



REVISIONS

NO.	DESCRIPTION



EXISTING RENOVATION  
OCONEE ANIMAL SHELTER  
EXPANSION  
OCONEE COUNTY, GEORGIA

OCONEE  
ANIMAL  
SHELTER  
EXPANSION

1171 Branch Rd.  
Bishop, GA 30621

OCONEE  
COUNTY  
23 N Main Street  
Watkinsville, GA 30667

TITLE LIFE SAFETY PLAN

STATUS PERMIT SET

JOB 119024.00

QC BKS

DRAWN CW

SHEET **G002**

DATE 12/13/2019

THIS DRAWING IS THE PROPERTY OF LYMAN DAVIDSON DOOLEY INCORPORATED ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED LYMAN DAVIDSON DOOLEY. NOT VALID UNLESS SIGNED AND SEALED.

1	2	3	4	5
<p><b>EGRESS REQUIREMENTS</b></p> <p>AREA (SF) BUSINESS OCCUPANT 9,030 SF / 100 - 90</p>		<p><b>BUILDING DATA</b></p> <p>OCCUPANCY - BUSINESS EXISTING</p> <p>TYPE OF CONSTRUCTION - VB</p>		
<p><b>TYPE VB CONSTRUCTION</b></p> <p>REQUIRED EGRESS WIDTH = 90 x .20 = 18" EGRESS WIDTH PROVIDED = 7 x 34" = 238"</p> <p>MAXIMUM TRAVEL DISTANCE (PER 1014.3) = 75' TRAVEL DISTANCE PROVIDED = 87'</p> <p>REQUIRED NUMBER OF EXITS = 2 NUMBER OF EXITS PROVIDED = 7</p> <p>EXIT TRAVEL DISTANCE SHALL NOT EXCEED 200'</p>		<p><b>AREA AND HEIGHT INCREASE - TABLE (503) SECTION 506.2 FRONTAGE INCREASE</b></p> <p><math>I = [F/P - 0.25] W / 30</math></p> <p>EXISTING = 5347.24 SF NEW ADDITION = 3682.58 SF TOTAL = 9029.82 SF</p> <p>ALLOWABLE PER TABLE 503 BUSINESS 9,000 SF</p> <p><math>I = [175.17 / 531.42 - .25] 144 / 30</math> <math>I = .3827</math></p> <p><b>AREA INCREASE - SECTION 506.1</b></p> <p><math>A_a = [A_1 + (A_1 \times I)] + (A_2 \times I)</math> <math>A_a = [9000 + (9000 \times .3827)] + (9000 \times 0)</math> <math>A_a = 9000 + 3444.3 + 0</math> <math>A_a = 12,444.3 SF</math></p>		

**LIFE SAFETY LEGEND**

- 1 HOUR FIRE RATED WALL
- 2 HOUR FIRE RATED WALL
- SMOKE TIGHT WALL
- TRAVEL DISTANCE START POINT
- DOOR EGRESS TAG
- DOOR CLEAR WIDTH
- DOOR EGRESS CAPACITY (WIDTH / 0.2')
- CALCULATED OCCUPANT LOAD
- WALL MOUNTED FIRE EXTINGUISHER

- LIFE SAFETY NOTES**
- CONTRACTOR SHALL PERMANENTLY IDENTIFY ALL RATINGS AT RATED PARTITIONS, SMOKESTOP PARTITIONS, HORIZONTAL EXIT PARTITIONS AND EXIT ENCLOSURES BY EITHER INSTALLING SIGNS OR STENCIL PAINTING IN CONCEALED SPACES PER FIRE MARSHAL. REFER TO SPECIFICATIONS. NOTE THAT PER GA AMENDMENTS TO THE IFC (CGA 120-3-3), THE SPACING OF THE SIGNS/STENCILS IS 12' ON CENTER WITH A MIN. OF 1 PER WALL OR BARRIER.
  - AT THE INTERSECTION OF RATED INTERIOR WALLS WITH THE EXTERIOR WALL, THE RATED WALL SHALL EXTEND INTO THE STUD CAVITY TO THE INSIDE FACE OF THE EXTERIOR SHEATHING, AND THE JOINT SHALL BE FIRE CAULKED. FIRE RATED WALLS ARE TO BE FIRE CAULKED AT THE TOP AND BASE. REFER TO SPECIFICATIONS AND UL DETAILS.
  - INSULATING MATERIALS INSTALLED IN ANY CONSTRUCTION TYPE, CONCEALED OR EXPOSED, SHALL HAVE A FLAMESPREAD RATING NO GREATER THAN 25 AND A SMOKE DEVELOPED RATING NO GREATER THAN 450 AS DETERMINED IN ACCORDANCE WITH ASTM E 84.
  - SEE UL DETAILS FOR SPECIFIC RATED PARTITION CONSTRUCTION DETAILS.
  - AUTOMATIC FIRE EXTINGUISHERS SHALL BE PLACED THROUGHOUT THE BUILDING IN ACCORDANCE WITH NFPA 10 AND APPLICABLE CHAPTER OF THE CURRENTLY ADOPTED NFPA 101.
  - PANIC HARDWARE SHALL BE INSTALLED AT ALL DOOR LOCATIONS SERVING AN OCCUPANT LOAD OF MORE THAN 100 PERSONS.
  - DEAD END CORRIDOR LIMITATIONS TO BE BASED ON OCCUPANCY TYPE AND PER TABLE A1.6 IN THE CURRENTLY ADOPTED NFPA 101.
  - A FIRE ALARM SYSTEM SHALL BE PROVIDED THROUGHOUT THE FACILITY. VOICE ANNUNCIATED ALARMS SHALL BE PROVIDED IF REQUIRED BY THE APPLICABLE CHAPTER OF THE CURRENTLY ADOPTED NFPA 101.
  - EMERGENCY LIGHTING SHALL BE PROVIDED THROUGHOUT THE FACILITY TO MEET THE REQUIREMENTS OF THE APPLICABLE CHAPTER OF THE CURRENTLY ADOPTED NFPA 101.
  - EMERGENCY FORCES NOTIFICATION TO MEET THE REQUIREMENTS OF THE APPLICABLE CHAPTER OF THE CURRENTLY ADOPTED NFPA 101.
  - FIRE SIGNAL BOOSTER MAY NEEDED IF REQUIRED BY FIRE MARSHAL. THIS IS TESTED AFTER CONSTRUCTION TO DETERMINE IF THE EMERGENCY BROADCAST SIGNAL IS STRONG ENOUGH FOR FIREMEN'S RADIOS TO WORK PROPERLY INSIDE THE BUILDING. A CONSTRUCTION CONTINGENCY IS RECOMMENDED FOR THE POSSIBILITY OF THIS REQUIREMENT (\$35,000+).
  - SEE FLOOR PLAN SHEETS FOR FIRE EXTINGUISHER LOCATIONS.
  - SEE REFLECTED CEILING PLANS & ELEC. DRAWINGS FOR EXIT SIGN LOCATIONS.
  - SEE FLOOR PLAN AND DOOR SCHEDULE SHEETS FOR LOCATIONS OF DOORS WHICH ARE TO RECEIVE PANIC EXIT DEVICES.

**CODE NOTES**

(Doors/Hardware) Handles, pulls, latches, locks, and other operable parts on doors and gates shall comply with 309.4. Operable parts of such hardware shall be 34 inches minimum and 48 inches maximum above the finish floor or ground. Operable parts shall be operable with one hand and shall not require tight grasping, pinching, or twisting of the wrist. The force required to activate operable parts shall be 5 pounds (22.2 n) maximum. ADA Standards for Accessible Design, 2010 Edition, 404.2.7.

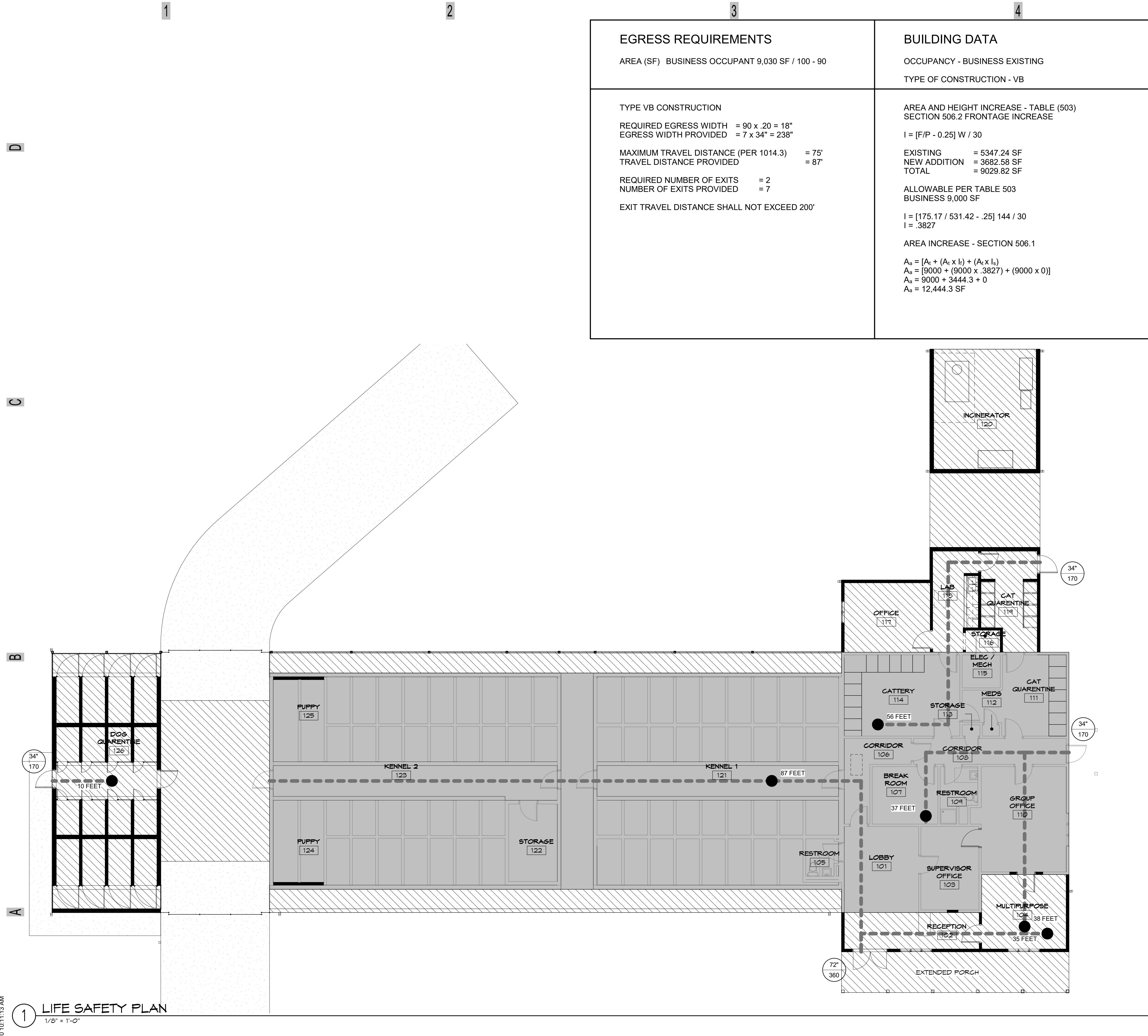
(Fire Extinguishers) In special structures and high-rise buildings shall be located per the requirements of NFPA 10. The size shall be a minimum of 2 A:10:BC, 2-1/2 is/are required and shall be installed at a maximum of 48" above the finished floor to the top of the handle. MOUNT IN VISIBLE ROOM. VERIFY W/ OWNER BEFORE PLACEMENT.

(Flush Controls) Flush controls shall be hand operated or automatic. Hand operated flush controls shall comply with 309. Flush controls shall be located on the open side of the water closet except in ambulatory accessible compartments complying with 604.3.2. ADA Standards for Accessible Design, 2010 Edition, 604.6.

(Mirrors) Mirrors located above lavatories or countertops shall be installed with the bottom edge of the reflecting surface 40 inches maximum above the finish floor or ground. Mirrors not located above lavatories or countertops shall be installed with the bottom edge of the reflecting surface 35 inches maximum above the finish floor or ground. ADA Standards for Accessible Design, 2010 Edition, 603.3.

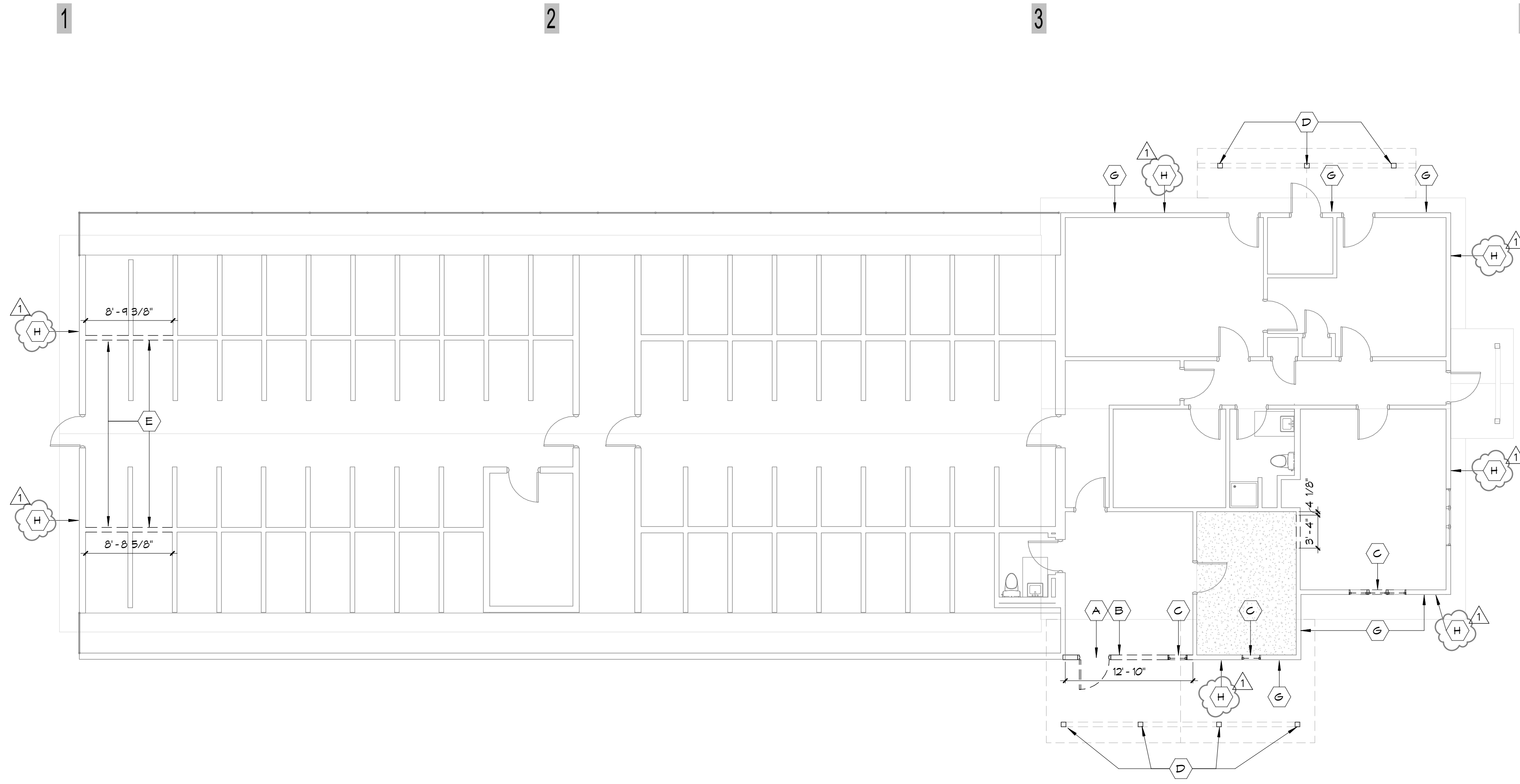
(Signage) For Restrooms shall be raised and braille characters and pictorial symbol signs. They shall include ADA symbol and measure e"x"b". Signs shall be installed on the wall adjacent to the latch side of the door. Where there is no wall space to the latch side of the door, including at double leaf doors, signs shall be placed on the nearest adjacent wall. Tactile characters on signs shall be located 48 inches minimum above the finish floor or ground surface, measured from the baseline of the lowest tactile character and 60 inches maximum above the finish floor or ground surface, measured from the baseline of the highest tactile character. ADA Standards for Accessible Design, 2010 Edition, 103.

A sign clearly stating that smoking is prohibited shall be conspicuously posted by the building owner, agent, operator, person in charge or proprietor at each entrance or in a position clearly visible upon entry into the building in accordance with Georgia Smokefree Air Act of 2005. Acceptable signs shall display either "NO SMOKING" or the international "no smoking" symbol (consisting of a pictorial representation of a burning cigarette enclosed in a red circle with a red bar across it).

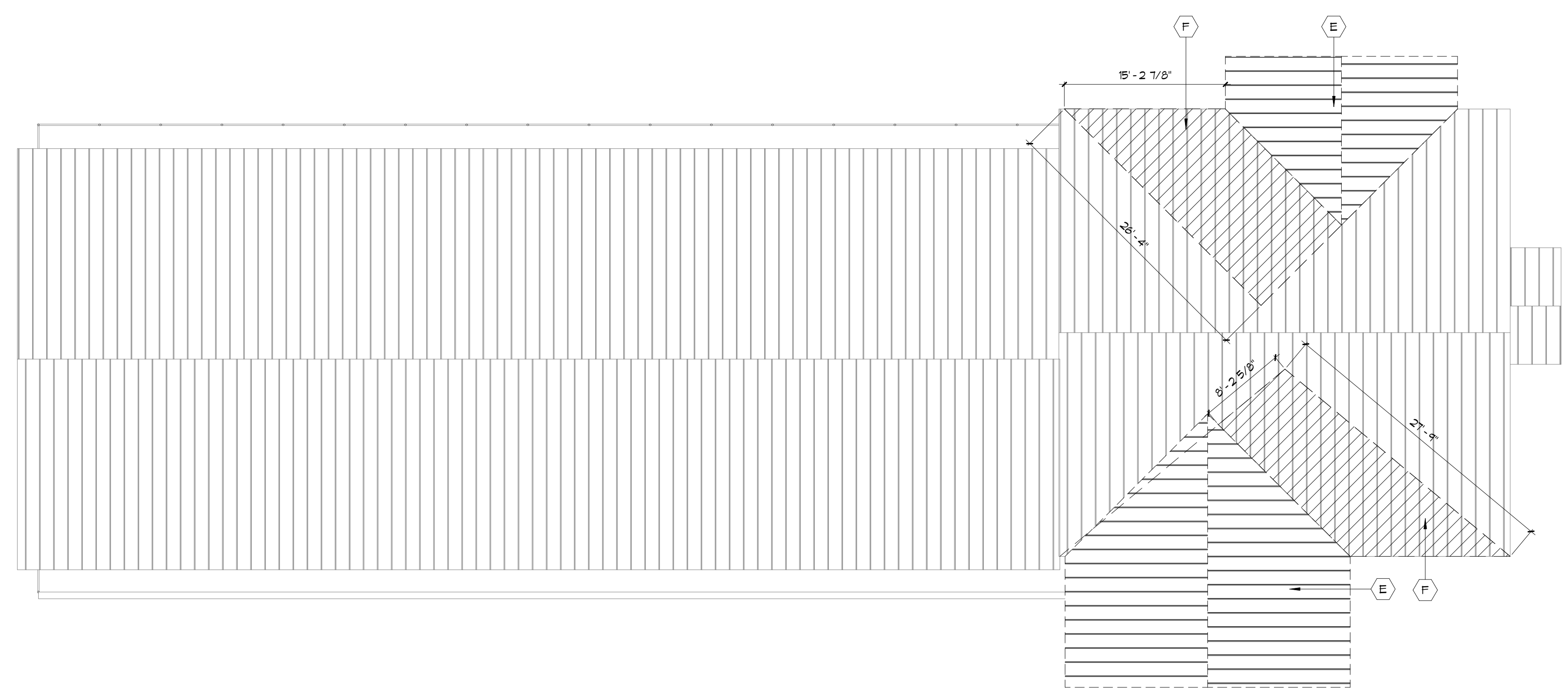


**1 LIFE SAFETY PLAN**  
1/8" = 1'-0"

\\dfs2\Projects\11902400\Oconee Animal Shelter\Center\Drawings\119024 Oconee Animal Shelter.rvt  
3/25/2020 10:11:13 AM



1 DEMO FLOOR PLAN  
1/8" = 1'-0"



2 DEMO ROOF PLAN  
1/8" = 1'-0"

DEMO NOTES	
NO.	NOTE
A	DEMO EXISTING DOOR
B	DEMO EXISTING SECTION OF WALL AND PREP FLOOR FOR ADJOINING NEW SLAB
C	DEMO EXISTING WINDOW
D	DEMO EXISTING COLUMNS
E	EXISTING ROOF AND STRUCTURE TO BE DEMOLISHED
F	DEMO EXISTING ROOF FINISH DOWN TO THE SHEATHING AND PREP FOR NEW STRUCTURE
G	REMOVE EXISTING EXTERIOR FINISHES, REPAIR AS NEEDED AND PREP FOR NEW GYP. BD.
H	REMOVE EXISTING SIDING FROM THE FACE OF THE EXISTING BUILDING.

Lyman Davidson Dooley, Inc.  
1640 Powers Ferry Road  
Building One  
Marietta, GA 30067  
770.850.8494 f  
770.956.9030 f  
liddi-architects.com

REVISIONS	
1	03/12/20 Owner/permit comments



EXISTING RENOVATION  
OCONEE ANIMAL SHELTER  
EXPANSION  
OCONEE COUNTY, GEORGIA

OCONEE ANIMAL SHELTER EXPANSION  
1171 Branch Rd.  
Bishop, GA 30621  
OCONEE COUNTY  
23 N Main Street  
Watkinsville, GA 30677

TITLE DEMOLITION PLAN

STATUS PERMIT SET  
JOB 119024.00  
QC BKS  
DRAWN JT  
SHEET D101  
DATE 12/13/2019

**DO NOT BREAK OR DUPLICATE**

- DO NOT DUPLICATE DRAWINGS WITHOUT PERMISSION.
- READ THE SPECIFICATIONS. THIS SET OF DRAWINGS AND SPECIFICATIONS DEFINE PROJECT SCOPE AND CONTRACT REQUIREMENTS. INDIVIDUAL SHEETS SEPARATED FROM THE SET MAY NOT ADEQUATELY REFLECT ALL INFORMATION NEEDED TO SUITABLY COVER CERTAIN ITEMS. DO NOT SEPARATE THIS SET OF DRAWINGS INTO INDIVIDUAL SHEETS.

FOR:

# OCONEE ANIMAL SHELTER EXPANSION

## COTTAGE DRIVE 1171 BRANCH RD. BISHOP, GEORGIA 30621

PREPARED FOR:

### OCONEE COUNTY

### CONSTRUCTION NOTES

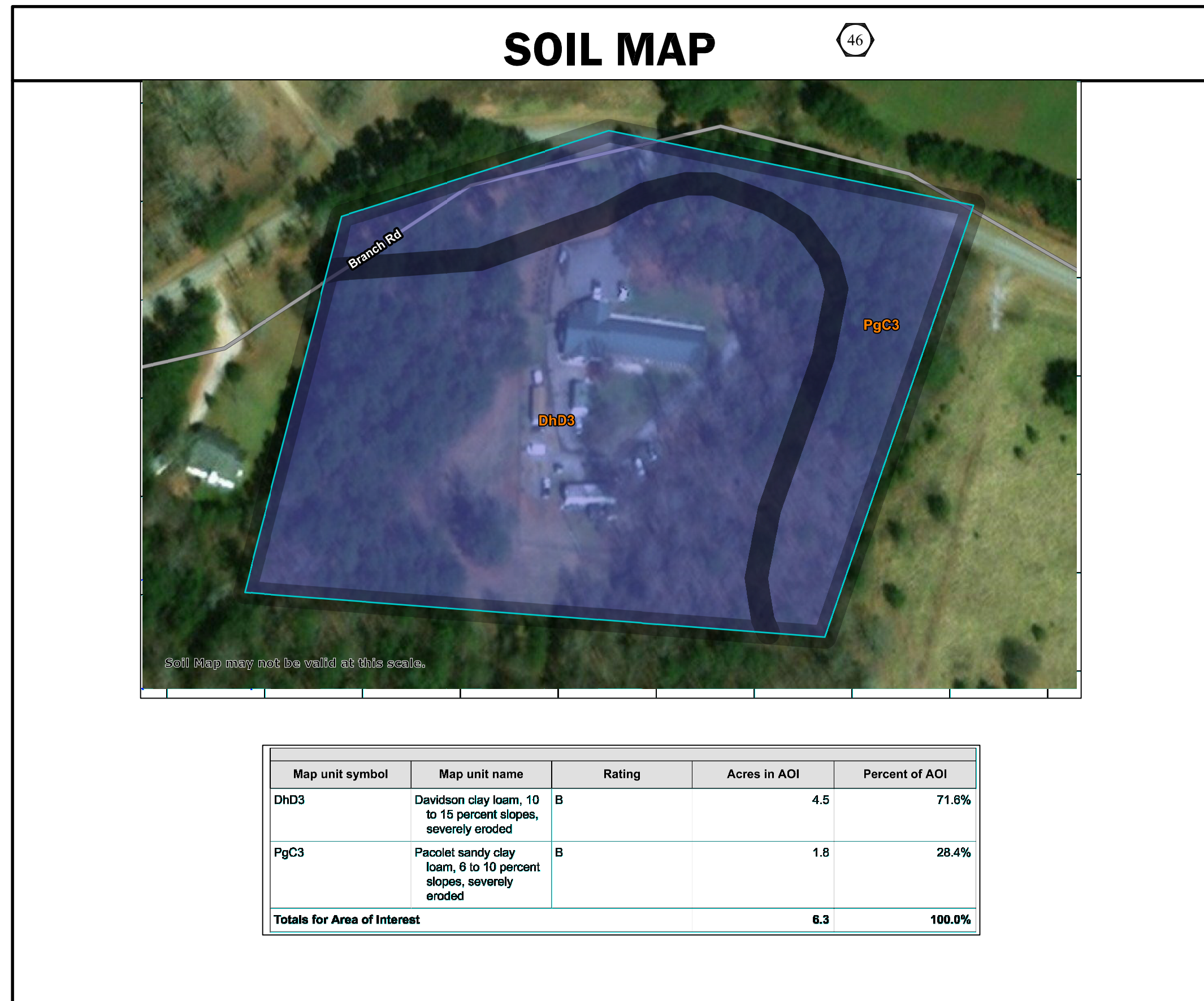
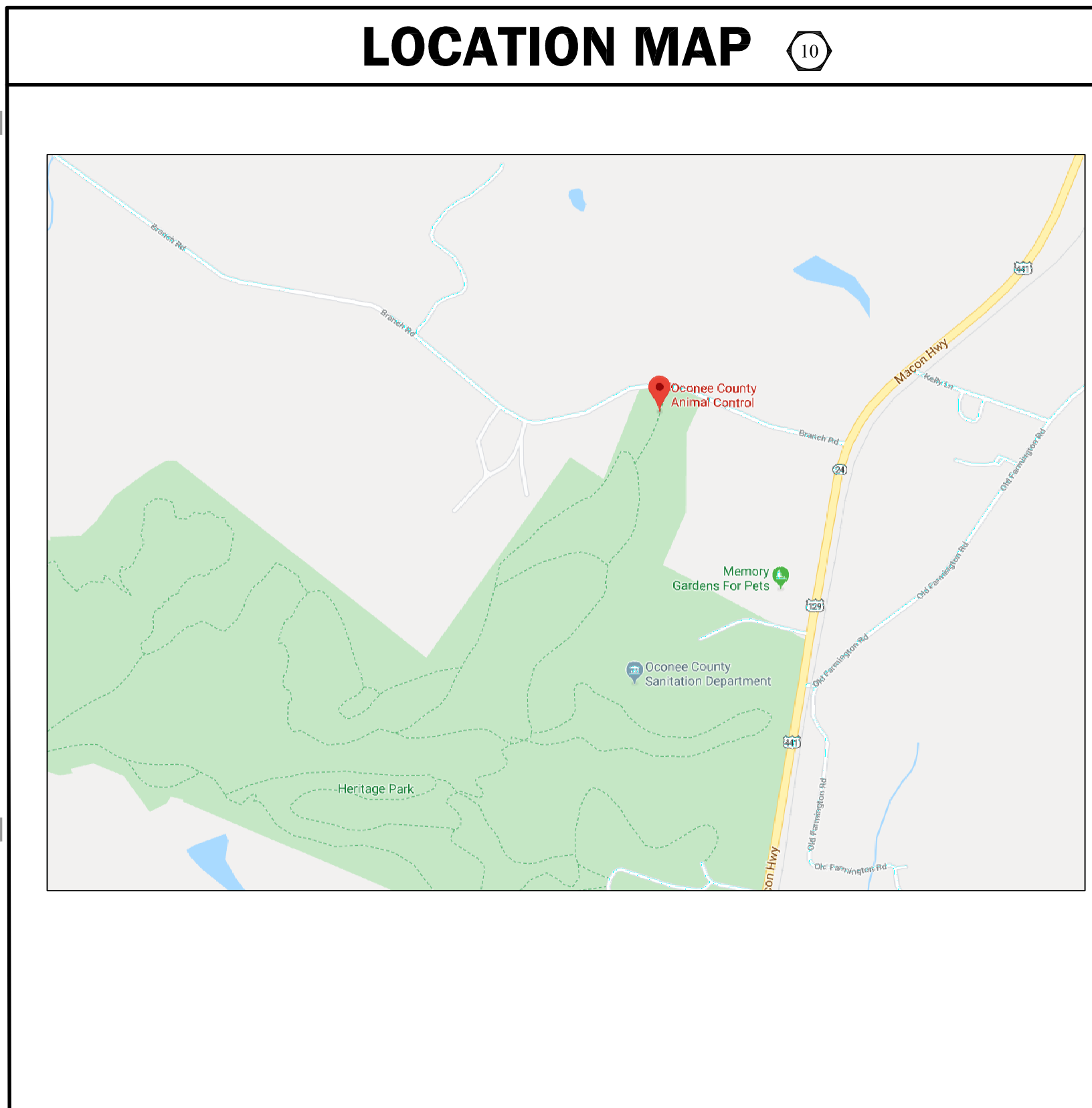
- EXCESS CUT**

EXCESS CUT MATERIAL: IF QUANTITY OF GRADING MATERIAL IS IN EXCESS OF QUANTITIES NECESSARY TO PROVIDE FINISH GRADE ELEVATIONS INDICATED ON DRAWINGS, CONTRACTOR SHALL STOCK PILE ON SITE. EXCESS CUT MATERIAL AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATION OF STOCK PILE WITH THE OWNER.
- INSUFFICIENT FILL**

INSUFFICIENT FILL MATERIAL: IF QUANTITY OF GRADING MATERIAL IS INSUFFICIENT TO PROVIDE FINISHED GRADES INDICATED ON DRAWINGS, THE CONTRACTOR SHALL OBTAIN ADDITIONAL FILL MATERIAL OF SPECIFIED QUALITY FROM AN AREA ON-SITE. HAULING, PLACEMENT, COMPACTION AND STABILIZATION OF ADDITIONAL FILL MATERIAL SHALL BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ABIDING BY ALL LOCAL, STATE, AND FEDERAL REGULATIONS IN OBTAINING FILL MATERIAL. CONTRACTOR SHALL COORDINATE WITH THE LOCATION FOR OBTAINING ADDITIONAL FILL MATERIAL WITH OWNER'S REPRESENTATIVE.
- POSITIVE DRAINAGE**

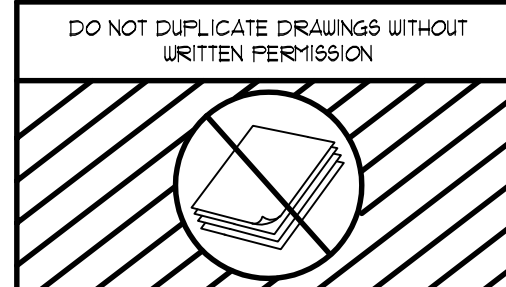
NOTE: CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL EXISTING AND PROPOSED BUILDINGS DURING CONSTRUCTION. NO EXISTING OR PROPOSED STORM STRUCTURES SHALL BE REMOVED, BLINDED OR COMPROMISED AT ANY TIME DURING THE CONSTRUCTION PERIOD WITHOUT PROVIDING ADEQUATE, TEMPORARY AND PERMANENT CONVEYANCE.

SHEET INDEX	
SITE WORK DRAWINGS	
C000	SITE WORK COVER SHEET
C010	SITE SURVEY
C100	DEMOLITION & REMOVAL PLAN
C200	SITE PLAN
C300	EROSION CONTROL PLAN
C310	EROSION CONTROL NOTES & DETAILS
C315	EROSION CONTROL CALCULATIONS & DETAILS
C400	SITE WORK CONSTRUCTION DETAILS



**24-HOUR EROSION CONTACT**

CONTACT NAME: C.J. WORDEN  
CONTACT TITLE: DIRECTOR  
REPRESENTING: OCONEE COUNTY EMERGENCY MANAGEMENT AGENCY  
EMAIL ADDRESS: CWORDEN@OCONEE.GA.GOV  
PHONE NUMBER: 706-310-3620



**CAUTION**

THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE DESIGN PROFESSIONAL ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF UTILITIES WITHIN THE LIMITS OF THE WORK. DAMAGE TO EXISTING UTILITIES BY THE CONTRACTOR FROM HIS/HER OPERATIONS, SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

**Know what's below.  
Call before you dig.  
Dial 811  
Or Call 800-282-7411**

CONTRACTOR SHALL BE RESPONSIBLE TO SECURE THE SERVICES OF A PRIVATE UTILITY LOCATOR FIRM DURING THE ENTIRE COURSE OF CONSTRUCTION. CONTRACTOR SHALL PAY FOR SAID SERVICES. CONTRACTOR SHALL IMMEDIATELY REPAIR ALL UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES, AT NO ADDITIONAL COST TO THE OWNER.

CONTRACTOR SHALL BE RESPONSIBLE FOR COMPACTION OF BACKFILL OF ALL UTILITY TRENCHES WITHIN SITE WORK LIMITS. THIS INCLUDES TRENCHES DUG AND BACKFILLED BY LOCAL UTILITIES, SUCH AS POWER, GAS, TELEPHONE, ETC. CONTRACTOR SHALL PROVIDE ADDITIONAL BACKFILL AND COMPACTION AS NECESSARY, IF SETTLEMENT OCCURS.

