



## Oconee County Board of Commissioners

### Addendum 1

**DATE:** December 2, 2021  
**TO:** All Prospective Bidders/Offerors  
**FROM:** Procurement Officer  
**RE:** Addendum 1, RFQP# 22-11-005 Elevated Tank Maintenance Program

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The following changes are to be incorporated into the solicitation documents dated **November 16, 2021**. All those receiving this addendum should modify their documents to show the below described changes.

1. Pre-Proposal Meeting Minutes
2. Pre-Proposal Meeting Questions and Answers
3. Pre-Proposal Meeting Sign-in Roster
4. Color copy of Tank Status Reports

All questions shall be directed to the Owner Contact, Jessica Ellis, Procurement Officer via email to [ocbids@oconee.ga.us](mailto:ocbids@oconee.ga.us) .

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#### 1. Pre-Proposal Meeting Minutes

- Jessica Ellis opened the meeting. Listed below are notes from the meeting and additional procurement procedures.
- The meeting was held on November 30, 2021 in the Commissioners Chambers located at The Oconee County Court House 23 N Main Street Suite 205 Watkinsville, Georgia 30677. The meeting began at approximately 10:05 AM and ended at approximately 11:25 AM. The bid number, description, and timeline were announced.
- County representatives included Tim Durham Water Resources Director, Mickey Baughcum Assistant Water Resources Director, Adam Layfield Water Resources Engineer and Jessica Ellis Procurement Officer.

- This meeting was not mandatory and attendance was not required to qualify as a respondent.
- Any additional questions should be emailed to [ocbids@oconee.ga.us](mailto:ocbids@oconee.ga.us). The deadline for these questions is December 6, 2021 at 5:00 PM.
- Any questions received will be answered via an addendum posted to the county's website by December 10, 2021 at 5:00 PM.
- The deadline for bid submissions is December 16, 2021 at 10:00 AM. Submissions received after this time will not be accepted. The bid opening will follow and the submissions will be opened and announced out loud.

## 2. Pre-Proposal Meeting Questions and Answers

**Q1:** Are liquidated damages applicable to this solicitation?

**A1:** No, liquidated damages do not apply.

**Q2:** Is a specific coating required or does it just need to meet the specifications listed in the bid documents?

**A2:** The coating used should be a Tnemic product that meets the 5 year material warranty and 15 year gloss and color retention warranty specification. For any tank that currently does not have Tnemic, please provide pricing for the cost of both switching to Tnemic or staying with current coating.

**Q3:** Does this solicitation require bonding?

**A3:** Yes. A Bid Bond of 5% of the proposed price and a Consent of Surety letter is required with bid submission. Upon receipt of a Notice of Award letter, the successful Bidder will be required to submit Payment and Performance Bonds of 100% of the awarded price.

**Q4:** Will the logo on the tanks be the same as the current or the new one? Pricing will be different for each.

**A4:** The logo on the tanks will remain the same. Please submit pricing for the current logo.

**Q5:** Will the color of the tanks stay the same?

**A5:** Yes, that is correct.

**Q6:** The existing tank reports include black and white pictures. Is it possible to get them in color?

**A6:** Yes, a color version of the existing tank reports is attached to this addendum.

**Q7:** Can we schedule a day/time to climb the tanks to inspect?

**A7:** The Watkinsville tank is currently under construction and cannot be climbed but the other 4 can be. Please email Jessica a proposed day/time and she will coordinate with Water Resources.





**Utility Service Co.**  
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# **250,000 Gallon Elevated Watkinsville Tank Visual Inspection Report**

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## **Oconee County Water Resources**

**Prepared By:**  
Lee Smallwood

**Presentation Date:**  
January, 2020



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## ***General Information***

### **TANK DETAILS**

<b>CAPACITY:</b>	250,000 Gallon	<b>DESIGN:</b>	Elevated
<b>INSPECTION DATE:</b>	October 23, 2019	<b>INSPECTOR:</b>	Lee Smallwood
<b>CONSTRUCTION STYLE:</b>	Welded Steel	<b>CONSTRUCTION DATE:</b>	1986
<b>BUILDER:</b>	Horton	<b>HEIGHT:</b>	App. 104' to LWL
<b>EXTERIOR COATING:</b>	Urethane	<b>EXTERIOR LEAD PRESENCE:</b>	N/A
<b>INTERIOR COATING:</b>	Epoxy	<b>INTERIOR LEAD PRESENCE:</b>	N/A

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## ***Exterior Coatings Condition***

### **LEGS, STRUTS, AND STRUCTURAL MEMBERS**

The exterior is protected with a urethane coating system. The coating was found in overall good condition. Mildew was noted on the legs. Light chalking was found on the legs and struts.

