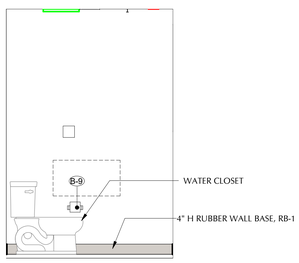

8 TH.GS.10 INT. BATH ELEV Q
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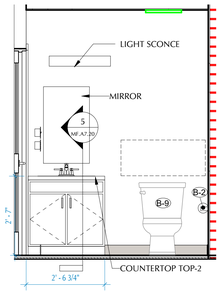

9 TH.GS.10 INT. BATH ELEV Q
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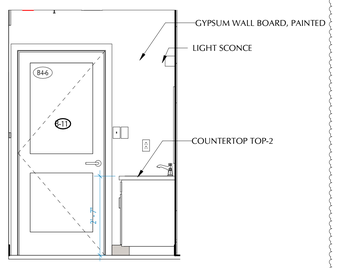
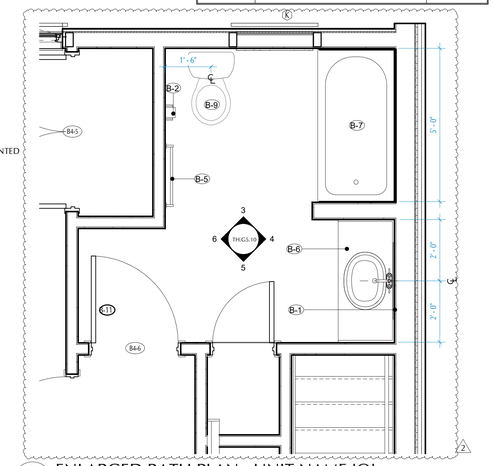
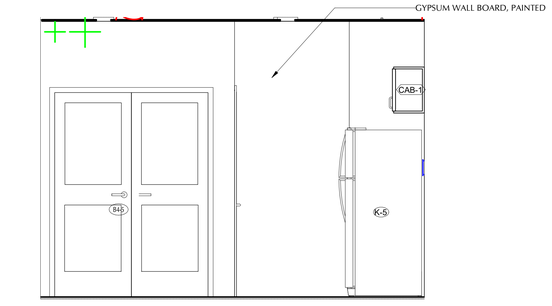


10 TH.GS.10 INT. BATH ELEV - Q
1/2" = 1'-0"



2 TH.GS.10 ENLARGED BATH PLAN - UNIT NAME 'Q'
1/2" = 1'-0"



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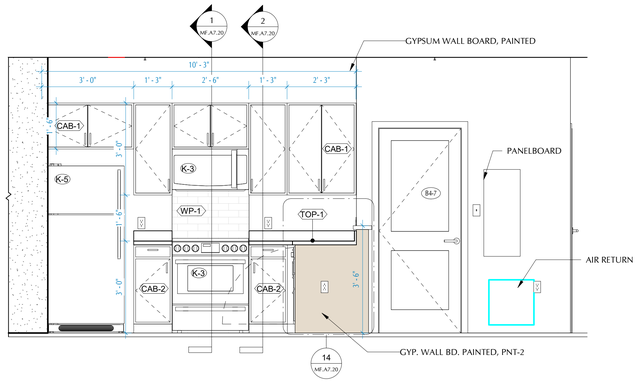
1/2" = 1'-0"



12 TH.GS.10 INT. KITCHEN ELEV - Q
1/2" = 1'-0"

ENLARGED PLAN NOTES

1. COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS
2. WHERE INDICATED WITH A DASHED LINE, PROVIDE BLOCKING AS REQ'D FOR FUTURE GRAB BAR INSTALLATION
3. COORDINATE ALL KITCHEN APPLIANCE & REQUIREMENTS WITH OWNER PRIOR TO FINAL PURCHASE & INSTALLATION
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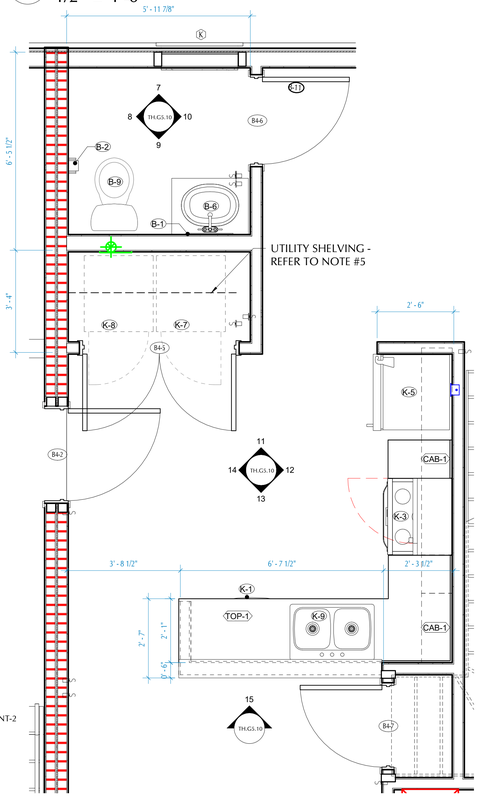
6. PROVIDE C'TOP SUPPORT & BLOCKING AS REQ'D AT ALL KITCHEN ISLANDS
7. INSTALL (1) ROBE HOOK @ EA. BATHROOM DOOR - TYPICAL AT ALL TENANT BATHROOMS / SINGLE COMPARTMENT RESTROOMS
8. REFER TO SHEET G1.1 FOR MOUNTING HEIGHTS, ACCESSIBLE NOTES & DETAILS
9. SEE SHEET MF.A7.19 FOR FINISHES, LEGENDS, AND NOTES.



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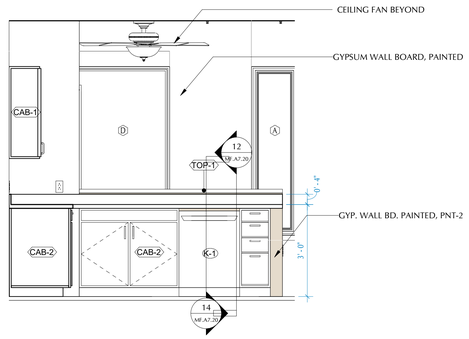
1/2" = 1'-0"



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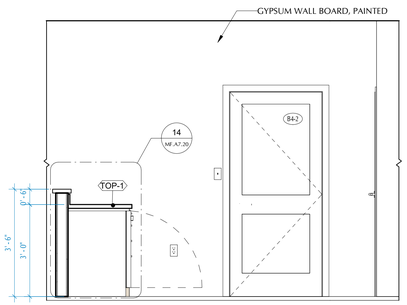

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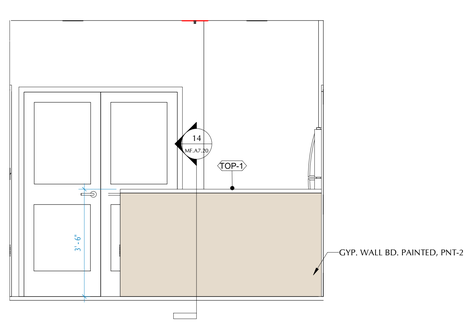

15 TH.GS.10 INT. KITCHEN ELEV - Q
1/2" = 1'-0"

KCDC
KNOXVILLE'S COMMUNITY DEVELOPMENT CORPORATION

AUSTIN HOMES REDEVELOPMENT
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United States
Tel 865.671.9060

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11 East Madison Street
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Chicago, IL 60602
United States
Tel 312.456.0123
Fax 312.456.0124

△	Date	Description
1	5/06/20	PLANS REVIEW COMMENTS
2	5/26/20	ADDENDUM 1

Seal / Signature

DARYL R. JOHNSON — REGISTERED ARCHITECT — STATE OF TENNESSEE — 05/26/2020

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
ENLARGED FLOOR PLANS & INTERIOR ELEVATIONS - UNIT NAME 'Q'

Scale
As indicated

TH.G5.10

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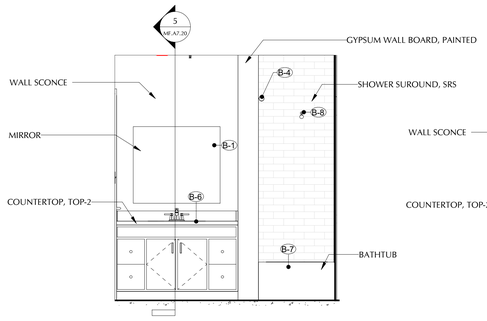

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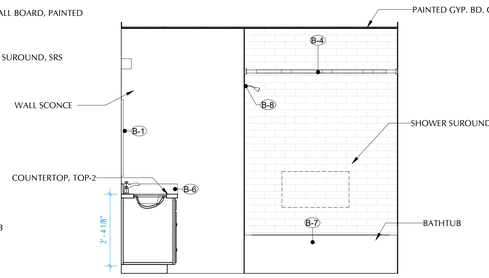
1/2" = 1'-0"



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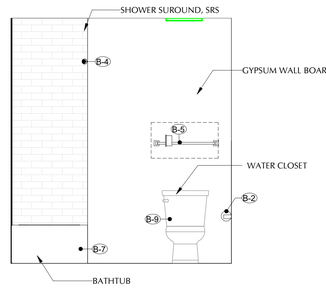

