

**SECTION 00 91 06
ADDENDUM NUMBER 6**

DATE: SEPTEMBER 8, 2017

**PROJECT: ORCHARD VALLEY CLUBHOUSE HVAC RENOVATIONS
2411 W ILLINOIS AVENUE
AURORA, ILLINOIS 60506**

PROJECT NO: 17-253-1110

**OWNER: FOX VALLEY PARK DISTRICT
101 W ILLINOIS AVENUE
AURORA, ILLINOIS 60506**

TO: PROSPECTIVE BIDDERS / PLANHOLDERS OF RECORD

This Addendum forms a part of the Contract Documents and modifies the Bidding Documents dated August 15, 2017, with amendments and additions noted below. Acknowledge receipt of this Addendum in the space provided in the Bid Form. Failure to do so may subject the Bidder to disqualification.

This Addendum consists of one (1) page and Drawings A200 and A300.

CHANGES TO THE DRAWINGS

1.01 DRAWING A200 - ARCHITECTURAL DEMOLITION PLANS

- A. Delete this Drawing in its entirety and replace with revised Drawing A200 - ARCHITECTURAL DEMOLITION PLANS (attached). This revised drawing clarifies that the carpentry demo work that is part of Alternate No. 1.

1.02 DRAWING A300 - ARCHITECTURAL PLANS

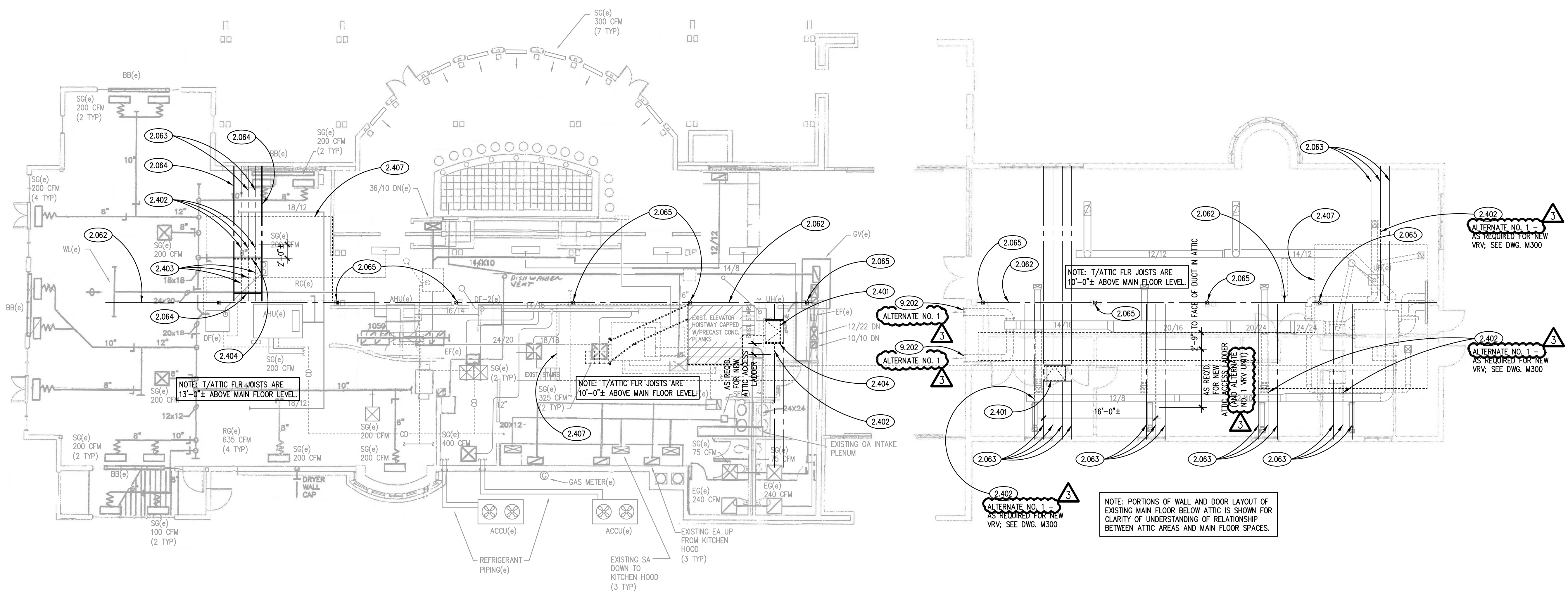
- A. Delete this Drawing in its entirety and replace with revised Drawing A300 - ARCHITECTURAL PLANS (attached). This revised drawing clarifies that the carpentry new work that is part of Alternate No. 1.