ARCHITECTURE PLANNING INTERIOR DESIGN

**Lyman Davidson Dooley, Inc.**

1648 Powers Ferry Road  
Building One  
Marietta, GA 30067  
770.850.8494  
770.956.9030  
lddl-architects.com

03-06-20  
PERMIT RESUBMITTAL

EXISTING RENOVATION  
OCONEE ANIMAL SHELTER  
EXPANSION  
OCONEE COUNTY, GEORGIA

**OCONEE ANIMAL SHELTER EXPANSION**

1171 Branch Rd.  
Bishop, GA 30621

**OCONEE COUNTY**

23 N Main Street  
Watkinsville, GA 30677

TITLE: SITE WORK COVER SHEET

STATUS: PERMIT SET

JOB: 119024.00

QC: Checker-JST

DRAWN: Author-BAM

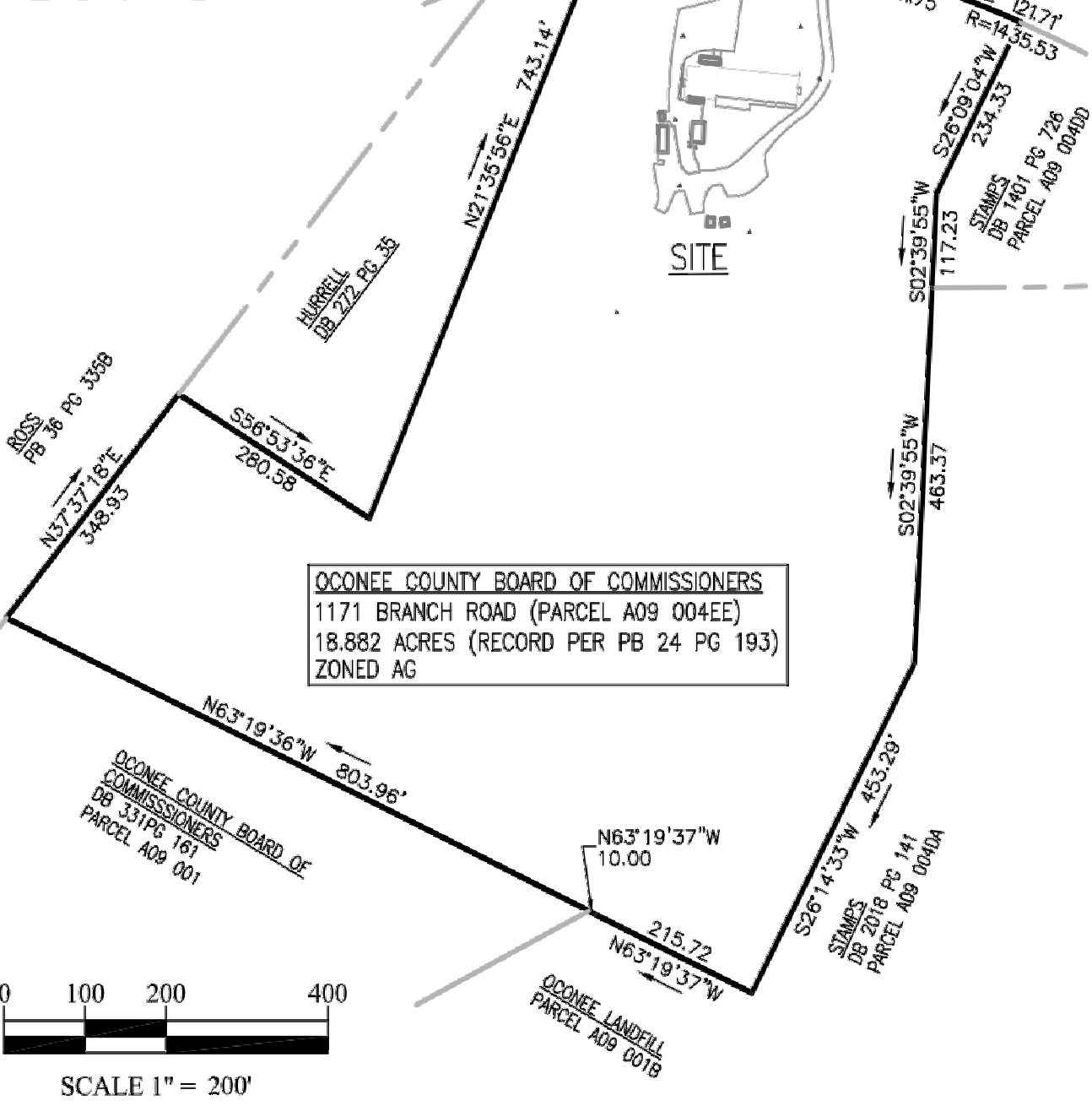
SHEET: **C000**

DATE: 12/13/2019

THIS DRAWING IS THE PROPERTY OF LYMAN DAVIDSON DOOLEY INCORPORATED ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED LYMAN DAVIDSON DOOLEY. NOT VALID UNLESS SIGNED AND SEALED.

PERMIT SET

PROPERTY BOUNDARY



OCCONEE COUNTY BOARD OF COMMISSIONERS  
1171 BRANCH ROAD (PARCEL A09 004EE)  
18.882 ACRES (RECORD PER PB 24 PG 193)  
ZONED AG

OCCONEE COUNTY BOARD OF COMMISSIONERS  
DB 319 PG 16  
PARCEL 469 001

OCCONEE COUNTY BOARD OF COMMISSIONERS  
DB 319 PG 16  
PARCEL 469 001

OCCONEE COUNTY BOARD OF COMMISSIONERS  
DB 319 PG 16  
PARCEL 469 001

OCCONEE COUNTY BOARD OF COMMISSIONERS  
DB 319 PG 16  
PARCEL 469 001

OCCONEE COUNTY BOARD OF COMMISSIONERS  
DB 319 PG 16  
PARCEL 469 001

OCCONEE COUNTY BOARD OF COMMISSIONERS  
DB 319 PG 16  
PARCEL 469 001

OCCONEE COUNTY BOARD OF COMMISSIONERS  
DB 319 PG 16  
PARCEL 469 001

OCCONEE COUNTY BOARD OF COMMISSIONERS  
DB 319 PG 16  
PARCEL 469 001

OCCONEE COUNTY BOARD OF COMMISSIONERS  
DB 319 PG 16  
PARCEL 469 001

OCCONEE COUNTY BOARD OF COMMISSIONERS  
DB 319 PG 16  
PARCEL 469 001

OCCONEE COUNTY BOARD OF COMMISSIONERS  
DB 319 PG 16  
PARCEL 469 001

OCCONEE COUNTY BOARD OF COMMISSIONERS  
DB 319 PG 16  
PARCEL 469 001

OCCONEE COUNTY BOARD OF COMMISSIONERS  
DB 319 PG 16  
PARCEL 469 001

OCCONEE COUNTY BOARD OF COMMISSIONERS  
DB 319 PG 16  
PARCEL 469 001

OCCONEE COUNTY BOARD OF COMMISSIONERS  
DB 319 PG 16  
PARCEL 469 001

OCCONEE COUNTY BOARD OF COMMISSIONERS  
DB 319 PG 16  
PARCEL 469 001

OCCONEE COUNTY BOARD OF COMMISSIONERS  
DB 319 PG 16  
PARCEL 469 001

OCCONEE COUNTY BOARD OF COMMISSIONERS  
DB 319 PG 16  
PARCEL 469 001

OCCONEE COUNTY BOARD OF COMMISSIONERS  
DB 319 PG 16  
PARCEL 469 001

OCCONEE COUNTY BOARD OF COMMISSIONERS  
DB 319 PG 16  
PARCEL 469 001

OCCONEE COUNTY BOARD OF COMMISSIONERS  
DB 319 PG 16  
PARCEL 469 001

OCCONEE COUNTY BOARD OF COMMISSIONERS  
DB 319 PG 16  
PARCEL 469 001

OCCONEE COUNTY BOARD OF COMMISSIONERS  
DB 319 PG 16  
PARCEL 469 001

OCCONEE COUNTY BOARD OF COMMISSIONERS  
DB 319 PG 16  
PARCEL 469 001

OCCONEE COUNTY BOARD OF COMMISSIONERS  
DB 319 PG 16  
PARCEL 469 001

OCCONEE COUNTY BOARD OF COMMISSIONERS  
DB 319 PG 16  
PARCEL 469 001

OCCONEE COUNTY BOARD OF COMMISSIONERS  
DB 319 PG 16  
PARCEL 469 001

OCCONEE COUNTY BOARD OF COMMISSIONERS  
DB 319 PG 16  
PARCEL 469 001

OCCONEE COUNTY BOARD OF COMMISSIONERS  
DB 319 PG 16  
PARCEL 469 001

OCCONEE COUNTY BOARD OF COMMISSIONERS  
DB 319 PG 16  
PARCEL 469 001

OCCONEE COUNTY BOARD OF COMMISSIONERS  
DB 319 PG 16  
PARCEL 469 001

OCCONEE COUNTY BOARD OF COMMISSIONERS  
DB 319 PG 16  
PARCEL 469 001

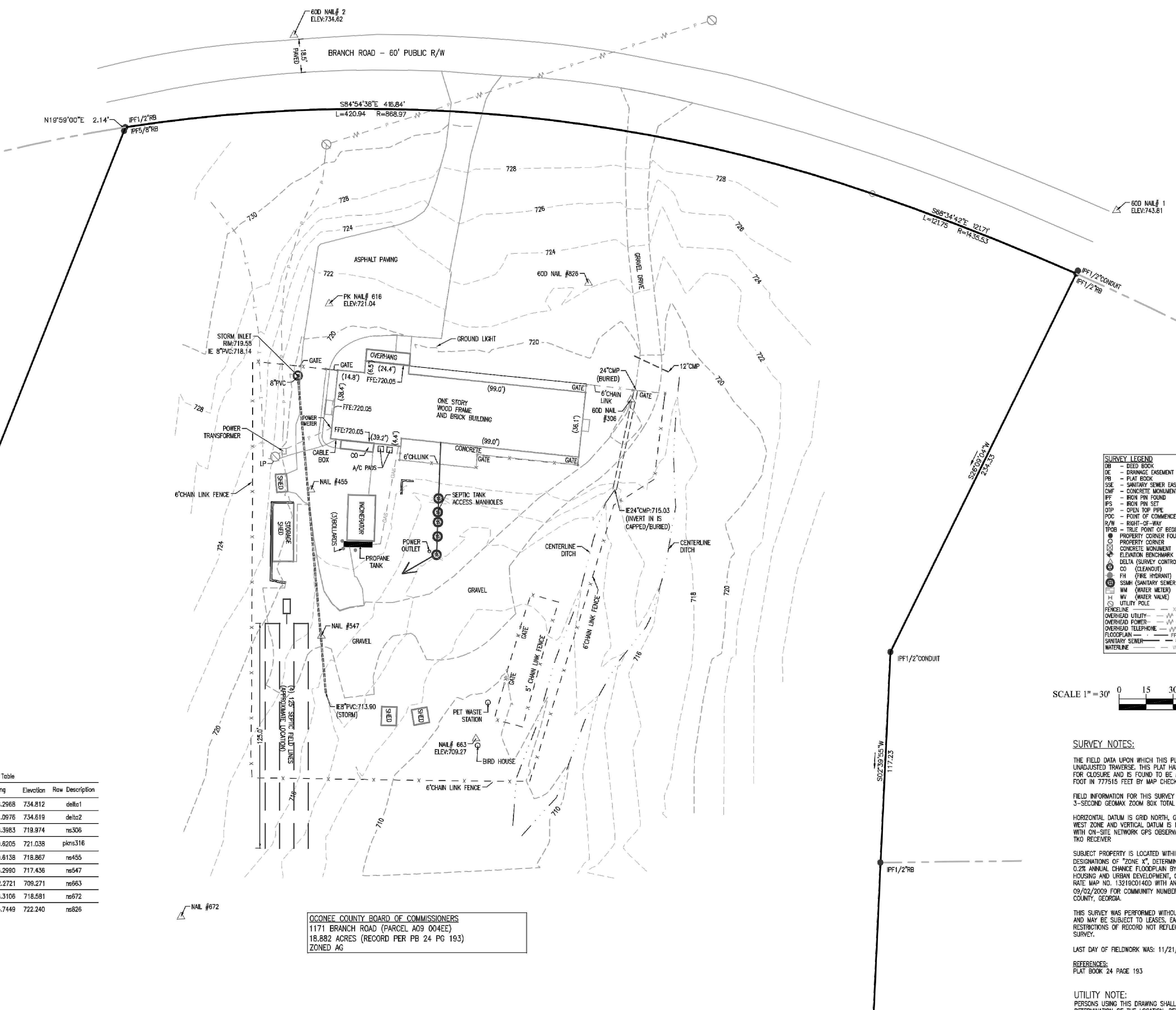
OCCONEE COUNTY BOARD OF COMMISSIONERS  
DB 319 PG 16  
PARCEL 469 001

OCCONEE COUNTY BOARD OF COMMISSIONERS  
DB 319 PG 16  
PARCEL 469 001

OCCONEE COUNTY BOARD OF COMMISSIONERS  
DB 319 PG 16  
PARCEL 469 001

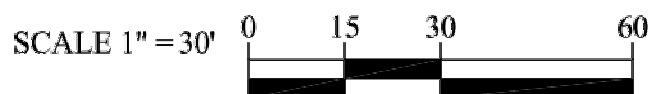
Point #	Northing	Easting	Elevation	Row Description
1	1371646.9107	2518558.2968	734.812	delta1
2	1371744.4804	2518101.0976	734.619	delta2
306	1371541.6976	2518288.3983	719.974	rs306
316	1371595.0563	2518120.8205	721.038	pkms316
455	1371491.5223	2518110.6138	718.867	rs455
547	1371410.2719	2518116.2990	717.436	rs547
683	1371353.1396	2518202.2721	709.271	rs683
672	1371254.1972	2518038.3108	718.581	rs672
826	1371606.4687	2518284.7449	722.240	rs826

OCCONEE COUNTY BOARD OF COMMISSIONERS  
1171 BRANCH ROAD (PARCEL A09 004EE)  
18.882 ACRES (RECORD PER PB 24 PG 193)  
ZONED AG



**SURVEY LEGEND**

- DB - DEED BOOK
- DE - DRAINAGE EASEMENT
- FB - FENCE
- SSE - SANITARY SEWER EASEMENT
- CMF - CONCRETE MONUMENT FOUND
- RF - IRON PIN FOUND
- IPF - IRON PIN FOUND
- OPF - OPEN TOP PIPE
- OTF - OPEN TOP PIPE
- POC - POINT OF COMMENCEMENT
- R/W - RIGHT-OF-WAY
- TRP - TRIPLE POINT OF BEGINNING
- PCF - PROPERTY CORNER FOUND
- PC - CONCRETE MONUMENT
- EB - ELEVATION BENCHMARK
- DELTA (SURVEY CONTROL)
- CO - (CLEAROUT)
- PH - (FIRE HYDRANT)
- SSM (SANITARY SEWER MANHOLE)
- WM (WATER METER)
- WV (WATER VALVE)
- UT - UTILITY POLE
- FENCE LINE
- OVERHEAD UTILITY
- OVERHEAD POWER
- OVERHEAD TELEPHONE
- FLOODPLAIN
- SANITARY SEWER
- WATERLINE



SCALE 1" = 30'

**SURVEY NOTES:**  
THE FIELD DATA UPON WHICH THIS PLAT IS BASED UPON AN UNADJUSTED TRAVERSE. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 7775 FEET BY MAP CHECK.

FIELD INFORMATION FOR THIS SURVEY WAS OBTAINED WITH A 3-SECOND GOMAX ZOOM BOX TOTAL STATION INSTRUMENT.

HORIZONTAL DATUM IS GRID NORTH, GEORGIA STATE PLANE, WEST ZONE AND VERTICAL DATUM IS NAVD83, ESTABLISHED WITH ON-SITE NETWORK GPS OBSERVATIONS AND A CHAMPION T30 RECEIVER.

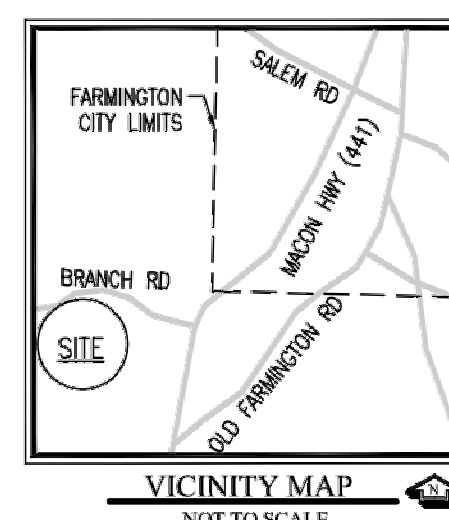
SUBJECT PROPERTY IS LOCATED WITHIN AREAS HAVING ZONE DESIGNATIONS OF "ZONE X", DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NO. 1321603140D WITH AN EFFECTIVE DATE OF 09/02/2009 FOR COMMUNITY NUMBER 130453, OCCONEE COUNTY, GEORGIA.

THIS SURVEY WAS PERFORMED WITHOUT A TITLE COMMITMENT AND MAY BE SUBJECT TO LEASES, EASEMENTS, AND RESTRICTIONS OF RECORD NOT REFLECTED UPON THIS SURVEY.

LAST DAY OF FIELDWORK WAS: 11/21/2019.

REFERENCES:  
PLAT BOOK 24 PAGE 193

UTILITY NOTE:  
PERSONS USING THIS DRAWING SHALL MAKE THEIR OWN DETERMINATION OF THE LOCATION, DEPTH, AND DESCRIPTION OF UNDERGROUND AND OVERHEAD UTILITIES. THE UTILITY PROTECTION SERVICE SHOULD BE CONTACTED AT 1 (800) 282-7411 FOR A FIELD STAKEOUT, BEFORE ANY CONSTRUCTION COMMENCES.



**W&A Engineering**

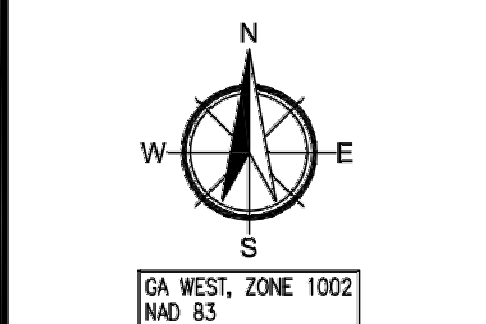
CIVIL ENGINEERING • LANDSCAPE ARCHITECTURE  
SURVEYING • SOIL AND ENVIRONMENTAL CONSULTING  
TRAFFIC ENGINEERING • ECONOMIC DEVELOPMENT

2470 Daniels Bridge Road, Suite 161  
Athens, GA 30606  
P: (706) 310-0400 • F: (706) 310-0411  
wengineering.com

ALL DRAWINGS SHALL REMAIN THE PROPERTY OF W&A ENGINEERING. THESE INSTRUMENTS OF SERVICE ARE TO BE USED EXCLUSIVELY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ALL LEGAL RIGHTS TO THE USE OF THE INSTRUMENTS OF SERVICE AND SHALL BE IN FULL PROTECTION OF W&A ENGINEERING'S COPYRIGHT LAWS.

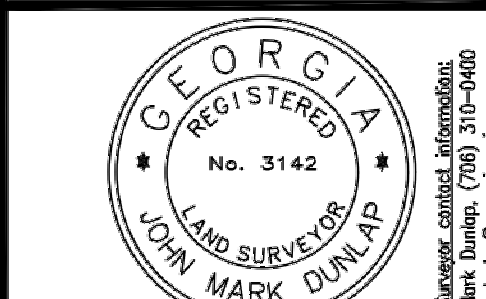
OCCONEE COUNTY ANIMAL SERVICES

DATE: 11/26/2019



SCALE 1" = 30'

**SURVEYOR'S CERTIFICATE**  
This plat is a retrocement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plats, or other instruments which created the parcel or parcels are stated herein.  
RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.



19286

SITE SURVEY

C010

REVISIONS

NO.	DATE	DESCRIPTION



03-06-20  
PERMIT RESUBMITTAL

EXISTING RENOVATION  
OCONEE ANIMAL SHELTER  
EXPANSION  
OCONEE COUNTY, GEORGIA

OCONEE  
ANIMAL  
SHELTER  
EXPANSION  
1171 Branch Rd.  
Bishop, GA 30621

OCONEE  
COUNTY  
23 N Main Street  
Watkinsville, GA 30621

TITLE  
DEMOLITION &  
REMOVAL PLAN

STATUS PERMIT SET

JOB 119024.00

QC Checker-JST

DRAWN Author-BAM

SHEET  
**C100**

DATE 12/13/2019

PERMIT SET



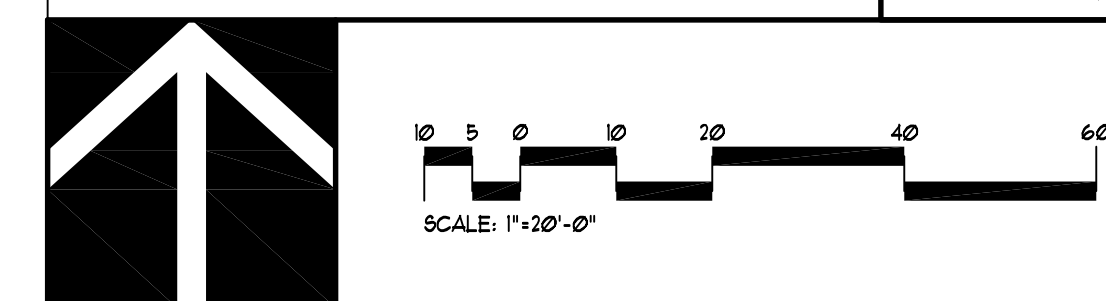
**DEMOLITION NOTES**

1. WORK DONE AHEAD OF SEQUENCE OR FOR TEMPORARY PROVISIONS SHALL HAVE EXISTING DISTURBED SURFACES PATCHED TO MATCH ORIGINAL CONDITIONS UNTIL NEW CONSTRUCTION REPLACES SUCH REPAIRS OR MODIFICATIONS.
2. CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF ALL ITEMS REMOVED FROM SITE. DISPOSAL SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL CODES. THERE SHALL BE NO ON-SITE BURIAL OF DEBRIS GENERATED FROM CONSTRUCTION ACTIVITIES.
3. UNLESS OTHERWISE NOTED, EXISTING ITEMS WITHIN THE PROJECT LIMITS WILL BE RETAINED IN PLACE AND PROTECTED FROM DAMAGE DURING THE CONSTRUCTION PERIOD. ANY FACILITIES THAT ARE DAMAGED WILL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS/HER EXPENSE.
4. CONTRACTOR SHALL SAVE & PROTECT ALL BUILDINGS, FOUNDATIONS, CANOPIES, FENCES, PLAY EQUIPMENT, ETC. ON THE PROPERTY, UNLESS OTHERWISE NOTED. DAMAGE SHALL BE REPAIRED/REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
5. CONTRACTOR SHALL SAVE AND PROTECT ALL EXISTING STORM DRAINAGE STRUCTURES UNLESS OTHERWISE NOTED.
6. CONTRACTOR SHALL COORDINATE WITH OWNER THE REMOVAL ANY EXISTING LANDSCAPE MATERIALS OR SITE FEATURES WHICH THE OWNER ELECTS TO RETAIN.
7. CONTRACTOR SHALL ACCOMPLISH DEMOLITION WITHIN THE DRIP-LINE OF EXISTING SPECIMEN TREES BY UTILIZING HAND LABOR PROCEDURES WITHOUT DAMAGING THE ROOT SYSTEM OF TREE.
8. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS AT ALL TIMES.
9. LIMITS OF CONCRETE DEMOLITION ARE SUBJECT TO THE NEAREST CONSTRUCTION JOINT.
10. WALKS SHALL BE REPAIRED TO THE NEAREST CONSTRUCTION JOINT.
11. CONTRACTOR SHALL PROVIDE ABRASION SAW CUTS PRIOR TO DEMOLITION ADJACENT TO ALL PAVEMENT AREAS TO BE SAVED FAILURE TO PROVIDE A CLEAN EDGE MAY RESULT IN ADDITIONAL DEMOLITION AND NEW PAVEMENT INSTALLATION PAID FOR AND EXECUTED BY THE CONTRACTOR.
12. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION AND REMOVAL OR RELOCATION (AT HIS/HER EXPENSE) OF EXISTING ITEMS THAT CONFLICT WITH NEW CONSTRUCTION UNLESS OTHERWISE NOTED.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION AND REMOVAL AND/OR RELOCATION OF ALL ITEMS WHERE NEW PAVING IS LOCATED.
14. CONTRACTOR SHALL RELOCATE OR ADJUST AS NECESSARY ALL EXISTING UTILITY APPURTENANCES (CLEAN OUTS, VALVEMETER BOXES AND/OR COVERS, MANHOLES, ETC.) LOCATED WITHIN THE LIMITS OF CONSTRUCTION TO FINISHED GRADE AT NO ADDITIONAL COST TO THE OWNER.
15. CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING GAS AND WATER METERS, VALVES, LINES, FLEXER, TELEPHONE AND CABLE LINES THAT SERVICE THE EXISTING BUILDINGS WITH THE APPROPRIATE UTILITY COMPANIES.
16. CONTRACTOR IS RESPONSIBLE FOR REPAIRING IMMEDIATELY ANY DAMAGE TO AN ACTIVE UTILITY.

**DEMOLITION LEGEND**

- DEMOLITION & REMOVAL LIMITS OF ASPHALT PAVING TO SUBGRADE.
- DEMOLITION & REMOVAL LIMITS OF CONCRETE WALKS, CONCRETE STAIRS, CONCRETE RAMPS, AND CONCRETE PAVING TO SUBGRADE.
- DEMOLITION & REMOVAL LIMITS OF GRAVEL PAVING.
- SAUCUT LINE.
- TREE REMOVAL.

**NOTE** CONTRACTOR SHALL PROVIDE NECESSARY EROSION CONTROL MEASURES DURING THE DEMOLITION PHASE OF CONSTRUCTION.



**CAUTION**

THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE DESIGN PROFESSIONAL ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF UTILITIES WITHIN THE LIMITS OF THE WORK. DAMAGE TO EXISTING UTILITIES BY THE CONTRACTOR FROM HIS/HER OPERATIONS, SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

CONTRACTOR SHALL BE RESPONSIBLE TO SECURE THE SERVICES OF A PRIVATE UTILITY LOCATOR FIRM DURING THE ENTIRE COURSE OF CONSTRUCTION. CONTRACTOR SHALL PAY FOR SAID SERVICES. CONTRACTOR SHALL IMMEDIATELY REPAIR ALL UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES, AT NO ADDITIONAL COST TO THE OWNER.

**811** Know what's below.  
Call before you dig.  
Dial 811  
Or Call 800-282-7411

CONTRACTOR SHALL BE RESPONSIBLE FOR COMPACTION OF BACKFILL OF ALL UTILITY TRENCHES WITHIN SITE WORK LIMITS. THIS INCLUDES TRENCHES DUG AND BACKFILLED BY LOCAL UTILITIES, SUCH AS POWER, GAS, TELEPHONE, ETC. CONTRACTOR SHALL PROVIDE ADDITIONAL BACKFILL AND COMPACTION AS NECESSARY, IF SETTLEMENT OCCURS.

Lyman  
Davidson  
Dooley, Inc.

1648 Powers Ferry Road  
Building One  
Marietta, GA 30067  
770.850.8494  
770.956.9030  
lddl-architects.com

REVISIONS



03-06-20  
PERMIT RESUBMITTAL

EXISTING RENOVATION  
OCONEE ANIMAL SHELTER  
EXPANSION  
OCONEE COUNTY, GEORGIA

OCONEE  
ANIMAL  
SHELTER  
EXPANSION  
1171 Branch Rd.  
Bishop, GA 30621

OCONEE  
COUNTY  
23 N Main Street  
Watkinsville, GA 30677

TITLE SITE PLAN

STATUS PERMIT SET

JOB 119024.00

QC Checker-JST

DRAWN Author-BAM

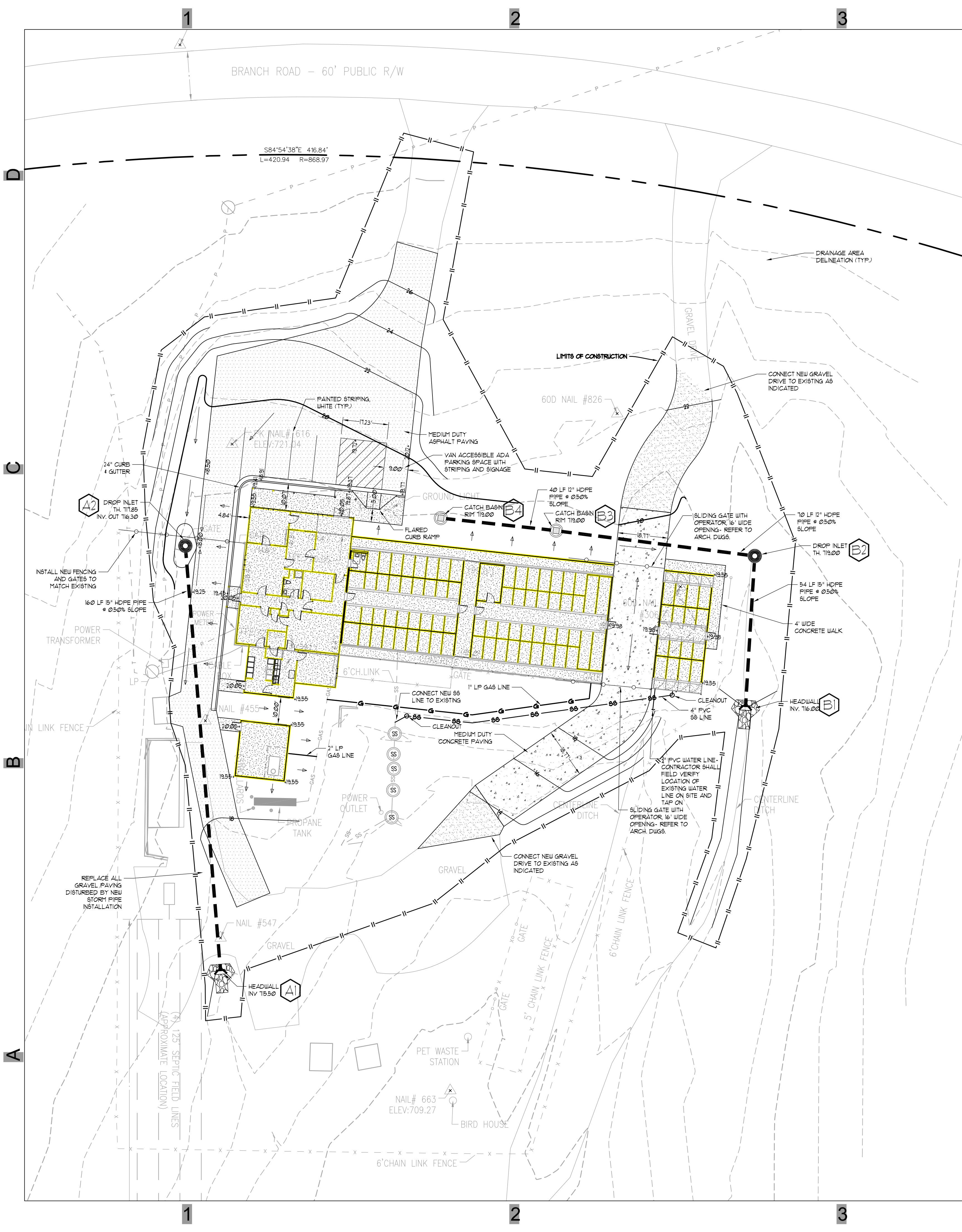
SHEET **C200**

DATE 12/13/2019

PERMIT SET

**GENERAL NOTES**

1. NOTIFY STATE INSPECTOR 24 HOURS PRIOR TO BEGINNING EVERY PHASE OF CONSTRUCTION.
2. ALL BUFFERS AND TREE SAVE AREAS SHALL BE CLEARLY IDENTIFIED BY FLAGGING AND/OR FENCING PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE.
3. ACCESS TO ALL BUILDINGS DURING CONSTRUCTION SHALL BE MAINTAINED AT ALL TIMES FOR EMERGENCY VEHICLES.
4. NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION OF OCONEE COUNTY ROADS.
5. CUT AND FILL SLOPES SHALL NOT EXCEED TWO FEET (2') HORIZONTAL TO ONE FOOT (1') VERTICAL.
6. ANY DISCREPANCY FOUND BETWEEN SHEETS IN THIS SET SHALL BE REFERRED TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH ANY CONSTRUCTION ACTIVITY.
7. CONTRACTOR SHALL VERIFY ALL BENCH MARKS AND EXISTING SITE CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION ACTIVITY.
8. ALL SPOT ELEVATIONS IN PARKING AREAS ARE AT THE BASE OF THE FACE OF CURB, UNLESS NOTED OTHERWISE.
9. TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON-SITE. NO TOPSOIL SHALL BE REMOVED FROM SITE.
10. ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE FEDERAL AND STATE CODES AND MINIMUM STANDARDS AND SPECIFICATIONS.
11. ALL NECESSARY LICENSES AND PERMITS FOR THIS PROJECT SHALL BE OBTAINED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
12. ALL GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES.
13. TREES TO BE SAVED SHALL BE PROTECTED BY THE CONTRACTOR. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ALL TREES AND STUMPS (NOT REMOVED BY THE STATE OF GEORGIA DNR) WITHIN THE PARKING AREAS AND ALL OTHER AREAS TO BE GRADED.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATING IDENTIFIED EXISTING UTILITIES TO CONSTRUCT SITE AND ROAD IMPROVEMENTS AT NO ADDITIONAL COST TO THE OWNER.
15. ALL DOWNSPOUT, RAINLEADER, AND AREA DRAIN COLLECTION LINES SHALL BE 6" PVC, SCHEDULE 40, UNLESS NOTED OTHERWISE.
16. ALL PVC STORM PIPE SHALL BE SCHEDULE 40 LAID AT 10% MINIMUM UNLESS NOTED OTHERWISE.
17. COMPACTION OF BACKFILL SHALL BE PER OCONEE COUNTY STANDARDS, CONTRACTOR SHALL VERIFY STANDARDS PRIOR TO CONSTRUCTION.
18. THERE SHALL BE NO BURIAL OF CONSTRUCTION DEBRIS OR ORGANICS ON THIS SITE. CONTRACTOR SHALL DISPOSE OF DEBRIS IN A MANNER THAT MEETS ALL FEDERAL AND STATE REGULATIONS AND PAY FOR ASSOCIATE HAUL AND DUMP FEES.
19. CONTRACTOR SHALL PROVIDE ALL RECORD DRAWINGS "AS-BUILTS" AS REQUIRED BY OCONEE COUNTY.
20. APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY OCONEE COUNTY OF ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS. IT IS THE RESPONSIBILITY OF THE OCONEE COUNTY TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLAND AREA DISTURBANCE.
21. ALL CONSTRUCTION TO COMPLY WITH OCONEE COUNTY STANDARDS.



**IMPERVIOUS CALCULATIONS**

PROJECT DESCRIPTION:  
PROJECT CONSISTS OF ADDITIONS AND RENOVATIONS TO THE EXISTING ANIMAL SHELTER. SITE WORK CONSISTS OF MODIFICATIONS TO EXISTING ASPHALT AND GRAVEL PAVED AREAS TO ACCOMMODATE NEW BUILDING IMPROVEMENTS AND PROVIDE POSITIVE DRAINAGE.

EXISTING IMPERVIOUS AREA TO BE REMOVED: 1366 SF  
IMPERVIOUS AREA ADDED: 1383 SF  
NET IMPERVIOUS INCREASE: 217 SF  
TOTAL DISTURBED AREA: 0.65 ACRE

THEREFORE, NO STORMWATER MANAGEMENT FACILITY IS PROPOSED

**STAKING PLAN NOTES**

PROPOSED BUILDING USE: ANIMAL SHELTER. CONTRACTOR SHALL VERIFY CONDITIONS AND DIMENSIONS BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES FOUND SHALL BE REPORTED TO THE ARCHITECT FOR CLARIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH THE WORK. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR DISCREPANCIES WHICH ARE NOT REPORTED.

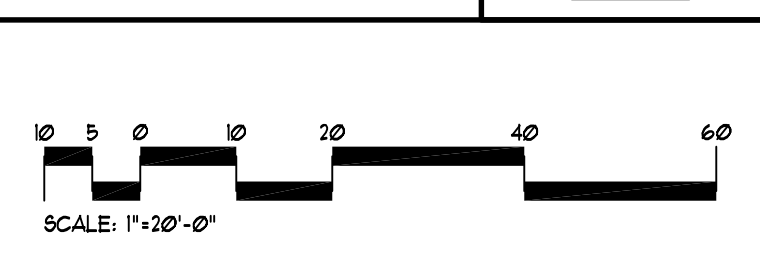
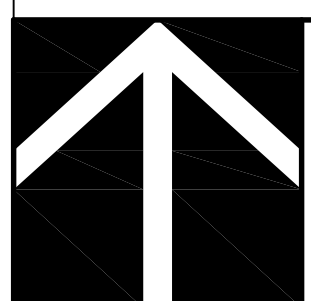
CONTRACTOR SHALL STAKE ALL BUILDING CORNERS AND OBTAIN ARCHITECT'S APPROVAL BEFORE POURING ANY FOOTINGS.

REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS. ALL DIMENSIONS ARE TO THE FACE OF CURBS AND FACE OF WALLS. ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED. WALK RADII ARE 5.00' UNLESS OTHERWISE NOTED. REFER TO UTILITY PLANS FOR UTILITY INFORMATION.