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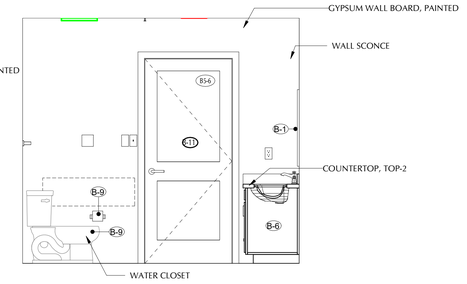


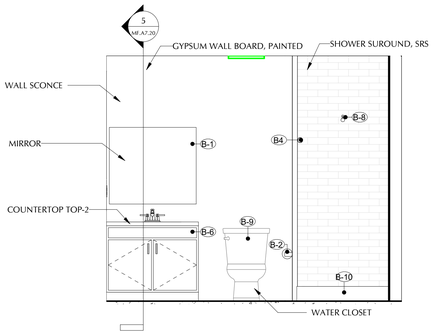
6 TH.G5.11 INT ELEV BATH - R/S
1/2" = 1'-0"

FLOOR PLAN KEY - TYP. KITCHEN

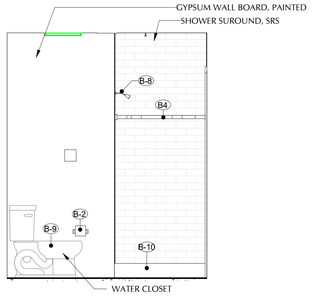
MARK	DESCRIPTION	NOTES
K-1	STANDARD DISHWASHER	O.F.C.I.
K-1A	ACCESSIBLE DISHWASHER	O.F.C.I.
K-2	OVER THE RANGE VENTED MICROWAVE	O.F.C.I.
K-2A	ACCESSIBLE MICROWAVE, COUNTERTOP	O.F.C.I.
K-3	OVEN RANGE	O.F.C.I.
K-3A	ACCESSIBLE RANGE; FRONT ACCESS CONTROLS	O.F.C.I.
K-4	VENTILATION HOOD - ACCESSIBLE WALL SWITCH	
K-5	REFRIGERATOR, TOP FREEZER W/ ICEMAKER	O.F.C.I.
K-6	HEAVY DUTY WIRE SHELVING	NOTE #5
K-7	CLOTHES WASHER; TOP LOADING	N.I.C.
K-8	DRYER; FRONT LOADING	N.I.C.
K-9	DOUBLE-BOWL KITCHEN SINK; UNDERMOUNT	
K-10	STACKING WASHER & DRYER UNIT	N.I.C.
K-11	WATER HEATER	

FLOOR PLAN KEY - TYP. BATH

MARK	DESCRIPTION	NOTES
B-1	FRAMED MIRROR	
B-2	TOILET PAPER DISPENSER	
B-3	GRAB BARS	
B-4	SHOWER CURTAIN ROD	
B-5	TOWEL BAR	
B-6	INTEGRAL VANITY SINK	
B-7	PREFAB BATHTUB W/ FOLDING SEAT	NOTE #9 & 10
B-8	STANDARD SHOWER CONTROLS	SEE PLUMB
B-8A	ADA SHOWER CONTROLS	SEE PLUMB
B-9	WATER CLOSET	SEE PLUMB
B-10	SHOWER PAN BASE	NOTE #9 & 10
B-11	ROBE HOOK	NOTE #7



7 TH.G5.11 INT ELEV BATH - R/S
1/2" = 1'-0"



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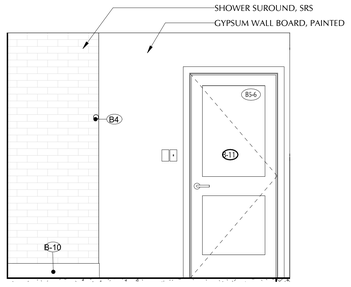

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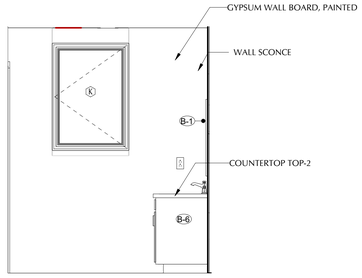

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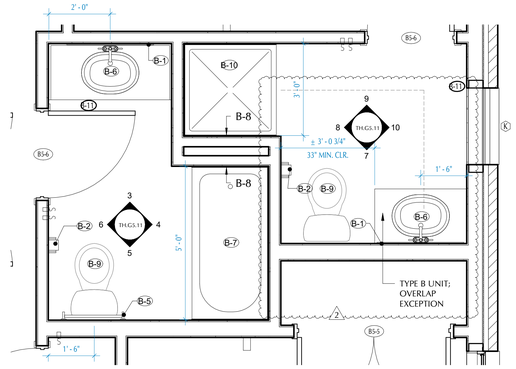
1/2" = 1'-0"



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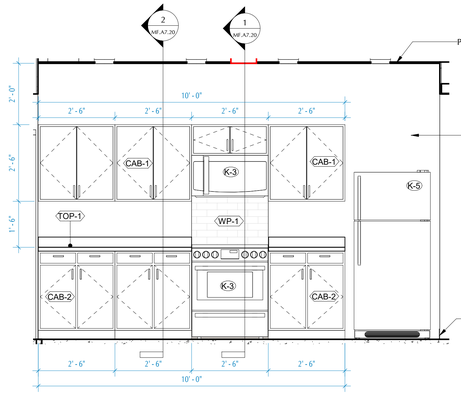
1/2" = 1'-0"



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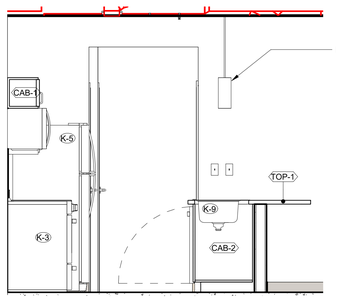

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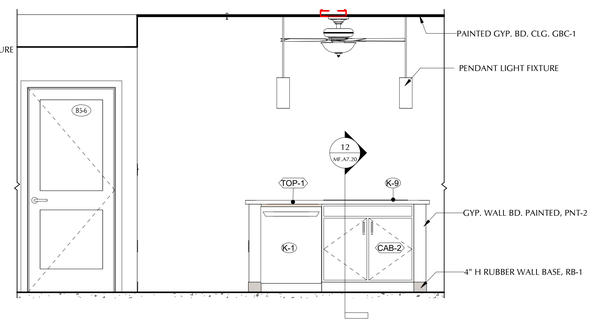

13 TH.G5.11 INT KITCHEN ELEV - R/S
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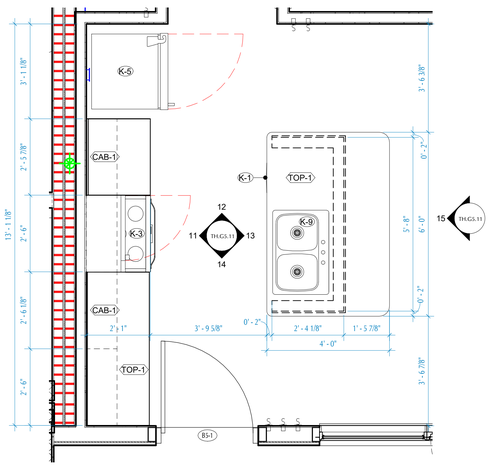

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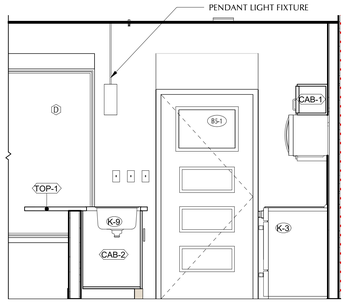
1/2" = 1'-0"



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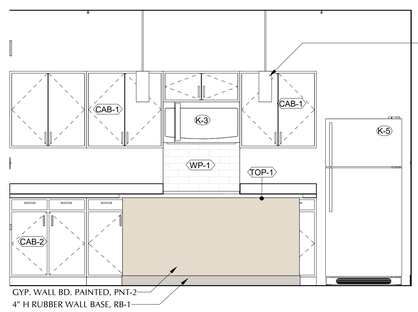

15 TH.G5.11 INT KITCHEN ELEV - R/S
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ENLARGED PLAN NOTES

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Fax 312.456.0124

△	Date	Description
1	5/06/20	PLANS REVIEW COMMENTS
2	5/26/20	ADDENDUM 1

Seal / Signature

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
ENLARGED UNIT FLOOR PLANS & INTERIOR ELEVATIONS - UNIT NAMES 'R' AND 'S'

Scale
As indicated

TH.G5.11

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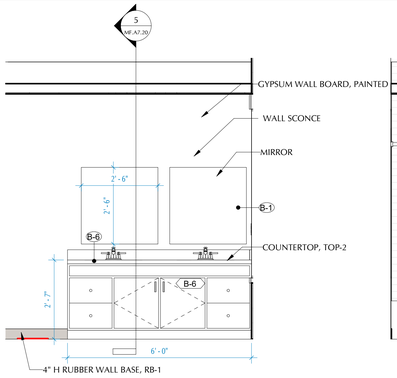

