

ADDENDUM NUMBER ONE
REPLACEMENT ROOFING SYSTEMS FOR
SHEPHERD YFD CENTER
2124 SHEPHERD ROAD
FOR THE CITY OF CHATTANOOGA, TENNESSEE
Contract Number Y-17-019

NOTES FROM THE PRE-BID MEETING

A Pre-Bid Meeting was held at the Shepherd YFD Center, 2124 Shepherd Road, Chattanooga, on March 13, 2018 at 10:00. A sign-in sheet from the meeting is attached, as is the Agenda from the Pre-Bid Meeting.

A portion of the Summary of Work was read.

1. Abide by all specification requirements.
2. Provide a Manufactures NDL warranty for 20 years, including all products.
3. All questions must be presented in writing to City of Chattanooga Purchasing Department.
4. Remove existing roofing down to decking and inspect for damage or deterioration. Bring any deficiencies to the attention of the Project Engineer or Project Manager. Repair any damaged decking before proceeding with re-roofing.
5. Existing flashings, metal edging, external gutters and downspouts, fascia and fascia extension to be removed and replaced with new 24 gauge Kynar finished metal in color of owner's choice.
6. Extend pipes and curbs to meet minimum height requirements above finished roof elevation as required by manufacturer.
7. Add wood blocking at roof edge as needed to match new insulation heights as needed.
8. Install new insulation (base layer, flat insulation, or tapered insulation as needed), crickets and cover-board to deck with adhesive. NO mechanically fastening due to unknown conditions below decking.
9. Fully adhere new 60 mil TPO roof membrane.
10. Add new gutters where indicated in the plans. Add 1 new scupper and 2 new collector heads with downspouts and splash blocks where indicated on the plans.
11. Support all mechanical lines, electrical conduits, and other utilities with new professionally designed supports, Miro Industries or equivalent.
12. All work must be done while allowing access to the YFD Center.
13. Owner will establish at pre-construction meeting where construction dumpsters will be placed.
14. Contractor will be required to attend a pre-construction meeting to be held by the Owner before work will be able to commence.

15. The City Engineer reserves the right to substitute, add, delete, increase, decrease in any form or fashion as necessary the scope of work under the provisions of this Contract, including the projects noted above.

The Bid Schedule was reviewed. Slight revisions to the wording in the Bid Schedule are being made with this Addendum, so the original Bid Schedule is not being reprinted here.

It was pointed out that the information on the existing roofing is given on the plans. Plans were laid out to be printed on 11"x17" paper, not 24"x36" sheets as is common in construction. This was done for ease of carrying the plans into the field.

There is a reflectivity standard in the specifications. See Section 1.4 subsection N of Section 075423 TPO Fully Adhered.

After the Pre-Bid meeting, the roof was accessed by the contractors present. Any others wanting access to the roof for visual inspection should contact the purchasing Department using form 1-0009, "Request for Bidder Information".

Questions Discussed:

Questions were asked regarding the placement of the existing roof drains on the roof and the best way to shed water from the roof. After discussion, the following items were decided as the best way to handle rainfall onto the roof.

On the northern section, where there are presently three roof drains unequally spaced, it was decided that the roof should be sloped toward the three edges, the existing roof drains should be plugged, and gutters and downspouts should be added to the three sides. Splash blocks will be required at the bottom of all new downspouts. The roof section should be sloped at $\frac{1}{4}$ " per foot on this section.

The small porch overhand at the northern end of the building is part of the roofing project, and will require a new drain insert and downspout.

The remaining roof sections should be pitched to the west and east at $\frac{1}{8}$ " per foot, and the existing roof drains should be permanently plugged and sealed, with the new membrane applied over the top of the seal. Gutters and downspouts need to be added to any sections that do not currently have gutters to convey the water to the ground, or to the next lower level of roofing.

On the lower roof section to the west of the building, where there is currently a scupper in the wall and a roof drain at the opposite rear corner, it was decided to permanently plug and seal the rear roof drain, slope the entire roof section toward the outer wall at $\frac{1}{4}$ " per foot, and install a second scupper at the other end of the section. Add collector heads and downspouts to the scupper, and add splash blocks at the base of the two downspouts.

These changes have all been made in the drawings, and a new sheet is being issued with this addendum to reflect these changes.

The Sign-in Sheet from the Pre-Bid meeting is attached.