**PAVING LEGEND**

- GAB. PAVING
- MEDIUM DUTY CONCRETE PAVING
- MEDIUM DUTY ASPHALT PAVING

**\*CONTRACTOR SHALL PROVIDE AND FINISH GRADES SHOWN, REGARDLESS OF EARTHWORK QUANTITIES, AS STATED ABOVE.**



**CAUTION**

THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE DESIGN PROFESSIONAL ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF UTILITIES WITHIN THE LIMITS OF THE WORK. DAMAGE TO EXISTING UTILITIES BY THE CONTRACTOR FROM HIS/HER OPERATIONS, SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.



Know what's below.  
**Call before you dig.**  
Dial 811  
Or Call 800-282-7411

CONTRACTOR SHALL BE RESPONSIBLE TO SECURE THE SERVICES OF A PRIVATE UTILITY LOCATOR FIRM DURING THE ENTIRE COURSE OF CONSTRUCTION. CONTRACTOR SHALL PAY FOR SAID SERVICES. CONTRACTOR SHALL IMMEDIATELY REPAIR ALL UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES, AT NO ADDITIONAL COST TO THE OWNER.

CONTRACTOR SHALL BE RESPONSIBLE FOR COMPACTION OF BACKFILL OF ALL UTILITY TRENCHES WITHIN SITE WORK LIMITS. THIS INCLUDES TRENCHES DUG AND BACKFILLED BY LOCAL UTILITIES, SUCH AS POWER, GAS, TELEPHONE, ETC. CONTRACTOR SHALL PROVIDE ADDITIONAL BACKFILL AND COMPACTION AS NECESSARY, IF SETTLEMENT OCCURS.





EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN CHECKLIST STAND ALONE CONSTRUCTION PROJECTS																					
SWCD: OCONEE COUNTY																					
Project Name: OCONEE COUNTY ANIMAL SHELTER EXPANSION					Address: 9310 SCOTT ROAD, ROSWELL, GA 30076																
City/County: OCONEE COUNTY					Date on Plans: 01-16-2020																
Page #	Included	Y/N	TO BE SHOWN ON ES&PC PLAN																		
			Plan	Yes	No	1	2	3	4	5	6										
C310	YES	1							The applicable Erosion, Sedimentation and Pollution Control Plan Checklist established by the Commission as of January 1 of the year in which the land-disturbing activity was permitted.												
ALL ESPC	YES	2							Level II certification number issued by the Commission, signature and seal of the certified design professional.												
N/A*	N/A*	3							Limits of disturbance shall be no greater than 50 acres at any one time prior written authorization from the EPD District Office. If EPD approves the request to disturb 50 acres or more at any one time, the plan must include at least 4 of the BMPs listed in Appendix 1 of this checklist.*												
C000	YES	4							The name and phone number of the 24-hour local contact responsible for erosion, sedimentation and pollution controls.												
N/A	NO	5							Provide the name, address, email address, and phone number of primary permittee.												
C300	YES	6							Note total and disturbed acreage of the project or phase under construction.												
C300	YES	7							Provide the GPS location of the construction exit for the site. Give the Latitude and Longitude in decimal degrees.												
C310	YES	8							Initial date of the Plan and the dates of any revisions made to the Plan including the entity who requested the revisions.												
C310	YES	9							Description of the nature of construction activity.												
C000	YES	10							Provide vicinity map showing site's relation to surrounding areas. Include designation of specific phase, if necessary.												
C310	YES	11							Identify the project receiving waters and describe all sensitive adjacent areas including streams, lakes, residential areas, wetlands, marshlands, etc. which may be affected.												
ALL ESPC	YES	12							Design professional's certification statement and signature that the site was visited prior to development of the ES&PC Plan as stated on Part IV page 19 of the permit.												
N/A	N/A	13							Design professional's certification statement and signature that the permittee's ES&PC Plan provides for an appropriate and comprehensive system of BMPs and sampling to meet permit requirements as stated on Part IV page 19 of the permit. *												
C300	YES	14							Clearly note the statement that "The design professional who prepared the ES&PC Plan to inspect the installation of the initial sediment storage requirements and perimeter control BMPs within 7 days after installation." in accordance with Part IV.A.5 page 25 of the permit. *												
C300	YES	15							Clearly note the statement that "Non-exempt activities shall not be conducted within the 25 or 50-foot undisturbed stream buffers as measured from the point of vested vegetation or within 25-feet of the coastal marshland buffer as measured from the Jurisdictional Determination Line without first acquiring the necessary variances and permits. *												
C310	YES	16							Provide a description of any buffer encroachments and indicate whether a buffer variance is required.												
N/A	N/A	17							Clearly note the statement that "Amendments/revisions to the ES&PC Plan which have a significant effect on BMPs with a hydraulic component must be certified by the design professional. *												
N/A	N/A	18							Clearly note the statement that "Waste materials shall not be discharged to waters of the State, except as authorized by a section 404 permit. *												
C310	YES	19							Clearly note statement that "The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to land disturbing activities."												
C310	YES	20							Clearly note statement that "Erosion control measures will be maintained at all times. If full implementation of the approved plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source."												
C310	YES	21							Clearly note the statement "Any disturbed area left exposed for a period greater than 14 days shall be stabilized with mulch or temporary seeding."												
N/A	N/A	22							Any construction activity which discharges storm water into an Impaired Stream Segment, or within 1 linear mile upstream and within the same watershed as, any portion of an Biotra Impaired Stream Segment must comply with Part III. C. of the Permit. Include the completed Appendix 1 listing all the BMPs that will be used for those areas of the site which discharge to the Impaired Stream Segment."												
N/A	N/A	23							If a TMDL Implementation Plan for sediment has been finalized for the Impaired Stream Segment (identified in item 22 above) at least six months prior to submittal of NOI, the ES&PC Plan must address any site-specific conditions or requirements included in the TMDL Implementation Plan."												
N/A	YES	24							BMPs for concrete washdown of tools, concrete mixer chutes, hoppers and the rear of the vehicles. Washout of the drum at the construction site is prohibited."												
C300	YES	25							Provide BMPs for the remediation of all petroleum spills and leaks.												
N/A	N/A	26							Description of the measures that will be installed during the construction process to control pollutants in storm water that will occur after construction operations have been completed."												
N/A	N/A	27							Description of practices to provide cover for building materials and building products on site."												
N/A	N/A	28							Description of the practices that will be used to reduce the pollutants in storm water discharges."												
C000	YES	29							Description and chart or timeline of the intended sequence of major activities which disturb soils for the major portions of the site (i.e., initial perimeter and sediment storage BMPs, clearing and grubbing activities, excavation activities, utility activities, temporary and final stabilization).												
N/A	N/A	30							Provide complete requirements of inspections and record keeping by the primary permittee."												
N/A	N/A	31							Provide complete requirements of sampling frequency and reporting of sampling results."												
N/A	N/A	32							Provide complete details for retention of records as per Part IV.F. of the permit."												
N/A	N/A	33							Description of analytical methods to be used to collect and analyze the samples from each location."												
N/A	N/A	34							Appendix B rationale for NTU values at all rainfall sampling points where applicable."												
C300	YES	35							Delineate all sampling locations, perennial and intermittent streams and other water bodies into which storm water is discharged."												
ALL ESPC	YES	36							A description of appropriate controls and measures that will be implemented at the construction site including: (1) initial sediment storage requirements and perimeter control BMPs, (2) intermediate grading and drainage BMPs, and (3) final BMPs. For construction sites where there will be no mass grading and the initial perimeter control BMPs, intermediate grading and drainage BMPs, and final BMPs are the same, the plan may combine all of the BMPs into a single phase."												
ALL ESPC	YES	37							Graphic scale and North arrow.												
C200	YES	38							Existing and proposed contour lines with contour lines drawn at an interval in accordance with the following: <table border="1"> <tr> <th>Map Scale</th> <th>Ground Slope</th> <th>Contour Intervals, ft.</th> </tr> <tr> <td>1 inch = 100ft or larger scale</td> <td>Flat 0 - 2%</td> <td>0.5 or 1</td> </tr> <tr> <td></td> <td>Rolling 2 - 8%</td> <td>1 or 2</td> </tr> <tr> <td></td> <td>Steep 8% +</td> <td>2.5 or 10</td> </tr> </table>	Map Scale	Ground Slope	Contour Intervals, ft.	1 inch = 100ft or larger scale	Flat 0 - 2%	0.5 or 1		Rolling 2 - 8%	1 or 2		Steep 8% +	2.5 or 10
Map Scale	Ground Slope	Contour Intervals, ft.																			
1 inch = 100ft or larger scale	Flat 0 - 2%	0.5 or 1																			
	Rolling 2 - 8%	1 or 2																			
	Steep 8% +	2.5 or 10																			
N/A	N/A	39							Use of alternative BMPs whose performance has been documented to be equivalent to or superior to conventional BMPs as certified by a Design Professional (unless disapproved by EPD or the Georgia Soil and Water Conservation Commission). Please refer to the Alternative BMP Guidance Document found at www.gawcc.org.												
N/A	N/A	40							Use of alternative BMP for application to the Equivalent BMP List. Please refer to Appendix A-2 of the Manual for Erosion & Sediment Control in Georgia 2016 Edition."												
N/A	YES	41							Delineation of the applicable 25-foot or 50-foot undisturbed buffers adjacent to state waters and any additional buffers required by the Local Issuing Authority. Clearly note and delineate all areas of impact.												
N/A	N/A	42							Delineation of on-site wetlands and all state waters located on and within 200 feet of the project site.												
HYDRO	HYDRO	43							Delineation and acreage of contributing drainage basins on the project site.												
HYDRO	HYDRO	44							Provide hydrology study and maps of drainage basins for both the pre- and post-developed conditions."												
C310	YES	45							An estimate of the runoff coefficient or peak discharge flow of the site prior to and after construction activities are completed.												
C300	YES	46							Storm-drain pipe and weir velocities with appropriate outlet protection to accommodate discharges without erosion. Identify/delineate all storm water discharge points.												
C000	YES	47							Soil series for the project site and their delineation.												
ALL ESPC	YES	48							The limits of disturbance for each phase of construction.												
ALL ESPC	YES	49							Provide a minimum of 67 cubic yards of sediment storage per acre drained using a temporary sediment basin, retrofitted detention pond, and/or excavated inlet sediment traps for each common drainage location. Sediment storage volume must be in place prior to and during all land disturbance activities until final stabilization of the site has been achieved. A written justification explaining the decision to use equivalent controls when a sediment basin is not attainable must be included in the plan for each common drainage location in which a sediment basin is not provided. A written justification as to why 67 cubic yards of storage is not attainable must also be given. Worksheets from the Manual included for structural BMPs and all calculations used by the storage design professional to obtain the required sediment when using equivalent controls. When discharging from sediment basins and impoundments, permittees are required to utilize outlet structures that withdraw water from sediment basins and impoundments, permittees are required to utilize outlet structures that withdraw water from the surface, unless infeasible. If outlet structures that withdraw water from the surface are not feasible, a written justification explaining this decision must be included in the Plan.												
ALL ESPC	YES	50							Location of Best Management Practices that are consistent with and no less stringent than the Manual for Erosion and Sediment Control in Georgia. Use uniform coding symbols from the Manual, Chapter 6, with legend.												
C400	YES	51							Provide detailed drawings for all structural practices. Specifications must, at a minimum, meet the guidelines set forth in the Manual for Erosion and Sediment Control in Georgia.												
C300	YES	52							Provide vegetative plan, noting all temporary and permanent vegetative practices. Include species, planting dates and seeding, fertilizer, lime and mulching rates. Vegetative plan shall be site specific for appropriate time of the year that seeding will take place and for the appropriate geographic region of Georgia.												

\*If using this checklist for a project that is less than 1 acre and not part of a common development but within 200 ft of a perennial stream the \* checklist items would be Effective January 1, 2020

### GSWCC LEVEL 2 CERTIFICATIONS

I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT UNDER MY SUPERVISION.

NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF UNVESTED VEGETATION OR WITHIN 25 FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.

SIGNED: *[Signature]* DATE: 01-16-2020  
CERTIFIED DESIGN PROFESSIONAL: KYLE WEBB  
GSWCC CERTIFICATION NO. LEVEL 11 \*000007911  
EXPIRATION DATE: 12-31-2020  
COMPANY: BREDLOVE LAND PLANNING, INC.

### GSWCC REQUIRED NOTES

THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs WITHIN 7 DAYS AFTER INSTALLATION.

NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF UNVESTED VEGETATION OR WITHIN 25 FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.

AMENDMENTS / REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.

WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

### 24-HOUR EROSION CONTACT

CONTACT NAME: C.J. WARDEN  
CONTACT TITLE: DIRECTOR  
REPRESENTING: OCONEE COUNTY EMERGENCY MANAGEMENT AGENCY  
EMAIL ADDRESS: CWARDEN@OCONEEGAUS.GOV  
PHONE NUMBER: 706-339-3620

### PLAN SUBMITTAL SUMMARY

DESCRIPTION	DATE	ENTITY REQUESTING REVISION
1. INITIAL SUBMITTAL DATE: 01-16-2020		PERMIT SUBMITTAL #
2.		
3.		
4.		
5.		
6.		

### CONSTRUCTION ACTIVITY

EXISTING CONDITIONS SUMMARY:  
THE SITE IS A CURRENT ANIMAL SHELTER THAT WILL RECEIVE A SMALL EXPANSION FOR A DRIVE THROUGH DROP OFF AND ADDITIONAL ADMIN & STORAGE AREAS.

PROPOSED CONDITIONS SUMMARY:  
THIS PROJECT PROPOSES TO ADD KENNEL ADMIN AND STORAGE FACILITIES TO AN EXISTING SHELTER WITH A REROUTE OF EXISTING GRAVEL DRIVE.

### STREAM BUFFERS

NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF UNVESTED VEGETATION OR WITHIN 25 FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.

DESCRIPTION OF BUFFER ENCROACHMENTS:  
THIS PROJECT DOES NOT PROPOSE ANY BUFFER ENCROACHMENTS. NO VARIANCES FROM EPD, OR THE USACE, ARE REQUIRED.

### PROJECT RECEIVING WATERS

INITIAL PROJECT RECEIVING WATERS: APALACHEE RIVER  
RECEIVING WATERS SUPPORT: WARM WATER FISHERIES

SUMMARY OF NEIGHBORING AREAS AND PROJECT EFFECTS:  
THE PROPOSED BUILDING WILL BE CONSTRUCTED ON THE HIGH POINT OF THE SITE. THE SITE SHEET FLOWS THROUGH A LONG EXPANSE OF WOODS BEFORE ENTERING THE APALACHEE RIVER TO THE SOUTHWEST.

### SPILL PREVENTION & CONTROL

- LOCAL STATE & MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED & PROCEDURES WILL BE MADE AVAILABLE TO SITE PERSONNEL.
- MATERIAL & EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREAS. TYPICAL MATERIALS & EQUIPMENT INCLUDES, BUT IS NOT LIMITED TO: BROODS DUSTPANS, HOPS, RAGS, GLOVES, GOGGLES, CAT LITTER, SAND, SANDUST & PROPERLY LABELED PLASTIC & METAL WASTE CONTAINERS.
- SPILL PREVENTION PRACTICES & PROCEDURES WILL BE REVIEWED AFTER A SPILL & ADJUSTED AS NECESSARY TO PREVENT FUTURE SPILLS.
- ALL SPILLS WILL BE CLEANED UP IMMEDIATELY UPON DISCOVERY. ALL SPILLS WILL BE REPORTED AS REQUIRED BY LOCAL, STATE & FEDERAL REGULATIONS.
- FOR SPILLS THAT IMPACT SURFACE WATER (LEAVE A SHEEN ON SURFACE WATER), THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-424-8802.
- FOR SPILLS OF AN UNKNOWN AMOUNT, THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-424-8802.
- FOR SPILLS GREATER THAN 25 GALLONS & NO SURFACE WATER IMPACTS OCCUR, THE GEORGIA EPD WILL BE CONTACTED WITHIN 24 HOURS.
- FOR SPILLS LESS THAN 25 GALLONS & NO SURFACE WATER IMPACTS OCCUR, THE SPILL WILL BE CLEANED UP & LOCAL AGENCIES WILL BE CONTACTED AS REQUIRED.

THE CONTRACTOR SHALL NOTIFY THE LICENSED PROFESSIONAL WHO PREPARED THIS PLAN IF MORE THAN 1500 GALLONS OF PETROLEUM IS STORED ON-SITE (THIS INCLUDES CAPACITIES OF EQUIPMENT) OR IF ANY ONE PIECE OF EQUIPMENT HAS A CAPACITY GREATER THAN 660 GALLONS. THE CONTRACTOR WILL NEED A SPILL PREVENTION CONTAINMENT & COUNTERMEASURES PLAN PREPARED BY THE LICENSED PROFESSIONAL.

### PRE- vs. POST RUNOFF

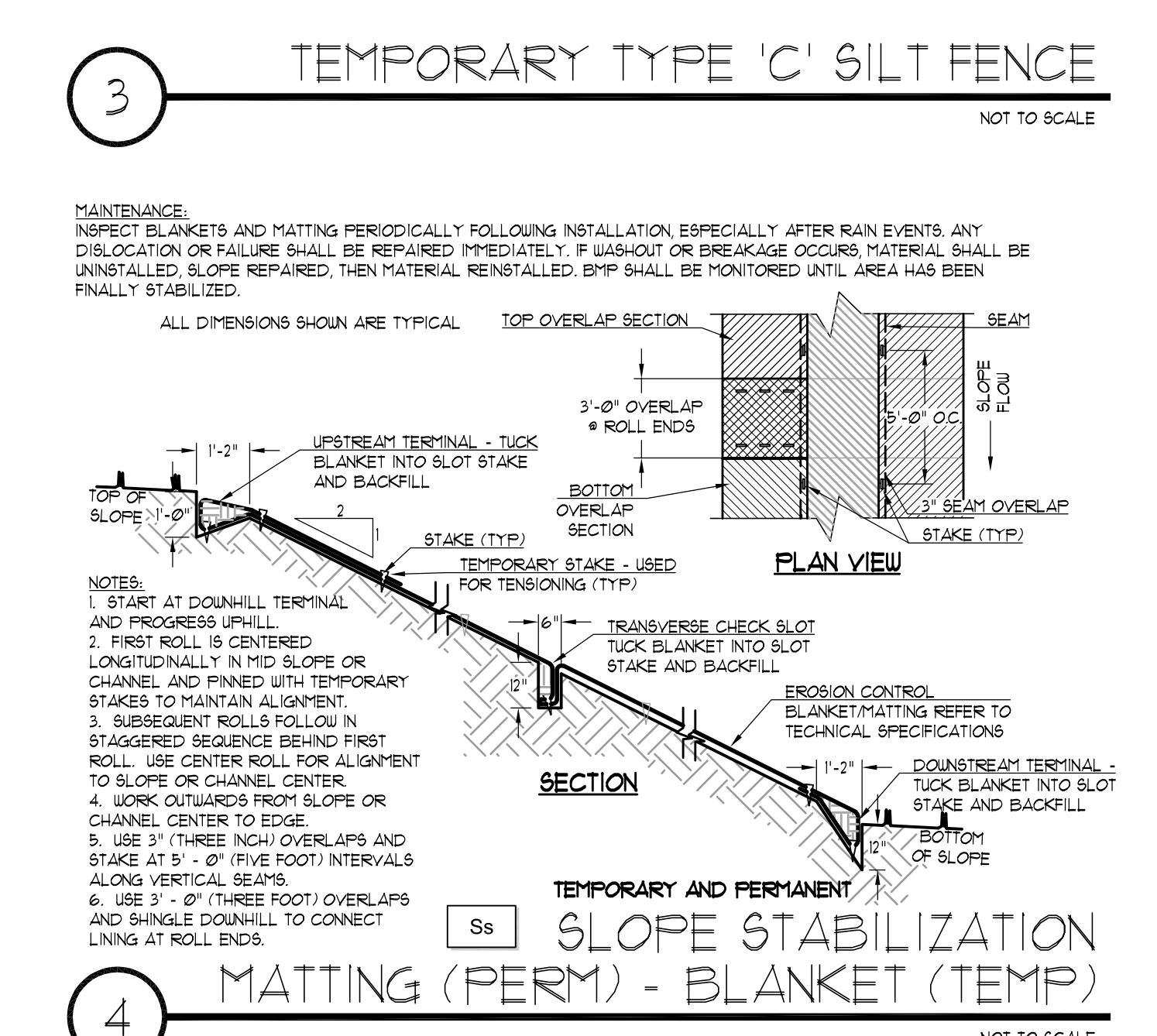
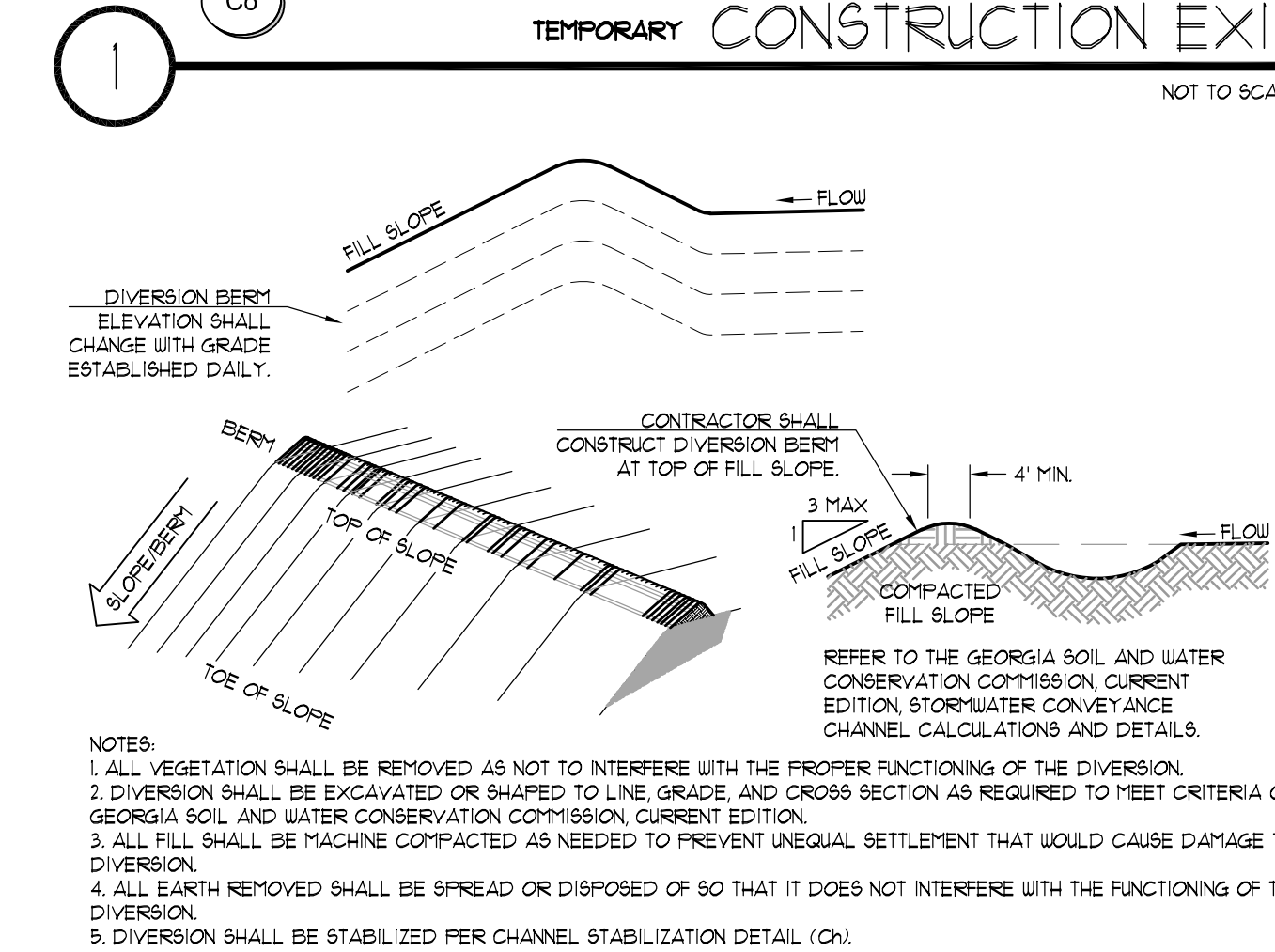
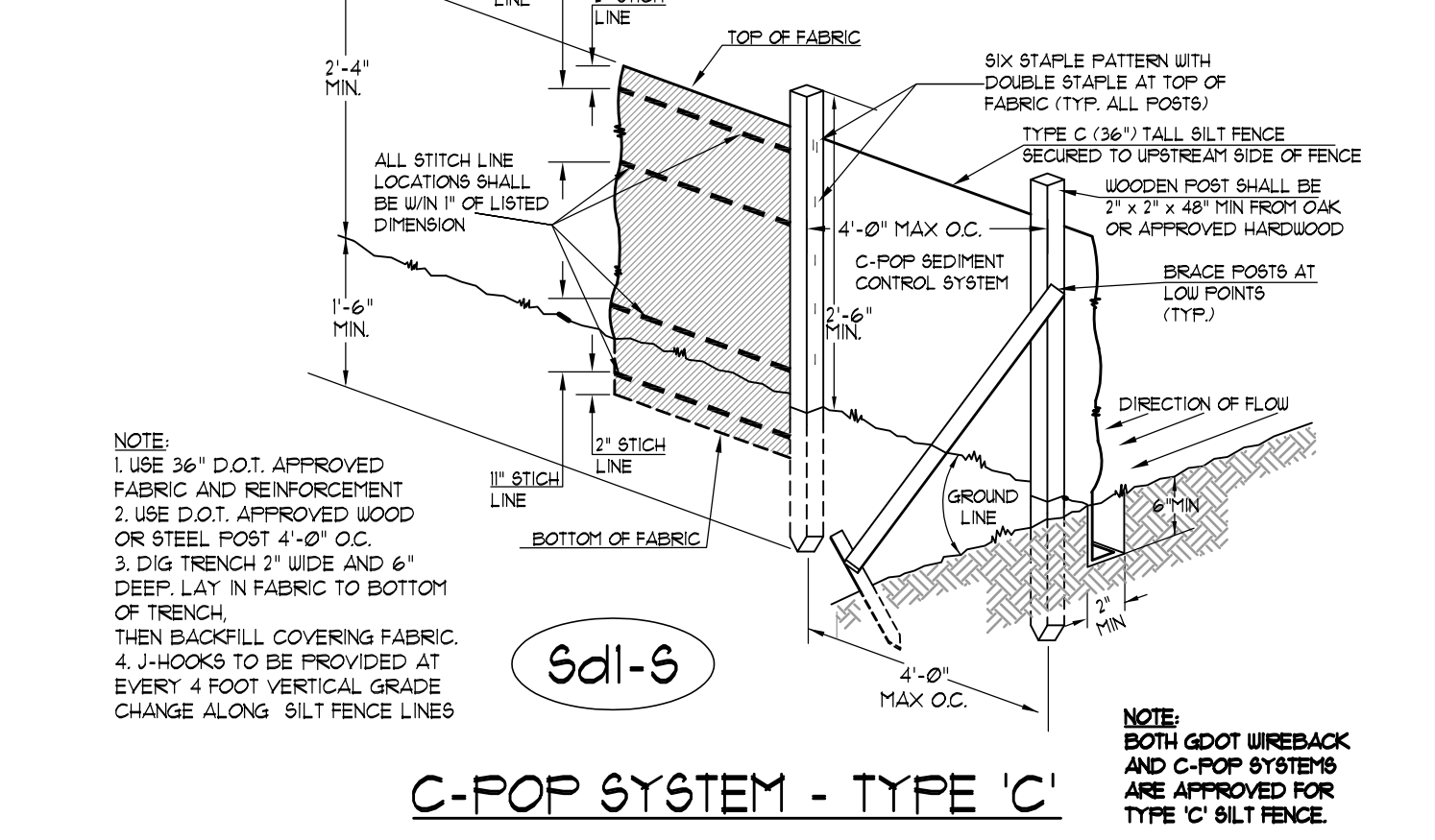
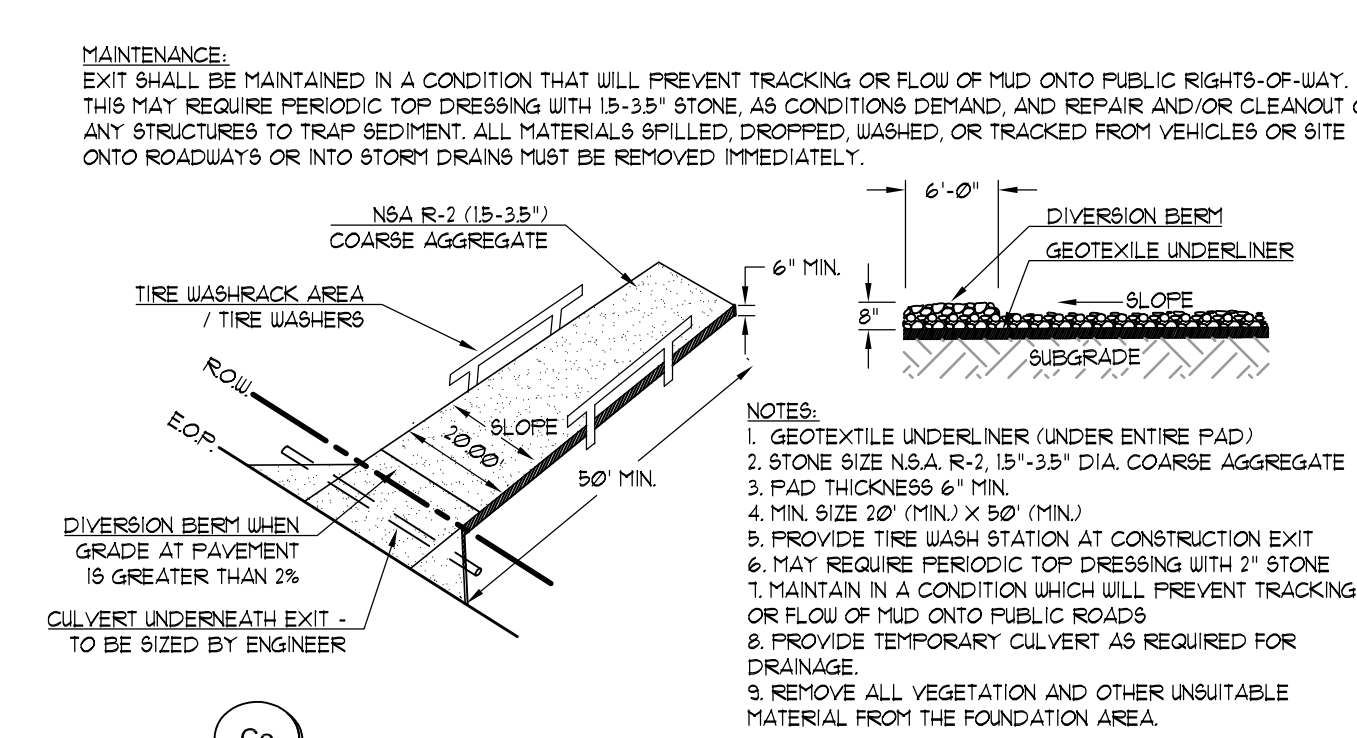
REFER TO STORMWATER MANAGEMENT REPORT FOR DETAILED ANALYSIS OF PRE-DEVELOPED RUNOFF CONDITIONS, POST-DEVELOPED RUNOFF CONDITIONS, AND CONTROLS DESIGNED TO CHANGES IN SITE CONDITIONS DUE TO DEVELOPMENT (I.E. WATER QUALITY, CHANNEL PROTECTION, AND / OR DETENTION).

PRE-DEVELOPED RUNOFF COEFFICIENT (CURVE NUMBER): 79  
POST-DEVELOPED RUNOFF COEFFICIENT (CURVE NUMBER): 79

SUMMARY OF POST-DEVELOPMENT STORMWATER CONTROLS USED:  
THIS PROJECT WILL NOT CHANGE THE EXISTING STORM PATTERN; THERE WILL BE MINIMAL INCREASED IMPERVIOUS WHICH DOES NOT AFFECT THE CURVE NUMBER ACROSS THIS LARGE SITE.

### DISTURBED AREA

TOTAL SITE AREA:	DISTURBED AREA:
10,882 AC	0.65 AC



### PIEDMONT VEGETATIVE COVERS

MONTH	TEMPORARY	Ds2	RATE / ACRE ALONE - MIX	PERMANENT	Ds3	RATE / ACRE ALONE - MIX
JANUARY	RYE GRASS	40 LBS	UNHILLED BERMDIA GERCEIA LESPEDEZA	10 LBS - 8 LBS 40 LBS - 30 LBS		
FEBRUARY	RYE GRASS	40 LBS	UNHILLED BERMDIA GERCEIA LESPEDEZA (7) FESCUE	10 LBS - 8 LBS 40 LBS - 30 LBS 50 LBS - 40 LBS		
MARCH	RYE GRASS ANNUAL LESPEDEZA (7) UEEPING LOVEGRASS	2-3 BU 30 LBS - 25 LBS 4 LBS - 2 LBS	UNHILLED BERMDIA GERCEIA LESPEDEZA (12) FESCUE	10 LBS - 8 LBS 40 LBS - 30 LBS 50 LBS - 40 LBS		
APRIL	RYE GRASS ANNUAL LESPEDEZA (7) RYE BROUD TOP MILLET SUDAN GRASS	3 BU - 0.5 BU 30 LBS - 25 LBS 40 LBS - 30 LBS 35 LBS	UEEPING LOVEGRASS HILLED BERMDIA BAHIA	6 LBS - 6 LBS 10 LBS - 8 LBS 60 LBS - 40 LBS		
MAY	UEEPING LOVEGRASS SUDAN GRASS BROUD TOP MILLET		UEEPING LOVEGRASS HILLED BERMDIA BAHIA	6 LBS - 6 LBS 10 LBS - 8 LBS 60 LBS - 40 LBS		
JUNE	UEEPING LOVEGRASS SUDAN GRASS BROUD TOP MILLET	6 LBS - 6 LBS 35 LBS - 15 LBS 40 LBS - 15 LBS	UEEPING LOVEGRASS HILLED BERMDIA BAHIA	6 LBS - 6 LBS 10 LBS - 8 LBS 60 LBS - 40 LBS		
JULY	SAME AS JUNE	6 LBS - 6 LBS 35 LBS - 15 LBS 40 LBS - 15 LBS	UEEPING LOVEGRASS HILLED BERMDIA BAHIA	6 LBS - 6 LBS 10 LBS - 8 LBS 60 LBS - 40 LBS		
AUGUST	UEEPING LOVEGRASS RYE GRASS	6 LBS - 6 LBS 40 LBS		6 LBS - 6 LBS 50 LBS - 30 LBS		
SEPTEMBER			FESCUE	50 LBS - 30 LBS		
OCTOBER	WHEAT	3 BU - 0.5 BU	UNHILLED BERMDIA GERCEIA LESPEDEZA (7) FESCUE	10 LBS - 8 LBS 40 LBS - 30 LBS 50 LBS - 40 LBS		
NOVEMBER	SAME AS OCTOBER			SAME AS OCTOBER		
DECEMBER	SAME AS OCTOBER			SAME AS OCTOBER		

1. SEED SHALL BE SCARIFIED. 2. SEED SHALL BE INOCULATED.

### SOIL AMENDMENTS

LIME	6-10-10	AMMONIA NITRATE
60 LBS PER 1000 SQFT.	40 LBS PER 1000 SQFT.	300 LBS PER ACRE
60 LBS PER 1000 SQFT.	40 LBS PER 1000 SQFT.	300 LBS PER ACRE
60 LBS PER 1000 SQFT.	40 LBS PER 1000 SQFT.	300 LBS PER ACRE
60 LBS PER 1000 SQFT.	40 LBS PER 1000 SQFT.	300 LBS PER ACRE
60 LBS PER 1000 SQFT.	40 LBS PER 1000 SQFT.	300 LBS PER ACRE
60 LBS PER 1000 SQFT.	40 LBS PER 1000 SQFT.	300 LBS PER ACRE
60 LBS PER 1000 SQFT.	40 LBS PER 1000 SQFT.	300 LBS PER ACRE
60 LBS PER 1000 SQFT.	40 LBS PER 1000 SQFT.	300 LBS PER ACRE
60 LBS PER 1000 SQFT.	40 LBS PER 1000 SQFT.	300 LBS PER ACRE
60 LBS PER 1000 SQFT.	40 LBS PER 1000 SQFT.	300 LBS PER ACRE
60 LBS PER 1000 SQFT.	40 LBS PER 1000 SQFT.	300 LBS PER ACRE
60 LBS PER 1000 SQFT.	40 LBS PER 1000 SQFT.	300 LBS PER ACRE
60 LBS PER 1000 SQFT.	40 LBS PER 1000 SQFT.	300 LBS PER ACRE
60 LBS PER 1000 SQFT.	40 LBS PER 1000 SQFT.	300 LBS PER ACRE

NOTE: RATES INCLUDED IN THIS CHART ARE A RECOMMENDED AMOUNT. CONTRACTOR SHALL PROVIDE NECESSARY AMENDMENTS AS IDENTIFIED BY SOIL TESTING.