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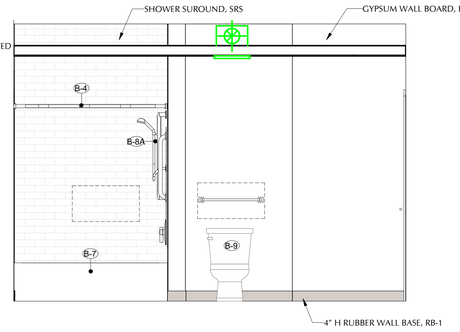

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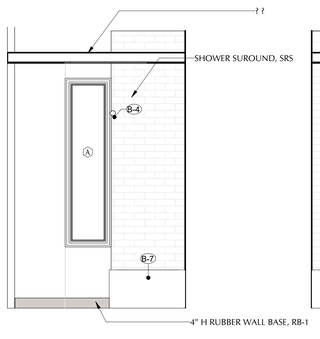

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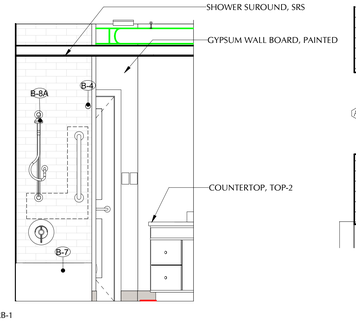

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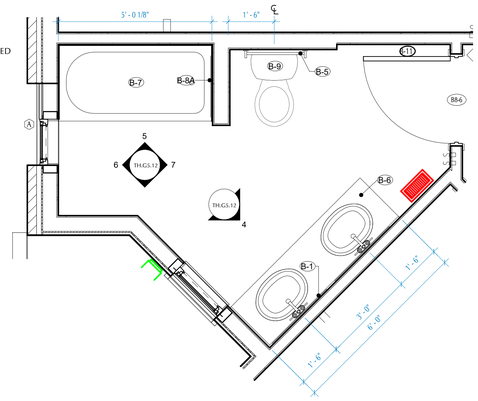

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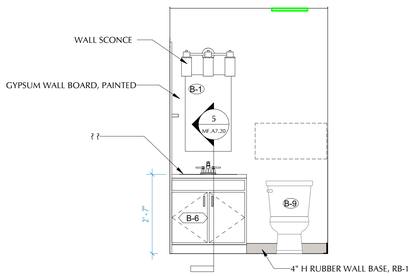

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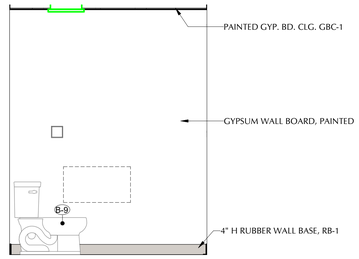

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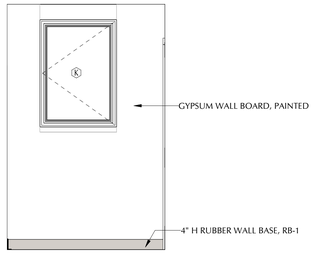

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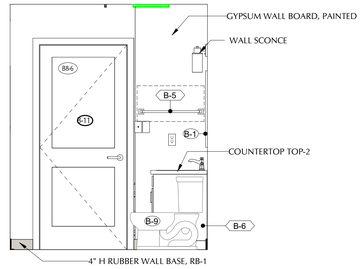

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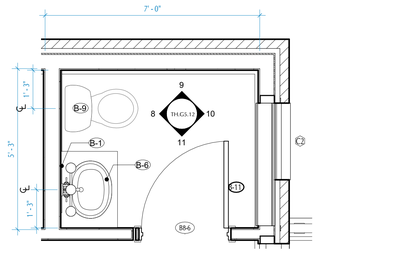

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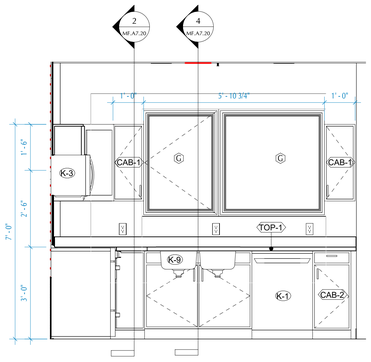

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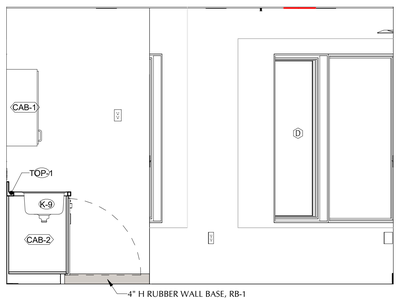

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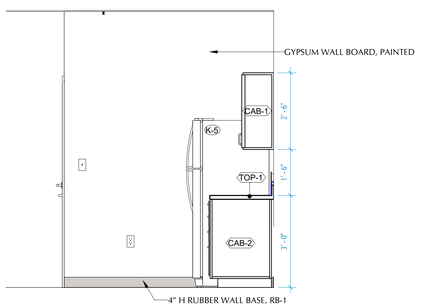

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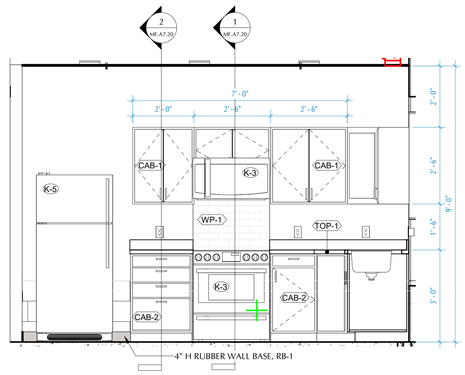

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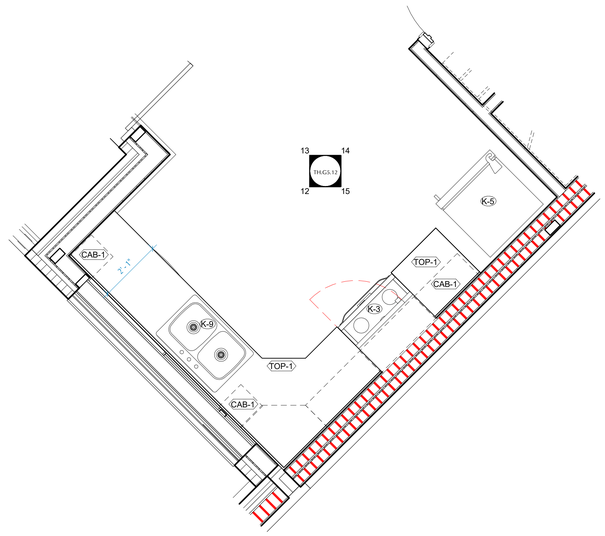
K-2A	ACCESSIBLE MICROWAVE, COUNTERTOP	O.F.C.I.
K-3	OVEN RANGE	O.F.C.I.
K-3A	ACCESSIBLE RANGE; FRONT ACCESS CONTROLS	O.F.C.I.
K-4	VENTILATION HOOD - ACCESSIBLE WALL SWITCH	
K-5	REFRIGERATOR, TOP FREEZER W/ ICEMAKER	O.F.C.I.
K-6	HEAVY DUTY WIRE SHELVING	NOTE #5
K-7	CLOTHES WASHER; TOP LOADING	N.I.C.
K-8	DRYER; FRONT LOADING	N.I.C.
K-9	DOUBLE-BOWL KITCHEN SINK; UNDERMOUNT	
K-10	STACKING WASHER & DRYER UNIT	N.I.C.
K-11	WATER HEATER	

FLOOR PLAN KEY - TYP. BATH

MARK	DESCRIPTION	NOTES
B-1	FRAMED MIRROR	
B-2	TOILET PAPER DISPENSER	
B-3	GRAB BARS	
B-4	SHOWER CURTAIN ROD	
B-5	TOWEL BAR	
B-6	INTEGRAL VANITY SINK	
B-7	PREFAB BATHTUB W/ FOLDING SEAT	NOTE #9 & 10
B-8	STANDARD SHOWER CONTROLS	SEE PLUMB
B-8A	ADA SHOWER CONTROLS	SEE PLUMB
B-9	WATER CLOSET	SEE PLUMB
B-10	SHOWER PAN BASE	NOTE #9 & 10
B-11	ROBE HOOK	NOTE #7

ENLARGED PLAN NOTES

1. COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS
2. WHERE INDICATED WITH A DASHED LINE, PROVIDE BLOCKING AS REQ'D FOR FUTURE GRAB BAR INSTALLATION
3. COORDINATE ALL KITCHEN APPLIANCE & REQUIREMENTS WITH OWNER PRIOR TO FINAL PURCHASE & INSTALLATION
4. COORDINATE ALL BATHROOM ACCESSORY REQUIREMENTS WITH OWNER PRIOR TO FINAL PURCHASE & INSTALLATION
5. TYPICAL AT ALL LAUNDRY ROOMS - PROVIDE (2) HEAVY DUTY WIRE SHELVING (WHITE) W/ WALL MOUNTED BRACKETS & BLOCKING AS REQ'D ABOVE ALL WASHER & DRYER UNITS. REFER TO FINISH LEGEND FOR BRACKET INFORMATION. WASHER & DRYER (N.I.C)
6. PROVIDE C'TOP SUPPORT & BLOCKING AS REQ'D AT ALL KITCHEN ISLANDS
7. INSTALL (1) ROBE HOOK @ EA. BATHROOM DOOR - TYPICAL AT ALL TENANT BATHROOMS / SINGLE COMPARTMENT RESTROOMS
8. REFER TO SHEET G1.1 FOR MOUNTING HEIGHTS, ACCESSIBLE NOTES & DETAILS
9. SEE SHEET MF.A7.19 FOR FINISHES, LEGENDS, AND NOTES.