### **TANK BOWL**

The tank bowl was noted for a "shine" of the coating and is in good condition.

## **SIDEWALLS AND ROOF**

The finish coat on the roof was noted for chalking. Bird feces was found. This will cause the loss of paint if this continues.

## **RECOMMENDATIONS**

- The exterior should be planned for renovation in the year 2024.

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## ***Interior Coatings Conditions***

### **ROOF AND AREA ABOVE HIGH WATER LEVEL**

The interior was found in overall good condition. Flash rust was found on the seams and interior beams. Light flash rust was noted on the roof substrate in random areas.

### **SIDEWALLS**

The upper walls were noted for staining and light corrosion.

### **FLOOR OF BOWL.**

This area could not be inspected due to sediment and the water level.

## **RECOMMENDATIONS**

- The interior should be planned for renovation in year 2022-24?

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## ***Safety/Sanitation/Structural/Security Conditions***

### **SAFETY**

#### **Ladders**

The access ladders were found in good condition.

### **Balcony, Balcony Railing**

Balcony was found in good condition.

### **Riser Protective Grate/ Riser Handrail**

Good condition.

### **Riser Access Door**

The manway was found in good condition.

### **Secondary Access Hatch**

N/A

## **SANITATION**

### **Roof Hatch**

Found in good condition but should be secured with lock.

### **Roof Vent**

The roof vent screen was found in good condition. It appears this vent is undersized and should be replaced with a larger vent during next renovation.

### **Overflow**

The overflow pipe was found with a screen.

### **Fill Pipe Protective Cover**

N/A

## STRUCTURAL

### Foundations

The foundations were found in good condition.

### Wind Rods

The wind rods were noted for good condition.

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## ***SUMMARY AND RECOMMENDATIONS***

### SUMMARY

Overall this water storage tank is in fair/good condition. A list of items needed is listed below.

### RECOMMENDATIONS

- Complete the exterior renovations in 2024.
- Plan for interior renovations in 2022-24?





**Photo #1**



**Photo #2**



**Photo #3**



**Photo #4**



**Photo #5**



**Photo #6**



**Photo #7**



**Photo #8**



**Photo #9**



**Photo #10**



**Photo #11**



**Photo #12**



**Photo #13**



**Photo #14**



**Photo #15**



**Photo #16**





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# **500,000 Gallon Elevated Mars Hill Tank #2 Visual Inspection Report**

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## **Oconee County Water Resources**

**Prepared By:**  
Lee Smallwood

**Presentation Date:**  
January, 2020



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## ***General Information***

### **TANK DETAILS**

<b>CAPACITY:</b>	500,000 Gallon	<b>DESIGN:</b>	Elevated
<b>INSPECTION DATE:</b>	October 23, 2019	<b>INSPECTOR:</b>	Lee Smallwood
<b>CONSTRUCTION STYLE:</b>	Welded Steel	<b>CONSTRUCTION DATE:</b>	1997
<b>BUILDER:</b>	Brown	<b>HEIGHT:</b>	App. 113' to HWL
<b>EXTERIOR COATING:</b>	Urethane	<b>EXTERIOR LEAD PRESENCE:</b>	N/A
<b>INTERIOR COATING:</b>	Epoxy	<b>INTERIOR LEAD PRESENCE:</b>	N/A

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## ***Exterior Coatings Condition***

### **LEGS, STRUTS, AND STRUCTURAL MEMBERS**

The exterior is protected with a urethane coating system. The coating was found in overall fair condition for its age. Heavy chalking was noted for all the legs and struts. Mildew was noted on the legs. Delamination of the finish coat was noted in random areas.

### **TANK BOWL**

The tank bowl was noted with chalking. This is normal for a coating of this age.

## **SIDEWALLS AND ROOF**

The finish coat on the roof was noted for chalking. Checking and flash rust were noted on the catwalk floor. Delamination was found along the roof area.

## **RECOMMENDATIONS**

- The exterior should be planned for renovation in the year 2020-21.

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## ***Interior Coatings Conditions***

## **ROOF AND AREA ABOVE HIGH WATER LEVEL**

The interior was found in good condition. The age of the coating is unknown but no corrosion was noted.

## **SIDEWALLS**

The upper walls were noted for good condition. No area of need were found.

## **FLOOR OF BOWL.**

This area could not be inspected due to sediment and the water level.