### SPRAY-ON ADHESIVE APPLICATION REQUIREMENTS

ADHESIVE	WATER DILUTION	NOZZLE TYPE	APPLICATION (GAL/ACRE)
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN-IN-WATER EMULSION	4:1	FINE SPRAY	300

1. APPLY ACCORDING TO APPROVED PLAN, IF SHOWN.
2. MULCH DISTURBED AREAS AND TACKIFY WITH RESINS SUCH AS ASPHALT, CUREASOL OR TERRACK ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
3. STABILIZE DISTURBED AREAS WITH TEMPORARY OR PERMANENT VEGETATION.
4. IRRIGATE DISTURBED AREAS UNTIL SURFACE IS WET.
5. COVER SURFACES WITH CRUSHED STONE OR GRAVEL.
6. APPLY CALCIUM CHLORIDE AT A RATE TO KEEP SURFACES MOIST.
7. APPLY SPRAY-ON ADHESIVES TO

Lyman  
Davidson  
Dooley, Inc.

1648 Powers Ferry Road  
Building One  
Marietta, GA 30067

770.850.8494  
770.956.9030

ldl-architects.com

REVISIONS



03-06-20

PERMIT RESUBMITTAL

EXISTING RENOVATION  
OCONEE ANIMAL SHELTER  
EXPANSION  
OCONEE COUNTY, GEORGIA

OCONEE  
ANIMAL  
SHELTER  
EXPANSION

1171 Branch Rd.  
Bishop, GA 30621

OCONEE  
COUNTY  
23 N Main Street  
Watkinsville, GA 30687

TITLE EROSION CONTROL  
CALCULATIONS &  
DETAILS

STATUS PERMIT SET

JOB 119024.00

QC Checker-JST

DRAWN Author-BAM

SHEET **C315**

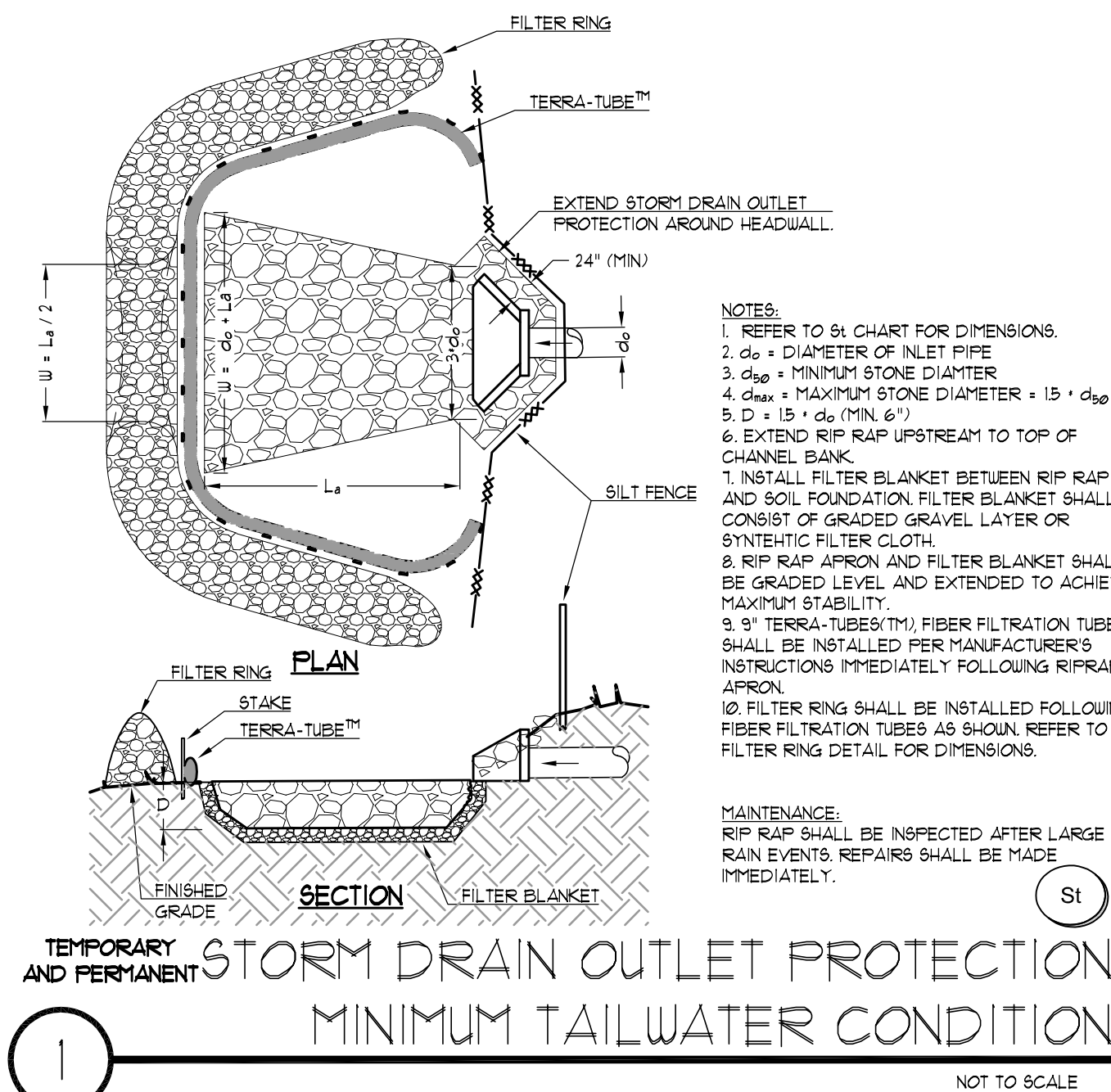
DATE 12/13/2019

THIS DRAWING IS THE PROPERTY OF LYMAN DAVIDSON DOOLEY INCORPORATED ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED LYMAN DAVIDSON DOOLEY. NOT VALID UNLESS SIGNED AND SEALED.

<p><b>Project Name:</b> OCONEE ANIMAL SHELTER EXP. <b>Structure No.:</b> A2</p> <p>1. Drainage Area = 0.60 ac 2. Required sediment storage (67cy/ac * Da) = 40.20 cy 3. Excavation depth = 2.00 ft 4. Sideslope = 2:1 5. Determine required surface area (SA<sub>min</sub> = req'd sediment storage / excavation depth) SA<sub>min</sub> = 20.10 sf 6. Assume shape of excavation and determine dimensions. Shape = RECTANGLE Dimensions: L = 32.15344 ft W = 16.07672 ft L = 32.20 ft W = 16.10 ft</p> <p>TEMPORARY SEDIMENT TRAP</p>	<p><b>Project Name:</b> OCONEE ANIMAL SHELTER EXP. <b>Structure No.:</b> B4</p> <p>1. Drainage Area = 0.10 ac 2. Required sediment storage (67cy/ac * Da) = 6.70 cy 3. Excavation depth = 2.00 ft 4. Sideslope = 2:1 5. Determine required surface area (SA<sub>min</sub> = req'd sediment storage / excavation depth) SA<sub>min</sub> = 3.35 sf 6. Assume shape of excavation and determine dimensions. Shape = RECTANGLE Dimensions: L = 13.12659 ft W = 6.563293 ft L = 13.20 ft W = 6.60 ft</p> <p>TEMPORARY SEDIMENT TRAP</p>	<p><b>Project Name:</b> OCONEE ANIMAL SHELTER EXP. <b>Structure No.:</b> B3</p> <p>1. Drainage Area = 0.30 ac 2. Required sediment storage (67cy/ac * Da) = 20.10 cy 3. Excavation depth = 2.00 ft 4. Sideslope = 2:1 5. Determine required surface area (SA<sub>min</sub> = req'd sediment storage / excavation depth) SA<sub>min</sub> = 10.05 sf 6. Assume shape of excavation and determine dimensions. Shape = RECTANGLE Dimensions: L = 22.73591 ft W = 11.36796 ft L = 22.80 ft W = 11.40 ft</p> <p>TEMPORARY SEDIMENT TRAP</p>	<p><b>Project Name:</b> OCONEE ANIMAL SHELTER EXP. <b>Structure No.:</b> B2</p> <p>1. Drainage Area = 0.20 ac 2. Required sediment storage (67cy/ac * Da) = 13.40 cy 3. Excavation depth = 2.00 ft 4. Sideslope = 2:1 5. Determine required surface area (SA<sub>min</sub> = req'd sediment storage / excavation depth) SA<sub>min</sub> = 6.70 sf 6. Assume shape of excavation and determine dimensions. Shape = RECTANGLE Dimensions: L = 18.5638 ft W = 9.281898 ft L = 18.60 ft W = 9.30 ft</p> <p>TEMPORARY SEDIMENT TRAP</p>
--	---	--	---

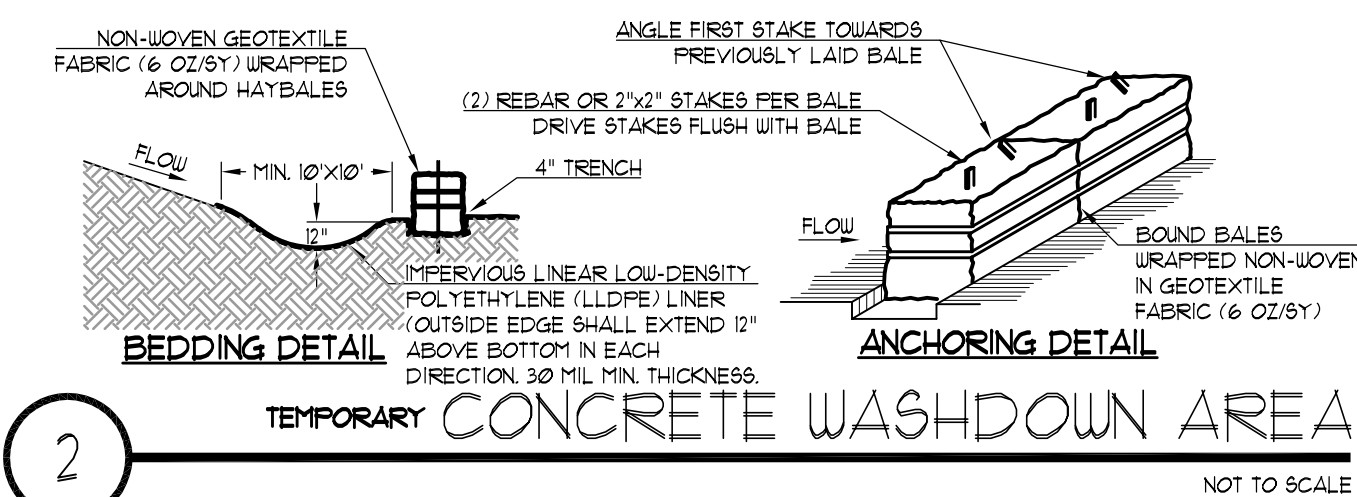
BREEDLOVE LAND PLANNING, INC. PIPECHART										PROJECT: OCONEE ANIMAL SHELTER									
YEAR STORM EVENT: 25										PROJECT LOCATION: OCONEE COUNTY									
	Upstream Structure	Downstream Structure	Drainage Area (ac)	c-factor (C)	Inlet Time (min)	Q (cfs)	Total Q (cfs)	Capacity (cfs)	Pipe Size (in)	Slope (%)	n-value	Velocity (ft/s)	Depth (ft)	Inv. Up (ft)	Inv. Dn (ft)				
A	A2	A1	0.60	0.65	5	3.63	3.63	4.95	15	0.50	0.012	4.42	0.77	716.30	715.50				
B	B4	B3	0.10	0.65	5	0.61	0.61	2.73	12	0.50	0.012	2.07	0.54	717.07	716.84				
	B3	B2	0.30	0.45	5	1.26	1.76	2.73	12	0.50	0.012	2.98	0.85	716.74	716.37				
	B2	B1	0.20	0.65	5	1.21	2.82	4.95	15	0.50	0.012	4.16	0.67	716.27	716.00				

<b>Project Name:</b>	OCONEE ANIMAL SHELTER EXPANSION													
<b>Anticipated Construction Start:</b>	MAY 2020													
<b>Anticipated Construction Finish:</b>	AUG 2020													
<b>Anticipated Construction Duration:</b>	9 MONTHS													
<b>Year:</b>	2020													2021
<b>Major Activities Schedule:</b>														
<b>Pre-Construction Meeting with County Inspectors:</b>														
<b>Install Construction Entrance/Exit:</b>														
<b>Install Perimeter Silt Fence:</b>														
<b>Install Diversion Berms:</b>														
<b>Maintain Initial ESPC Measures:</b>														
<b>Site Demolition:</b>														
<b>Clearing &amp; Grubbing Operations:</b>														
<b>Grading Operations:</b>														
<b>Storm Drain Installation:</b>														
<b>Matt and Blanket Slopes:</b>														
<b>Temporary Grassing:</b>														
<b>Install Sediment Traps:</b>														
<b>Maintain Intermediate ESPC Measures:</b>														
<b>Utility Installation:</b>														
<b>Curb &amp; Gutter, GAB, and Binder Placement:</b>														
<b>Building Construction:</b>														
<b>Asphalt Wear Course Placement:</b>														
<b>Site Sidewalks &amp; Concrete Paving:</b>														
<b>Fine Grading &amp; Topsoil Distribution:</b>														
<b>Permanent Grassing and Mulching:</b>														
<b>Maintain Final ESPC Measures:</b>														
<b>Punch-list &amp; Final Inspections:</b>														
<b>Site Cleanup:</b>														



**NOTES:**  
1. CONTRACTORS OPTION TO GRADE OUT CONTAINMENT AREA WITH DIVERSION BERMS OR CONSTRUCT WITH HAY BALES. BALES SHALL BE PLACED AT THE TOE OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.  
2. EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF (4) INCHES AND PLACED SO THE BINDINGS ARE HORIZONTAL.  
3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR REBAR DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARDS THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.  
4. CONTRACTOR SHALL PROVIDE AND INSTALL 36" X 36" SIGN IDENTIFIED IDENTIFYING CONCRETE WASHDOWN AREA  
5. CONTRACTOR SHALL USE HIGH PRESSURE LOW VOLUME NOZZLE FOR WASHING.  
6. NO CONCRETE DRUM WASHOUT IS ALLOWED ON SITE.

**MAINTENANCE:**  
BALES SHALL BE INSPECTED FREQUENTLY AND REPAIRED AND/OR REPLACED PROMPTLY AS NEEDED. BALES SHALL BE REMOVED WHEN SURROUNDING AREAS HAVE BEEN STABILIZED SO AS NOT TO BLOCK OR IMPEDED STORM FLOW OR DRAINAGE.



Structure	Diameter (in)	Q25 (cfs)	V25 (fps)	Yc (in)	Tailwater Condition	Figure	La (ft)	W1 (ft)	W2 (ft)	d50 (ft)	dMAX (ft)	D (ft)
A1	15	3.63	4.42	8.40	MAXIMUM	6-34.2	6	3.75	3.65	0.10	0.15	0.23
B1	15	2.81	4.16	8.04	MAXIMUM	6-34.2	6	3.75	3.65	0.10	0.15	0.23

Q25 and V25 take from Pipechart  
Yc (critical depth) taken from Storm Sewers or Hydraulow Express

User Entry

From Green Book Tables

Lyman  
Davidson  
Dooley, Inc.

1648 Powers Ferry Road  
Building One  
Marietta, GA 30067  
770.850.8494  
770.956.9030  
lddl-architects.com

REVISIONS

NO.	DESCRIPTION



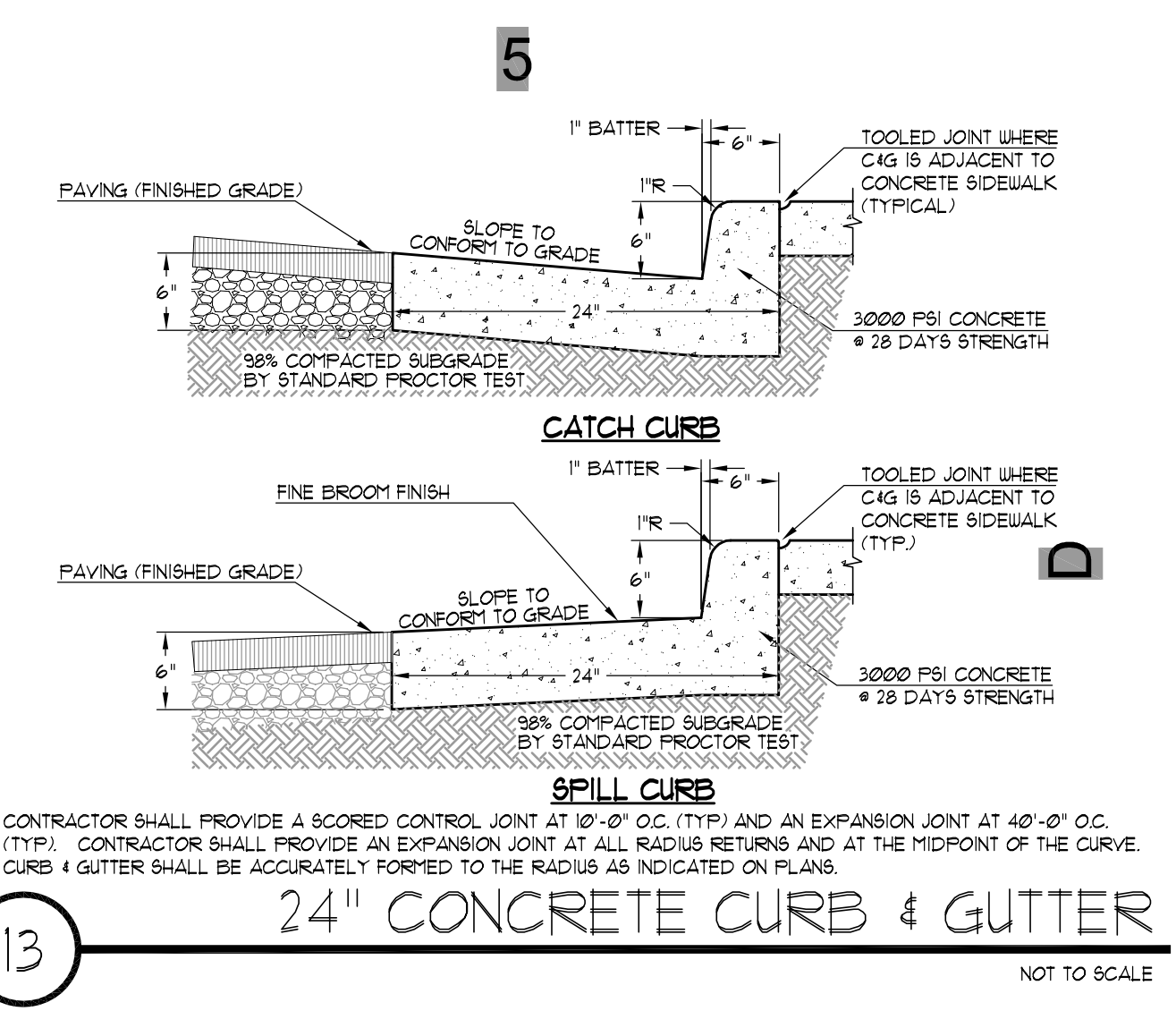
03-06-20  
PERMIT RESUBMITTAL

EXISTING RENOVATION  
OCONEE ANIMAL SHELTER  
EXPANSION  
OCONEE COUNTY, GEORGIA

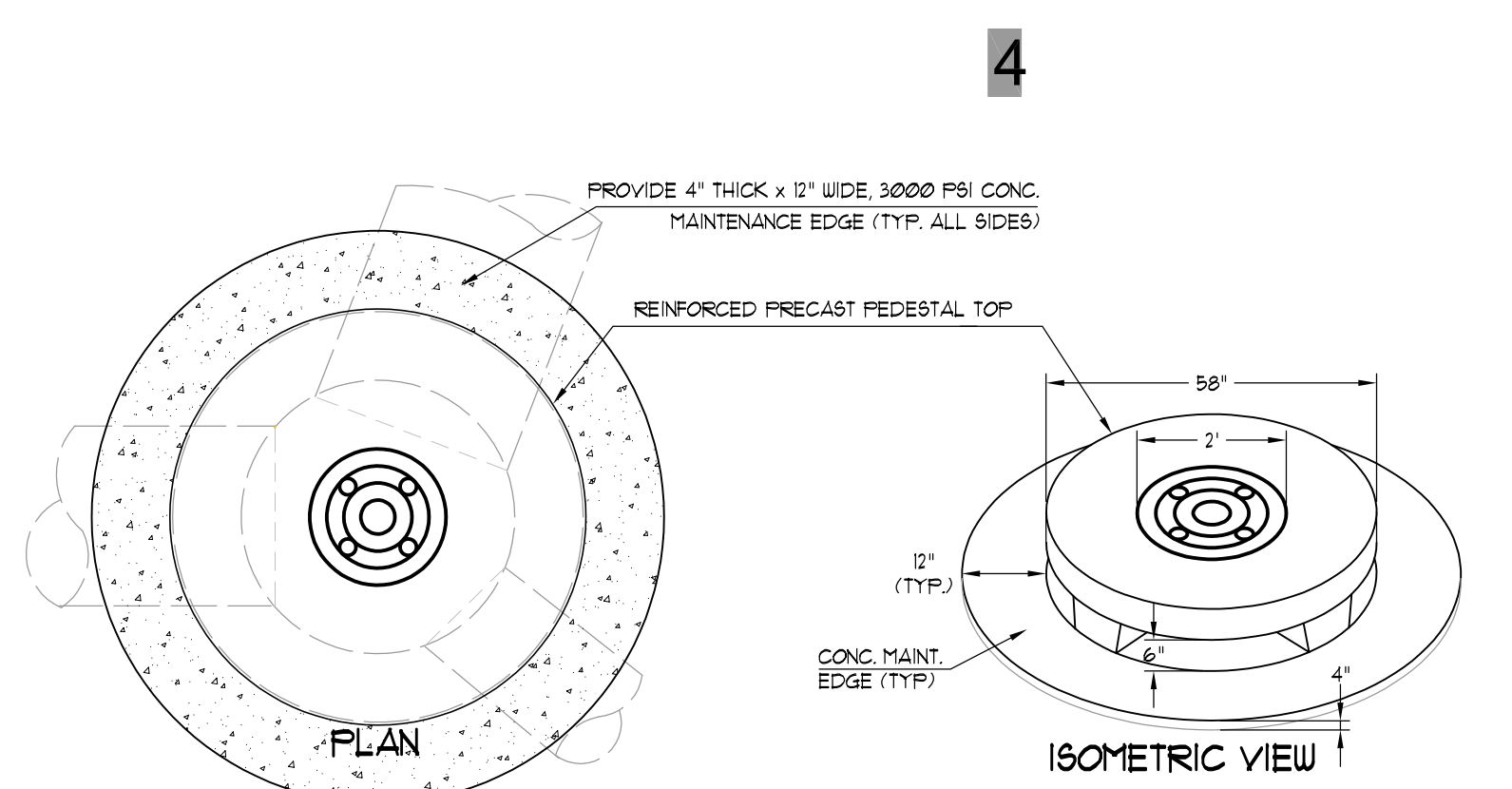
OCONEE  
ANIMAL  
SHELTER  
EXPANSION  
1171 Branch Rd.  
Bishop, GA 30621  
OCONEE  
COUNTY  
23 N Main Street  
Watkinsville, GA 30677

TITLE SITE WORK  
CONSTRUCTION  
DETAILS  
STATUS PERMIT SET  
JOB 119024.00  
QC Checker-JST  
DRAWN Author-BAM  
SHEET C400  
DATE 12/13/2019

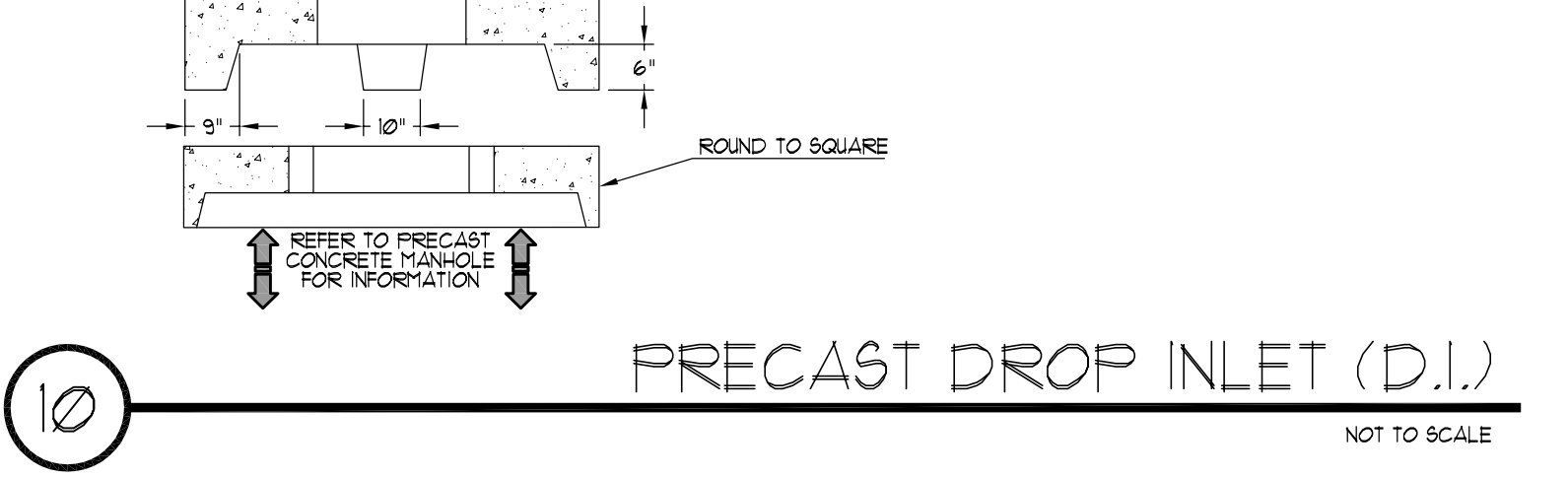
PERMIT SET



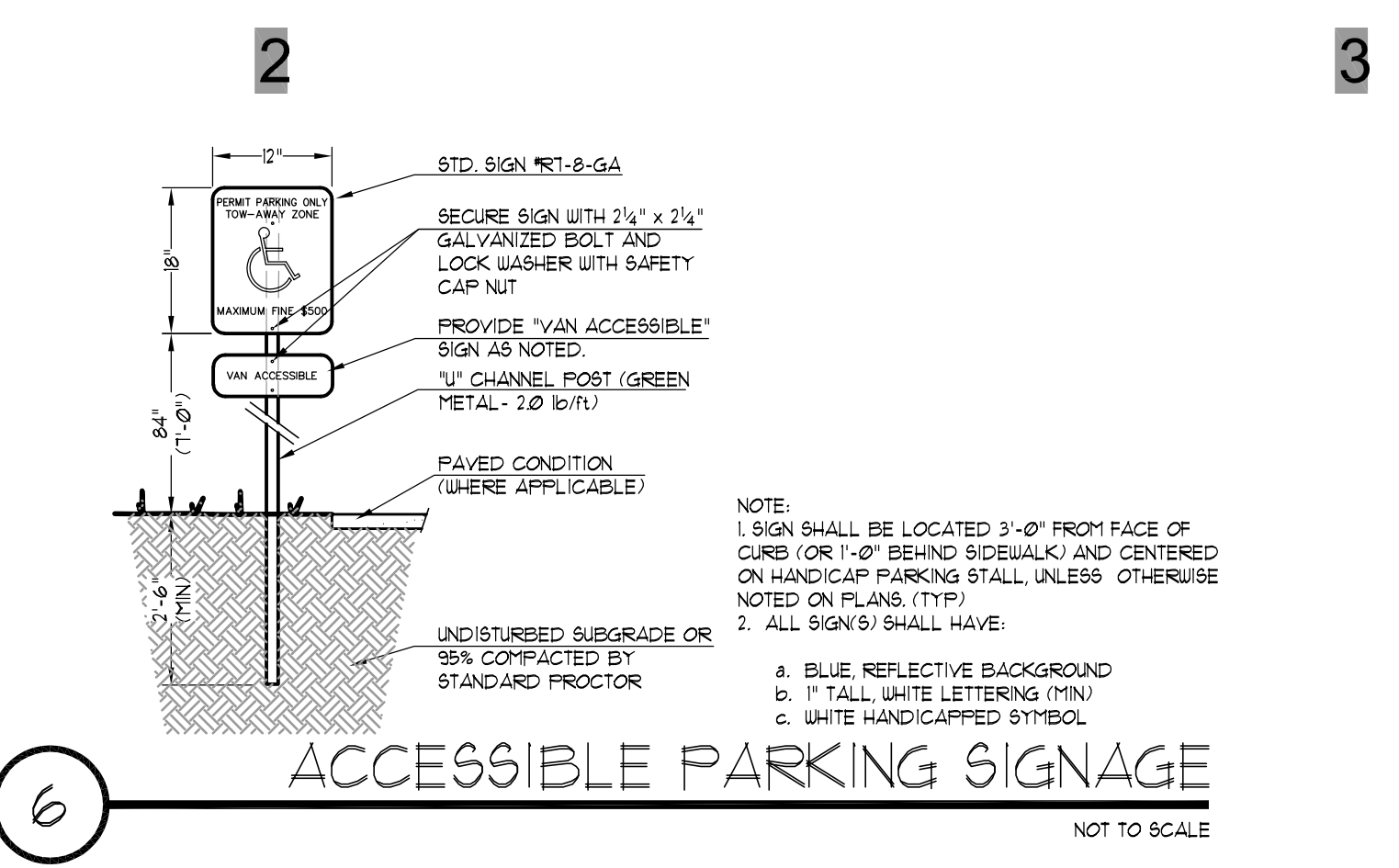
CONTRACTOR SHALL PROVIDE A SCORED CONTROL JOINT AT 10'-0" O.C. (TYP.) AND AN EXPANSION JOINT AT 40'-0" O.C. (TYP.). CONTRACTOR SHALL PROVIDE AN EXPANSION JOINT AT ALL RADIUS RETURNS AND AT THE MIDPOINT OF THE CURVE. CURB & GUTTER SHALL BE ACCURATELY FORMED TO THE RADIUS AS INDICATED ON PLANS.



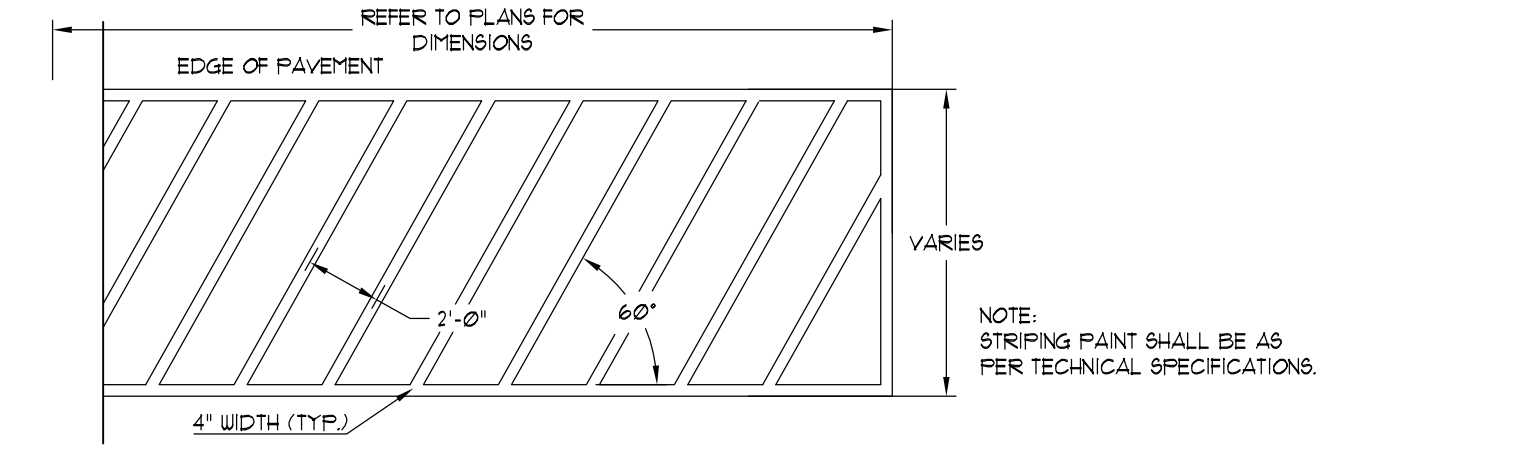
REFER TO PRECAST CONCRETE MANHOLE FOR INFORMATION



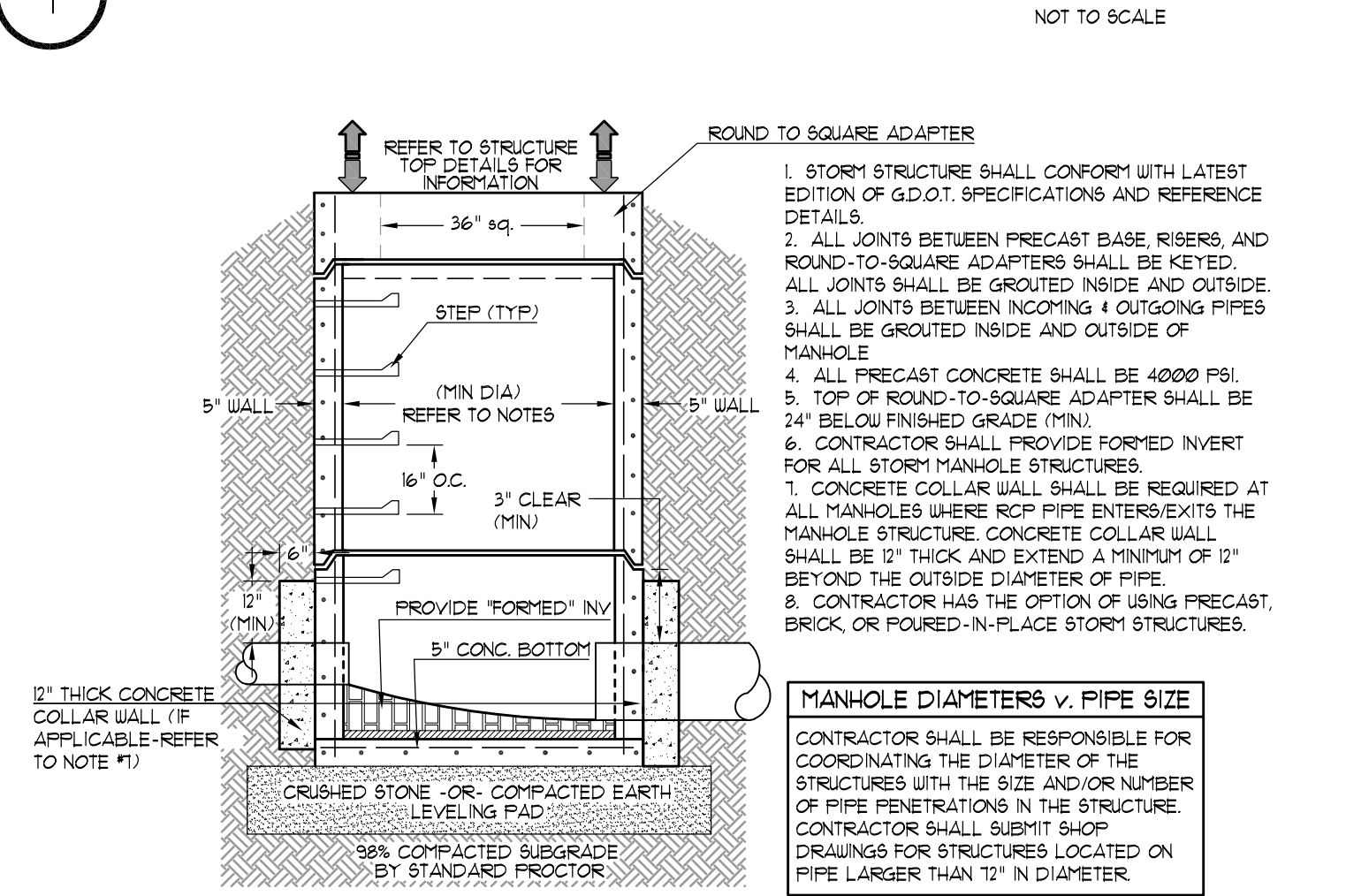
USE NEXT LARGER SIZE WHEN INSTALLING ON REINFORCED CONCRETE PIPE.