1 ENLARGED KITCHEN PLAN - UNIT NAME 'T'
TH.G5.12 1/2" = 1'-0"

KCDC
KNOXVILLE'S COMMUNITY DEVELOPMENT CORPORATION
AUSTIN HOMES REDEVELOPMENT
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△	Date	Description
1	5/06/20	PLANS REVIEW COMMENTS
2	5/26/20	ADDENDUM 1

DARYL R. JOHNSON
REGISTERED ARCHITECT
STATE OF TENNESSEE
05/26/2020

Seal / Signature

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
ENLARGED FLOOR PLANS & INTERIOR ELEVATIONS - UNIT TYPE 'T'

Scale
As indicated

TH.G5.12 1

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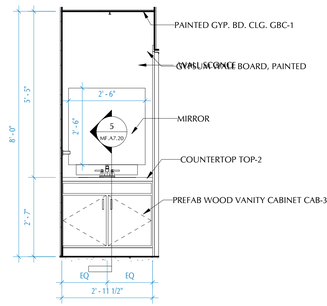
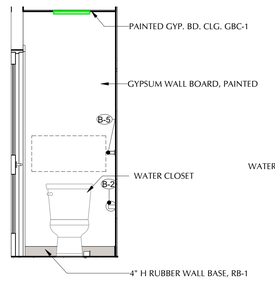


3 TH.G5.13 INT BATH ELEV - U
1/2" = 1'-0"



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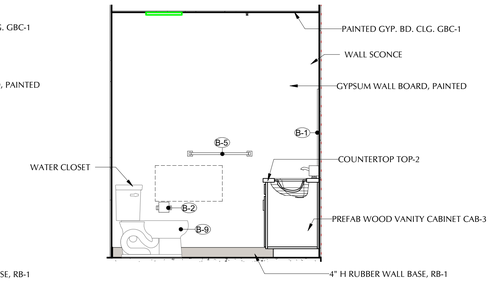

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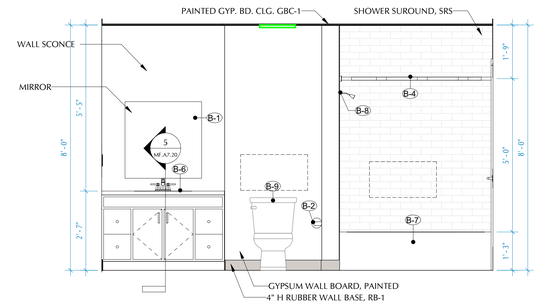

6 TH.G5.13 INT KITCHEN ELEV - U
1/2" = 1'-0"

ENLARGED PLAN NOTES

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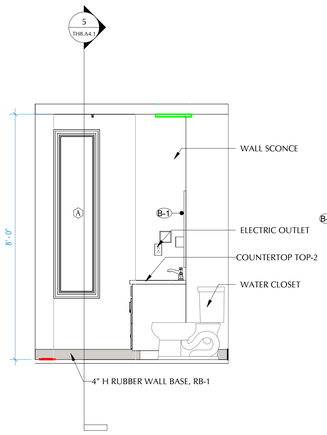

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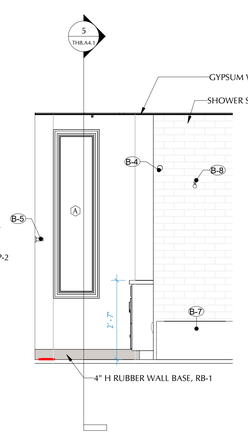
1/2" = 1'-0"



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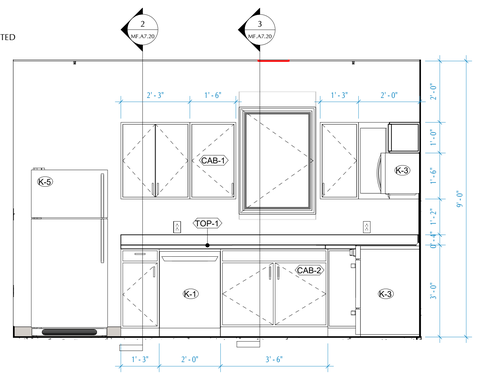
1/2" = 1'-0"



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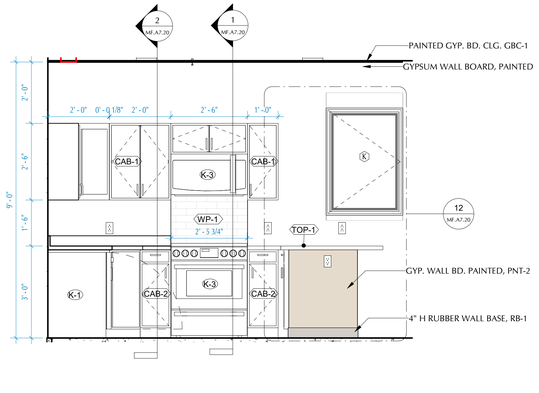
1/2" = 1'-0"



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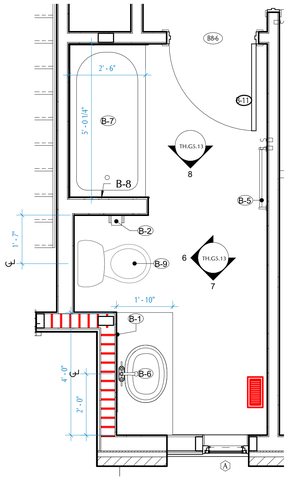
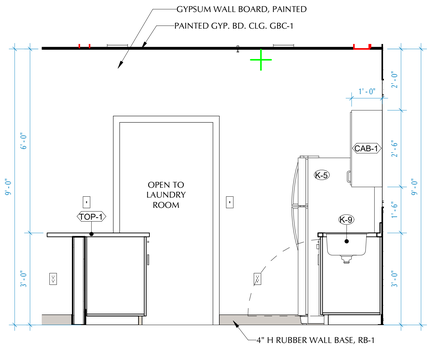
1/2" = 1'-0"



2 TH.G5.13 ENLARGED BATH PLAN - UNIT NAME 'U'
1/2" = 1'-0"



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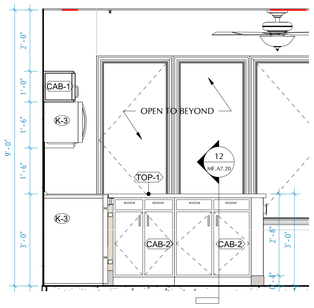
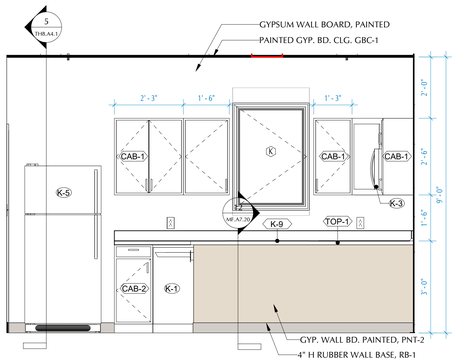
1/2" = 1'-0"



12 TH.G5.13 INT. BATH ELEV U
1/2" = 1'-0"



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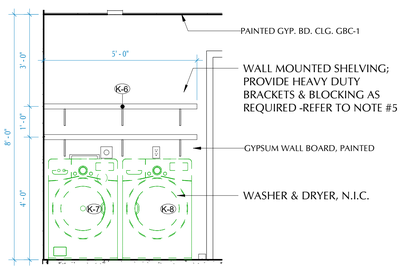
1/2" = 1'-0"



14 TH.G5.13 INT BATH ELEV - U
1/2" = 1'-0"

FLOOR PLAN KEY - TYP. BATH

MARK	DESCRIPTION	NOTES
B-1	FRAMED MIRROR	
B-2	TOILET PAPER DISPENSER	
B-3	GRAB BARS	
B-4	SHOWER CURTAIN ROD	
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B-7	PREFAB BATHTUB W/ FOLDING SEAT	NOTE #9 & 10
B-8	STANDARD SHOWER CONTROLS	SEE PLUMB
B-8A	ADA SHOWER CONTROLS	SEE PLUMB
B-9	WATER CLOSET	SEE PLUMB
B-10	SHOWER PAN BASE	NOTE #9 & 10
B-11	ROBE HOOK	NOTE #7