The following changes shall be made to the Contract Documents, Specifications, and Drawings:

- I. Please replace the original Bid Schedule, 00301, with the attached Bid Schedule 00301-R2
- II. Please replace the original Section 01010 with the attached Section 01010-R2.
- III. Please replace the original Sheet 2 of 12 with the attached Sheet 2 of 12 Rev 1 dated 03/13/2018.

March 15, 2018

/s/ Justin C. Holland, Administrator
City of Chattanooga
Department of Public Works

SECTION 01010
SUMMARY OF WORK

PART 1 – GENERAL

1.1 Section Includes

- A. Description of Work
- B. Items regulating the execution of the Work

1.2 Description of the Work

- A. The work consists of the following major elements:
 - 1. Remove existing roofing down to decking and inspect for damage or deterioration. Bring any deficiencies to the attention of the Project Engineer or Project Manager. Repair any damaged decking before proceeding with re-roofing.
 - 2. Existing flashings, metal edging, external gutters and downspouts, fascia and fascia extension to be removed and replaced with new 24 gauge Kynar finished metal in color of owner's choice.
 - 3. Extend pipes and curbs to meet minimum height requirements above finished roof elevation as required by manufacturer.
 - 4. Add wood blocking at roof edge as needed to match new insulation heights as needed.
 - 5. Install new insulation (base layer, flat insulation, or tapered insulation as needed), crickets and cover-board to deck with adhesive. NO mechanically fastening due to unknown conditions below decking.
 - 6. Fully adhere new 60 mil TPO roof membrane.
 - 7. Add new gutters where indicated in the plans. Add 1 new scupper and 2 new collector heads with downspouts and splash blocks where indicated on the plans.
 - 8. Support all mechanical lines, electrical conduits, and other utilities with new professionally designed supports, Miro Industries or equivalent.
 - 9. All work must be done while allowing access to the YFD Center.
 - 10. Owner will establish at pre-construction meeting where construction dumpsters will be placed.
 - 11. Contractor will be required to attend a pre-construction meeting to be held by the Owner before work will be able to commence.
 - 12. Abide by all specification requirements.
 - 13. Provide a Manufactures NDL warranty for 20 years, including all products.
 - 14. All questions must be presented in writing to City of Chattanooga Purchasing Department.

- B. The City Engineer reserves the right to substitute, add, delete, increase, decrease in any form or fashion as necessary the scope of work under the provisions of this Contract, including the projects noted above.
- C. This project shall be assigned a unique project number by the Engineer. The Contractor shall execute this project in complete compliance with the requirements of this contract. All records of the Contractor shall conspicuously identify them to be associated with the unique project number assigned by the Engineer.
- D. The work covered under this project shall consist of furnishing all materials, equipment and labor for the full depth reclamation of designated streets including but not limited to mobilization, parking sign placement, public notification, placement of traffic control devices per MUTCD, cleaning and conditioning of the roadways, repair of base failures as needed, the adjustment of sanitary manholes and other publicly owned structures as required, milling as directed, cement and water addition, grading, compaction, saw cutting and installation of traffic signal loop wires where required and placement of temporary and permanent pavement markings as required.
- E. The Engineer shall provide a set of standard City details, as needed, which shall be applicable to this project. The Contractor shall be called in for a Pre-Construction meeting at which time the Engineer shall issue notice to proceed. The Contractor shall have ten (10) days or an agreed to start date to start construction.

1.3 Items regulating the Execution of the Work.

- A. Attention to Work
For this project, the Contractor shall give his personal attention to and shall supervise the work to the end that it shall be prosecuted faithfully; and, when he is not personally present on the work, he shall at all times be represented by a competent superintendent or foreman who shall be present at the work and who shall receive and obey all instruction or orders given under this Contract, and who shall have full authority to execute the same, and to supply materials, tools and labor without delay, and who shall be the legal representative of the Contractor. The Contractor shall be liable for the faithful observance of any instructions delivered to him or to his authorized representatives.
- B. Access to Work
The Contractor shall at all times provide proper facilities for access and inspection of the work by representatives of the Owner and of such official Governmental agencies as may be designated by the Owner as having jurisdictional rights to inspect the work.
- C. No Parking Signs
The Contractor shall place "NO PARKING" signs 48 hours prior to beginning work at a project location. The Contractor shall notify the City's designated

Inspector/ Project Manager when the signs have been placed and if vehicles have not been moved at such time as work is scheduled to begin. No additional cost shall be paid to the Contractor while the Owner is making arrangements to get the vehicle moved or towed.

D. Work on State Highway

Where the work on this project encroaches upon the right-of-way of any State or Interstate Highway right-of-way, the owner will execute a contract with proper authorities for the proposed work.