END OF DOCUMENT 00 91 06

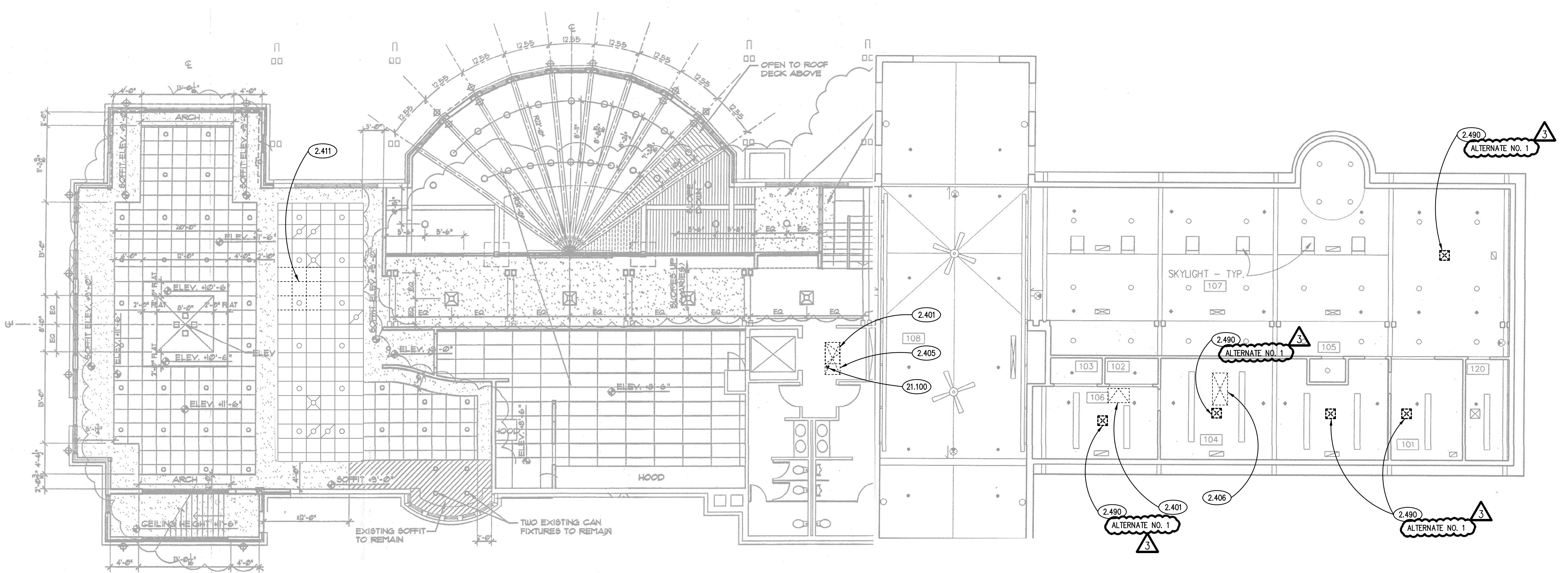
KEYNOTES

KEYNOTES ARE TYPICALLY NOT DUPLICATED WITHIN A GIVEN DETAIL. AN UN-KEYNOTED ITEM IN A DETAIL IS THE SAME AS A KEYNOTED ITEM HAVING THE SAME APPEARANCE WITHIN THE SAME DETAIL.