FLOOR PLAN KEY - TYP. KITCHEN

MARK	DESCRIPTION	NOTES
K-1	STANDARD DISHWASHER	O.F.C.I.
K-1A	ACCESSIBLE DISHWASHER	O.F.C.I.
K-2	OVER THE RANGE VENTED MICROWAVE	O.F.C.I.
K-2A	ACCESSIBLE MICROWAVE, COUNTERTOP	O.F.C.I.
K-3	OVEN RANGE	O.F.C.I.
K-3A	ACCESSIBLE RANGE; FRONT ACCESS CONTROLS	O.F.C.I.
K-4	VENTILATION HOOD - ACCESSIBLE WALL SWITCH	
K-5	REFRIGERATOR, TOP FREEZER W/ ICEMAKER	O.F.C.I.
K-6	HEAVY DUTY WIRE SHELVING	NOTE #5
K-7	CLOTHES WASHER; TOP LOADING	N.I.C.
K-8	DRYER; FRONT LOADING	N.I.C.
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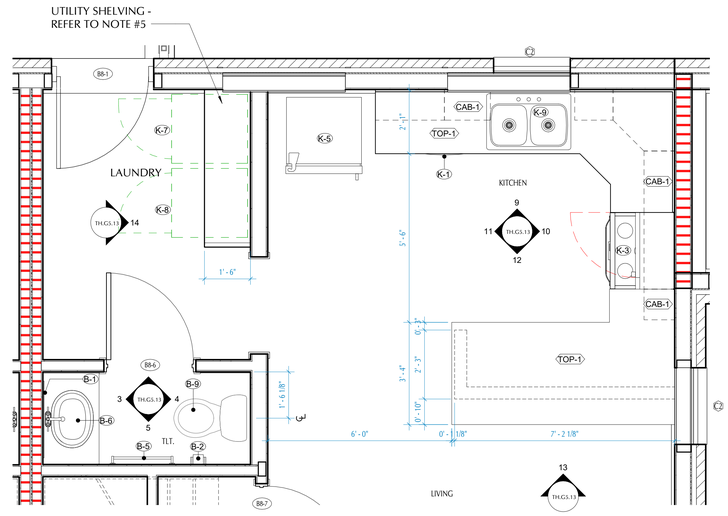
K-11	WATER HEATER	



1 TH.G5.13 ENLARGED KITCHEN PLAN - UNIT NAME 'U'
1/2" = 1'-0"

KCDC
KNOXVILLE'S COMMUNITY DEVELOPMENT CORPORATION

AUSTIN HOMES REDEVELOPMENT
PHASE 1A
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Tel 312.456.0123
Fax 312.456.0124

△	Date	Description
1	5/06/20	PLANS REVIEW COMMENTS
2	5/26/20	ADDENDUM 1

DARYL R. JOHNSON — REGISTERED ARCHITECT — STATE OF TENNESSEE — 05/26/2020

Seal / Signature

Project Name
AUSTIN HOMES - PHASE 1A

Project Number 05/06/2020
193076

Description
ENLARGED FLOOR PLANS & INTERIOR ELEVATIONS - TYPE 'U'

Scale
As indicated

TH.G5.13 1

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NOTE OF COORDINATION

The intent of the structural drawings is to show the framing and foundation systems schematically. These drawings must be coordinated with the architectural, mechanical, electrical, plumbing, and site drawings, along with actual site and soil conditions encountered to determine actual relationships. The drawings are not intended to be shop drawings or to be used for determining layout, wall sizes, dimensions, equipment sizes, or other items which are dependent upon other disciplines.

SOILS NOTE

Structural engineer has received a geotechnical report regarding soil bearing pressure, proof rolling, undercutting, backfilling requirements, etc.to be as directed by the report - Geoservices LLC Project No. 21-1410141R1 dated Feb. 11, 2020. Footings have been sized based on 2,500 psf soil bearing value as directed by report. Contractor to verify soils conditions and prepare site as directed by the geotechnical engineer prior to construction.

GENERAL NOTES

1. The general contractor shall verify all dimensions and site conditions before starting work. The Architect shall be notified of any discrepancy.
2. The intent of these drawings is that all material and workmanship shall conform to the 2018 International Building Code, ACI, AISC, ANS, and all other applicable codes governing work indicated on drawings, latest adopted edition.
3. The design adequacy and safety of erection bracing, shoring, etc., is the sole responsibility of the Contractor. Walls which support joists, rafters, etc., and are laterally supported by same shall be braced until all construction is completed.
4. The Contractor shall coordinate the architectural, mechanical, and electrical drawings with the structural drawings.
5. Contractor to verify all wall locations, thicknesses, and dimensions with architectural drawing.
6. Although walls shown on structural drawings in general match the architectural drawings, the contractor is to verify that all walls which may not match have similar framing members as shown for similar spans shown in other locations.
7. The general contractor shall coordinate the placement of footings, columns, slabs, walls, shafts, etc., with all sub-contractors involved.
8. Contractor to coordinate top of footing elevation with plumbing, mechanical, electrical, site conditions, etc.
9. The general contractor/construction manager shall review all shop drawings/submittals and note all items which deviate from the requirement of the construction documents. No substitutions or deviations will be allowed unless noted and reviewed by design team.
10. The general contractor to coordinate size, weight, bearing conditions, count, and locations of the mechanical units prior to shop drawing submittal/review. Contractor/ supplier to supply shims, connectors, isolators, etc. as for installation of mechanical units.
11. Design loads are as follows:
    Dead load = ... weight of materials as shown.
    Roof live load = . . . 20 psf
    Floor live load = . . . per IBC Building Code
    Wind load = ... 115 mph

CONCRETE, MASONRY, & RELATED NOTES

1. Concrete strength to be as follows:
   a. Concrete walls, beam and structural slabs-f'c=4,000 psi @ 28 days
   b. Footings----------f'c=4,000 psi @ 28 days
   c. Slabs on grade ----f'c=4,000 psi @ 28 days
   d. Masonry block core fill (size of aggregate to be pea gravel)
   -------f'c=3,000 psi @ 28 days
   Refer to note #3 for testing of concrete and specifications for submittal of mix design.
2. Concrete exposed to weather (freeze/thaw) to be air-entrained (6% max - 4.5% min.).
3. Concrete and reinforcing steel to be as per ACI 318 and ACI 301. (Contractor to have copies of these documents at job site during construction.) Sampling and testing of concrete to be in accordance with ACI 301 by independent testing agency at contractor's expense. Contractor to take special precautions for hot and cold weather concreting as indicated in ACI 301.
4. Reinforcing steel to be A 615-60.
5. Provide shop drawings of reinforcing steel prior to fabrication of same. Refer to specifications for submittal process. Submittal to include elevations of all reinforced walls. Drawings to be original documents, not a reproduction of contract drawings. Reinforcing steel shop drawings will be reviewed for general conformance to the contract documents. Contractor is to verify quantities and dimensions of all materials ordered from suppliers. Any overage or shortage of material is the responsibility of the contractor. Shop drawings are intended to be used as a supplement to and in conjunction with the contract/design drawings. Review of the shop drawings does not relieve the contractor of responsibility for correctness of details and quantities and dimensions.
6. Footings are designed for a minimum soil bearing capacity of 2,500 psf. Architect to be contacted if poor soil conditions are encountered. See "Soils Notes" for site preparation.
7. The following concrete cover shall be provided for reinforcement:
   a. Concrete cast against and permanently exposed to earth.....3"
   b. Concrete exposed to earth or weather:
      #6 through #10 bars.....2"
      #5 bar and smaller.....1-1/2"
   c. Concrete not exposed to weather or in contact with ground:
      Slabs, walls, joists:
      #11 bars and smaller.....3/4"
      Primary reinforcement, ties, stirrups, spirals...1 1/2"
8. The following reinforcement to be provided unless noted or detailed otherwise:
   a. Provide 2'-6" x 2'-6" corner bars in corners of all footings, reinforced walls, bond beams, etc. Provide same bar size and number or spacing as continuous horizontal reinforcement.
   b. Provide "Z" bars in all footing steps. Refer to section and concrete note #4.
   c. Unless detailed otherwise, all concrete walls to be reinforced with #5 at 8' o.c. each way, each face. If not indicated, walls to be 12" thick.
   d. All reinforced masonry walls which retain fill to be 12" retaining wall block reinforced with #5 bar each cell (vert.) unless noted otherwise.
   e. Provide clean out openings at base of all vertically reinforced cells.
   f. Provide rebar positioners at 1/3 points of wall height for placement as indicated in details. Tie all vertical reinforcement to dowels out of footing prior to placing concrete.
9. Step footings as required by soft soil, plumbing, finished grades, pits, exterior to interior footing intersections, existing etc. Contractor to field coordinate. Refer to section.
10. All footings at areas to receive plumbing to be a minimum of 24" below finished floor. Coordinate with plumbing drawings.
11. Unless noted otherwise on plans, provide a continuous #1 concrete footing under all walls which extend to grade. Provide a type 'A' footing under all columns which extend to grade.
12. All concrete slabs on grade to be 4" thick with 6 x 6 w1.4 - w1.4 w.w.f. on 4" crushed stone, unless noted otherwise. See architectural drawings for any depressed areas, vapor barrier, sloped areas, etc.
13. Contractor to provide an additional 10 yds. of concrete and 3/4 ton of reinforcing steel to his bid to be used at architect or engineer's discretion. (In place allowance)
14. Provide minimum 32" crushed stone backfill behind all walls which retain fill unless otherwise noted. Excavate slope and provide crushed stone backfill as directed by geotechnical engineer.
15. Verify with architectural, mechanical, and electrical drawings for walls, pads, trenches, etc.which require footings and/or reinforcing. All pads to be 12" thick with #5 at 12" o.c. each way top and bottom and extend pad 2'-0" past each side of mechanical equipment (refer to note 8).
16. Unless noted or detailed otherwise, all reinforcing steel to be lapped a minimum of a class B tension splice.
17. Provide a contraction joint in all concrete slabs on grade at 150 sq./ft., unless noted otherwise.
18. Provide 1/2" expansion joint material at areas where slab on grade is adjacent to walls.
19. Provide vertical control joints in block/brick at 20'-0" o.c. (max) unless noted otherwise. Coordinate locations with Architect. If drawings show other spacing, Contractor to provide layout to architect for approval prior to construction. Do not extend through bond beam (i.e., bond beams to be continuous).
20. All masonry foundation walls to have #4 dowel out of footing and vertical reinforcement at 48" o.c. unless noted otherwise. Dowels to have 12" hook and 24" projection (Extend dowel to floor level). Grout cells solid at reinforcing.
21. Unless noted otherwise, provide #3 hairpin anchor rod with 12" embedment at all embedded plates for handrails, horizontal connection plates, etc.
22. Unless noted otherwise, extend continuous footing reinforcing through mat footing.

