



THE CITY OF DAYTONA BEACH  
OFFICE OF THE PURCHASING AGENT

Post Office Box 2451  
Daytona Beach, Florida 32115-2451

Phone (386) 671-8080  
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**ADDENDUM NO. 3**

DATE: **September 17, 2019**  
PROJECT: **ITB 19613**  
**JOSIE ROGERS HOUSE RELOCATION**

OPENING DATE: **October 7, 2019**

This addendum is hereby incorporated into the Bid Documents for the project referenced above. The following items are clarifications, corrections, additions, deletions and/or revisions to and shall take precedence over the original documents. Additions are indicated by underlining, deletions are indicated by ~~strikethrough~~.

1. The Scope of Work is hereby REPLACED with the *revised* Scope of Work, attached.
2. The draft Project Specific Construction Contract, Article III, Commencement and Completion, is hereby CHANGED to read as follows:

**ARTICLE III. COMMENCEMENT AND COMPLETION**

The CITY and the CONTRACTOR mutually agree that time is of the essence with respect to the dates and times set forth in the Contract Documents. To that end, the CONTRACTOR will commence the Work not later than the Commencement Date set forth in the General Conditions, and will diligently and continuously prosecute the Work at such a rate, and with sufficient forces as will allow the CONTRACTOR to achieve Substantial Completion of Phase I within 21 days after the Commencement Date, and Substantial Completion of Phase II within 45 24 days after the Substantial Completion of Phase I, and Final Completion within 15 days after Phase II Substantial Completion, subject only to any adjustments in the Contract Time that may be authorized by Change Orders properly issued in accordance with the Contract Documents. In executing this Contract, CONTRACTOR affirms that the time set for completion is reasonable.

The CITY will suffer financial loss if Final Completion of the Work is not achieved within the Contract Time. Accordingly, and in lieu of actual damages or proof thereof, if CONTRACTOR fails to meet these deadlines, CONTRACTOR will be liable to the CITY for liquidated damages as follows:

In the amount of **\$964** for each and every day of unexcused delay in achieving Phase I Substantial Completion; and

In the amount of \$964 for each and every day of unexcused delay in achieving Phase II Substantial Completion; and

In the amount of **\$482.50** for each and every day of unexcused delay from the date that Phase II Substantial Completion is achieved until Final Completion is achieved.

The CITY will have the right to offset such liquidated damages against any remaining portion of the Contract Price due CONTRACTOR, but will not be limited to the offset if it is insufficient. If the unpaid balance of the Contract Price is less than the amount of the Liquidated Damages, the CONTRACTOR or its Surety must pay the deficiency to the CITY upon demand.

3. Survey Monument Elevation Data is ATTACHED.

4. Questions from Bidders:

**Q1:** Can rebar dowels be drilled and epoxied after structure is moved over new piers?

**A1:** Yes. Rebar dowels can be drilled and epoxied after structure is moved over new piers by utilizing HILTI HY 200 or equal with minimum 8" embedment.

**Q2:** What type of CMU's are to be used regular or split face?

**A2:** Regular CMU is acceptable.

5. All other terms and conditions remain the same.

The Bidder shall acknowledge receipt of this addendum in Section 7 of the Bid Proposal Form.

The City of Daytona Beach

Joanne Flick, CPPO  
Purchasing Agent

## **SCOPE OF WORK REVISED**

### **I. BACKGROUND**

A. Introduction: The project consist of relocating the historic wood framed two-story house currently located at 355 N. Beach Street approximately 800-LF to the north of its current location to facilitate upcoming Riverfront Park improvements.

B. USER: Cultural Service Division

C. CURRENT STATUS:

1. Riverfront Park is scheduled to go through a large scale make over, starting on the north end of the park just south of Fairview Avenue. Consequently, the house needs to be relocated prior to the upcoming park improvements.

2. The current budgeted amount is \$100,000

### **II. SCOPE OF WORK**

The Work will proceed in two phases. Phase I is the moving of the structure off its current location and placed, temporarily if required, in an area in close proximity to the new location. Phase II is the construction of the new foundation, and placement of the structure on the new foundation, and all remaining activities.

#### **A. CONTRACTOR RESPONSIBILITIES**

1. Contractor and applicable Subcontractors will mobilize and demobilize all necessary equipment needed to complete the project. Contractor will have a Professional Land Surveyor and Mapper complete an As-Built drawing upon completion.