- 2.062 EXISTING WOOD ATTIC FLOOR BEAM.
- 2.063 EXISTING WOOD ATTIC FLOOR JOIST(S).
- 2.064 EXISTING DOUBLE ATTIC FLOOR JOIST/HEADER.
- 2.065 EXISTING WOOD POST; SOLID OR BUILT-UP; SUPPORTING ROOF RIDGE BEAM ABOVE.
- 2.401 DEMOLISH EXISTING ATTIC ACCESS DOOR AND FRAME.
- 2.402 DEMOLISH PORTION OF EXISTING ATTIC FLOOR JOIST.
- 2.403 DEMOLISH EXISTING ATTIC ACCESS OPENING REMOVABLE INFILL JOISTS AND JOIST HANGERS AT EACH END OF EACH INFILL JOIST.
- 2.404 SALVAGE EXISTING (2)2X10 JOIST HEADER AND SAVE FOR REUSE; DEMOLISH HEADER HANGERS AT EACH END.
- 2.405 ENLARGE EXISTING ATTIC ACCESS OPENING TO ACCOMMODATE NEW PULL-DOWN ATTIC ACCESS STAIR.
- 2.406 DEMOLISH EXISTING GYPSUM BOARD CEILING AS REQUIRED TO INSTALL NEW PULL-DOWN ATTIC ACCESS STAIR.
- 2.407 DEMOLISH ATTIC FLOOR DECKING, LOOSE OR FASTENED TO ATTIC FLOOR JOISTS, IN AREA TO RECEIVE NEW PLYWOOD FLOOR DECKING; REFER TO DRAWING A300 FOR ADDITIONAL INFORMATION; ADJUST DISPLACED EXISTING BATT INSULATION BETWEEN JOISTS TO PROVIDE FULL COVERAGE BETWEEN JOISTS UNDER NEW SUBFLOORING; PROVIDE 200 SF (TOTAL FOR THE ENTIRE PROJECT) OF NEW, UNFACED 12" THICK BATT INSULATION IN COMBINATION OF 12" AND 16" WIDTHS TO FILL GAPS WHERE INSULATION BETWEEN JOISTS IS MISSING COMPLETELY.
- 2.411 DEMOLISH EXISTING 9/16" CEILING GRID MEMBERS AS SHOWN, IN PREPARATION FOR CREATING MORE EASILY REMOVABLE AREA OF ACOUSTICAL CEILING; SALVAGE EXISTING ACOUSTICAL CEILING PANELS; TEMPORARILY SUPPORT EXISTING DOWNLIGHT; REFER TO DRAWING A300 FOR ADDITIONAL INFORMATION.
- 2.490 DEMOLISH EXISTING MECHANICAL DIFFUSER; REFER TO DRAWING ME200.
- 9.202 GYPSUM ASSEMBLY; PATCH EXISTING GYPSUM BOARD WHERE EXISTING DIFFUSERS ARE DEMOLISHED; FINISH AND PAINT TO MATCH EXISTING FOR SMOOTH, SEAMLESS APPEARANCE.
- 21.100 REMOVE SPRINKLER HEAD AND PROVIDE TEMPORARY CAP FOR NEW SPRINKLER HEAD CONNECTION.



ATTIC DEMOLITION PLAN 2 SCALE: 1/8" = 1'-0"



MAIN FLOOR REFLECTED CEILING DEMOLITION PLAN 1 SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. REFER TO DRAWING G100 FOR PROJECT GENERAL NOTES.
2. UNLESS NOTED OTHERWISE, WHERE EXISTING FLOOR, WALL AND CEILING SURFACES ARE SCHEDULED TO RECEIVE FINISHES, DEMOLISH EXISTING FINISH MATERIALS (EXCEPT PROPERLY ADHERED PAINT) AND SALVAGE SURFACE-MOUNTED ITEMS. PROPERLY PREPARE SURFACES TO RECEIVE NEW FINISHES; REINSTALL SURFACE-MOUNTED ITEMS AT NEW LOCATIONS DETERMINED BY OWNER UNLESS SPECIFIC LOCATIONS ARE INDICATED ON DRAWINGS.
3. PROTECT SALVAGED ITEMS FROM DAMAGE UNTIL INCORPORATED INTO THE WORK OR UNTIL MOVED TO OWNER'S PERMANENT STORAGE.
4. AT CEILING GRID AREAS TO BE MODIFIED, TEMPORARILY SUPPORT LIGHT FIXTURES THAT ARE TO BE INDICATED TO REMAIN IN PLACE AS PART OF THE PERMANENT WORK.
5. ADDITIONAL DEMOLITION/RECONSTRUCTION AND REMOVAL/REPLACEMENT OF ARCHITECTURAL AND STRUCTURAL ELEMENTS IS REQUIRED TO COMPLETE THE WORK OF THIS PROJECT. COORDINATE WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS, AND PROVIDE DEMOLITION/RECONSTRUCTION AND REMOVAL/REPLACEMENT OF ARCHITECTURAL AND STRUCTURAL ELEMENTS AS REQUIRED TO COMPLETE THE WORK SHOWN ON THOSE DRAWINGS.