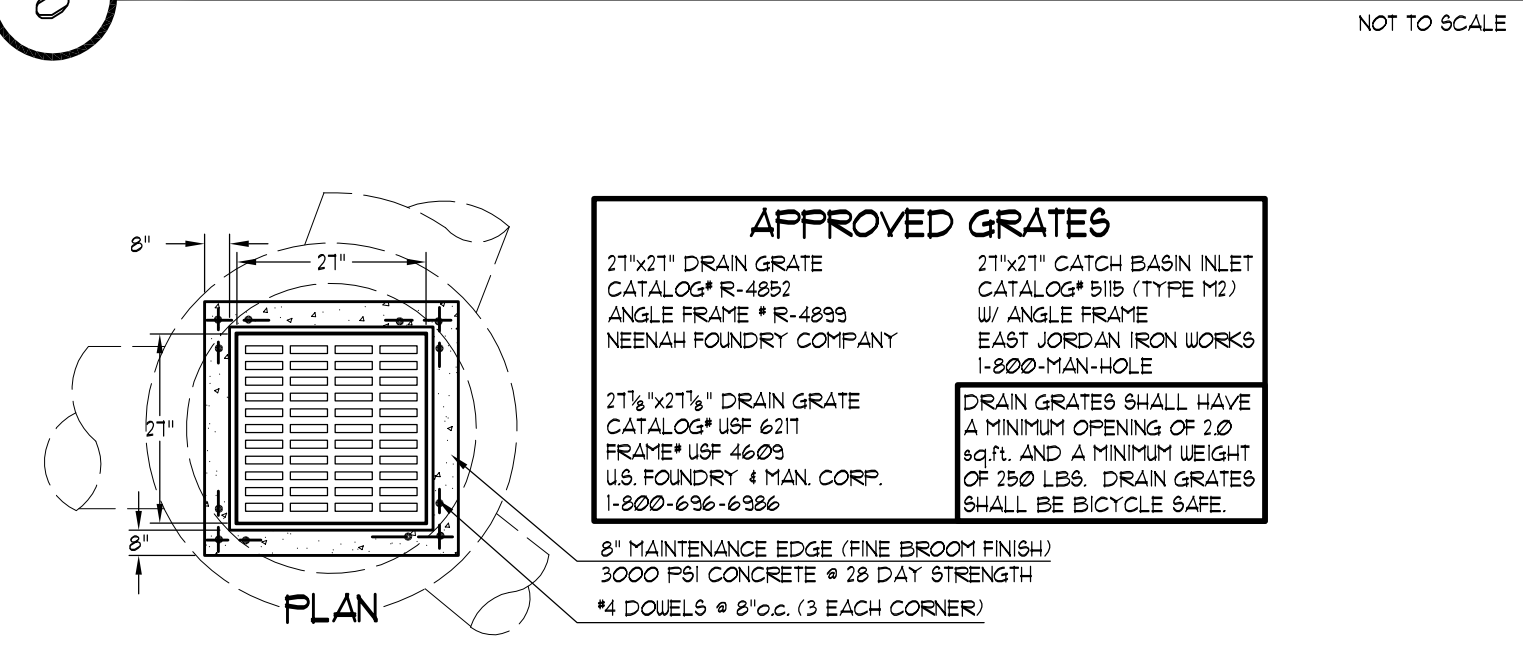
NOTE: 1. SIGN SHALL BE LOCATED 3'-0" FROM FACE OF CURB (OR 1'-0" BEHIND SIDEWALK) AND CENTERED ON HANDICAP PARKING STALL, UNLESS OTHERWISE NOTED ON PLANS. (TYP.)  
2. ALL SIGN(S) SHALL HAVE:  
a. BLUE REFLECTIVE BACKGROUND  
b. 1" TALL WHITE LETTERING (MIN)  
c. WHITE HANDICAPPED SYMBOL



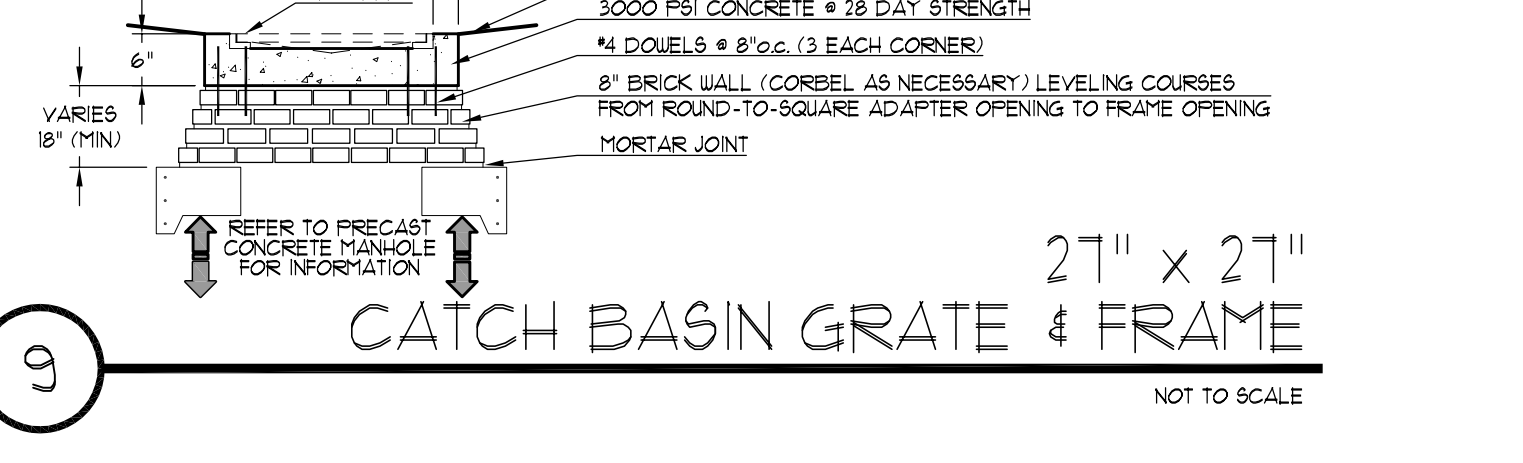
NOTE: STRIPING PAINT SHALL BE AS PER TECHNICAL SPECIFICATIONS.



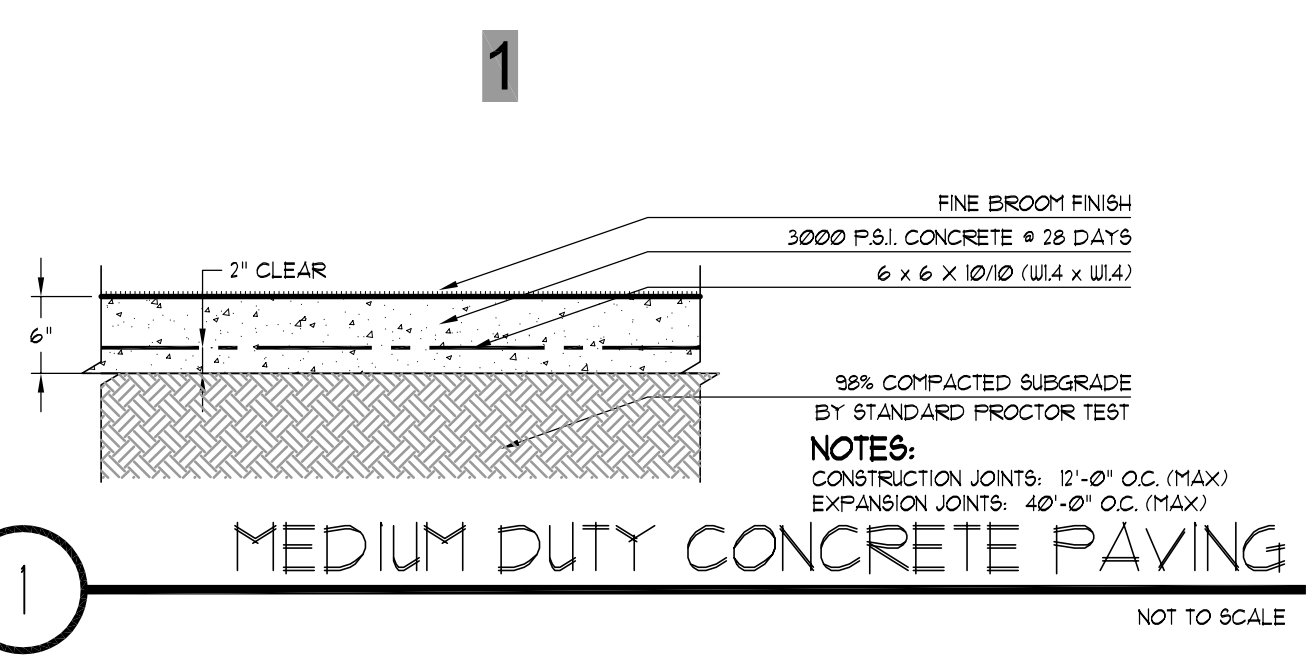
CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE DIAMETER OF THE STRUCTURES WITH THE SIZE AND/OR NUMBER OF PIPE PENETRATIONS IN THE STRUCTURE. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR STRUCTURES LOCATED ON PIPE LARGER THAN 12" IN DIAMETER.



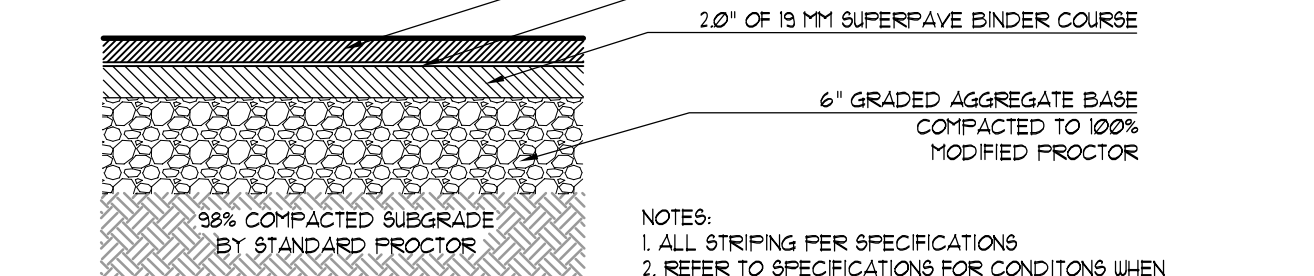
NOTE: 1. ALL CONCRETE SHALL BE 4000 PSI.  
2. REINFORCING STEEL SHALL BE 1/2" INTERMEDIATE GRADE.  
3. 3/4" CHAMFER ON ALL EXPOSED EDGES.  
4. RIP-RAP SHALL BE PER STORM DRAIN OUTLET PROTECTION.



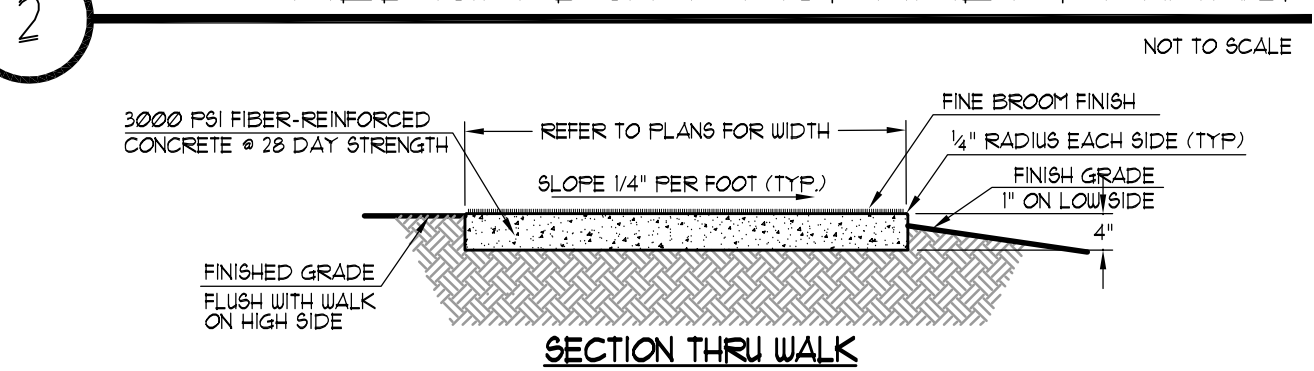
NOTE: WHEN LOCATED AT MARKED CROSSING CURB RAMP SHALL BE FULLY CONTAINED WITHIN MARKED AREA EXCLUDING ANY FLARED SIDES.



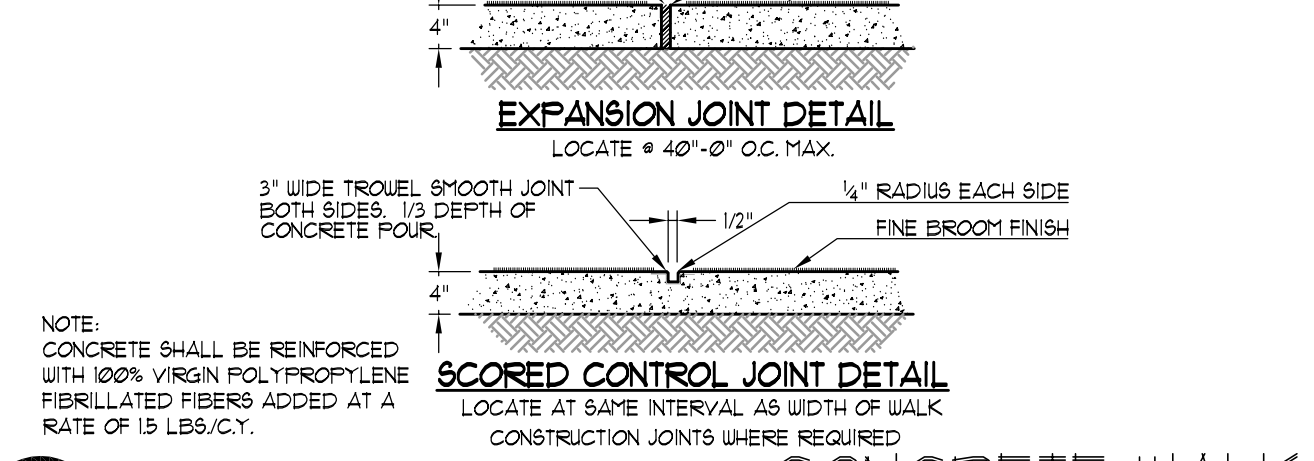
NOTE: 1. ALL STRIPING PER SPECIFICATIONS  
2. REFER TO SPECIFICATIONS FOR CONDITIONS WHEN APPLICATION OF TACK COAT IS REQUIRED



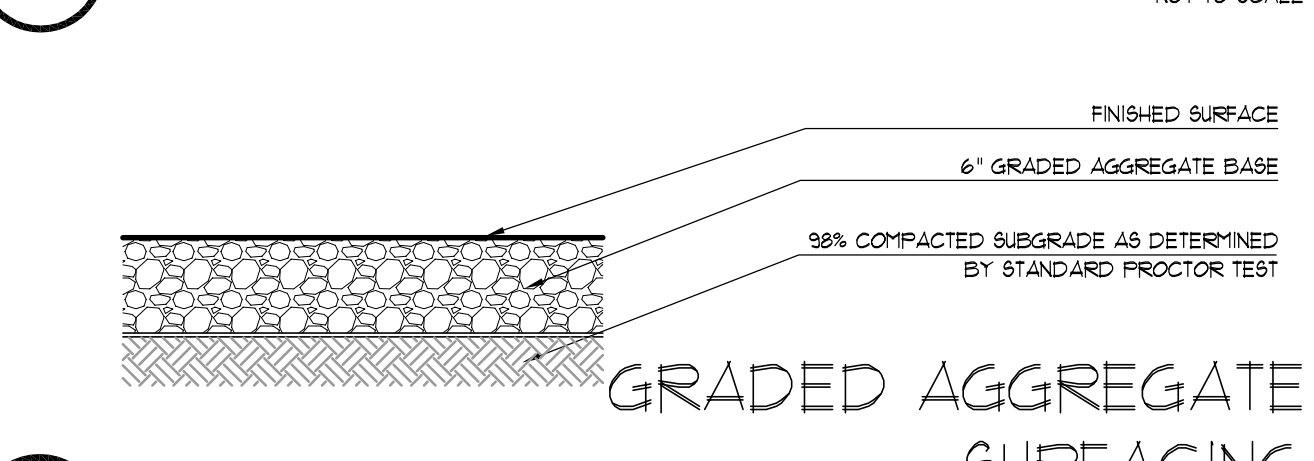
NOTE: 1. ALL STRIPING PER SPECIFICATIONS  
2. REFER TO SPECIFICATIONS FOR CONDITIONS WHEN APPLICATION OF TACK COAT IS REQUIRED



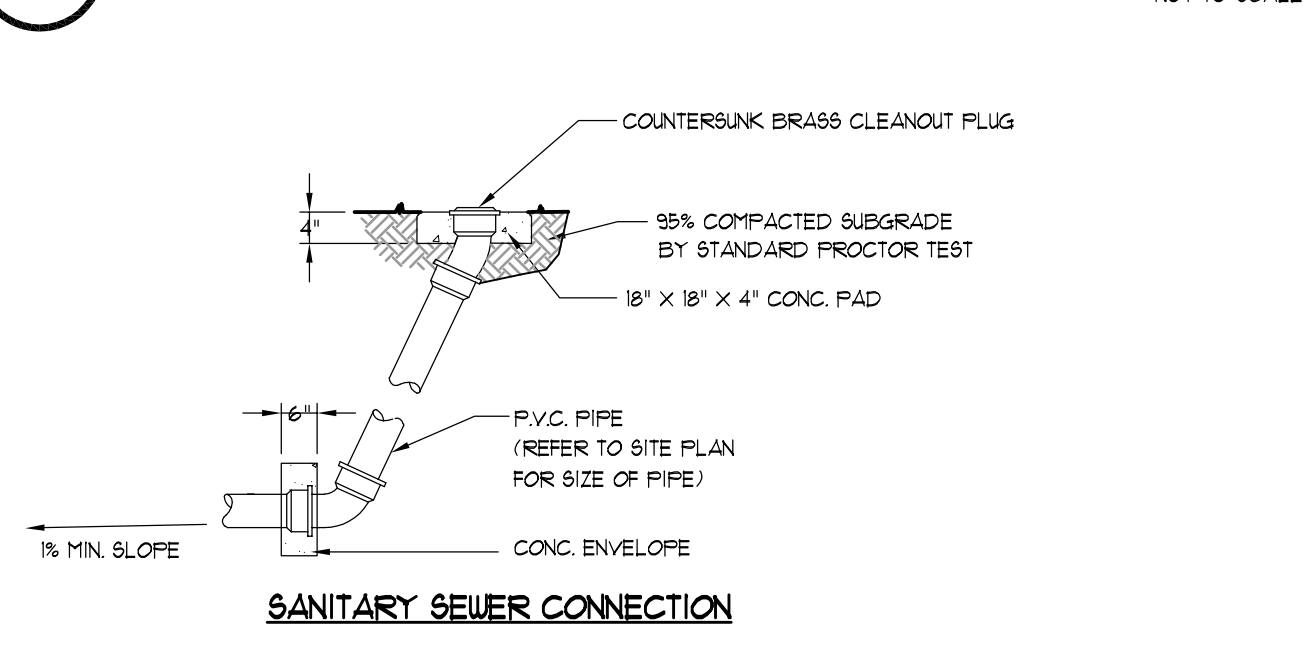
NOTE: CONCRETE SHALL BE REINFORCED WITH 100% VIRGIN POLYPROPYLENE FIBRILLATED FIBERS ADDED AT A RATE OF 15 LBS./CY.



NOTE: CONCRETE SHALL BE REINFORCED WITH 100% VIRGIN POLYPROPYLENE FIBRILLATED FIBERS ADDED AT A RATE OF 15 LBS./CY.



NOTE: WRAP ALL NON-METALLIC PIPE WITH METALLIC TRACER TAPE



NOTE: WRAP ALL NON-METALLIC PIPE WITH METALLIC TRACER TAPE

D:\Projects\119024 Oconee Animal Shelter\_Thornton\119024-12/29/2019 4:18:34 PM

1 GENERAL NOTES

1.00 GENERAL:

- 1.01 ALL CONSTRUCTION SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE, 2015 EDITION WITH LATEST GEORGIA AMENDMENTS...
1.02 DRAWINGS SHOW TYPICAL AND CERTAIN SPECIFIC CONDITIONS ONLY...
1.03 VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS BEFORE STARTING WORK...
1.04 NOTIFY THE STRUCTURAL ENGINEER IN WRITING OF CONDITIONS ENCOUNTERED IN THE FIELD...
1.05 THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN, ADEQUACY, AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC.
1.06 COORDINATE STRUCTURAL CONTRACT DOCUMENTS WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND CIVIL...
1.07 COORDINATE AND VERIFY FLOOR AND ROOF OPENINGS SIZES AND LOCATIONS WITH ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS...
1.08 FOR DIMENSIONS NOT SHOWN SEE ARCHITECTURAL DRAWINGS.
1.09 REVIEW OF SUBMITTALS AND/OR SHOP DRAWINGS BY THE STRUCTURAL ENGINEER DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO REVIEW AND CHECK SHOP DRAWINGS BEFORE SUBMITTAL...

1.10 DESIGN LOADS:
GRAVITY LOADS:
ROOF LIVE LOAD, TOP CHORD \_\_\_\_\_ 20 PSF\*\*
ROOF DEAD LOAD, TOP CHORD \_\_\_\_\_ 15 PSF
TYP. ROOF DEAD LOAD, BOTTOM CHORD \_\_\_\_\_ 0 PSF\*\*
ROOF TRUSS SELF WEIGHT \_\_\_\_\_ 5 PSF

- SEISMIC DESIGN CRITERIA:
BUILDING SEISMIC USE GROUP \_\_\_\_\_ II
SEISMIC IMPORTANCE FACTOR \_\_\_\_\_ Ie=1.0
MAPPED SPECTRAL RESPONSE ACCELERATION, 0.2 SECONDS \_\_\_\_\_ Ss=0.202 g
MAPPED SPECTRAL RESPONSE ACCELERATION, 1.0 SECONDS \_\_\_\_\_ S1=0.093 g
DESIGN SPECTRAL RESPONSE ACCELERATION, 0.2 SECONDS \_\_\_\_\_ Sds=0.215 g
DESIGN SPECTRAL RESPONSE ACCELERATION, 1.0 SECONDS \_\_\_\_\_ Sdl=0.140 g
SITE CLASS \_\_\_\_\_ D (PRESUMED)
SEISMIC DESIGN CATEGORY \_\_\_\_\_ B
SEISMIC RESISTING SYSTEM:
LIGHT FRAMED WALLS SHEATHED WITH WOOD STRUCTURAL PANELS
RESPONSE MODIFICATION COEFFICIENT \_\_\_\_\_ R=6 1/2
DEFLECTION AMPLIFICATION FACTOR \_\_\_\_\_ Cd=4
ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE PROCEDURE

- SNOW DESIGN CRITERIA:
GROUND SNOW LOAD \_\_\_\_\_ Pg=5 PSF
EXPOSURE FACTOR \_\_\_\_\_ Ce=1.0
THERMAL FACTOR \_\_\_\_\_ Ct=1.0
SNOW IMPORTANCE FACTOR \_\_\_\_\_ Is=1.0
FLAT ROOF SNOW LOAD \_\_\_\_\_ Pf=5 PSF
ROOF SLOPE FACTOR \_\_\_\_\_ Cs=1.0
SLOPED ROOF SNOW LOAD \_\_\_\_\_ Ps=5 PSF
WIND DESIGN CRITERIA:
BASIC WIND SPEED (3 SECOND GUST) \_\_\_\_\_ 115 MPH
BUILDING OCCUPANCY/RISK CATEGORY \_\_\_\_\_ II
WIND EXPOSURE CATEGORY \_\_\_\_\_ C

COMPONENTS & CLADDING WIND LOADS (Ultimate Design Pressures)
Table with columns: Zone, Trib. Area, Pos. Press., Neg. Press.

NOTE: IF COMPONENT DESIGN IS BASED ON NOMINAL WIND VALUES OR ASD VALUES THEN THE ABOVE NUMBERS SHALL BE MULTIPLIED BY 0.6.

- 1.11 FIELD VERIFY ALL EXISTING ABOVE AND BELOW GROUND CONDITIONS PRIOR TO FABRICATION AND CONSTRUCTION.
1.12 THE STRUCTURAL DESIGN OF THE BUILDING IS BASED ON THE FULL INTERACTION OF ITS COMPONENT PARTS, WITH NO PROVISION FOR CONDITIONS OCCURRING DURING CONSTRUCTION...

2

2.00 FOUNDATIONS AND SLAB-ON-GROUND

- 2.01 CONSULT WITH A LICENSED GEOTECHNICAL ENGINEER FOR SITE PREPARATION REQUIREMENTS, SOIL MODIFICATION REQUIREMENTS, RECOMMENDED GROUND IMPROVEMENT TECHNIQUES, FILL PLACEMENT REQUIREMENTS, SPECIFIC FOUNDATION SUBGRADE PREPARATION REQUIREMENTS, UNDER-SLAB DRAINAGE REQUIREMENTS, SITE DEWATERING REQUIREMENTS, AND OTHER EARTHWORK REQUIREMENTS...
2.02 CONTRACTOR SHALL HIRE A LICENSED GEOTECHNICAL ENGINEER TO INSPECT THE CONDITION AND ADEQUACY OF ALL SUB GRADES, FILLS AND BACK FILLS BEFORE PLACEMENT OF FOUNDATIONS, FOOTINGS, SLABS, WALLS, FILLS, BACK FILLS, ETC.
2.03 SIDES OF FOUNDATIONS SHALL BE FORMED UNLESS CONDITIONS PERMIT EARTH FORMING...
2.04 WHERE FOOTING STEPS ARE NECESSARY, THEY SHALL BE NO STEEPER THAN ONE VERTICAL TO TWO HORIZONTAL...
2.05 DO NOT BACKFILL AGAINST FOUNDATION WALLS UNTIL THE WALL HAS REACHED 65% OF DESIGN STRENGTH...
2.06 UNLESS NOTED OTHERWISE, TYPICAL SLAB-ON-GROUND SHALL BE MINIMUM 4" THICK...
2.07 SOIL BELOW INTERIOR CONCRETE SLABS ON GRADE AND ANY FILL WITHIN 10'-0" OF BUILDING LIMIT SHALL BE COMPACTED TO 95% OF THE SOIL'S STANDARD PROCTOR MAXIMUM DRY DENSITY...
2.08 CONTRACTOR SHALL REFER TO THE PROJECT'S GEOTECHNICAL REPORT FOR REQUIRED SOIL MODIFICATION GROUND IMPROVEMENT TECHNIQUES...

3.00 REINFORCED CONCRETE

- 3.01 ALL CONCRETE WORK SHALL CONFORM TO ACI 301-05, SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS...
3.02 UNLESS NOTED OTHERWISE, ALL CONCRETE SHALL BE NORMAL WEIGHT AND HAVE MINIMUM 28 DAY (F'c) COMPRESSIVE STRENGTH OF 3,000 PSI...
3.03 THE PROPOSED MATERIALS AND MIX DESIGNS SHALL BE FULLY DOCUMENTED AND REVIEWED BY THE CONTRACTOR'S TESTING LABORATORY...
3.04 USE OF CALCIUM CHLORIDE, CHLORIDE IONS, OR OTHER SALTS IN CONCRETE IS NOT PERMITTED.
3.05 HORIZONTAL CONSTRUCTION JOINTS ARE PERMITTED ONLY WHERE INDICATED...
3.06 CHAMFER OR ROUND ALL EXPOSED CORNERS MINIMUM 3/4".
3.07 DETAIL CONCRETE REINFORCEMENT AND ACCESSORIES IN ACCORDANCE WITH ACI 309-16(04) DETAILING MANUAL...
3.08 REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60.
3.09 DEFORMED BAR ANCHORS TO BE WELDED SHALL CONFORM TO ASTM A 496...
3.10 WELDED WIRE FABRIC (MESH) SHALL CONFORM TO ASTM A185 AND SHALL BE PROVIDED IN FLAT SHEETS ONLY...
3.11 TIE ALL REINFORCING STEEL AND EMBEDMENTS SECURELY IN PLACE PRIOR TO PLACING CONCRETE...
3.12 PROVIDE CONTINUOUS REINFORCEMENT WHERE POSSIBLE...
3.13 REINFORCING STEEL SHALL HAVE THE FOLLOWING CONCRETE COVER UNLESS NOTED OTHERWISE:
3.14 DO NOT PLACE PIPES OR DUCTS EXCEEDING ONE-THIRD THE CONCRETE THICKNESS WITHIN THE CONCRETE UNLESS SPECIFICALLY SHOWN...

3

4

3.00 REINFORCED CONCRETE, CONT'D.

- 3.15 DO NOT WELD OR TACK WELD REINFORCING STEEL UNLESS APPROVED BY THE STRUCTURAL ENGINEER.
3.16 ALL REINFORCING STEEL PLACEMENT SHALL BE REVIEWED BY A REGISTERED STRUCTURAL ENGINEER...
3.17 PROVIDE FOR AN ALLOWANCE OF 1% OF REINFORCING BARS TO BE FABRICATED, AND PLACED DURING PROGRESS OF WORK...
3.18 CONCRETE TEST RESULTS SHALL BE AVAILABLE AT THE JOB SITE FOR REVIEW BY INSPECTOR.
4.00 MASONRY
4.01 CONCRETE MASONRY DESIGN AND CONSTRUCTION SHALL CONFORM TO:
4.02 PROVIDE NORMAL HEIGHT, HOLLOW, LOAD-BEARING CONCRETE MASONRY UNITS (CMU) CONFORMING TO ASTM C90...
4.03 PROVIDE CONCRETE MASONRY WITH MINIMUM COMPRESSIVE STRENGTH, f'm = 1,500 PSI...
4.04 PROVIDE TYPE "S" MORTAR IN ACCORDANCE WITH ASTM C270...
4.05 PROVIDE GROUT FOR REINFORCED MASONRY IN ACCORDANCE WITH ASTM C676...
4.06 PROVIDE HORIZONTAL JOINT REINFORCEMENT COMPLYING WITH ASTM A82...
4.07 PROVIDE MINIMUM 1 #5 VERTICAL, GROUTED FULL HEIGHT...
4.08 LAY MASONRY UNITS IN RUNNING BOND UNLESS NOTED OTHERWISE.

5.00 WOOD FRAMING

- 5.01 WOOD FRAMING CONNECTIONS SHALL BE MADE WITH GALVANIZED STEEL JOIST HANGERS UNLESS NOTED OTHERWISE.
5.02 THE MINIMUM REQUIRED ALLOWABLE DESIGN STRESSES FOR WALL FRAMING SHALL BE AS FOLLOWS:
5.03 HORIZONTAL FRAMING (HEADERS AND BEAMS) COMPRISED OF VISUALLY GRADED DIMENSIONAL LUMBER SHALL BE #2 GRADE SOUTHERN PINE OR STRONGER.
5.04 THE MINIMUM REQUIRED ALLOWABLE DESIGN STRESSES FOR ENGINEERED LUMBER (LVL AND PSL) SHALL BE AS FOLLOWS:
5.05 ALL LUMBER IN CONTACT WITH GROUND, CONCRETE, OR EXPOSED TO WEATHER SHALL BE PRESSURE TREATED.
5.06 BRACE STUD WALLS UNTIL ALL PLYWOOD SUB-FLOOR, FLOOR TRUSSES, ROOF TRUSSES, AND SHEAR PANELS ARE IN PLACE.
5.07 TYPICAL ROOF SHEATHING SHALL BE MIN 1/2" WOOD STRUCTURAL PANELS...
5.08 ALL FASTENING NOT SHOWN SHALL CONFORM TO TABLE 2304.10.1 OF THE IBC.
5.09 HOLES DRILLED IN STUDS AND/OR PLATES SHALL NOT EXCEED 1/2 THE WIDTH OF THE MEMBER...

4

5

6.00 PRE-ENGINEERED WOOD TRUSS NOTES

- 6.01 TRUSSES TO BE PLACED ON 2'-0" MAXIMUM CENTERS UNLESS SHOWN OTHERWISE...
6.03 TRUSSES TO BE DESIGNED AND FABRICATED BY TRUSS MANUFACTURER'S STRUCTURAL ENGINEER REGISTERED IN THE PROJECT STATE.
6.04 CONFIGURATION AND SIZE OF WEB MEMBERS TO BE DETERMINED BY TRUSS MANUFACTURER.
6.05 SHOP DRAWINGS OF TRUSSES TO BE SUBMITTED FOR APPROVAL PRIOR TO FABRICATION.
6.06 TOP CHORD DEAD LOAD SHOWN ABOVE INCLUDES 3 PSF (6 PLF) FOR TRUSS SELF-WEIGHT.
6.07 UNIFORM LOADS INDICATED ABOVE TO BE USED FOR DESIGN OF HIP AND/OR GIRDER TRUSSES AS REQUIRED.
6.08 MAXIMUM FLOOR LIVE LOAD DEFLECTION SHALL BE SPAN/480.
6.09 TRUSS BRIDGING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
6.10 TRUSSES SHALL BE DESIGNED FOR APPLICABLE WIND LOADS IN ACCORDANCE WITH IBC CHAPTER 16...
6.11 THE FOLLOWING INFORMATION SHALL BE SHOWN ON THE TRUSS SHOP DRAWINGS...
6.12 TRUSS MANUFACTURER TO PROVIDE END-WALL TRUSSES AT EACH SIDE OF VAULTED CEILING...
6.13 ROOF FRAMING IS NOT DESIGNED TO SUPPORT FUTURE MECHANICAL EQUIPMENT, CRANES, ETC.
6.14 TRUSS LAYOUT PLANS SHALL BE SUBMITTED ON 24x36 INCH OR LARGER SHEETS...