2. Contractor or Subcontractor shall clear-and grub the area where the house is to be placed, including any needed site leveling, site compaction per the Geotechnical Report and Foundation Plans, finish grading, erosion and sedimentation control measures (silt fencing to be placed along the river at current and proposed house locations) and construction fencing to secure work areas.

3. Contractor or Subcontractor will construct the new foundation as shown on the Foundation Plans, including the piles and connectors, being sure to level the house accordingly, finished floor elevation is 7.0-FT.

4. Contractor or Subcontractor will transport the house, including porches but excluding stairs, ramps, and foundation screening, from its current location

to the new location shown (location and orientation) on the plans and place the house level on the new foundation.

5. Contractor will stockpile any Construction and Demolition debris and any organic debris neatly on site for transport by others. Contractors to take preconstruction photos of all interior and exterior walls and submit them to the City prior to commencement of construction.

#### B. CITY RESPONSIBILITIES

1. City forces will clear the existing trees within the transport path, remove the check valve assemblies, and remove duct work from underneath the house prior to transport through the park.

2. City forces will remove outside air conditioning condensing units. City will acquire the necessary City Building Permit.

3. City forces will perform electrical disconnect and reconnect.

4. City will have a Professional Land Surveyor and Mapper lay the site out (stake the corners) of the new house location.

5. City will remove grassed berm at the new location prior to award of contract.

6. City will remove decorative rod iron fence from the northern boundary and the decorative white picket fence just off the back porch prior to transport.

7. City to provide AutoCAD drawing to Contractor's Professional Land Surveyor and Mapper to facilitate As-Built generation.

#### C. PROJECT SCHEDULE

The project schedule has the house relocated to the north end of Riverfront Park by the end of November 29, 2019 and the house placed on the newly constructed foundation by January 15, 2020.



# The City of Daytona Beach

Public Works Department · Engineering Division

(386) 671-8617 · (fax) (386) 671-5905

SECTION 38 , TOWNSHIP 15 SOUTH , RANGE 33 EAST

Designation: RMR-19

## MONUMENTATION DESCRIPTION AND DIRECTIONS TO REACH

3" brass disk.

Stamped RMR-19

### TO REACH

From the intersection of US Hwy 1 (N Ridgewood Av) and Fairview Av go East

0.4 miles ± to the intersection of Fairview Av and Bowman Av. proceed North

on Bowman Av. 120' ± to a parking lot on the East side of Bowman Av. the

monument is in the sidewalk between the center two rows of parking spaces,

115' ± East of the C/L of Bowman Av.

### HORIZONTAL POSITION AND HEIGHT INFORMATION:

Latitude 29° 13' 19.35735" N

Longitude 81° 01' 16.57900" W

NORTHING (ft.) 1,777,029.171

EASTING (ft.) 649,381.417

Zone FSPC East, U.S. Feet

Convergence -0° 00' 37.38552"

Scale Factor 0.999941229

Coordinate Determination GPS Static

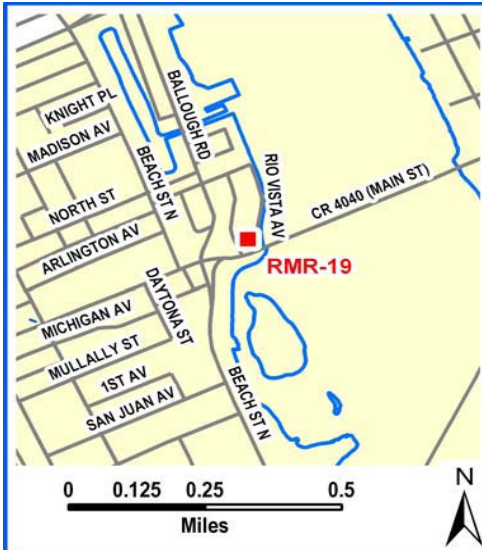
Horizontal Datum NAD83 (2007)

Horizontal Accuracy 2nd Order, Class II

Vertical Datum NAVD 88

Vertical Accuracy 2nd Order, Class II

Adjusted Elevation - in feet 3.815



cMillen Land Surveying, Inc



SOUTHEASTERN SURVEYING & MAPPING CORP.  
SURVEYING FLORIDA SINCE 1972

RMR-19



A handwritten signature in blue ink, appearing to read "Arundel". The signature is written in a cursive style.

APPROVED