ISSUED	DATE	DESCRIPTION
1	08/07/17	ADDENDUM NO. 1
2	08/07/17	ADDENDUM NO. 2
3	08/07/17	ADDENDUM NO. 3

JOB NO.	17-253-1110
DRAWN	CDH
CHECKED	CDH
APPROVED	CDH

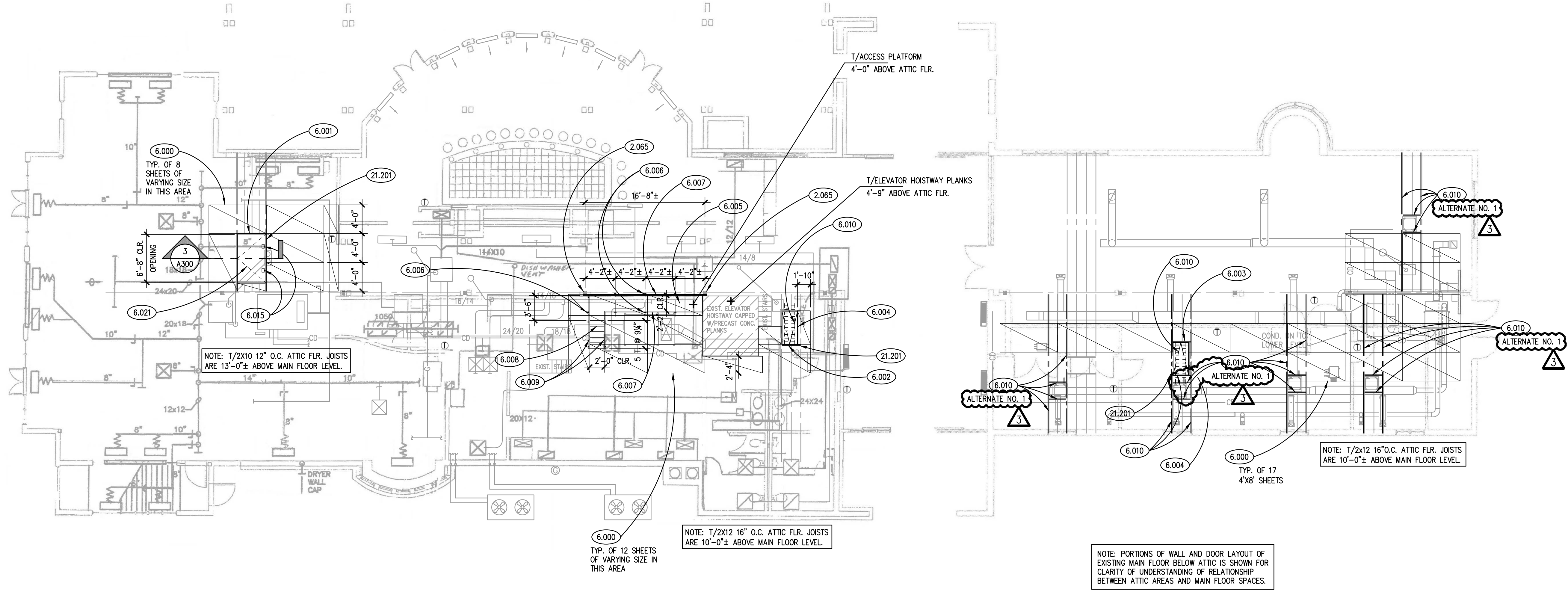
SHEET TITLE
ARCHITECTURAL DEMOLITION PLANS