## **RECOMMENDATIONS**

- The interior should be planned for renovation in year 2026?

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## ***Safety/Sanitation/Structural/Security Conditions***

## **SAFETY**

### **Ladders**

The access ladders were found in good condition.

**Balcony, Balcony Railing**

Balcony was found in good condition.

**Riser Protective Grate/ Riser Handrail**

Good condition.

**Riser Access Door**

The manway was found in good condition.

**Secondary Access Hatch**

N/A

**SANITATION**

**Roof Hatch**

Found in good condition.

**Roof Vent**

The roof vent screen was found in good condition.

**Overflow**

The overflow pipe was found with a screen and a flapper.

**Fill Pipe Protective Cover**

N/A

## STRUCTURAL

### Foundations

The foundations were sealed and in good condition.

### Wind Rods

The wind rods were noted for good condition.

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## ***SUMMARY AND RECOMMENDATIONS***

### SUMMARY

Overall this water storage tank is in fair/good condition. A list of items needed is listed below.

### RECOMMENDATIONS

- Complete the exterior renovations in 2020-21.
- Plan for interior renovations in 2026?



**Photo #1**



**Photo #2**



**Photo #3**



**Photo #4**



**Photo #5**



**Photo #6**





**Photo #7**



**Photo #8**



**Photo #9**



**Photo #10**



**Photo #11**



**Photo #12**



**Photo #13**



**Photo #14**



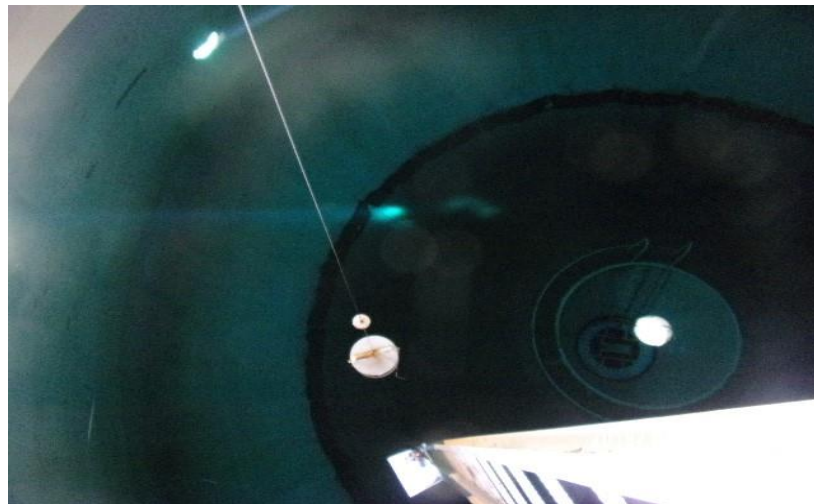
**Photo #15**



**Photo #16**



**Photo #17**



**Photo #18**





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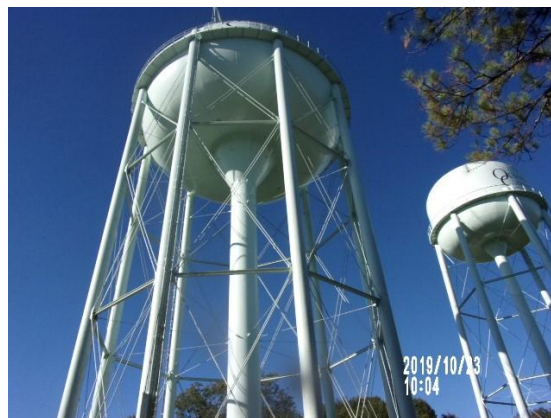
# **1,000,000 Gallon Elevated Mars Hill Tank #1 Visual Inspection Report**

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## **Oconee County Water Resources**

**Prepared By:**  
Lee Smallwood

**Presentation Date:**  
January, 2020





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## ***General Information***

### **TANK DETAILS**

<b>CAPACITY:</b>	1,000,000 Gallon	<b>DESIGN:</b>	Elevated
<b>INSPECTION DATE:</b>	October 23, 2019	<b>INSPECTOR:</b>	Lee Smallwood
<b>CONSTRUCTION STYLE:</b>	Welded Steel	<b>CONSTRUCTION DATE:</b>	2000
<b>BUILDER:</b>	Phoenix	<b>HEIGHT:</b>	App. 144' to LWL
<b>EXTERIOR COATING:</b>	Urethane	<b>EXTERIOR LEAD PRESENCE:</b>	N/A
<b>INTERIOR COATING:</b>	Epoxy	<b>INTERIOR LEAD PRESENCE:</b>	N/A

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## ***Exterior Coatings Condition***

### **LEGS, STRUTS, AND STRUCTURAL MEMBERS**

The exterior is protected with a urethane coating system. The coating was found in overall fair condition for its age. Heavy chalking was noted for all the legs and struts. Mildew was noted on the legs.