5

ARCHITECTURE
PLANNING
INTERIOR DESIGN
Lyman Davidson Dooley, Inc.
1648 Powers Ferry Road
Marietta, GA 30067
770.850.8494
770.956.9030
ATLANTA TAMPA
REVISIONS
EXISTING RENOVATION
OCONEE ANIMAL SHELTER EXPANSION
OCONEE COUNTY, GEORGIA
OCONEE ANIMAL SHELTER EXPANSION
1171 Branch Rd.
Bishop, GA 30621
OCONEE COUNTY
23 N Main Street
Watkinsville, GA 30677
STATUS FOR PERMIT
JOB 119024.00
QC DH
DRAWN DH
SHEET S001
DATE 12/13/19

REVISIONS	
1	03.12.2020 CONTRACT AGREEMENT COMMENTS



EXISTING RENOVATION  
OCONEE ANIMAL SHELTER  
EXPANSION  
OCONEE COUNTY, GEORGIA

OCONEE  
ANIMAL  
SHELTER  
EXPANSION

1171 Branch Rd.  
Bishop, GA 30621

OCONEE  
COUNTY  
23 N Main Street  
Watkinsville, GA 30677

TITLE FOUNDATION/  
FIRST FLOOR PLAN

STATUS FOR PERMIT

JOB 119024.00

QC DH

DRAWN DH

SHEET S101

DATE 12/13/19

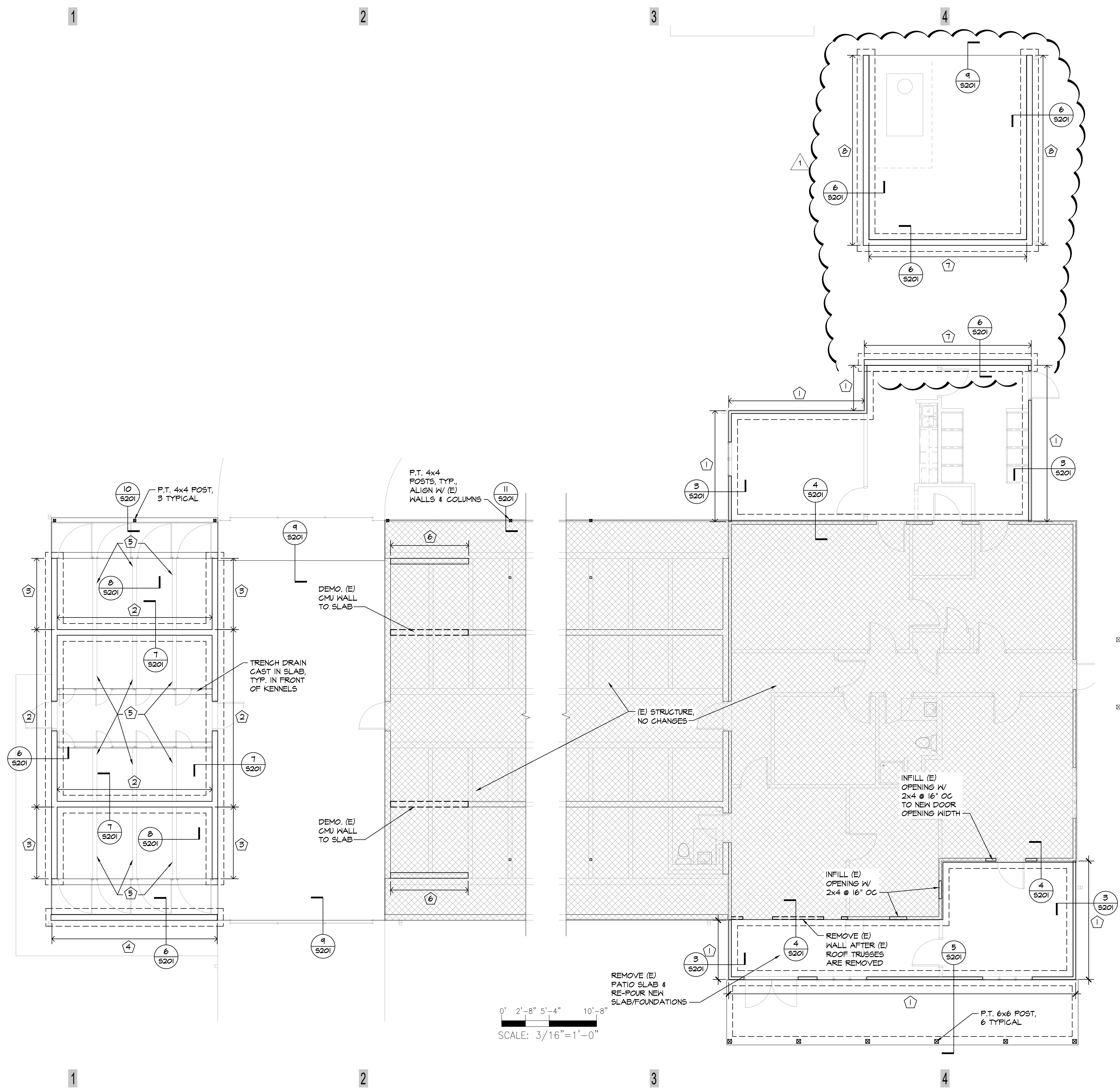
PERMIT SET

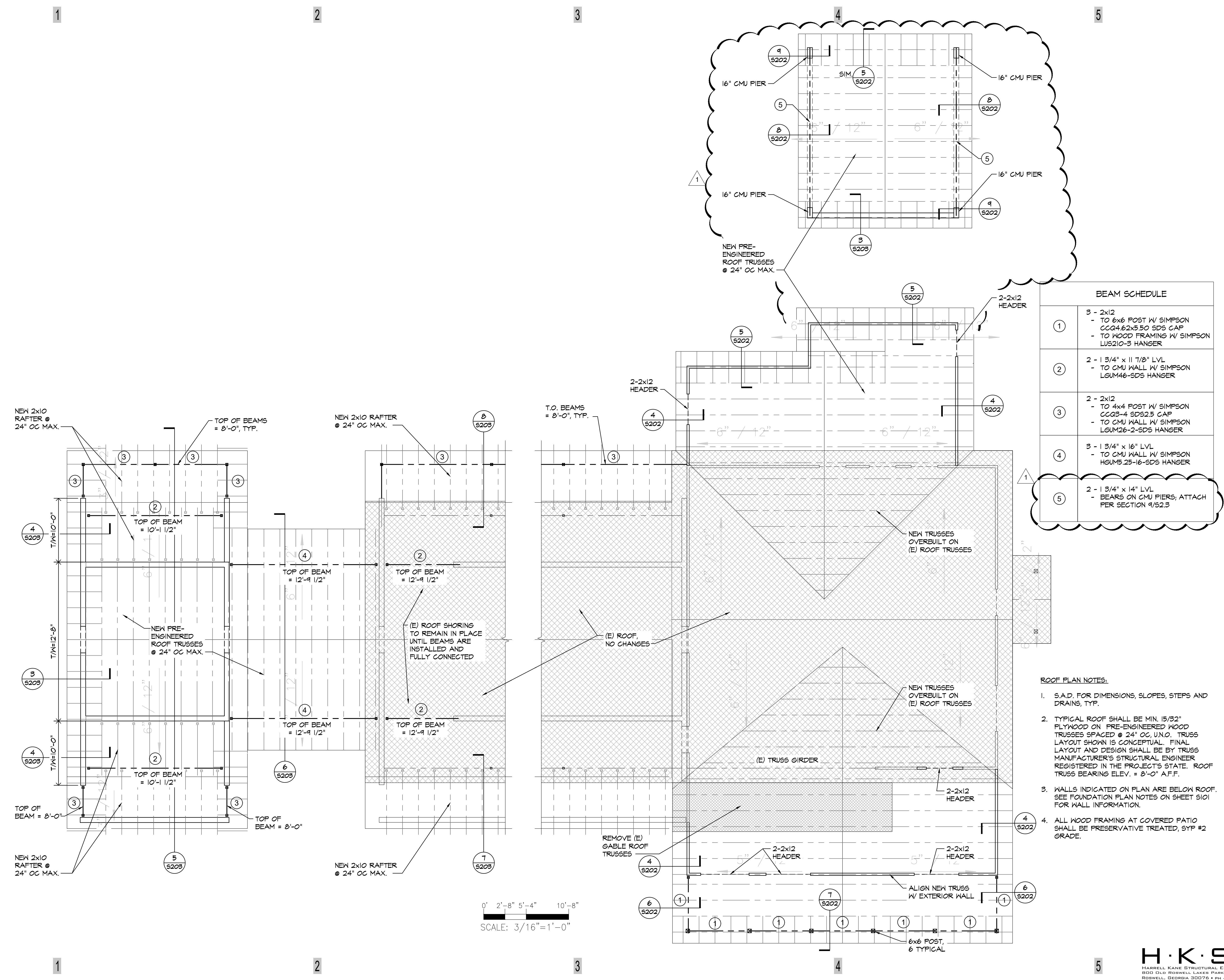
THIS DRAWING IS THE PROPERTY OF LYMAN DAVIDSON DOOLEY INCORPORATED ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. COPYRIGHT AS DATED LYMAN DAVIDSON DOOLEY. NOT VALID UNLESS SIGNED AND SEALED.

WALL FRAMING KEY	
1	NEW LOAD BEARING WALL; 2x4 @ 16" OC MAX; T.O. WALL TO MATCH EXISTING (= 9'-3" A.F.F.; V.I.F.) SEE 1/5202 FOR ADD'L INFO.
2	NEW LOAD BEARING WALL; 8" CMU w/ #5 VERT. @ 24" OC; T.O. WALL TO MATCH EXISTING (= 12'-8" A.F.F.; V.I.F.) SEE 1/5203 FOR ADD'L INFO.
3	NEW LOAD BEARING WALL; 8" CMU w/ #5 VERT. @ 24" OC; T.O. WALL = 10'-0" A.F.F.; SEE 1/5203 FOR ADD'L INFO.
4	NEW SCREEN WALL; 8" CMU w/ #5 VERT. @ 24" OC; T.O. WALL = 8'-0" A.F.F.; SEE 1/5203 FOR ADD'L INFO.
5	NEW SCREEN WALL; 6" CMU w/ #4 VERT. @ 32" OC; T.O. WALL = 6'-0" A.F.F.; SEE 1/5203 FOR ADD'L INFO.
6	NEW INFILL WALL; 8" CMU w/ #5 VERT. @ 32" OC; T.O. WALL AT UNDERSIDE OF (E) ROOF (= +/- 9'-4" V.I.F.); SEE 1/5203 FOR ADD'L INFO.
7	NEW LOAD BEARING WALL; 8" CMU w/ #5 VERT. @ 24" OC; T.O. WALL 1 1/2" LOWER THAN (E) TOP PLATE (= 9'-1 1/2" A.F.F.; V.I.F.) SEE 1/5203 FOR ADD'L INFO.
8	NEW LOAD BEARING WALL; 8" CMU w/ #5 VERT. @ 24" OC; T.O. WALL = 6'-0" A.F.F.; SEE 1/5203 FOR ADD'L INFO.

FOUNDATION PLAN NOTES:

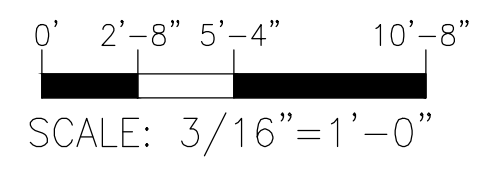
- S.A.D. FOR DIMENSIONS, SLOPES, STEPS AND DRAINS, TYP.
- NEW SLABS AND FOUNDATIONS SHALL BE PLACED ON COMPACTED SOILS PREPARED AS RECOMMENDED BY A GEOTECHNICAL ENGINEER REGISTERED IN THE PROJECT'S STATE. ANY PLASTIC SOILS SHALL BE REMOVED AND REPLACED AS INSTRUCTED BY THE GEOTECHNICAL ENGINEER, OR THE FOUNDATION DESIGN REVISED SUCH THAT FOUNDATIONS EXTEND BELOW THE PLASTIC SOILS.
- NEW SLAB ON GRADE IS 4" THICK W/ 6x6-W2.9XW2.9 W.W.F., PLACED 1" CLEAR FROM TOP OF SLAB.
- SEE DETAIL 1/5201 FOR SLAB ON GRADE CONTROL JOINT AND CONSTRUCTION JOINT INFORMATION.
- # INDICATES NEW LOAD BEARING WALL; SEE SCHEDULE ABOVE.
- SHEATH NEW EXTERIOR WALL STUDS W/ MIN. 7/16" PLYWOOD OR OSB, ATTACHED W/ 8d NAILS @ 6" OC AT PANEL EDGES AND 12" OC IN FIELD.



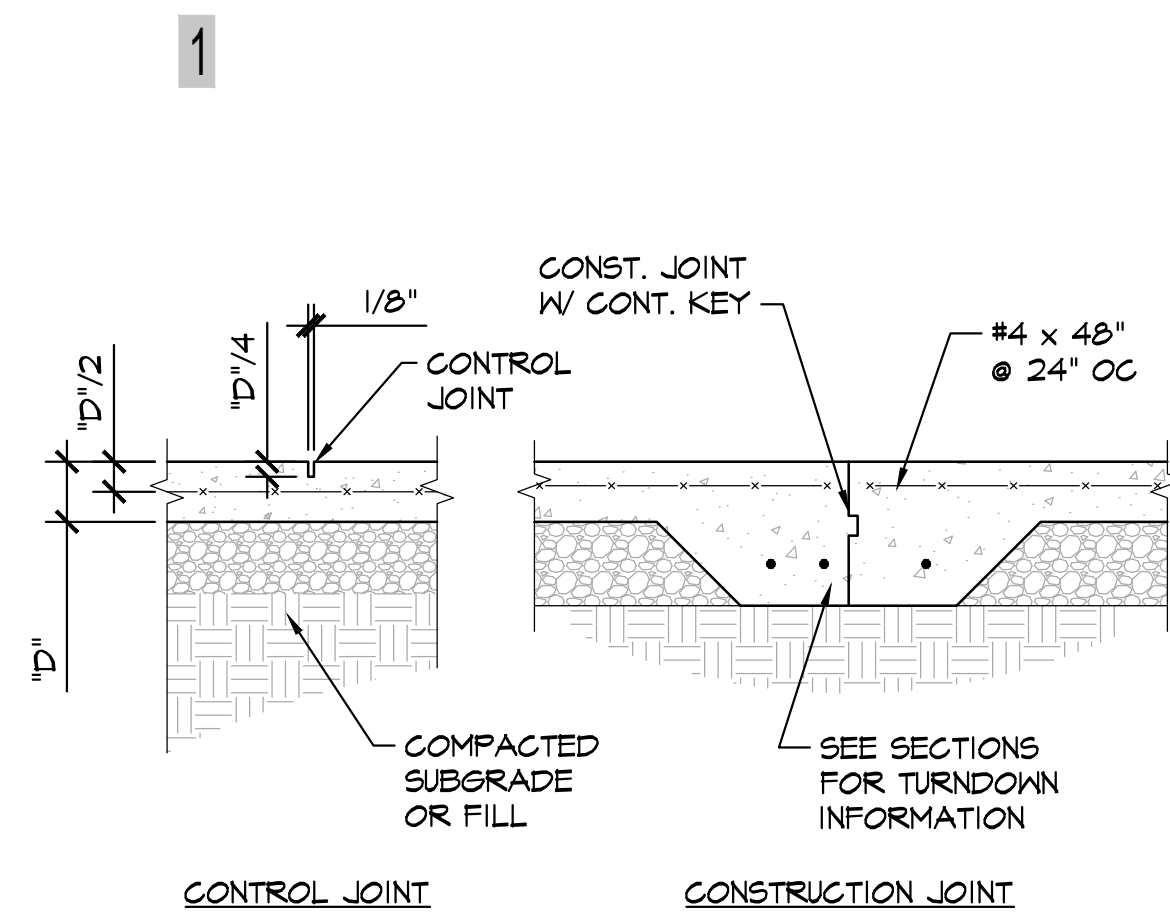


BEAM SCHEDULE	
①	3 - 2x12 - TO 6x6 POST W/ SIMPSON CCQ4.62x5.50 SDS CAP - TO WOOD FRAMING W/ SIMPSON LUS210-3 HANGER
②	2 - 1 3/4" x 11 7/8" LVL - TO CMU WALL W/ SIMPSON LGUM46-SDS HANGER
③	2 - 2x12 - TO 4x4 POST W/ SIMPSON CCQ3-4 SDS2.5 CAP - TO CMU WALL W/ SIMPSON LGUM26-2-SDS HANGER
④	3 - 1 3/4" x 16" LVL - TO CMU WALL W/ SIMPSON HGUM5.25-16-SDS HANGER
⑤	2 - 1 3/4" x 14" LVL - BEARS ON CMU PIERS, ATTACH PER SECTION 9/5/2.3

- ROOF PLAN NOTES:**
- S.A.D. FOR DIMENSIONS, SLOPES, STEPS AND DRAINS, TYP.
  - TYPICAL ROOF SHALL BE MIN. 15/32" PLYWOOD ON PRE-ENGINEERED WOOD TRUSSES SPACED @ 24" OC, U.N.O. TRUSS LAYOUT SHOWN IS CONCEPTUAL. FINAL LAYOUT AND DESIGN SHALL BE BY TRUSS MANUFACTURER'S STRUCTURAL ENGINEER REGISTERED IN THE PROJECT'S STATE. ROOF TRUSS BEARING ELEV. = 8'-0" A.F.F.
  - WALLS INDICATED ON PLAN ARE BELOW ROOF. SEE FOUNDATION PLAN NOTES ON SHEET S101 FOR WALL INFORMATION.
  - ALL WOOD FRAMING AT COVERED PATIO SHALL BE PRESERVATIVE TREATED, SYP #2 GRADE.

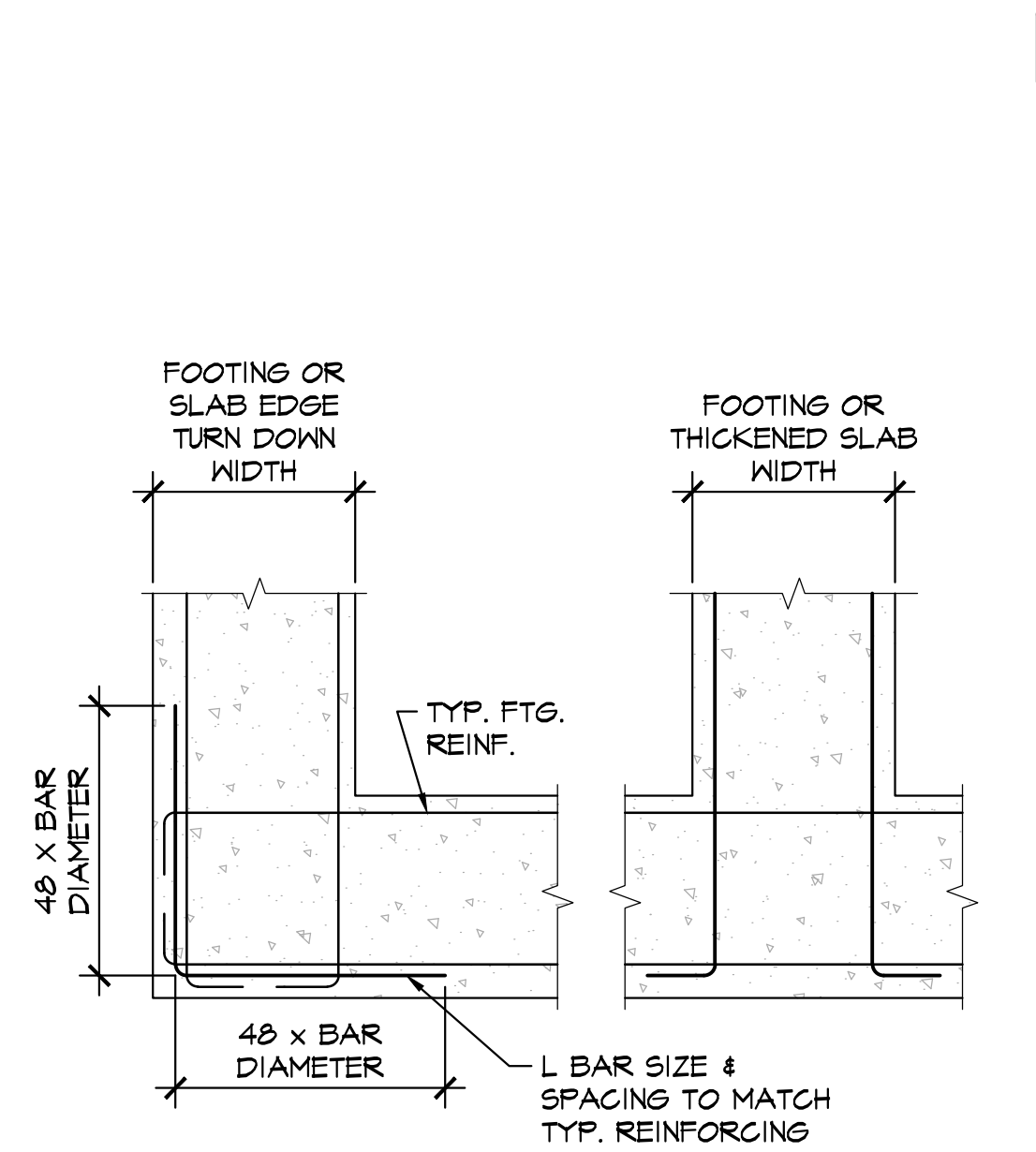


THIS DRAWING IS THE PROPERTY OF LYMAN DAVIDSON DOOLEY INCORPORATED ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED LYMAN DAVIDSON DOOLEY. NOT VALID UNLESS SIGNED AND SEALED.

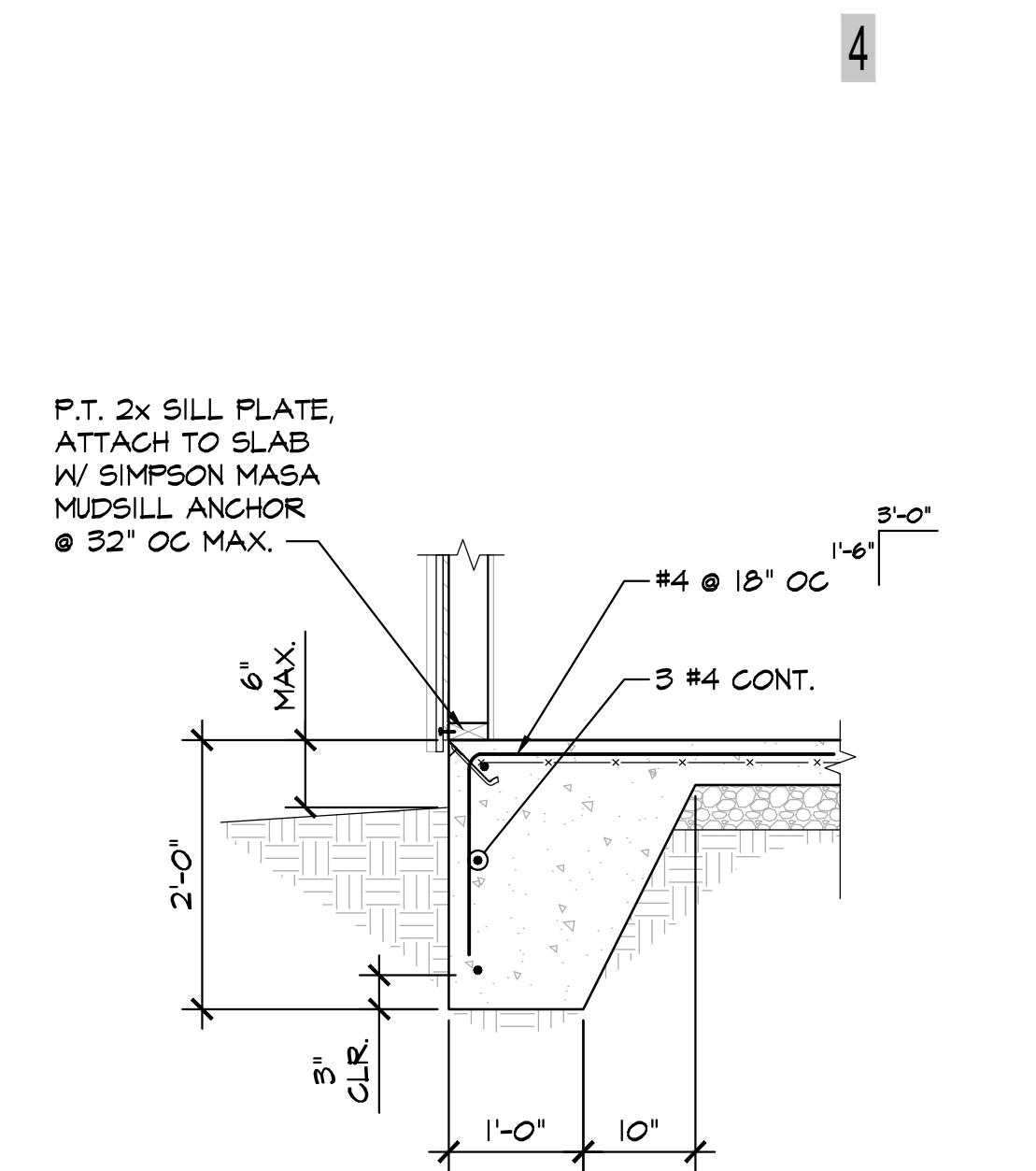


- NOTES:**
1. SAW-CUT CONTROL JOINTS WITHIN 12 HOURS OF SLAB PLACEMENT. SAD FOR JOINT SEALANT REQUIREMENTS.
  2. CLEAN ALL SURFACES IN FUTURE CONTACT WITH CONCRETE AT CONSTRUCTION JOINTS PRIOR TO PLACING NEW CONCRETE.

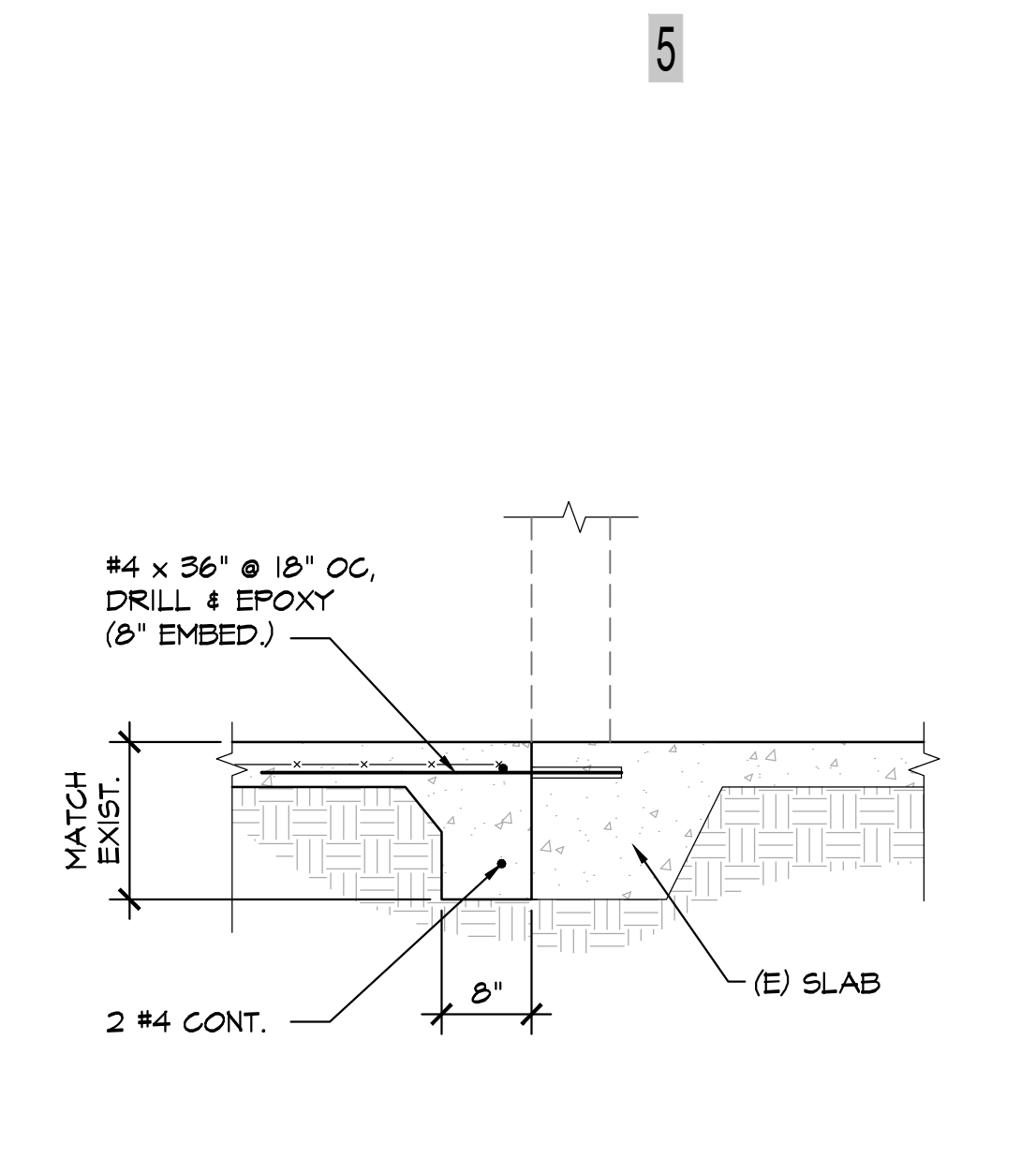
**1 DETAIL** TYPICAL SLAB ON GRADE  
SCALE: 3/4" = 1'-0" CONTROL & CONSTRUCTION JOINT



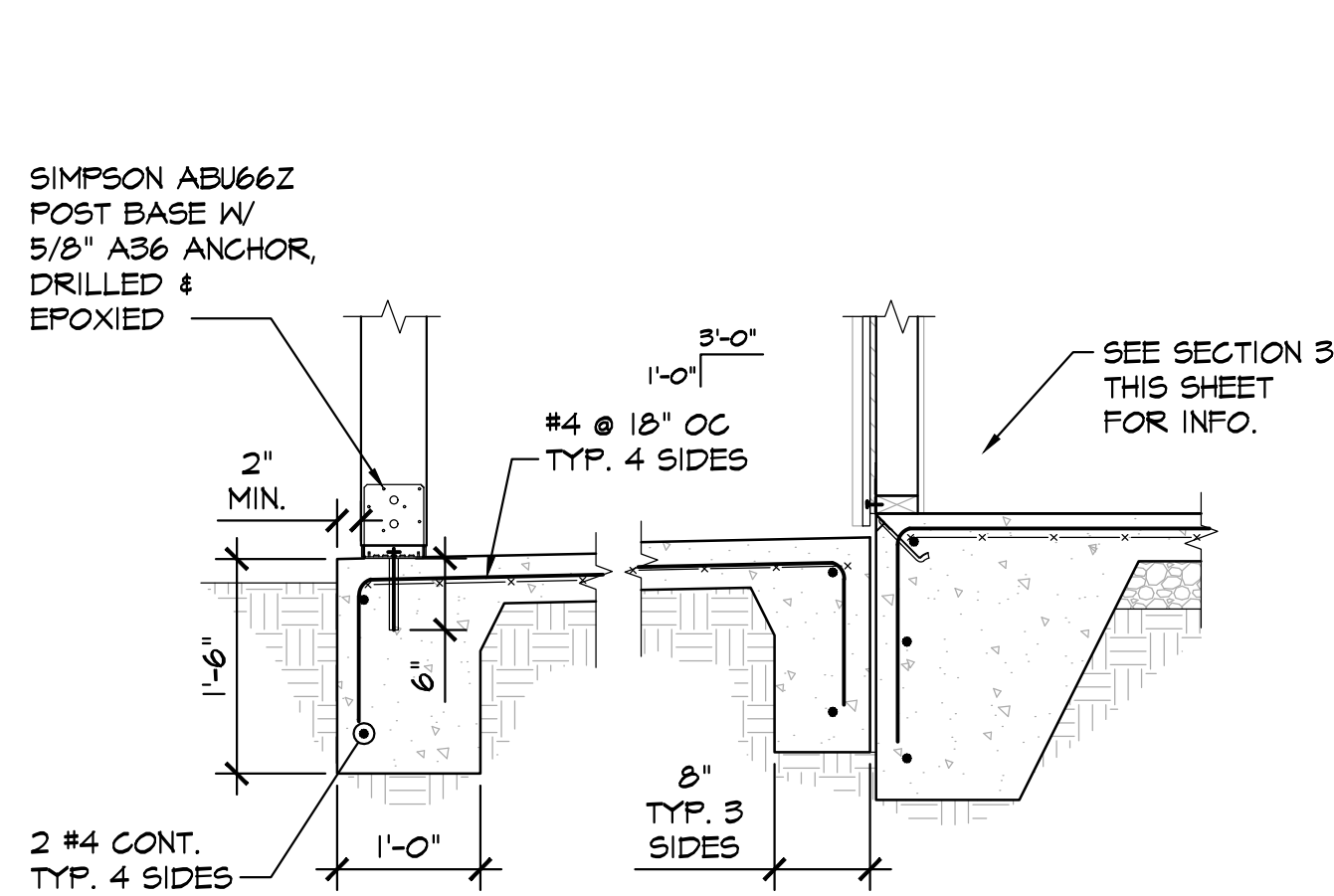
**2 PLAN DETAIL** FOOTING INTERSECTION  
SCALE: 3/4" = 1'-0" REINFORCING LAP



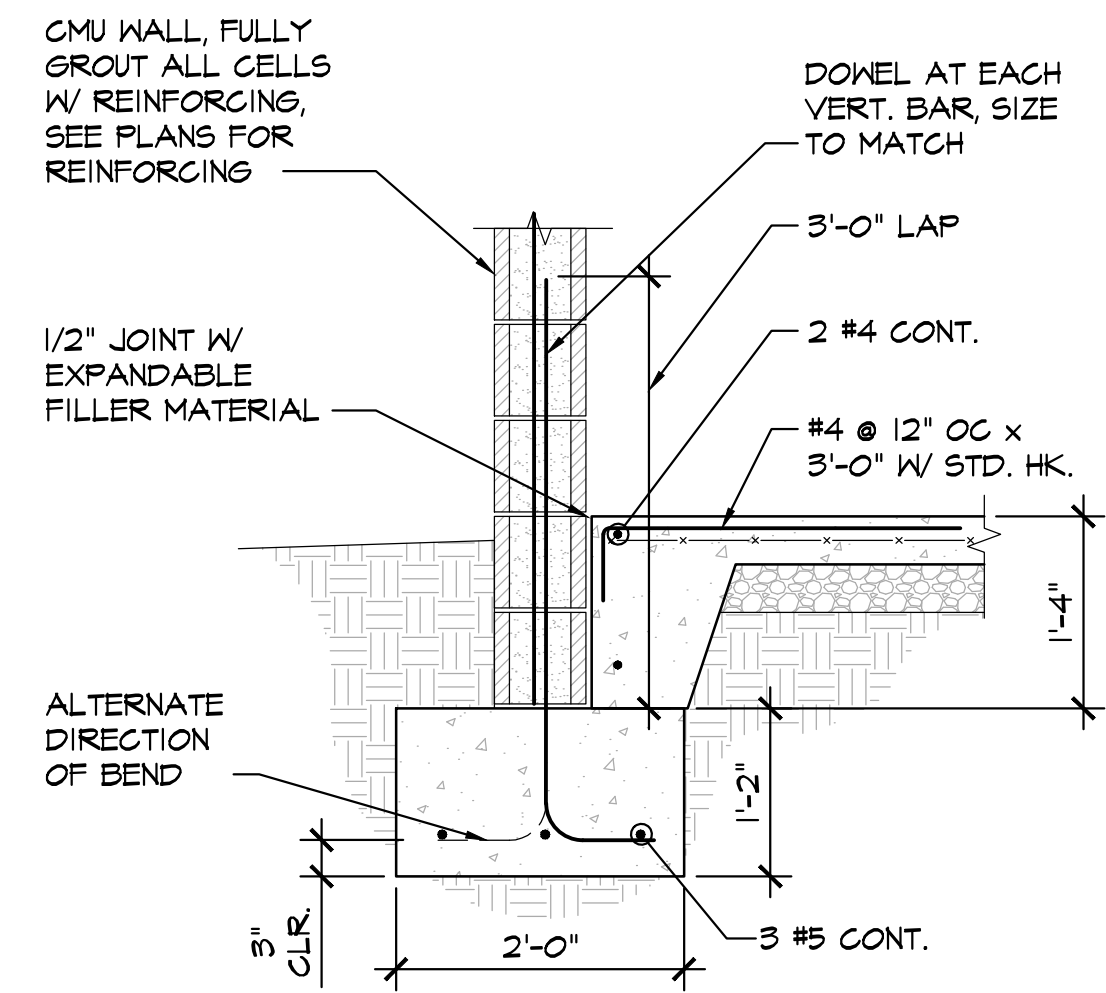
**3 SECTION** FOUNDATION AT NEW WOOD EXTERIOR WALL  
SCALE: 3/4" = 1'-0"