The Contractor shall notify the proper authorities prior to entering upon such right-of-way and shall be responsible for all damage and for satisfying the requirements of these authorities.

E. Work on Private Property

Where the work on this project encroaches upon private property, the Owner shall provide easements and/or right-of-entry in or onto said property. Work performed in such easements is subject to the provisions of the easement agreement on file with the City of Chattanooga Engineering Department.

The Contractor shall be responsible for obtaining any additional agreements which may be deemed necessary for the storage of equipment or materials outside of public easements or rights of ways for this project. The Contractor shall obtain a written agreement between the Contractor and Land Owner and forward it to the Engineer prior to use of said property.

The Contractor shall be responsible for the preservation of and shall use every precaution to prevent damage to all trees, shrubbery, fences, culverts, mailboxes, bridges, pavements, driveways, sidewalks, houses or building and all water, sewer, gas, telephone and electric lines thereto and all other private and public property along or adjacent to the work.

Any damage that occurs will be restored to a like condition as existed prior to construction, in the Contract Documents, unless otherwise indicated or specified.

Forty-eight (48) hours prior to construction on any easement or streets the Contractor shall notify in writing the affected property owners in the area. This notification shall include the Contractor's name and the name and phone number of the contact person.

F. Monthly Job Site Meetings

Once a month, on a date mutually agreed upon by the Contractor and the Engineer, a job site meeting shall be held for review of the Project, including, but not limited to: The construction schedule, traffic control, pending submittals, and any other issues that may arise. This meeting shall be used to review the contractor's monthly applications for payment.

G. Contract Working Hours

All work shall be performed during regular working hours unless mutually agreed upon and approved in writing by the City Engineer. The Contractor will not permit overtime work or the performance of work on Sunday or any legal holiday without the Owner's written consent given after prior 24 hour written notice to the Engineer. Saturday work shall also require prior 24 hour written notice. Regular working hours are Monday through Saturday from 7:00 A.M. to 8:00 P.M. The actual costs of the Owner's and Engineer's inspection of the work performed outside of regular working hours will be billed to the Contractor and deducted from the Contractor's application for payment as they occur.

END OF DOCUMENT

BID SCHEDULE**REPLACEMENT ROOFING SYSTEM FOR SHEPHERD YFD CENTER BUILDINGS**

Project No. Y-17-019

City of Chattanooga, Tennessee

Item No.	Description	Unit	Est. No. of Units	Unit Price	Total
1	Replacement TPO roofing system, roofing and labor including: removal and disposal of old roofing, insulation, flashings, coping and metal trim down to metal decking, wood blocking, membrane, insulation, tapered insulation, cover board, walk pads, replacement gutters and downspouts in kind, new gutters and downspouts where called for, metal trim and coping as needed to complete roof system per plans, specs, and manufacturer's requirement, and furnish 20 year warranty	LS	1		
2	Surface clean, install one coat of primer, and one coat of elastomeric coating to all galvanized sheet metal and steel piping on the roof in order to protect and preserve these details.	LS	1		
Total Base Bid					
Conditional Repairs					
1	Remove and replace, or repair as needed, deteriorated concrete roofing deck as needed	100	Square foot		
1	Remove and replace deteriorated metal roofing deck as needed	100	Square foot		

SIGN-IN SHEET

PROJECT: Y-17-019

Shepherd YFD RE-Roofing Project

	NAME	COMPANY	PHONE	EMAIL
1	Christopher Feltz	Inistate Roofing	423-362-1654	cfeltz@istateroofing.com
2	Miguel Roldan	Pat & Roldan's	(931) 968-9298	ericcasone@pat-and-rolans.com
3	Brian Helton	STH	423-991-0062	brian.helton@sthcompany.com
4	Thomas Black	TRM Roofing	423-503-2150	thomas@thmsroofing.com
5	ALAN OGLE	OGC	423 643 5898	AOGLE@CHATTANOOGA.GOV
6	BONNIE MURPHY DOBSON	OGC	423 643 6031	BonnieMurphy@CHATTANOOGA.GOV
7				
8				
9				
10				
11				
12				
13				
14				
15				