### **TANK BOWL**

The tank bowl was noted with chalking. Dirt, grime, mildew were all noted on the bowl.

## **SIDEWALLS AND ROOF**

The finish coat on the roof was noted for chalking. Checking and flash rust were noted on the catwalk floor.

## **RECOMMENDATIONS**

- The exterior should be planned for renovation in the year 2020-22.

# ***Interior Coatings Conditions***

## **ROOF AND AREA ABOVE HIGH WATER LEVEL**

The interior was found with random corrosion on weld seams. This rust is bleeding down on the sidewalls making these areas appear worse than the actual condition. Checking and flash rust was found on areas of the interior.

## **SIDEWALLS**

The upper walls were noted for areas of flash rust mixed with staining and sediment. The lower sidewalls appeared to have random flash rust but hard to inspect with water level.

## **FLOOR OF BOWL.**

This area could not be inspected due to sediment and the water level.

## **RECOMMENDATIONS**

- The interior should be planned for renovation in year 2020-22.

# ***Safety/Sanitation/Structural/Security Conditions***

## **SAFETY**

### Ladders

The access ladders were found in good condition.

**Balcony, Balcony Railing**

Balcony was found in good condition.

**Riser Protective Grate/ Riser Handrail**

Good condition.

**Riser Access Door**

The manway was found in good condition.

**Secondary Access Hatch**

N/A

**SANITATION**

**Roof Hatch**

Found in good condition.

**Roof Vent**

The roof vent screen was found in good condition.

**Overflow**

The overflow pipe was not found outside of the tank.

**Fill Pipe Protective Cover**

N/A

## STRUCTURAL

### Foundations

The foundations were sealed and in good condition.

### Wind Rods

The wind rods were noted for good condition.

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## ***SUMMARY AND RECOMMENDATIONS***

### **SUMMARY**

Overall this water storage tank is in fair condition. The coating system has protected the substrate as intended but is near the end of its useful life. A list of items needed is listed below.

### **RECOMMENDATIONS**

- Complete both the interior and exterior renovations in 2020-22.



**Photo #1**



**Photo #2**



**Photo #3**



**Photo #4**



**Photo #5**



**Photo #6**

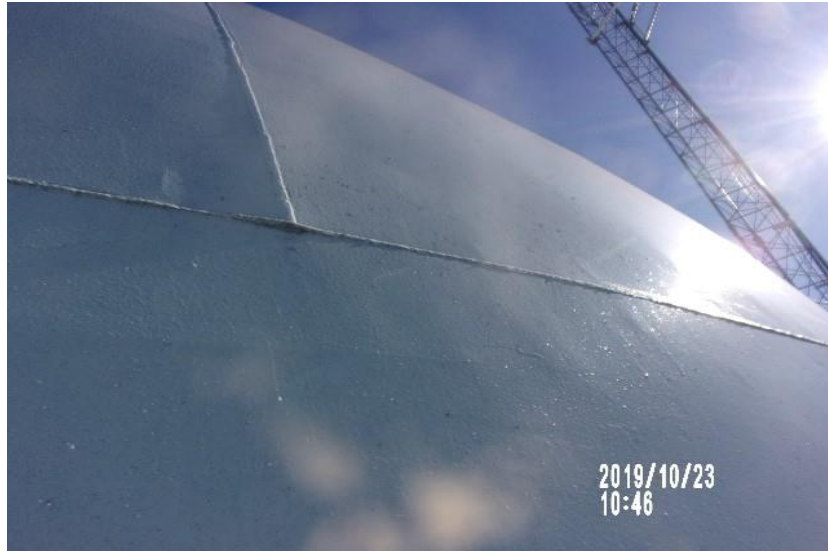


**Photo #7**



**Photo #8**





**Photo #9**



**Photo #10**



**Photo #11**



**Photo #12**



**Photo #13**



**Photo #14**



**Photo #15**



**Photo #16**



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# **250,000 Gallon Elevated Dove Creek Tank Visual Inspection Report**

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## **Oconee County Water Resources**

**Prepared By:**  
Lee Smallwood

**Presentation Date:**  
January, 2020



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## ***General Information***