STRUCTURAL STEEL NOTES

1. Structural steel to be as follows:
   a. wide flange: A992 Fy=50 ksi
   b. tube steel: ASTM A500 Gr.B Fy=46 ksi
   c. channels, plates, angles, misc. steel: A36 Fy=36 ksi
   Structural steel to be designed, fabricated, erected, etc. as per AISC Manual of Steel Construction, Allowable Stress Design, 15th edition. Contractor to employ a qualified fabricator who participates in the AISC quality certification program and is designated an AISC certified fabricator, category Std.
2. Details shown are typical, similar details apply to similar conditions, unless noted otherwise.
3. Connections not indicated on the drawings are to be designed by the fabricator. All connections for non-composite beams to be standard shear connections unless detailed otherwise. Connections at each end of members to be proportioned for half (min.) the total allowable uniform load on the member as shown in the AISC table of allowable uniform load.
4. All connections to be bearing type, with A325, 3/4" diameter bolts, unless detailed otherwise.
5. Shop drawings:
   A. Structural steel
      1. Submit shop drawings of structural steel prior to fabrication of same. Refer to specifications for submittal process.
      2. Drawings to be original documents, not a reproduction of contract drawings.
      3. Steel shop drawings are to be submitted as a complete set. Partial submittals will not be accepted unless previously approved by architect/engineer.
      4. Coordinate structural steel drawings prior to submittal/ fabrication. See note C3.
      5. All erection drawings to indicate sizes of members as well as piece marks.
   B. Coordination
      1. Prior to fabrication, contractor is to coordinate with steel supplier, elevator supplier, mechanical engineer and all other disciplines to verify all dimensions, openings, weights, etc. that affect steel configuration. Contractor is to coordinate special spacing, miscellaneous members and locations of equipment. Engineer cannot be responsible for exact location and layout of any equipment supplier's product. Review of shop drawings by engineer does not relieve contractor of responsibility for this coordination.
6. Coordinate exact location of column center lines and dimensions with architectural drawings. Notify architect/engineer of any discrepancies prior to construction.
7. Verify with architect, mechanical, and electrical drawings for angles, railings, stair details, and other misc. metals not shown on structural drawings.
8. Unless noted or detailed on drawings, the following shall apply:
   a. Steel columns to be: HSS 4 X 4 X 3/8"
   b. Steel beams to be: W10 X 22
   c. Column cap plates to be 3/4" thick x size required.
   d. Column base plates to be 1" thick x (see plan)
   e. Anchor bolts to be 3/4" diameter with double nuts and washers at top for leveling and nut head at bottom. Weld nut head to rod. Provide 4-1/2" projection (minimum).
   f. Unless detailed otherwise, all anchor bolts are to extend into concrete footings such that bottom of bolt is a maximum of 4" from bottom of footing.
9. Bolts for connection of angles, channels, etc. bolted to masonry or concrete construction to be Hilti H-I.T.RE-500 Epoxy Adhesive Anchors or approved equal. See details for sizes, etc.
10. All column to base plate and column to cap plate connections to be 5/16" min. Fillet weld all around unless noted otherwise. Welds to be as per AISC table J2.4.
11. Steel supplier/contractor to coordinate cap plate, shear angles, beam elevations, bolt locations, etc. with architect's drawings and details of window heads, jambs, flashing, etc.
12. All anchor bolts to be installed utilizing a base plate template with concrete being cast around anchor bolts. Anchor bolts shall be installed prior to concrete placement.
13. Provide 8" x 3/8" x (width required by wall thickness) steel angle to support brick veneer at all openings unless noted otherwise.
14. All welded construction shall comply with ANS code for procedures, appearance, quality of welds, and methods used in welding work. All field welds to be inspected by testing agency for compliance with ANS standards.
15. Coordinate steel coatings with fire rating requirements (paint may or may not be required). Coordinate fire resistance coating thickness with UL rating as indicated on architectural drawings. Adjust thickness of coating where required as indicated in the manufacturers laboratories fire resistance directory.
16. Where handrails are indicated to be embedded in structural concrete, provide a steel sleeve with four 1/2" diameter x 4" long headed anchors embedded in concrete. Grout handrail into sleeve. Coordinate with architectural drawings.
17. Where wood nailers are indicated on top of steel beams, provide 1/2" diameter threaded studs at 32" o.c. welded to top flange.

PRE-ENGINEERED WOOD TRUSS SYSTEM NOTES

1. Wood truss system to be manufactured by a truss system supplier who is a member of the Truss Plate Institute or who uses metal connection plates from a manufacturer who is a member of the Truss Plate Institute.
2. Design requirements
   Truss system is to be designed by a registered engineer in the state where the system is to be used. All bracing required for truss members shall be designed and noted by truss designer. If roof sheathing and/or purlins are used as bracing for top and bottom chords, truss designer to verify that the necessary resistance is provided for the truss member bracing. Any additional bracing or nailing/screwing of the sheathing/purlins shall be noted by the truss designer. The following criteria shall be included in the truss engineer's design.
   a. Design loads
      Roof truss system
      1. Live load top chord: . . . 20 psf
      2. Dead load top chord: . . . 13 psf
      3. Dead load bottom chord: . . 12 psf
      4. Wind load: . . . . . 115 mph
      5. Seismic loads: see "Seismic Design Data"
      6. Snow loads and drift loads per ASCE - 7
      Floor truss system
      Total load of 70 psf, see plan if higher load is required.
   b. All lumber to be minimum size of 2 x 4 and to be Southern Pine #2 KD, unless noted otherwise.
   c. Maximum spacing of trusses shall be 24" o.c. for roofs and 19.2" o.c. for floors.
   d. Review all contract documents including mechanical, electrical, plumbing, architectural, structural, etc. to ascertain loads from equipment, openings for ducts, etc. and provide modifications to trusses if required to support same.
   e. Provide specially designed trusses for hips, valleys, concentrated loads from partitions, headers, etc.
   f. At areas where trusses require headers to adjacent trusses, provide headers as determined by acceptable engineering design.
   g. All connections of trusses to girder trusses, trusses to beams, trusses to headers, bracing connections, etc. are to be designed by truss system designing engineer.
   h. Truss connections to continuous nailers to be made with " Simpson Strong-Tie" (or equal) framing anchors. All anchors to be installed as per manufacturer's specifications.
   i. Trusses to be designed such that they apply no horizontal loads to support members under dead and live loads.
   j. All recommendations as to bracing, quality control, and design shall be as specified in Truss Plate Institute specifications and related articles or as determined by truss engineer (see above). Minimum size bracing to be 2x4. Connect to truss with two (2) 16d nails unless design indicates larger members and stronger connections are required.
   k. The above design criteria are intended as absolute minimum standards. Truss system designing engineer is to coordinate and apply these and all other requirements for truss system to meet proper engineering and building code standards for this specific project.
   l. Trusses shall bear on the walls as noted on drawings. If trusses designed as multi-span members, maximum shipping length shall be 50'. Intent is that a truss be simple span or simple span with cantilevered ends.
   m. If supplier provides cap trusses to be placed on base trusses, purlins (minimum size 2 x 4) shall be at 24" maximum, unless closer spacing is required by truss designer. Connect cap and base truss at each panel point of base truss or closer if required by designer. Connections to be designed by supplier with metal connectors.
3. Shop drawings
   Provide shop drawings of wood truss system including all information required to complete truss system portion of project including the following:
   a. Provide layout plan of truss system showing spacing, bracing and marks referring to truss diagrams. Original contract documents are not to be reproduced mechanically for use as shop drawings. Shop drawings will not be reviewed without a layout plan. The intent of the layout plan is that it be coordinated and provided as a part of the truss system. If truss supplier does not provide a drawing by the truss engineer, a written statement shall be provided to the architect that the individual trusses are coordinated with the layout plan. (Note: layout as shown on contract documents is schematic and may be modified with consent of architect/engineer.)
   b. Provide stress diagrams and/or calculations for truss system components with seal of designing engineer.
   c. Indicate details of all connections in the shop drawing submittal.
   d. Please note that shop drawings will not be reviewed without a layout plan, connection details and designing engineer's seal.
4. Although web layout of trusses may be shown on plans, it is the responsibility of the truss designer to accept, approve or modify layout as required for design purposes.
5. Contractor and supplier to provide all labor and materials to complete truss system portion of project.
6. No qualifying statements or exceptions to plans or notes will be allowed.
7. Top chords of all trusses to be such that sheathing bears flat across chords. Provide beveled top chord or nailing strips as required.
8. Truss component close out
   a. General contractor is to have testing/inspection firm to review truss installation along with bracing installation during construction and upon completion.
   b. The following areas shall be addressed:
   1. Individual truss location to be verified with layout plan
   2. Bracing required by truss designer and/or engineer of record
   3. Connections of truss to truss and truss to structure
   4. Plumbness of trusses
   5. Review of connector plates
   6. Special lifting techniques if required
   7. Truss lengths and proper bearing conditions
   8. Hanger connections and fasteners
   c. Report from inspector/testing agency
   1. Report from inspector/testing agency should be furnished periodically during installation.
   2. Final report to be furnished upon completion of truss work.