- NOTES:
1. INDICATED ROOF SLOPES SHALL BE ACCOMPLISHED BY TAPERED INSULATION. ALL TAPERED INSULATION SHALL SLOPE $\frac{1}{8}$ ", EXCEPT WHERE NOTED OTHERWISE FOR POSITIVE DRAINAGE.
 2. PERMANENTLY PLUG AND SEAL ALL EXISTING ROOF DRAINS EXCEPT DRAIN ON PORCH OVERHANG.. INSTALL TAPERED INSULATION AND COVER BOARD OVER TOP. TAPER INSULATION AS INDICATED TO DRAIN WATER TO EDGES OF EXISTING BUILDING. ADD GUTTERS AND DOWNSPOUTS AS NOTED TO ACCOMMODATE DRAINAGE.
 3. ALL MATERIALS ARE TO BE INSTALLED FOLLOWING MANUFACTURERS SPECIFICATIONS, NOTIFY OWNER IF THERE ARE ANY DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS & MANUFACTURERS SPECIFICATIONS.
 4. ALL BUILDINGS TO HAVE R-20 WITH A WHITE TPO 60 MIL.
 5. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTOR.
 6. REMOVE ALL EXISTING STONE AGGREGATE, EXISTING INSULATION & EXISTING MEMBRANE DOWN TO THE ROOF DECK. EXAMINE DECKING TO INSURE SATISFACTORY CONDITION BEFORE RE-ROOFING. BRING ANY DEFICIENCIES TO THE ATTENTION OF THE ENGINEER.
 7. CONTRACTOR RESPONSIBLE FOR BOTH THE REMOVAL AND DISPOSAL OF EXISTING ROOFING MATERIALS, METAL TRIM, GUTTERS, DOWNSPOUTS, AND EDGING.
 8. INSULATION AND TPO MEMBRANE SHALL BE FULLY ADHERED TO EXISTING DECKING. NO MECHANICAL FASTENERS SHALL BE PERMITTED.
 9. INSTALL TPO WALKPADS AROUND ALL ROOFTOP AIR CONDITIONING UNITS.
 10. REPLACE ALL EXISTING GUTTERS AND EXTERNAL DOWNSPOUTS.
 11. REPLACE ALL EXISTING PIPE AND CONDUIT SUPPORTS WITH APPROPRIATE PROFESSIONALLY DESIGN ROOFTOP SUPPORTS, MIRO INDUSTRIES OR EQUIVALENT.

REV. 1:
ADDED ONE SCUPPER, COLLECTOR HEADS AND DOWNSPOUTS.
CHANGED DRAINAGE TO DRAIN EAST AND WEST ONLY, EXCEPT ON PORCH OVERHANG. ELIMINATE ALL ROOF DRAINS. ADD GUTTERS AND DOWNSPOUTS TO ALL EAST AND WEST EDGES.



CITY OF
CHATTANOOGA

DEPARTMENT OF
PUBLIC WORKS

ADMINISTRATOR:
JUSTIN C. HOLLAND

CITY ENGINEER:
WILLIAM C. PAYNE, P.E.

NO.	DATE	REVISION	DES	SIG.
0	03/01/18	ORIGINAL		AWO
1	3/13/18	REV 1		AWO

SHEPHERD YFD
ROOF REPLACEMENT
ROOF PLAN

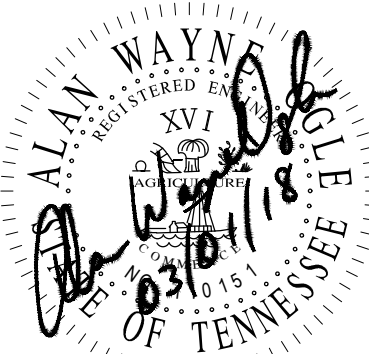
CONTRACT# Y-17-019

SCALE: 1' = 20'

DRAWN: JAH

DESIGN:

CHECKED: AWO



TN REGISTRATION NO. 110151

GYMNASIUM
(NOT IN CONTRACT)

KEYED NOTES:

1. INSTALL NEW SCUPPER AT THIS LOCATION. ADD COLLECTOR HEAD AND DOWNSPOUT.
2. ADD COLLECTOR HEAD AND DOWNSPOUT TO EXISTING SCUPPER HEAD.
3. INSTALL CRICKET BEHIND CHIMNEY TO PUSH WATER AWAY FROM BACK OF CHIMNEY.
4. EXISTING ROOF DRAIN. INSTALL NEW DRAIN INSERT. INSTALL NEW DOWNSPOUT TO GROUND. INSTALL NEW SPLASH BLOCK.
5. INSTALL NEW GUTTER, DOWNSPOUTS, AND SPLASH BLOCK AS NEEDED THIS EDGE..

1 ROOF PLAN
Scale: 1" = 20'