SHEET NUMBER
A200

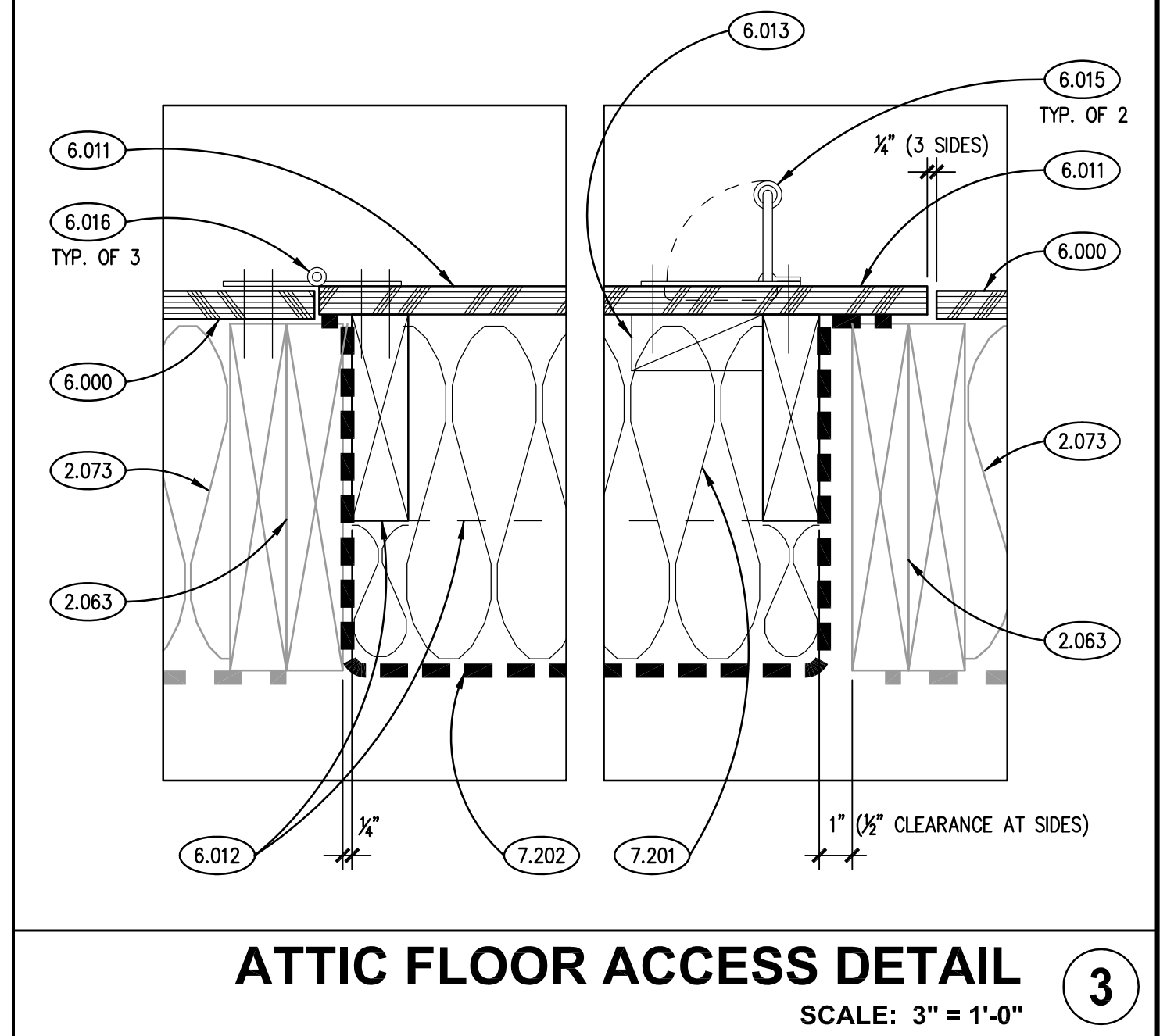
KEYNOTES

KEYNOTES ARE TYPICALLY NOT DUPLICATED WITHIN A GIVEN DETAIL. AN UN-KEYNOTED ITEM IN A DETAIL IS THE SAME AS A KEYNOTED ITEM HAVING THE SAME APPEARANCE WITHIN THE SAME DETAIL.