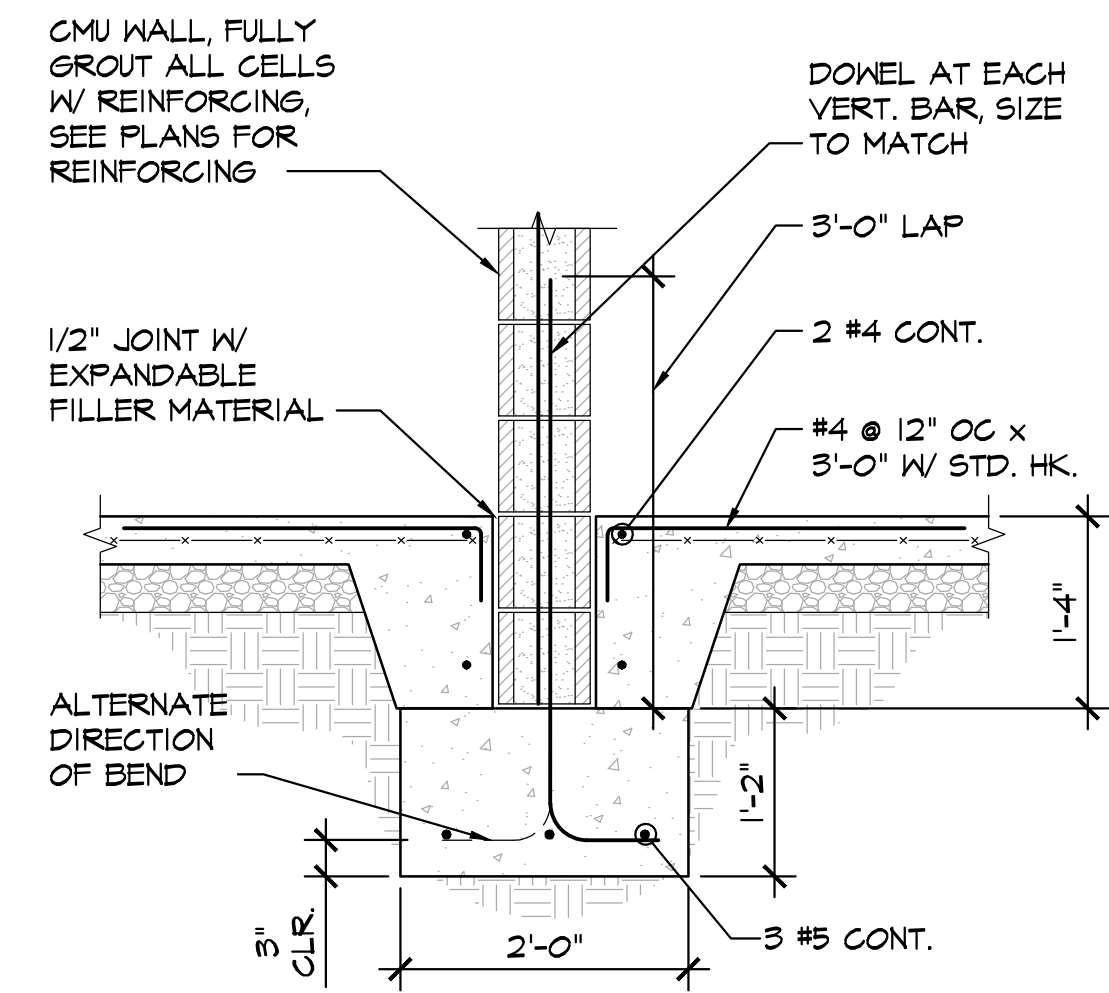
**4 SECTION** FOUNDATION AT EXISTING WOOD EXTERIOR WALL  
SCALE: 3/4" = 1'-0"



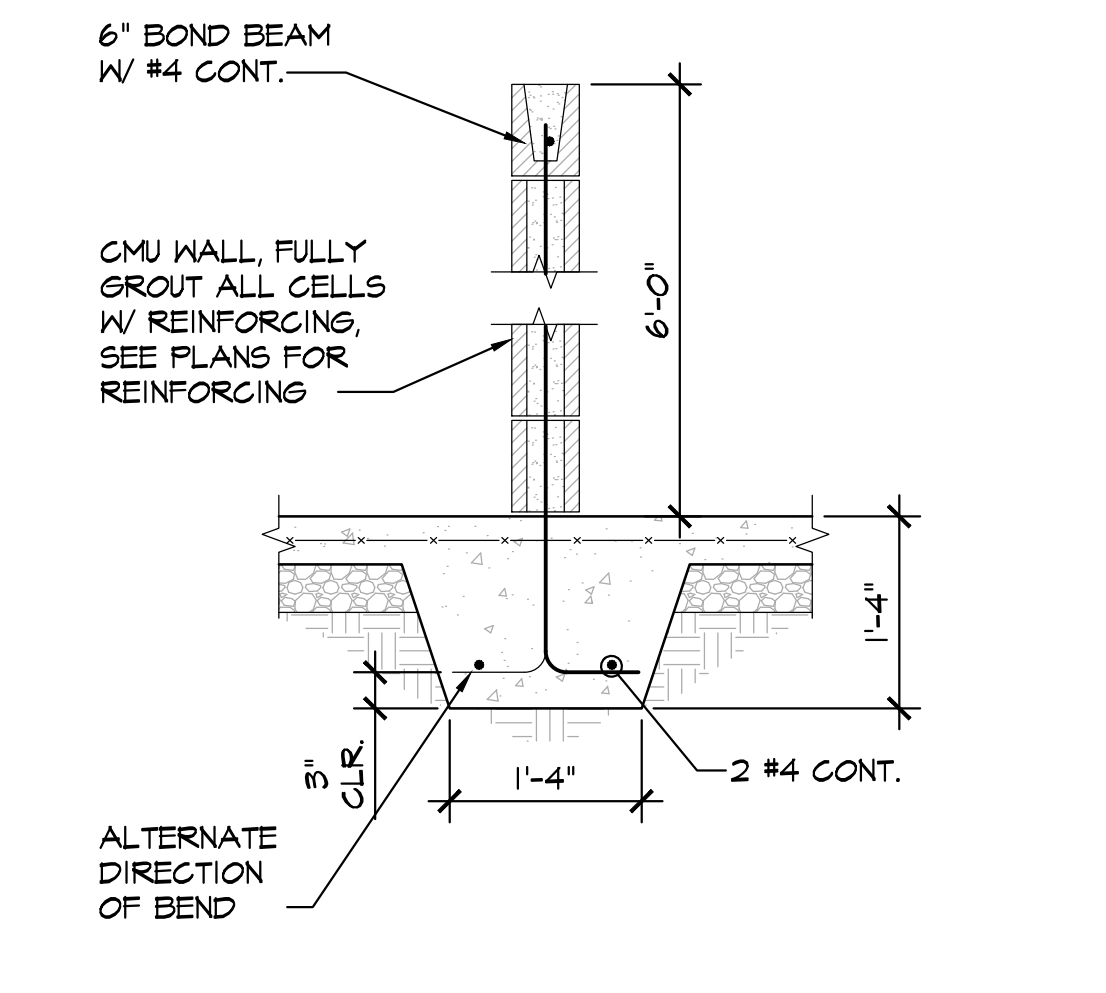
**5 SECTION** FOUNDATION AT NEW PATIO  
SCALE: 3/4" = 1'-0"



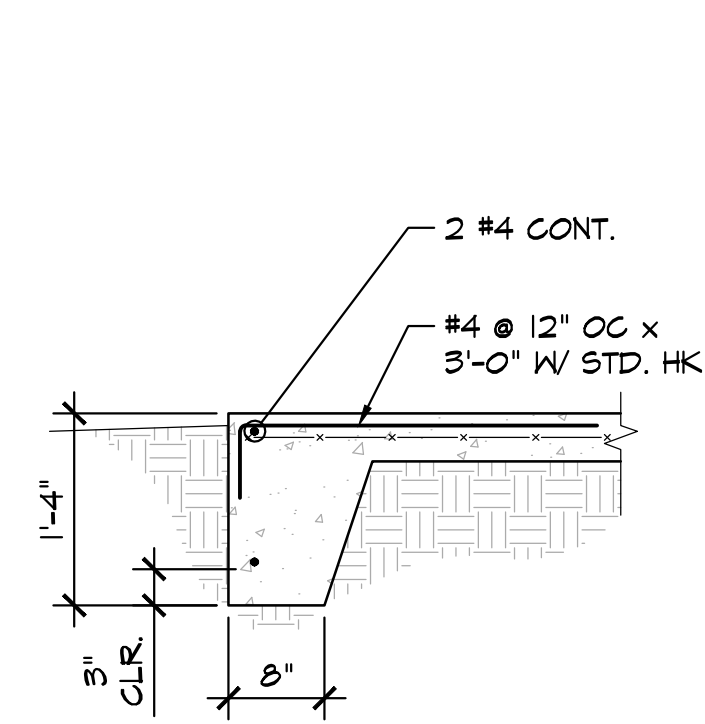
**6 SECTION** FOUNDATION AT NEW 8" CMU WALLS  
SCALE: 3/4" = 1'-0"



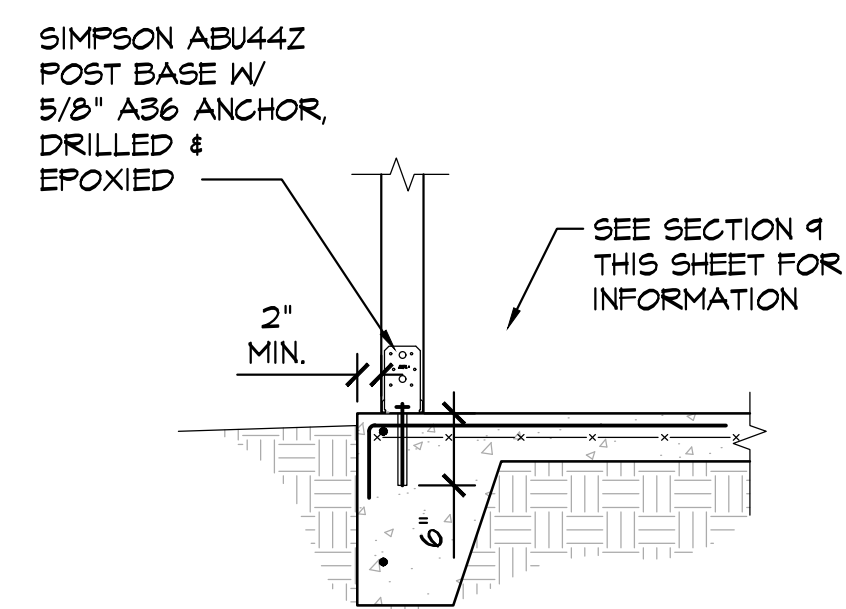
**7 SECTION** FOUNDATION AT NEW 8" CMU WALLS  
SCALE: 3/4" = 1'-0"



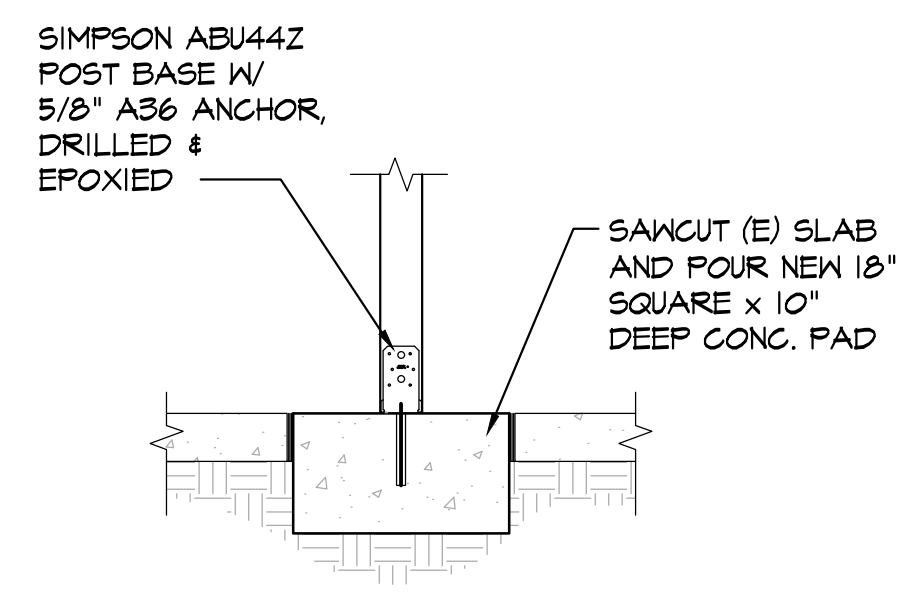
**8 SECTION** SLAB TURNDOWN AT NEW 6" CMU SCREENWALLS  
SCALE: 3/4" = 1'-0"



**9 SECTION** SLAB TURNDOWN AT EDGE OF NEW SLAB  
SCALE: 3/4" = 1'-0"



**10 SECTION** NEW POST AT NEW KENNELS  
SCALE: 3/4" = 1'-0"



**11 SECTION** NEW POST AT EXISTING KENNELS  
SCALE: 3/4" = 1'-0"

ARCHITECTURE  
PLANNING  
INTERIOR DESIGN

Lyman  
Davidson  
Dooley, Inc.

1648 Powers Ferry Road  
Building One  
Marietta, GA 30067  
770.850.8494 f  
770.956.9030 t  
liddi-architects.com

ATLANTA  
TAMPA

REVISIONS

REGISTERED PROFESSIONAL ENGINEER  
DAVID W. HARRRELL

EXISTING RENOVATION  
OCONEE ANIMAL SHELTER  
EXPANSION  
OCONEE COUNTY, GEORGIA

OCONEE ANIMAL SHELTER EXPANSION  
1171 Branch Rd.  
Bishop, GA 30621

OCONEE COUNTY  
23 N Main Street  
Watkinsville, GA 30677

TITLE FOUNDATION SECTIONS & DETAILS

STATUS FOR PERMIT

JOB 119024.00

QC DH

DRAWN DH

SHEET **S201**

DATE 12/13/19

PERMIT SET

Lyman  
Davidson  
Dooley, Inc.

1648 Powers Ferry Road  
Marietta, GA 30067  
770.850.8494 f  
770.956.9030 f  
liddi-architects.com

ATLANTA  
TAMPA

REVISIONS	
1	03.12.2020 CORRECTION COMMENTS



EXISTING RENOVATION  
OCONEE ANIMAL SHELTER  
EXPANSION  
OCONEE COUNTY, GEORGIA

OCONEE  
ANIMAL  
SHELTER  
EXPANSION

1171 Branch Rd.  
Bishop, GA 30621

OCONEE  
COUNTY  
23 N Main Street  
Watkinsville, GA 30677

TITLE ADMINISTRATION &  
OPERATIONS AREAS  
FRAMING SECTIONS  
& DETAILS

STATUS FOR PERMIT

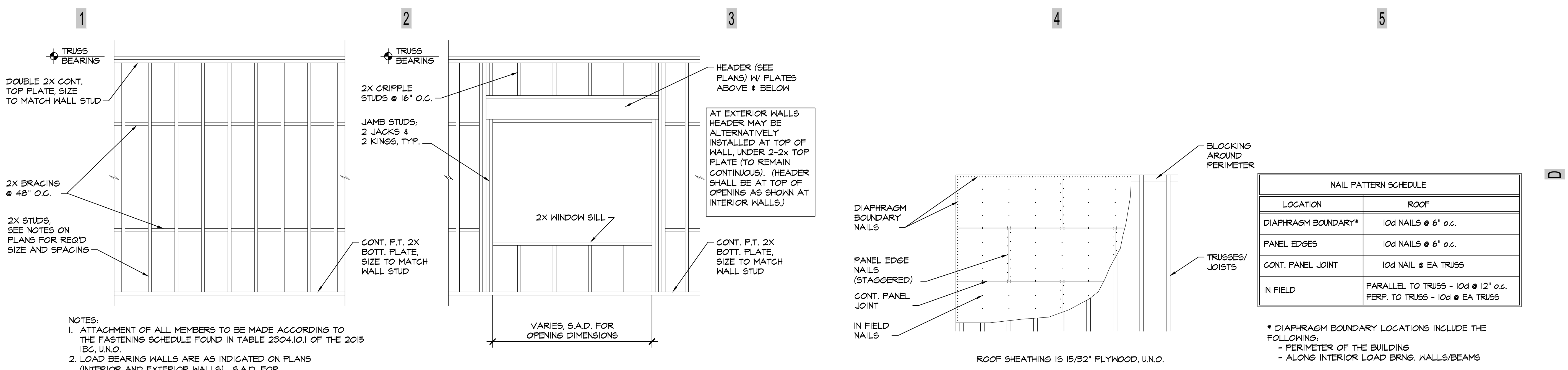
JOB 119024.00  
QC DH

DRAWN DH

SHEET S202

DATE 12/13/19

PERMIT SET

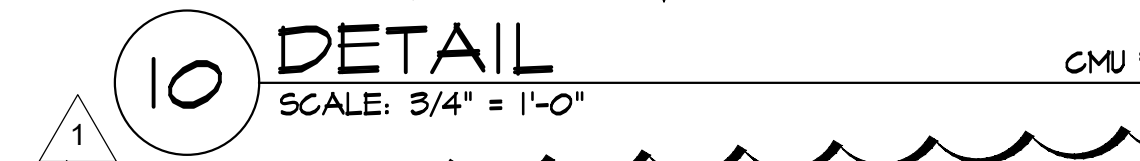
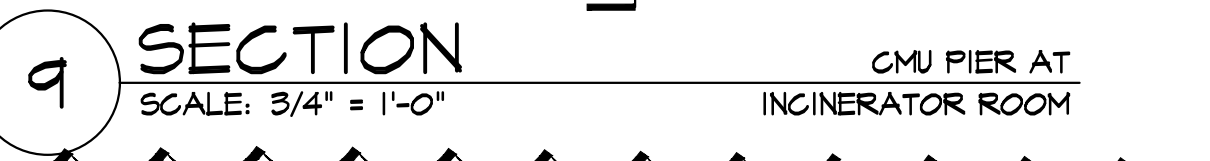
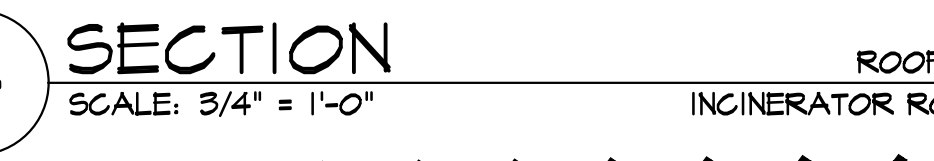
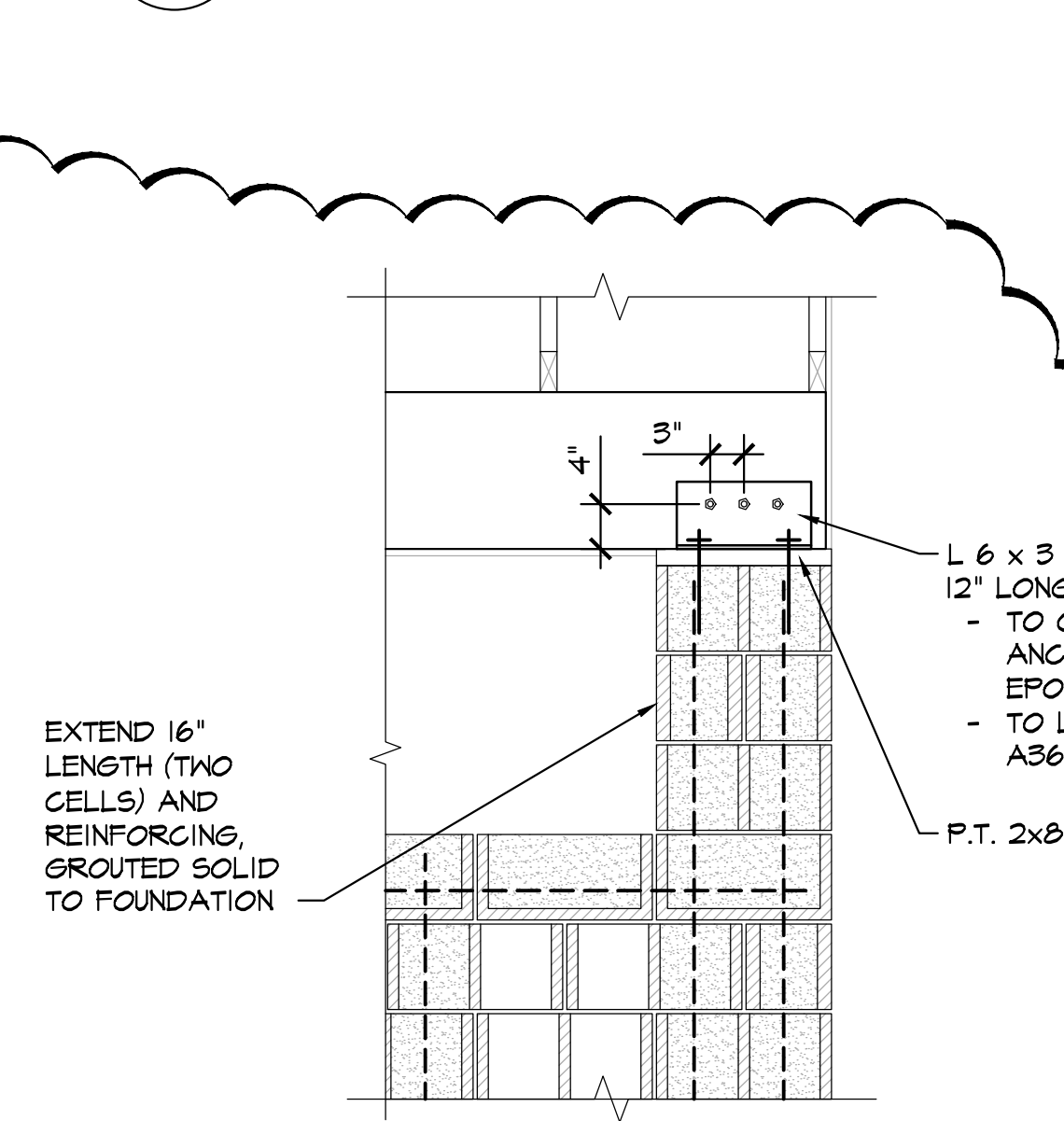
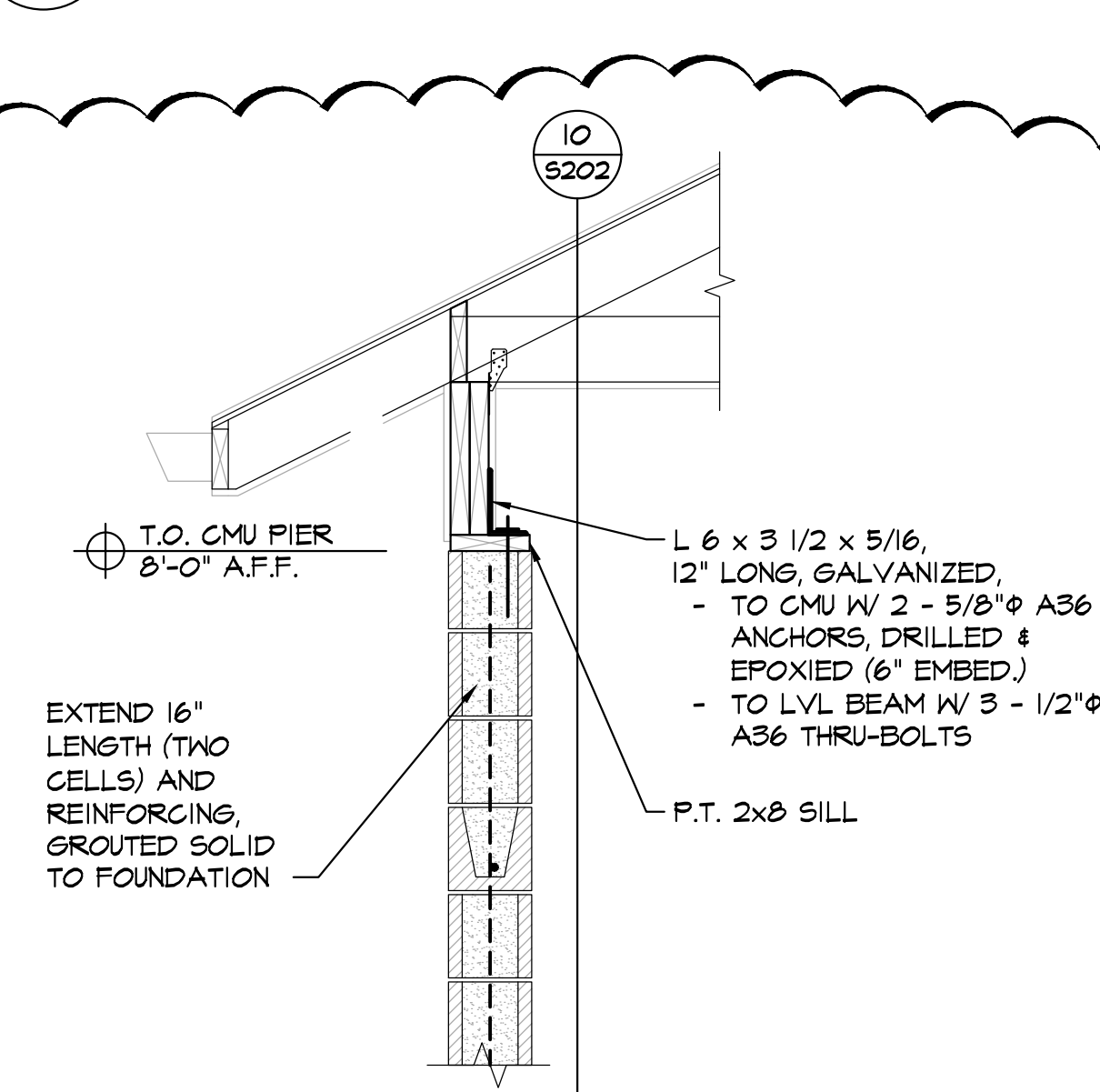
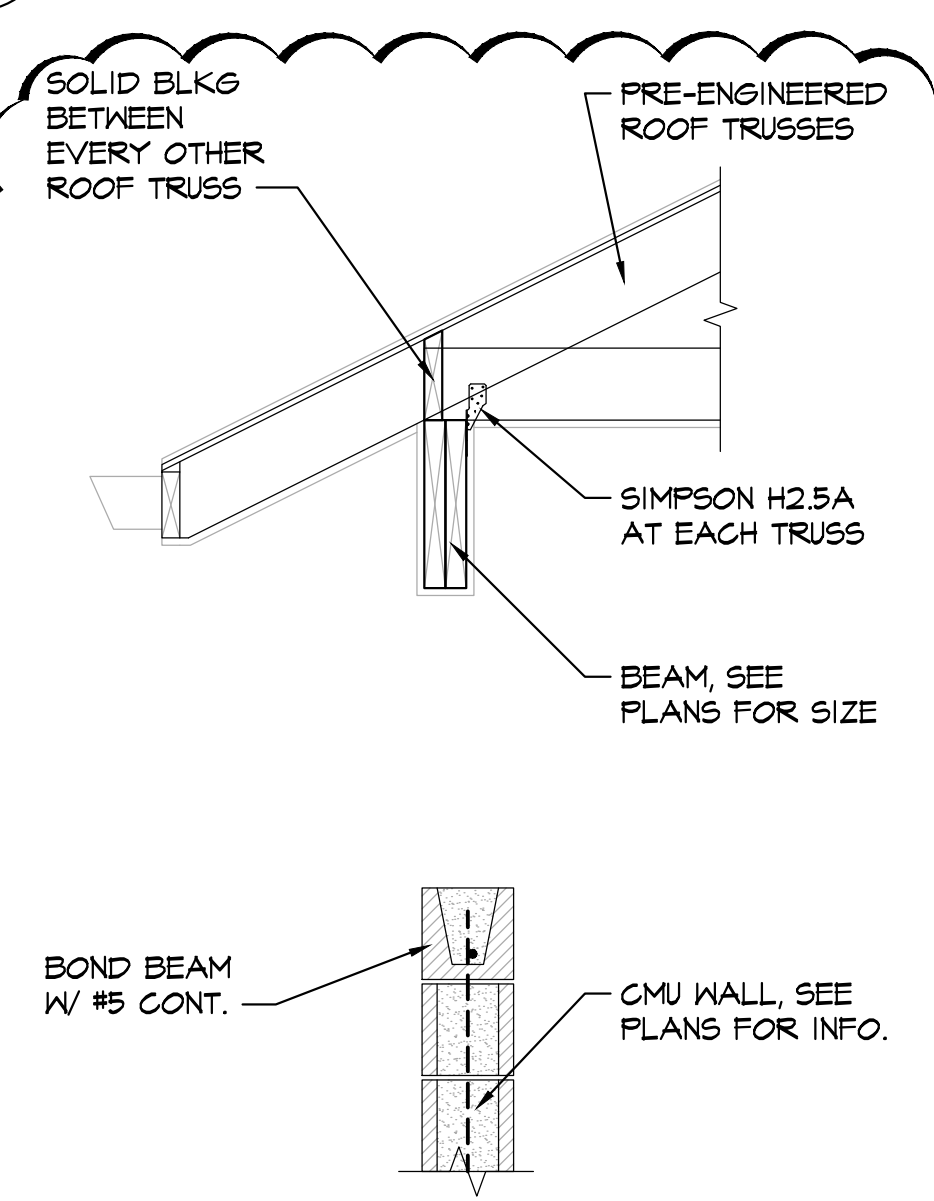
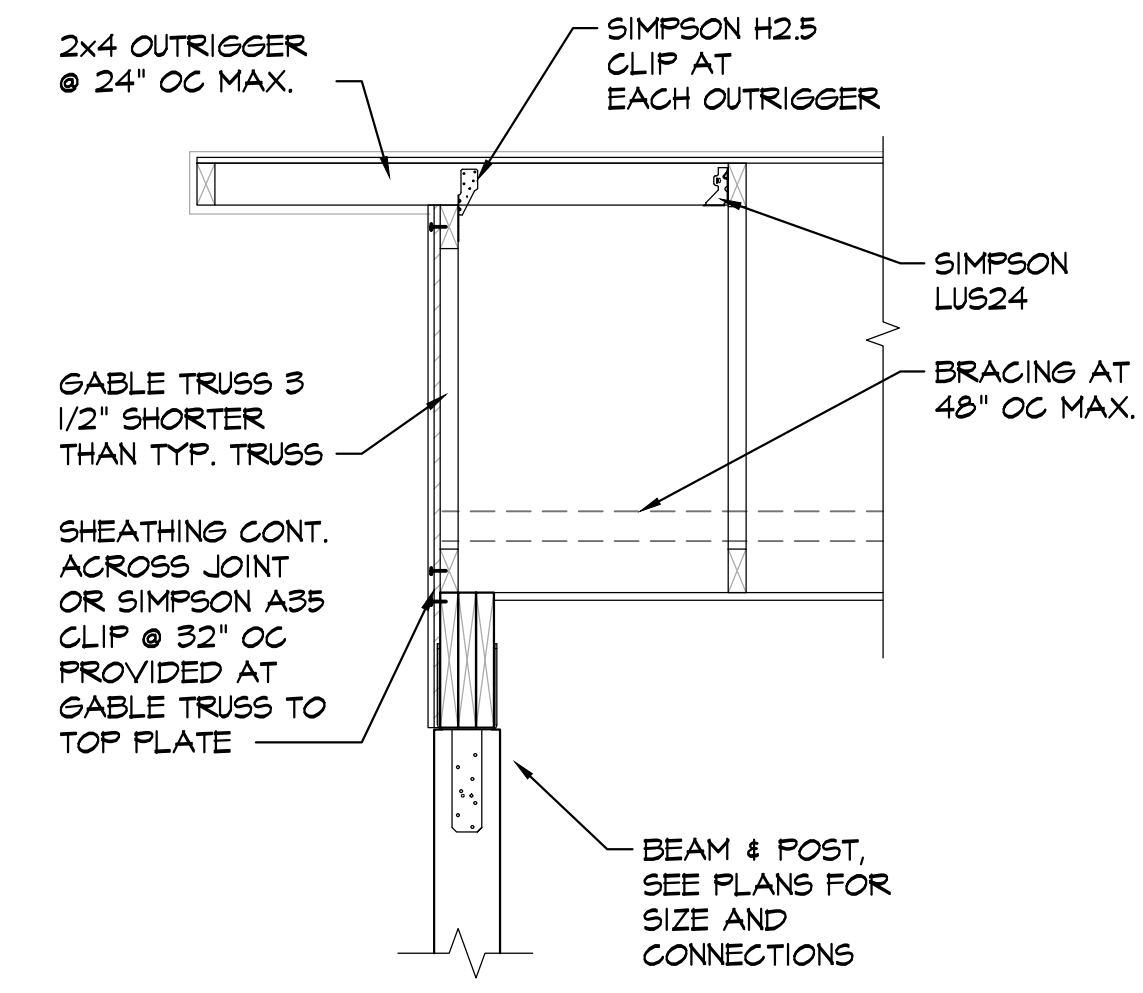
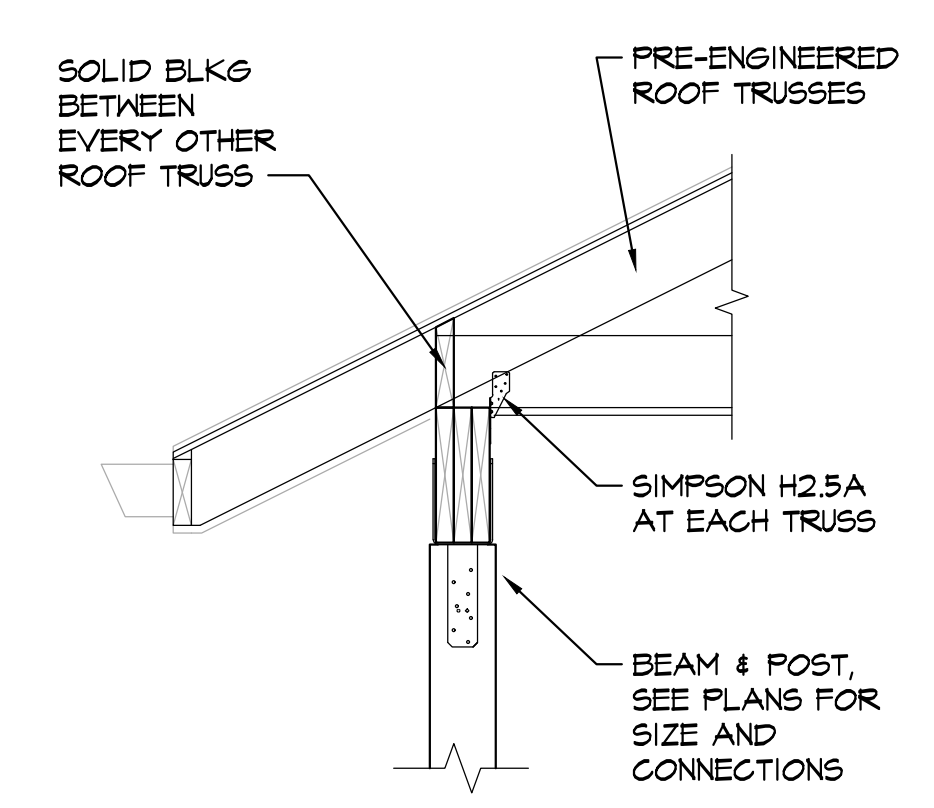
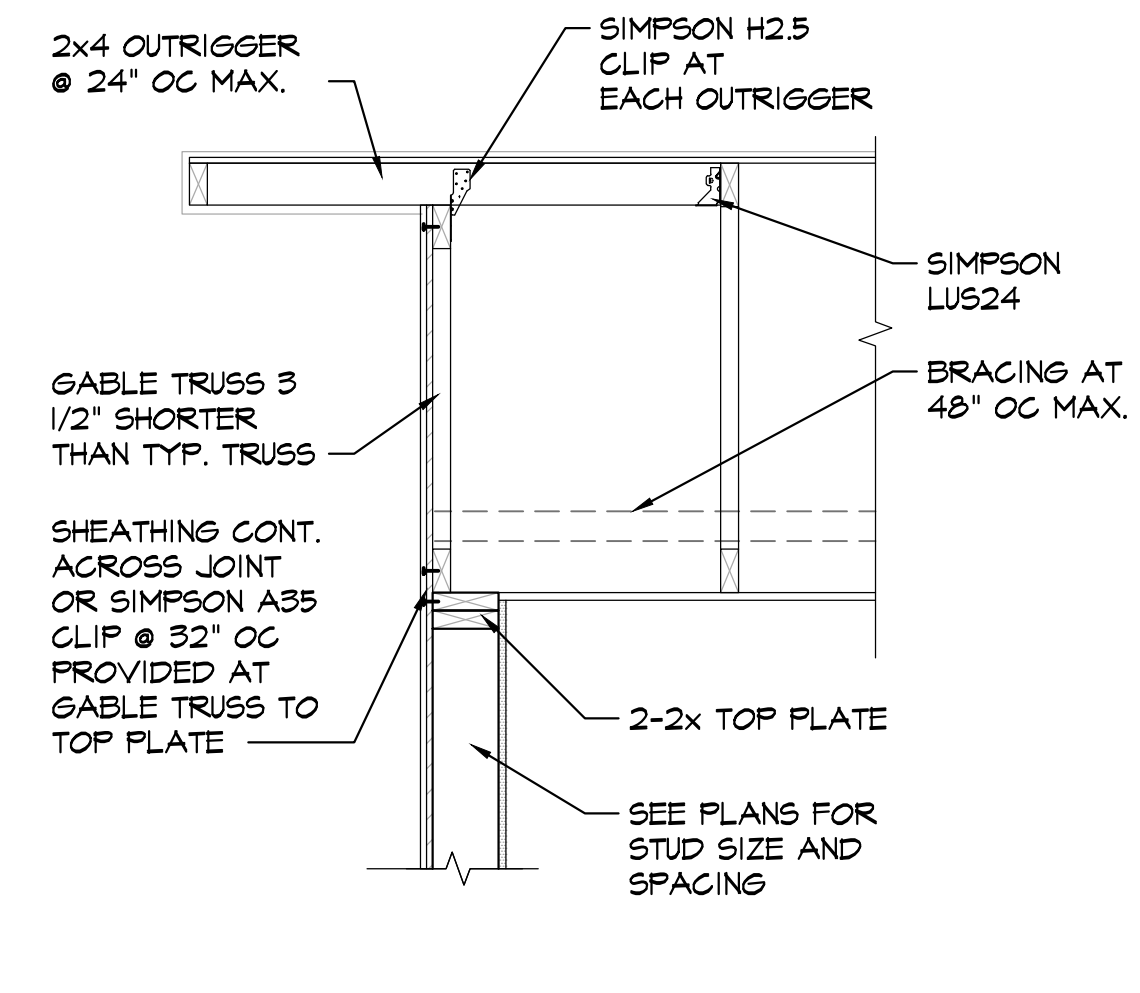
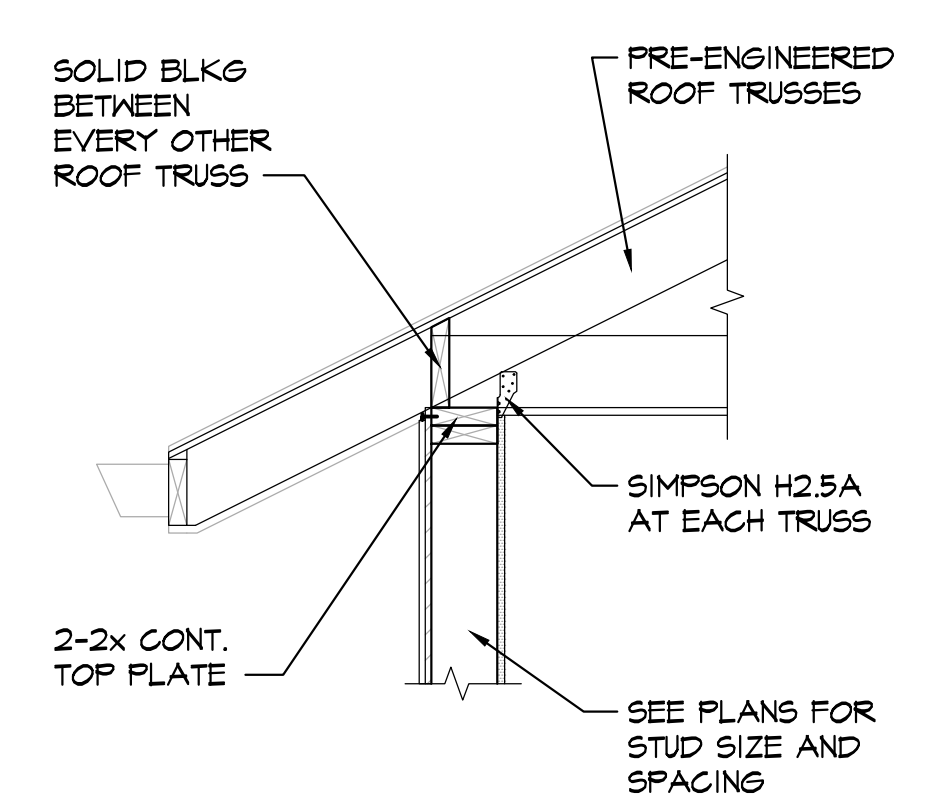