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      6. Snow loads and drift loads per ASCE - 7
      Floor truss system
      Total load of 70 psf, see plan if higher load is required.
   b. All lumber to be minimum size of 2 x 4 and to be Southern Pine #2 KD, unless noted otherwise.
   c. Maximum spacing of trusses shall be 24" o.c. for roofs and 19.2" o.c. for floors.
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   f. At areas where trusses require headers to adjacent trusses, provide headers as determined by acceptable engineering design.
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   3. Connections of truss to truss and truss to structure
   4. Plumbness of trusses
   5. Review of connector plates
   6. Special lifting techniques if required
   7. Truss lengths and proper bearing conditions
   8. Hanger connections and fasteners
   c. Report from inspector/testing agency
   1. Report from inspector/testing agency should be furnished periodically during installation.
   2. Final report to be furnished upon completion of truss work.

WOOD NOTES

1. All framing lumber to be #2 Southern Pine KD, as per SPIB grading rules unless noted otherwise.
2. Contractor shall use "Simpson Strong-Tie" (or equivalent) wood framing anchors, connectors, hangers, etc. for all wood to wood connections. All anchors, etc. to be installed in accordance with manufacturer's specifications.
3. Floor sheathing to be 3/4" T&G plywood.
4. Roof sheathing to be 5/8" exterior grade plywood. All roof framing diaphragms to be blocked along all panel edges. Minimum nailing pattern to be 6" o.c. at all edges and interior members.
5. Unless noted otherwise on plans, headers to be as follows:
   up to 6'-0": (2) 2x8
   6'-0" to 10'-0": (2) 2x10
   over 10'-0": (2) 2x12
6. Cutting, notching, bored holes in stud walls, rafters, etc. shall be done in accordance with International Building Code.
7. Ridge boards, where indicated on framing plans shall not be less than 1" in thickness, and not less in depth than cut end of rafters. Rafters shall be placed directly opposite each other and nailed to ridge board.
8. All wood built-up girders, beams, studs to sole plate, etc., to be connected as per International Building Code Fastening Schedule.
9. At openings in exterior walls, a wall stud shall be at each side of the opening, with the ends of the header supported as follows, unless noted otherwise:
   a. For openings less than 3'-0" in width, each end of header shall rest on a single header stud or may be supported by framing anchors attached to wall stud.
   b. For openings over 3'-0" to less than 6'-0", each end shall bear on single header stud.
   c. For opening more than 6'-0", in width, each end shall bear on double header stud.
   d. Any header supporting concentrated loads from beams above, each end shall bear on double header stud.
10. Where wood beams bear on stud walls, provide minimum, double or triple stud (depending on beam width) under beam bearing.
11. At openings in stud walls provide 1/2" (minimum) of cut / displaced studs as 'king studs' each jamb of opening.

SEISMIC DESIGN DATA - INTERNATIONAL BUILDING CODE

Risk Category = II

Seismic importance factor - I = 1.0

Ss = 0.621

S1 = 0.134

Site class = D

SDs = 0.543

SD1 = 0.204

Seismic design category - D

Basic seismic force resisting system - Light frame wood walls sheathed w/ wood structural panels rated for shear resistance.

Cs = 0.083

R = 6-1/2

Analysis procedure - Equivalent lateral force

Design base shear =
Bldg. # 2 ..... 11.5 kip
Bldg. # 3 ..... 15 kip
Bldg. # 4 ..... 30 kip
Bldg. # 5 ..... 10 kip
Bldg. # 6 ..... 15 kip
Bldg. # 7 ..... 15 kip
Bldg. # 9 ..... 39 kip
Bldg. # 8 ..... 15 kip

MINIMUM SEISMIC REINFORCING

AT MASONRY WALLS

ALL C.M.U. WALLS TO BE REINFORCED AS FOLLOWS: (UNLESS NOTED OTHERWISE)

8" C.M.U. WALLS:

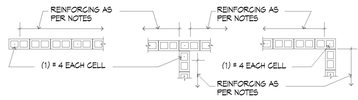
- # 4 VERTICAL BAR AT 48" OC GROUT CELL SOLID WITH CONCRETE AT EACH BAR.
- STANDARD 'DUR-O-WAL' HORIZONTAL JOINT REINFORCEMENT AT 16" oc.
- 8" BOND BEAM w/ (2) # 4 CONTINUOUS - GROUT SOLID W/ CONCRETE. (SEE CONCRETE NOTES)

12" C.M.U. WALLS:

- # 4 VERTICAL BAR AT 48" OC GROUT CELLS SOLID W/ CONCRETE AT EACH BAR.
- STANDARD 'DUR-O-WAL' HORIZONTAL JOINT REINF. AT 16" oc.
- 8" BOND BEAM w/ (2) # 4 CONTINUOUS - GROUT SOLID W/ CONCRETE. (SEE CONCRETE NOTES)

SEISMIC REINFORCED WALL NOTES

- SEE DETAILS BELOW FOR ADDITIONAL REINFORCEMENT REQUIRED IN ALL REINFORCED WALLS.
- PROVIDE DOWEL - (1) PER VERTICAL BAR - IN ALL REINFORCED C.M.U. WALLS. (SEE CONCRETE NOTES)
- ALL MASONRY WALLS TO BE CONSTRUCTED WITH 'FULL MORTAR BEDDING' AT ALL JOINTS.
- ALL REINFORCED WALLS TO BE CONSTRUCTED w/ 'TYPE M' MORTAR BELOW GRADE AND 'TYPE M' OR 'TYPE S' MORTAR ABOVE GRADE AS PER ASTM, C270.
- PROVIDE PRE-FABRICATED 'TEES AND ELL'S' AT ALL INTERSECTIONS.



END WALL (DOOR / WINDOW JAMBS) (PLUS EACH SIDE OF 'CONTROL' AND 'EXPANSION' JOINTS)

INTERSECTION

CORNER

TYPICAL PLAN DETAILS - SEISMIC

SCALE N.T.S.

KCDC
Knoxville Community Development Corporation
901 N Boardway
Knoxville, TN 37917
Tel: 865-403-1100

Johnson Architecture
2240 Sutherland Avenue Tel 865.671.9060
Suite 105
Knoxville, TN 37919
United States

Gensler
11 East Madison Street Tel 312.456.0123
Suite 300 Fax 312.456.0124
Chicago, IL 60602
United States

PARTNERS
502 Union Avenue
Knoxville, TN 37902
United States
Tel 865.524.777

REVISION 2 =
- REVISED FOUNDATION/FRAMING BASED ON REVISED GRADING PLAN. MINOR REVISIONS TO UNIT FRAMING PLANS FOR ADA COMPLIANCE

△	Date	Description
2	5.22.2020	Revision 2

ROBERT H. HOUSER — REGISTERED ENGINEER — 116616 — 5-16-2020 — STATE OF TENNESSEE

Seal / Signature

CONSTRUCTION DOCUMENTS 100% 05.06.2020

Project Name
AUSTIN HOMES - PHASE 1A

Project Number
193076

Description
STRUCTURAL NOTES

Scale
As indicated

TH.S1.0

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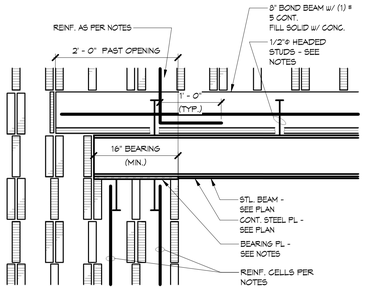
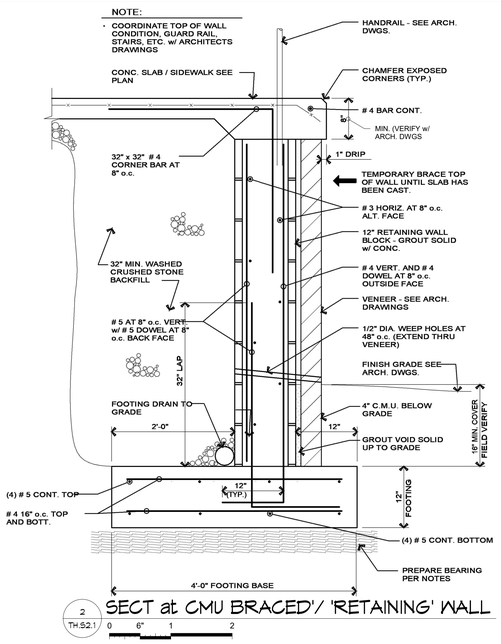
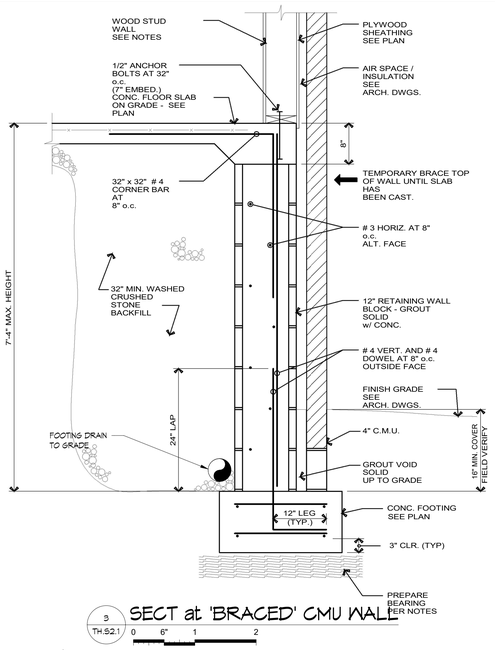