- 2.063 EXISTING WOOD ATTIC FLOOR JOIST(S).
- 2.065 EXISTING WOOD POST; SOLID OR BUILT-UP; SUPPORTING ROOF RIDGE BEAM ABOVE.
- 2.073 EXISTING BATT INSULATION.
- 6.000 3/4" PLYWOOD SUBFLOORING; SCREW TO EXISTING ATTIC FLOOR JOISTS.
- 6.001 REFRAME EXISTING ACCESS TO ATTIC SPACE AS INDICATED; SALVAGE AND RELOCATE EXISTING (2)2X12 HEADERS TO ENLARGE OPENING AS SHOWN.
- 6.002 REFRAME EXISTING ROUGH OPENING FROM DEMOLISHED ATTIC ACCESS DOOR AS INDICATED; SALVAGE AND RELOCATE EXISTING (2)2X12 HEADER TO ENLARGE OPENING AS SHOWN TO ACCOMMODATE NEW PULL-DOWN ATTIC ACCESS LADDER.
- 6.003 FRAME OPENING AS SHOWN FOR NEW PULL-DOWN ATTIC ACCESS LADDER; SISTER EXISTING 2X12 JOISTS ON EACH SIDE OF OPENING WITH NEW 2X12 JOIST AS SHOWN; PROVIDE (2)2X12 HEADERS AT EACH END AND JOIST HANGERS TO SUPPORT CUT ENDS OF EXISTING 2X12 ATTIC FLOOR JOIST; REMOVE AND REINSTALL EXISTING BATT INSULATION AND EXISTING BRIDGING BETWEEN EXISTING JOISTS TO ACCOMMODATE NEW WORK.
- 6.004 2X12 FRAMING FOR ATTIC PULL-DOWN STAIR.
- 6.005 RAISED SERVICE ACCESS PLATFORM: 3/4" PLYWOOD SCREWED TO 2X10 SIDE BEAMS WITH 2X4 CROSS SUPPORTS @ 16" O.C.
- 6.006 2X4 WOOD POST; CONTINUOUS FROM ATTIC FLOOR TO TOP OF PLATFORM RAILING.
- 6.007 WOOD GUARD RAILING: 42" HIGH; 2X4 TOP RAIL AND MID RAIL; 2X4 POSTS AT LOCATIONS INDICATED; CONSTRUCT IN ACCORDANCE WITH REQUIREMENTS OF 29 CFR 1910.29.
- 6.008 WOOD STAIR: 9 1/4" TREADS; 8" OPEN RISERS; 2X10 TREADS; 2X12 STRINGERS; CONSTRUCT IN ACCORDANCE WITH REQUIREMENTS OF CFR 1910.25.
- 6.009 WOOD STAIR RAILING: 36" HIGH MEASURED VERTICALLY FROM STAIR NOSINGS; 2X4 TOP RAIL AND MID RAIL; 2X4 POSTS AT LOCATIONS INDICATED; CONSTRUCT IN ACCORDANCE WITH 29 CFR 1910.29.
- 6.010 FRAME OPENING AS SHOWN FOR NEW VRV UNIT (SEE DWG. M300); SISTER EXISTING 2X12 JOISTS ON EACH SIDE OF OPENING WITH NEW 2X12 JOIST AS SHOWN; PROVIDE (2)2X12 HEADERS AT EACH END AND JOIST HANGERS TO SUPPORT CUT ENDS OF EXISTING 2X12 ATTIC FLOOR JOIST; REMOVE AND REINSTALL EXISTING BATT INSULATION AND EXISTING BRIDGING BETWEEN EXISTING JOISTS TO ACCOMMODATE NEW WORK; COORDINATE EXACT LOCATIONS OF HEADERS WITH CLEARANCE AND PIPING REQUIREMENTS FOR VRV UNIT; PROVIDE ADDITIONAL SUPPORT FRAMING AS REQUIRED FOR VRV UNIT AND TO ADEQUATELY SUPPORT GYPSUM DRYWALL CEILING ATTACHED TO BOTTOMS OF JOISTS.