### **TANK DETAILS**

<b>CAPACITY:</b>	250,000 Gallon	<b>DESIGN:</b>	Elevated
<b>INSPECTION DATE:</b>	October 24, 2019	<b>INSPECTOR:</b>	Lee Smallwood
<b>CONSTRUCTION STYLE:</b>	Welded Steel	<b>CONSTRUCTION DATE:</b>	2018
<b>BUILDER:</b>	Phoenix	<b>HEIGHT:</b>	App. 170' to LWL
<b>EXTERIOR COATING:</b>	Fluoropolymer	<b>EXTERIOR LEAD PRESENCE:</b>	N/A
<b>INTERIOR COATING:</b>	Epoxy	<b>INTERIOR LEAD PRESENCE:</b>	N/A

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## ***Exterior Coatings Condition***

### **LEGS, STRUTS, AND STRUCTURAL MEMBERS**

The exterior is protected with an fluoropolymer coating system. The coating was found in great condition. No areas of concern was noted during inspection.

### **TANK BOWL**

The tank bowl was in great condition. No areas of concern were found.

### **SIDEWALLS AND ROOF**

The finish coat on the roof was noted for great condition.

## RECOMMENDATIONS

- The exterior was found in great condition and should protect the substrate for the next 8-10 years.

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## *Interior Coatings Conditions*

### ROOF AND AREA ABOVE HIGH WATER LEVEL

The interior was found in great condition. No areas of concern was noted.

### SIDEWALLS

The upper walls were noted for great condition.

### FLOOR OF BOWL.

This area could not be inspected due to sediment and the water level.

## RECOMMENDATIONS

The interior should protect the substrate for the next 10-12 years.

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## *Safety/Sanitation/Structural/Security Conditions*

### SAFETY

#### Ladders

The access ladders were found in good condition.

#### Balcony, Balcony Railing

Balcony was found in good condition.

#### Riser Protective Grate/ Riser Handrail

Good condition.

### **Riser Access Door**

The manway was found in good condition.

### **Secondary Access Hatch**

N/A

## **SANITATION**

### **Roof Hatch**

Found in good condition.

### **Roof Vent**

A roof vent screen was installed and was in good condition.

### **Overflow**

The overflow pipe was found with a flapper and screen. Both were in great condition.

### **Fill Pipe Protective Cover**

N/A

## **STRUCTURAL**

### **Foundations**

The foundation tops were sealed and in good condition.

### **Wind Rods**

The wind rods were noted for good condition.



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# ***SUMMARY AND RECOMMENDATIONS***

## **SUMMARY**

Overall this water storage tank is in great condition. A list of items needed is listed below.

## **RECOMMENDATIONS**

- Install a ladder gate to the access ladder.
- Secure the roof hatch with a lock.



**Photo #1**



**Photo #2**



**Photo #3**



**Photo #4**



**Photo #5**



**Photo #6**



**Photo #7**



**Photo #8**



**Photo #9**



**Photo #10**



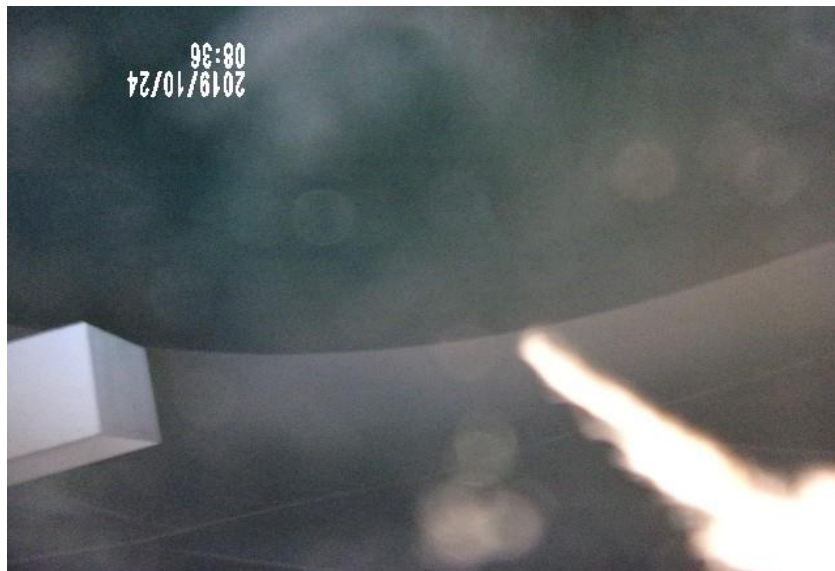
**Photo #11**



**Photo #12**



**Photo #13**



**Photo #14**