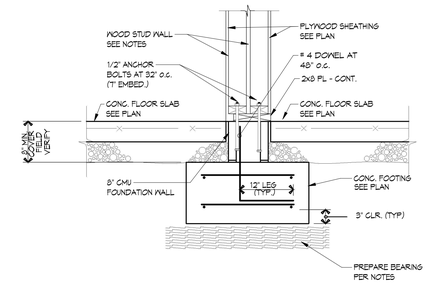
1 TH.S2.1 SECT. at BEAM BEARING



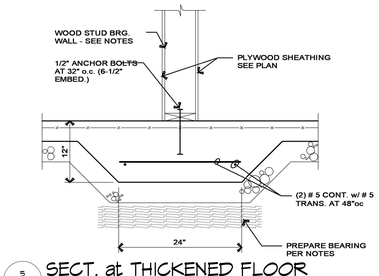
2 TH.S2.1 SECT at CMU BRACED'/ 'RETAINING' WALL



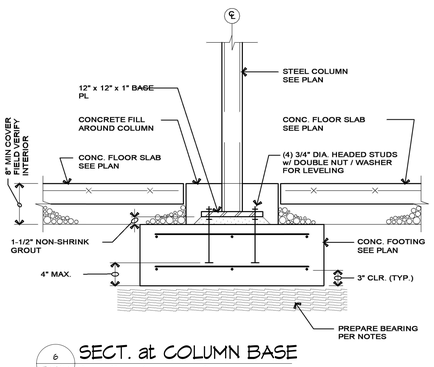
3 TH.S2.1 SECT at 'BRACED' CMU WALL



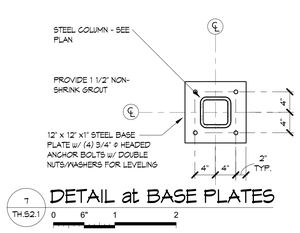
4 TH.S2.1 SECT. thru INTERIOR FOOTING



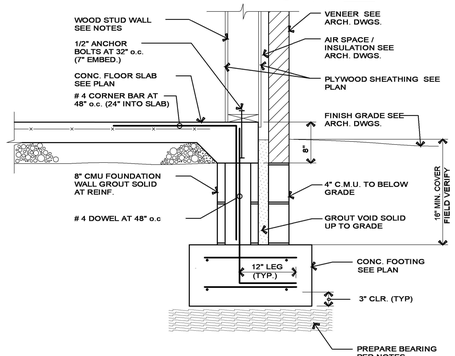
5 TH.S2.1 SECT. at THICKENED FLOOR



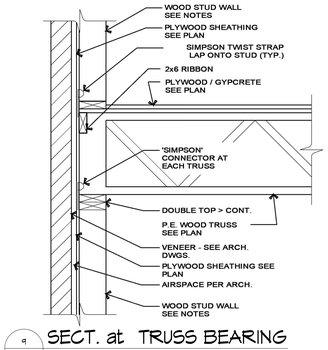
6 TH.S2.1 SECT. at COLUMN BASE



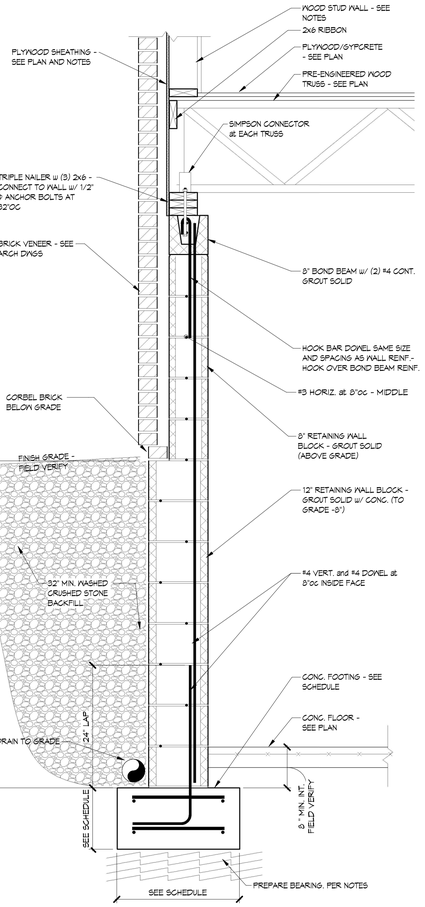
7 TH.S2.1 DETAIL at BASE PLATES



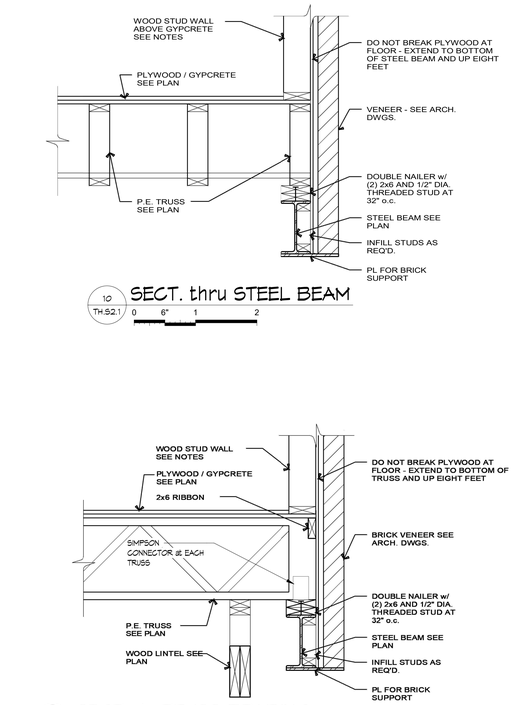
8 TH.S2.1 SECT. at CMU FOUNDATION



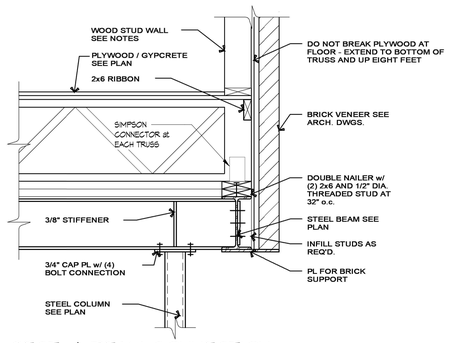
9 TH.S2.1 SECT. at TRUSS BEARING



14 TH.S2.1 SECT. at BRACED UNIT WALL

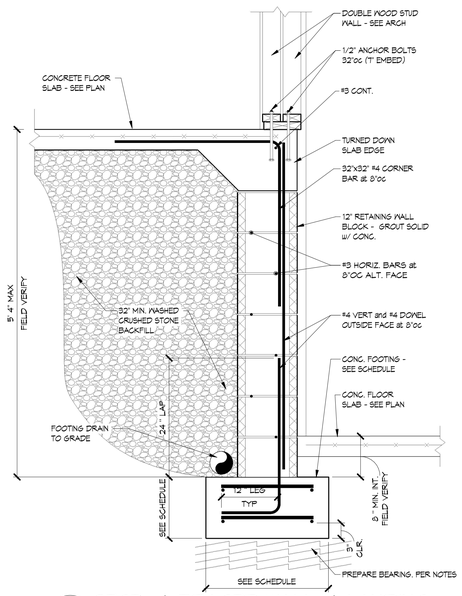


10 TH.S2.1 SECT. thru STEEL BEAM



12 TH.S2.1 SECT at BEAM CONNECTION

11 TH.S2.1 SECT at TRUSS BEARING



13 TH.S2.1 SECT. at BRACED WALL at LANDING

KCDC
Knoxville Community Development Corporation
901 N Boardway
Knoxville, TN 37917
Tel: 865-403-1100

Johnson Architecture
2240 Sutherland Avenue
Suite 105
Knoxville, TN 37919
United States
Tel 865.671.9060

Gensler
11 East Madison Street
Suite 300
Chicago, IL 60602
United States
Tel 312.456.0123
Fax 312.456.0124

PARTNERS
502 Union Avenue
Knoxville, TN 37902
United States
Tel 865.524.777

REVISION 2 :
• REVISED FOUNDATION/FRAMING BASED ON REVISED GRADING PLAN. MINOR REVISIONS TO UNIT FRAMING PLANS FOR ADA COMPLIANCE

△	Date	Description
2	5.22.2020	Revision 2

ROBERT H. HOUSTON — REGISTERED ENGINEER — 5-6-2020 — No. 109511 — State of Tennessee

Seal / Signature

CONSTRUCTION DOCUMENTS 100% 05.06.2020

Project Name
AUSTIN HOMES - PHASE 1A

Project Number
193076

Description
STRUCTURAL DETAILS

Scale
As indicated

TH.S2.1

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