- 6.011 ROUGH CARPENTRY: 3/4" PLYWOOD SUBFLOORING; GLUE AND SCREW TO ATTIC FLOOR ACCESS PANEL FRAME.
- 6.012 ROUGH CARPENTRY: 2X6 FRAME AT PERIMETER WITH 2X6 CROSS MEMBERS @ 16" O.C.
- 6.013 ROUGH CARPENTRY: 2X4 BLOCKING REINFORCEMENT FOR HARDWARE ANCHORAGE.
- 6.015 ROUGH CARPENTRY ACCESSORY: RECESSED FLIP-UP CHEST/CABINET HANDLE IN ZINC FINISH; FOR LIFTING HINGED ACCESS DOOR; PENN ELCOM #H71542; PROVIDE 2X SOLID BLOCKING BENEATH HANDLE FOR FASTENER ANCHORAGE.
- 6.016 ROUGH CARPENTRY ACCESSORY: BUTT HINGE; 4 1/2" X 4 1/2"; STANDARD WEIGHT, STAINLESS STEEL, FIVE KNURLE, STANDARD BEARING; ENSURE MOUNTING SCREWS EXTEND THROUGH PLYWOOD AND INTO 2X FRAMING.
- 6.021 ROUGH CARPENTRY ASSEMBLY: HINGED ATTIC ACCESS PANEL FLUSH WITH ATTIC FLOOR SURFACE; 3/4" PLYWOOD SHEATHING GLUED AND SCREWED TO 2X6 FRAME WITH 2X6 CROSS MEMBERS AT 16" O.C.; ALL SECURELY GLUED AND SCREWED TOGETHER; INSULATE PANEL WITH 9 1/2" (R-30) UNFACED FIBERGLASS INSULATION BATTS BETWEEN FRAME MEMBERS AND WRAP BOTTOM OF INSULATION WITH 10 MIL POLYETHYLENE VAPOR RETARDER.
- 7.201 THERMAL INSULATION: 9 1/2" UNFACED FIBERGLASS BATTS (R-30).
- 7.202 THERMAL INSULATION ACCESSORY: 10 MIL POLYETHYLENE VAPOR RETARDER; STAPLE AND SEAL TO PERIMETER 2X6 FRAME.
- 9.201 GYPSUM ASSEMBLY: PROVIDE J-BEAD AROUND PERIMETER OF ATTIC PULL-DOWN LADDER CLOSURE PANEL; FINISH SURROUNDING GYPSUM BOARD FLUSH WITH CLOSURE PANEL; PAINT ENTIRE CEILING SURFACE TO MATCH EXISTING.
- 9.511 MODIFY EXISTING 9 1/8" CEILING GRID TO FACILITATE EASY REMOVAL OF 6'X6' AREA OF TILE INDICATED; PROVIDE NEW WIRE HANGERS AT PERIMETER OF AREA (2 ON EACH SIDE AT 4" O.C.; PROVIDE NEW MAIN TEES, 6'-0" LONG ON 3 SIDES, LOCK CORNERS TOGETHER, AND (2) 6'-0" LONG REMOVABLE MAIN TEES ACROSS OPENING; COMPLETE GRID IN AREA WITH NEW 2" CROSS TEES, AND REINSTALL SALVAGED CEILING TILES.
- 21.200 PROVIDE NEW SPRINKLER HEAD, MATERIAL AND LABOR FOR INSTALLATION IN NEW CEILING CONFIGURATION.
- 21.201 REMOVE AND REROUTE SPRINKLER PIPING TO ALLOW ATTIC ACCESS.
- 23.001 MECHANICAL VRV UNIT: PATCH AND REPAINT EXISTING GYPSUM BOARD CEILING/WALL AROUND UNIT TO REPAIR HOLE LEFT BY DEMOLISHED DIFFUSER; REFER TO DRAWING M300 FOR ADDITIONAL INFORMATION.

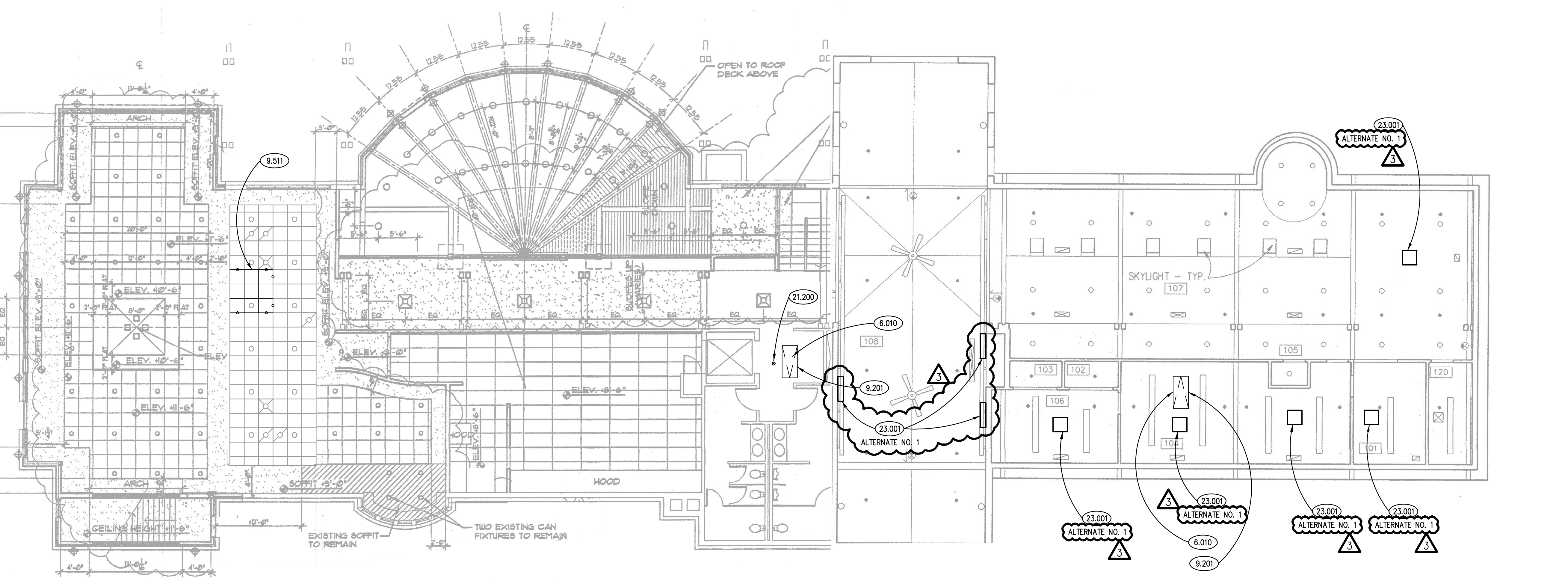


ATTIC PLAN 2 SCALE: 1/8" = 1'-0"



ATTIC FLOOR ACCESS DETAIL 3 SCALE: 3" = 1'-0"

- GENERAL NOTES
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 - UNLESS NOTED OTHERWISE, WHERE EXISTING FLOOR, WALL AND CEILING SURFACES ARE SCHEDULED TO RECEIVE FINISHES, DEMOLISH EXISTING FINISH MATERIALS (EXCEPT PROPERLY ADHERED PAINT) AND SALVAGE SURFACE-MOUNTED ITEMS; PROPERLY PREPARE SURFACES TO RECEIVE NEW FINISHES; REINSTALL SURFACE-MOUNTED ITEMS AT NEW LOCATIONS DETERMINED BY OWNER UNLESS SPECIFIC LOCATIONS ARE INDICATED ON DRAWINGS.
 - PROTECT SALVAGED ITEMS FROM DAMAGE UNTIL INCORPORATED INTO THE WORK OR UNTIL MOVED TO OWNER'S PERMANENT STORAGE.
 - AT CEILING GRID AREAS TO BE MODIFIED, TEMPORARILY SUPPORT LIGHT FIXTURES THAT ARE TO BE INDICATED TO REMAIN IN PLACE AS PART OF THE PERMANENT WORK.
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FIRST FLOOR REFLECTED CEILING PLAN 1 SCALE: 1/8" = 1'-0"

ISSUED	DATE	DESCRIPTION
1	08/08/17	ADDENDUM NO. 1
2	09/07/17	ADDENDUM NO. 2
3	09/08/17	ADDENDUM NO. 3

JOB NO.	17-253-1110
DRAWN	CDH
CHECKED	CDH
APPROVED	CDH

SHEET TITLE
ARCHITECTURAL PLANS

SHEET NUMBER

A300