NAIL PATTERN SCHEDULE	
LOCATION	ROOF
DIAPHRAGM BOUNDARY*	10d NAILS @ 6" o.c.
PANEL EDGES	10d NAILS @ 6" o.c.
CONT. PANEL JOINT	10d NAIL @ EA TRUSS
IN FIELD	PARALLEL TO TRUSS - 10d @ 12" o.c. PERP. TO TRUSS - 10d @ EA TRUSS

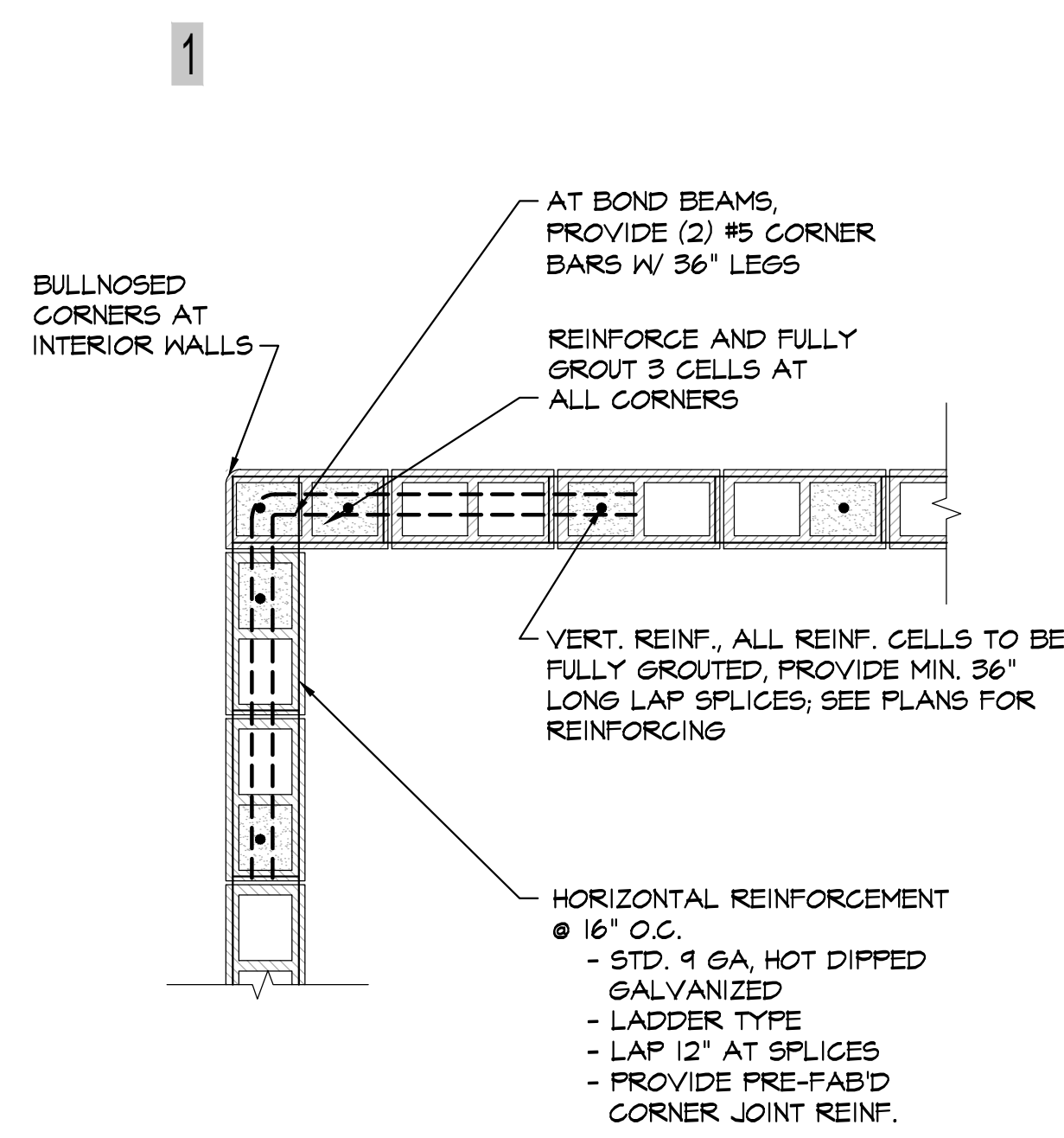
\* DIAPHRAGM BOUNDARY LOCATIONS INCLUDE THE FOLLOWING:  
- PERIMETER OF THE BUILDING  
- ALONG INTERIOR LOAD BRNG. WALLS/BEAMS

NOTE:  
AT TRUSS GIRDERS, PROVIDE SIMPSON TIES TO RESIST UPLIFT FORCES AS INDICATED IN TRUSS SHOP DRAWINGS.

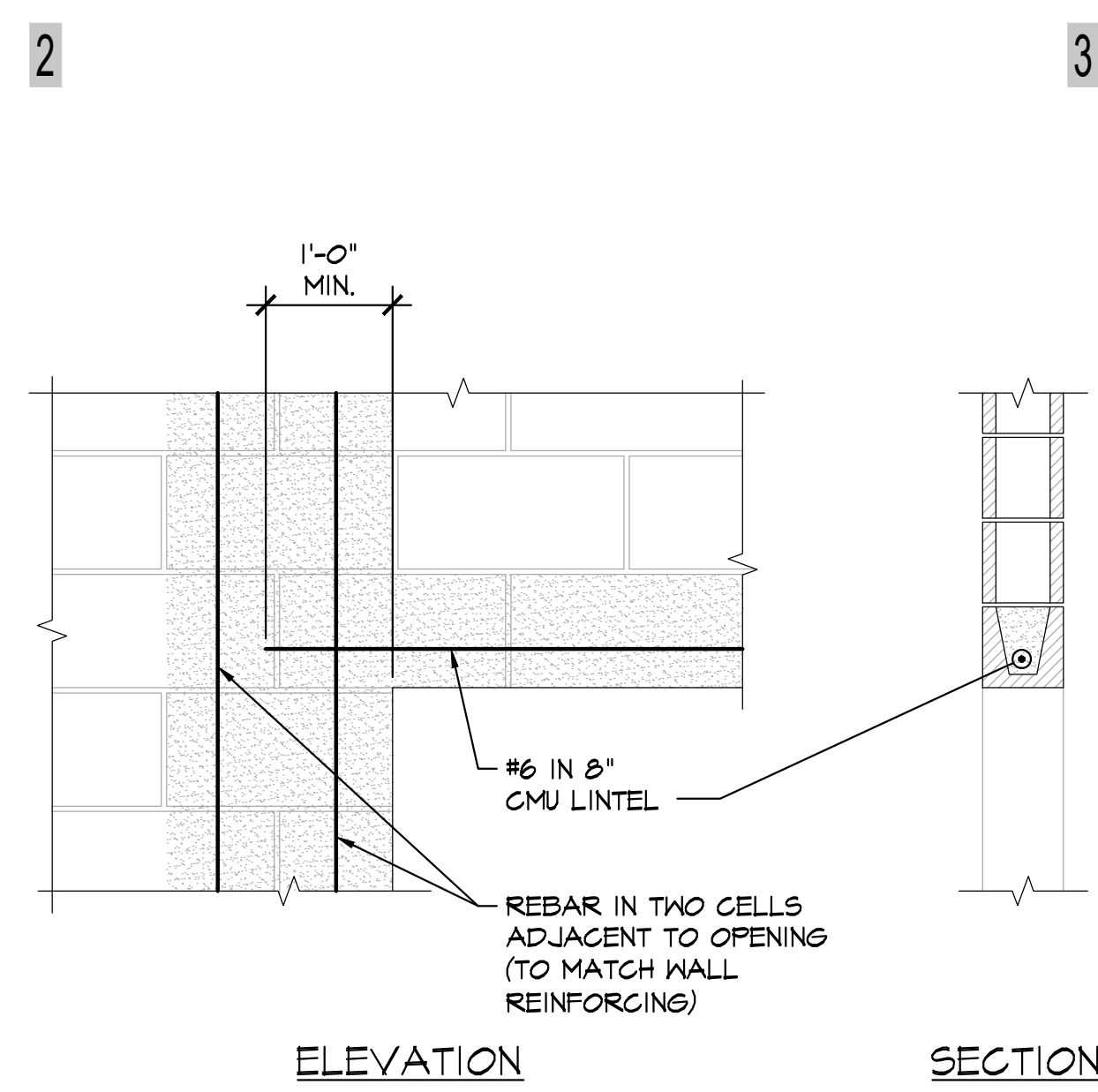
NOTE:  
AT TRUSS GIRDERS, PROVIDE SIMPSON TIES TO RESIST UPLIFT FORCES AS INDICATED IN TRUSS SHOP DRAWINGS.



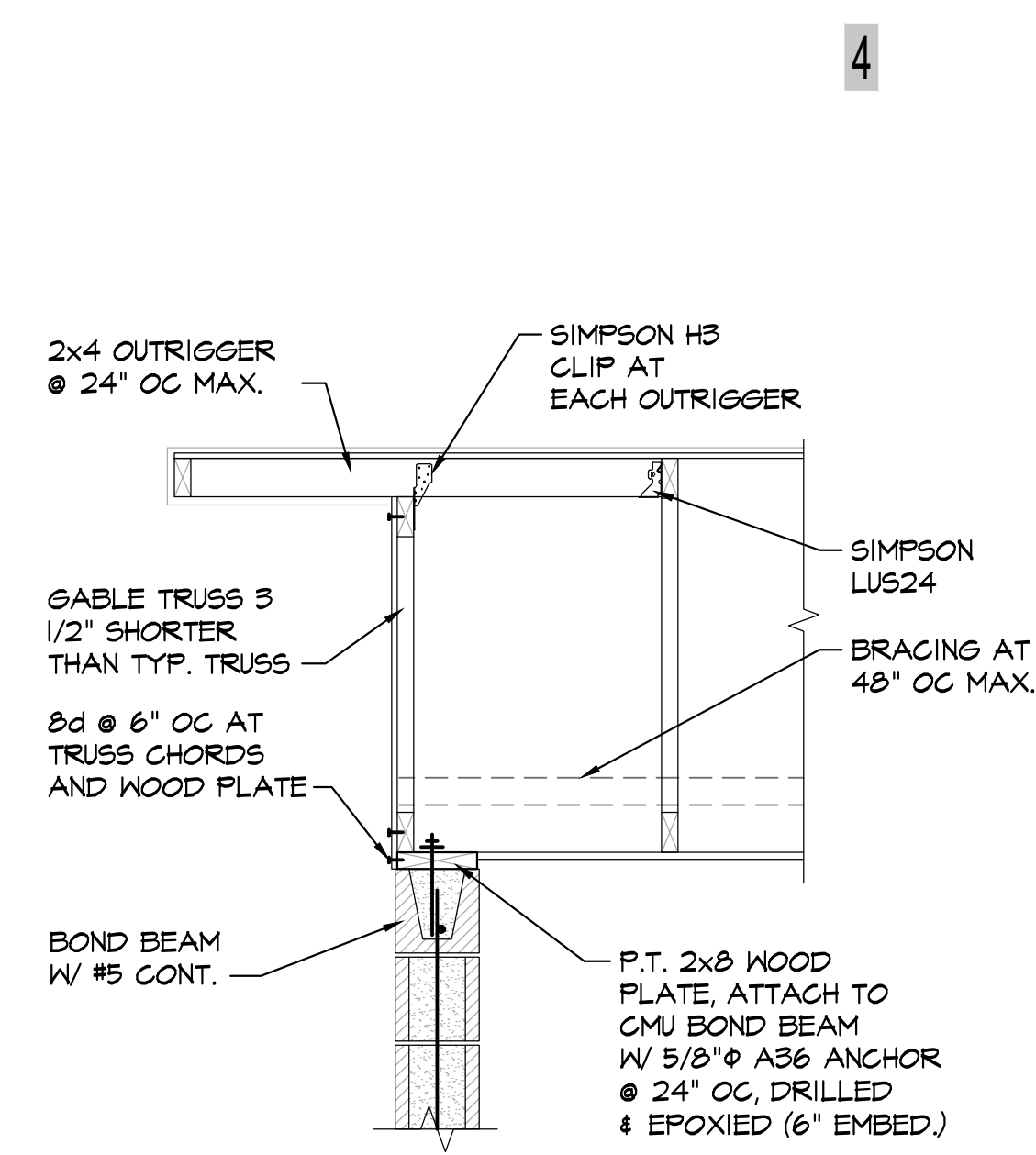




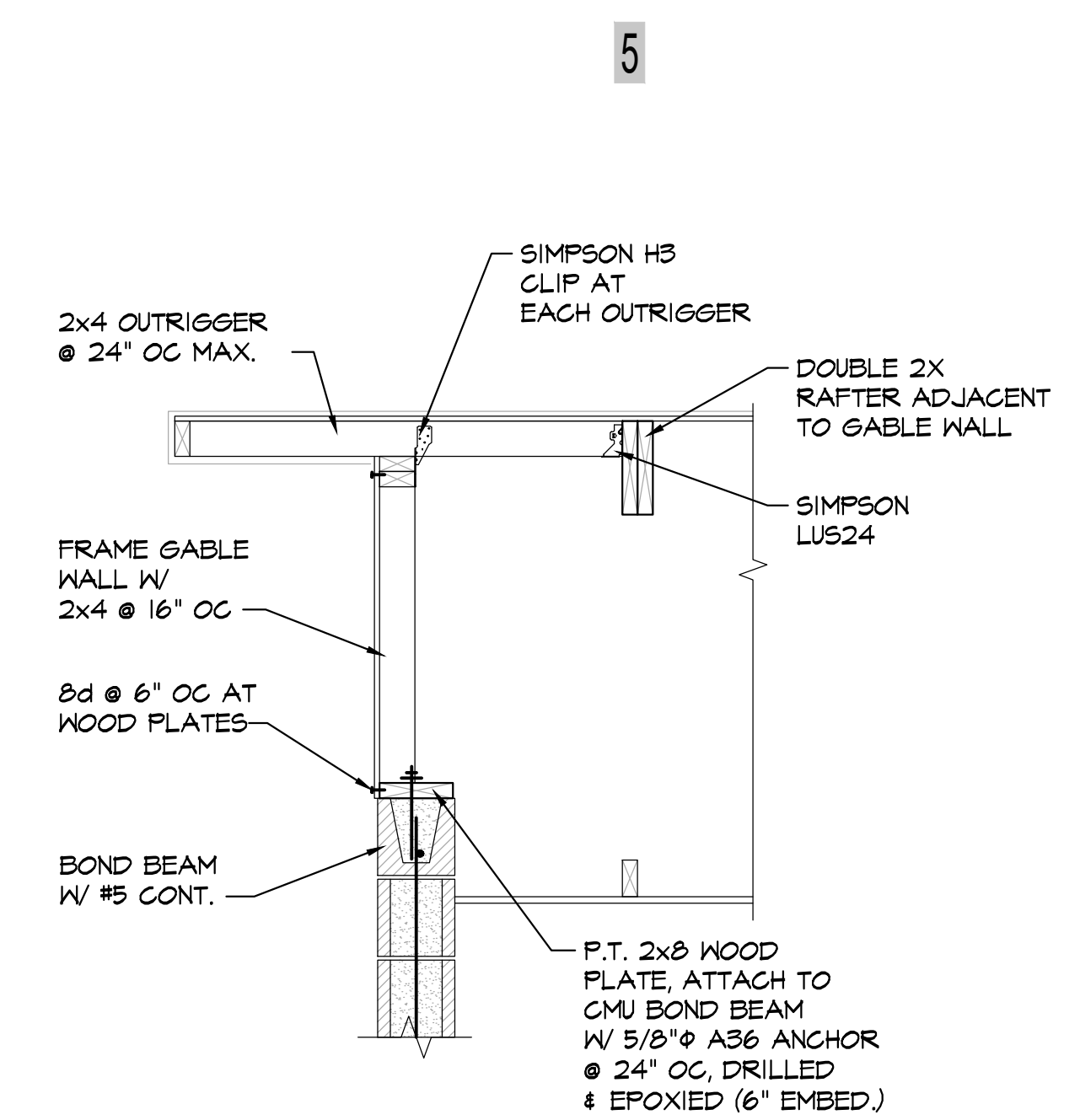
**1** **DETAIL**  
SCALE: 3/4" = 1'-0"  
CMU REINFORCING



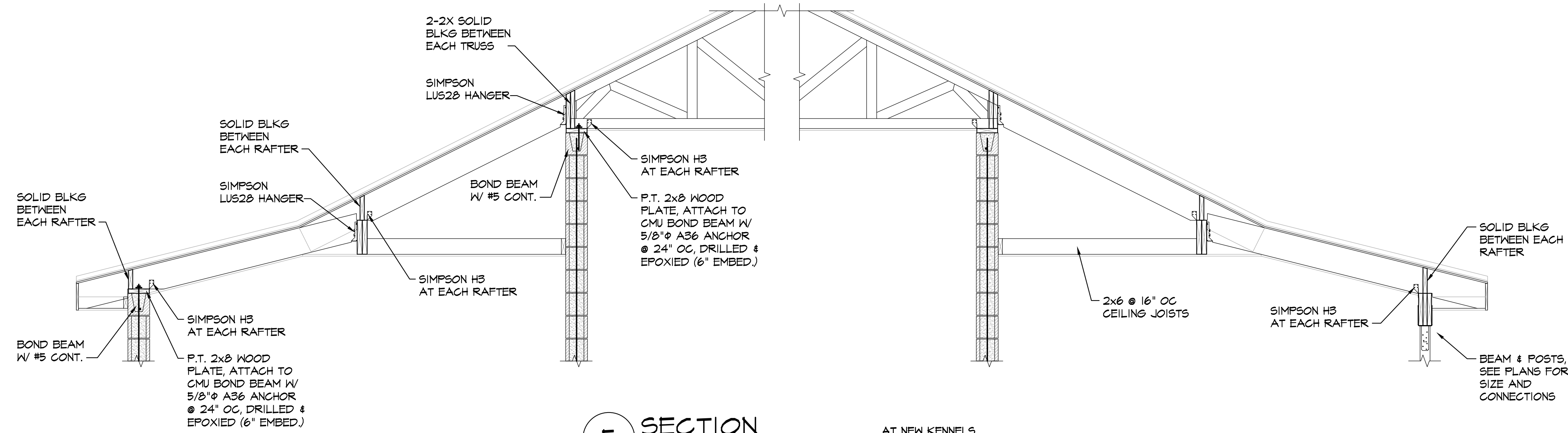
**2** **DETAIL**  
SCALE: 3/4" = 1'-0"  
CMU REINFORCING AT OPENINGS



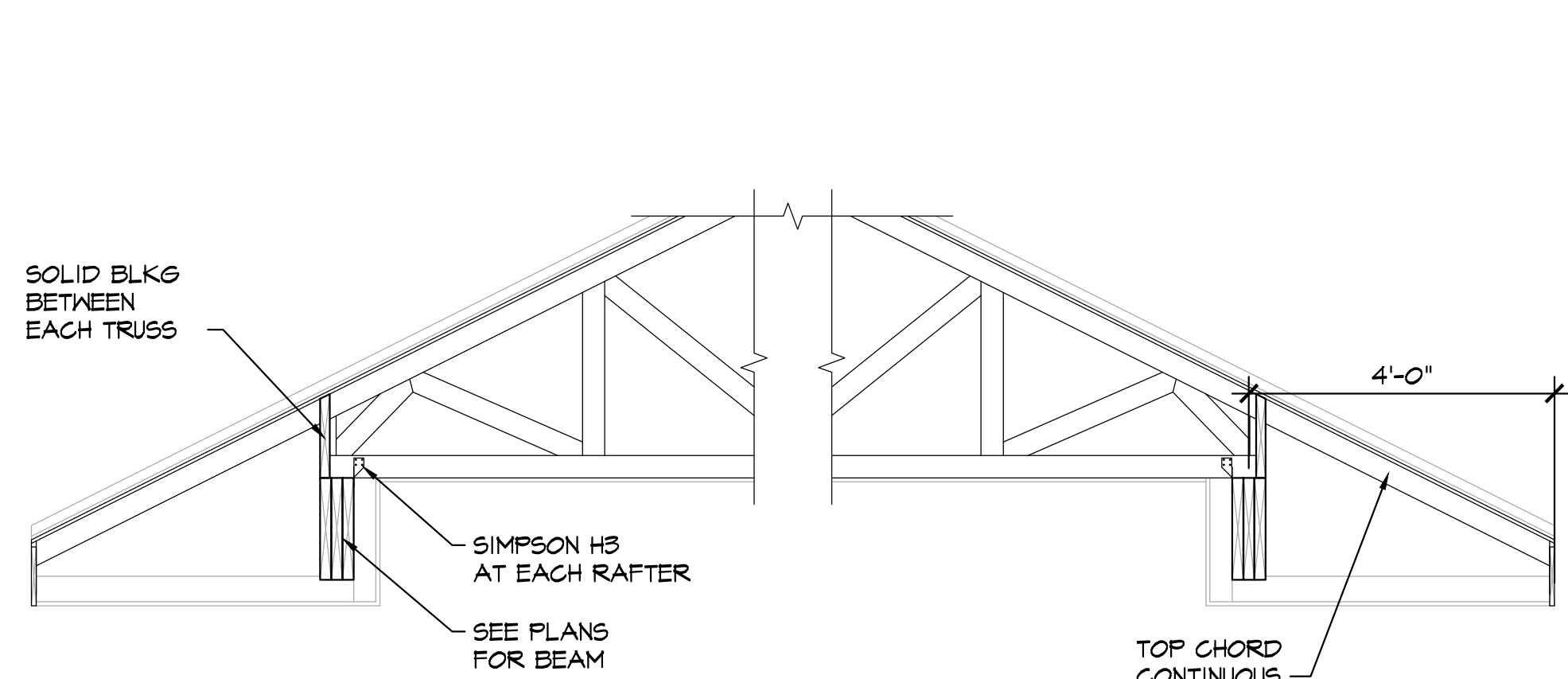
**3** **SECTION**  
SCALE: 3/4" = 1'-0"  
KENNEL ROOF AT GABLE END - AT TRUSSES



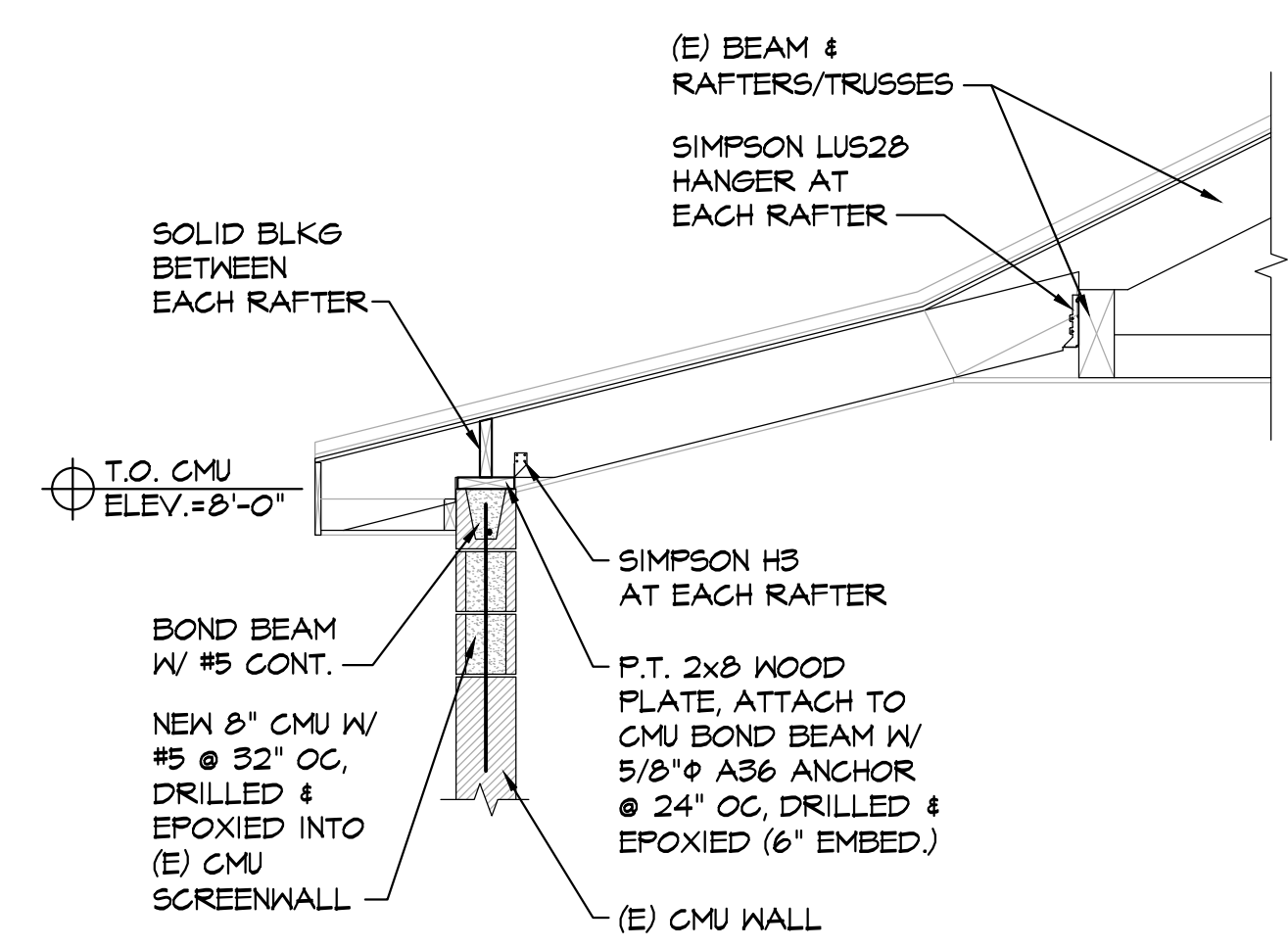
**4** **SECTION**  
SCALE: 3/4" = 1'-0"  
KENNEL ROOF AT GABLE END - AT RAFTERS



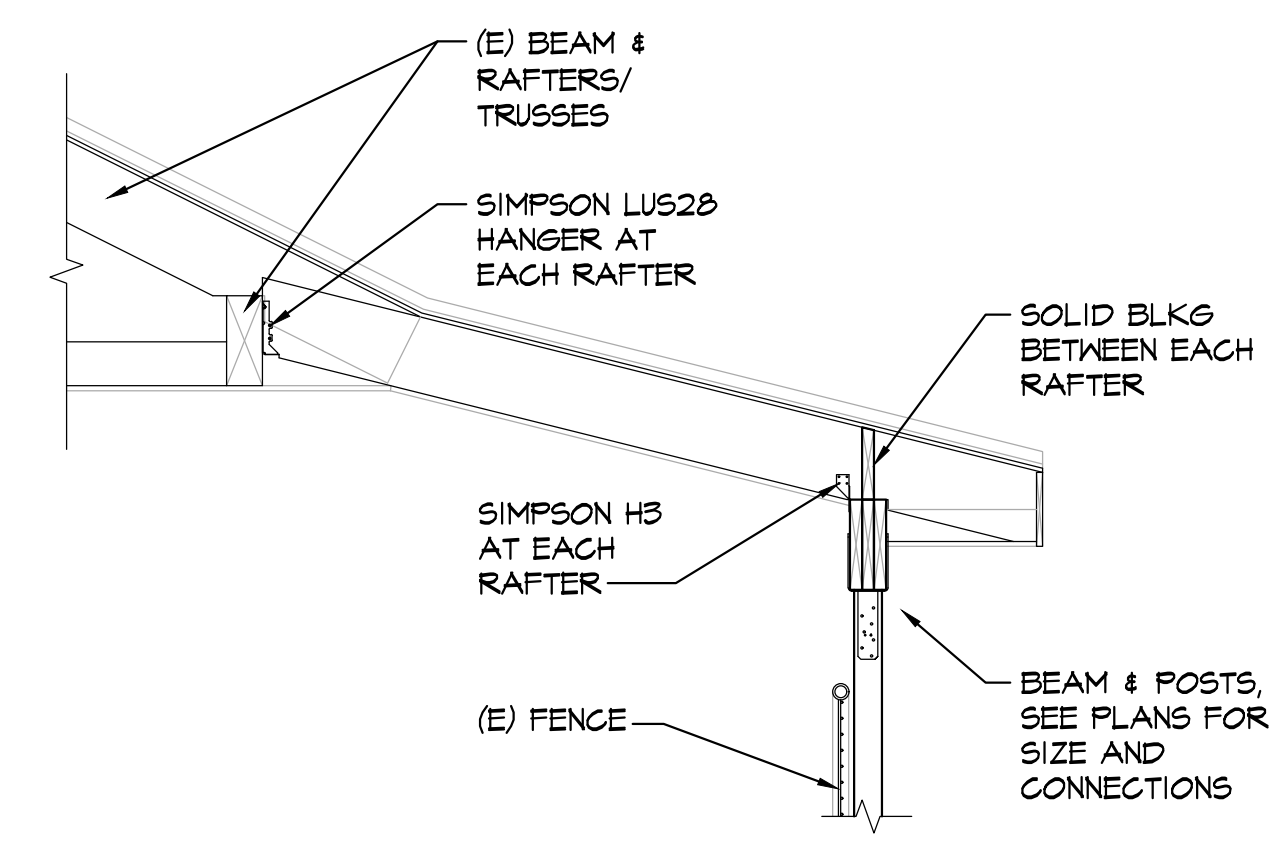
**5** **SECTION**  
SCALE: 1/2" = 1'-0"  
AT NEW KENNELS



**6** **SECTION**  
SCALE: 1/2" = 1'-0"  
AT LOADING DRIVE-THRU



**7** **SECTION**  
SCALE: 1/2" = 1'-0"  
AT EXIST. KENNELS



**8** **SECTION**  
SCALE: 1/2" = 1'-0"  
AT EXIST. KENNELS

REVISIONS



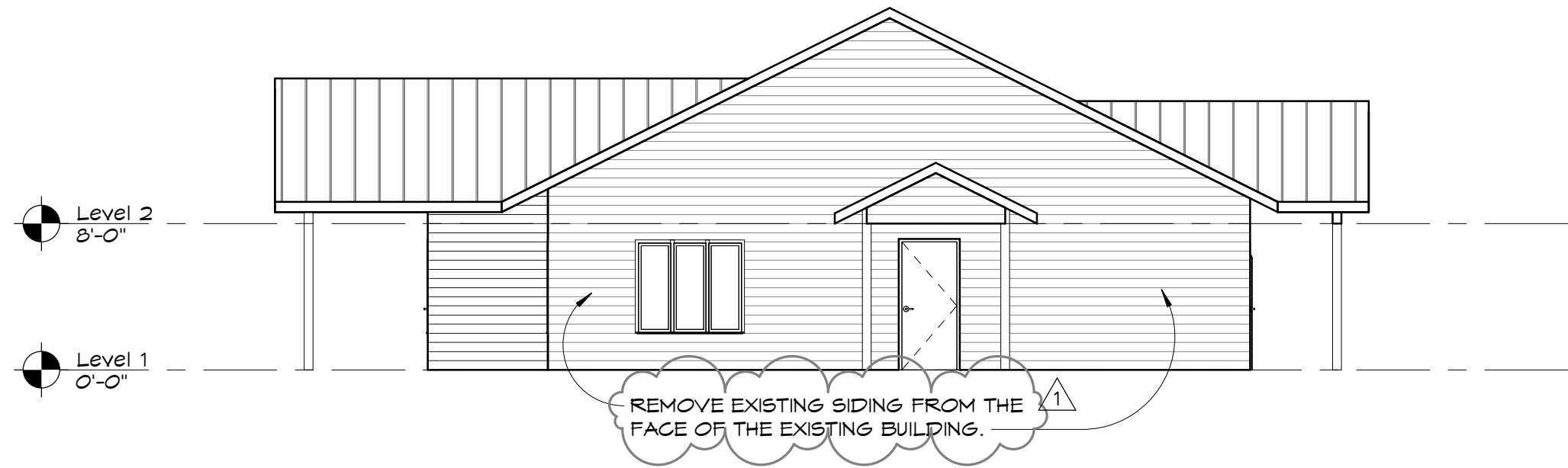

1

2

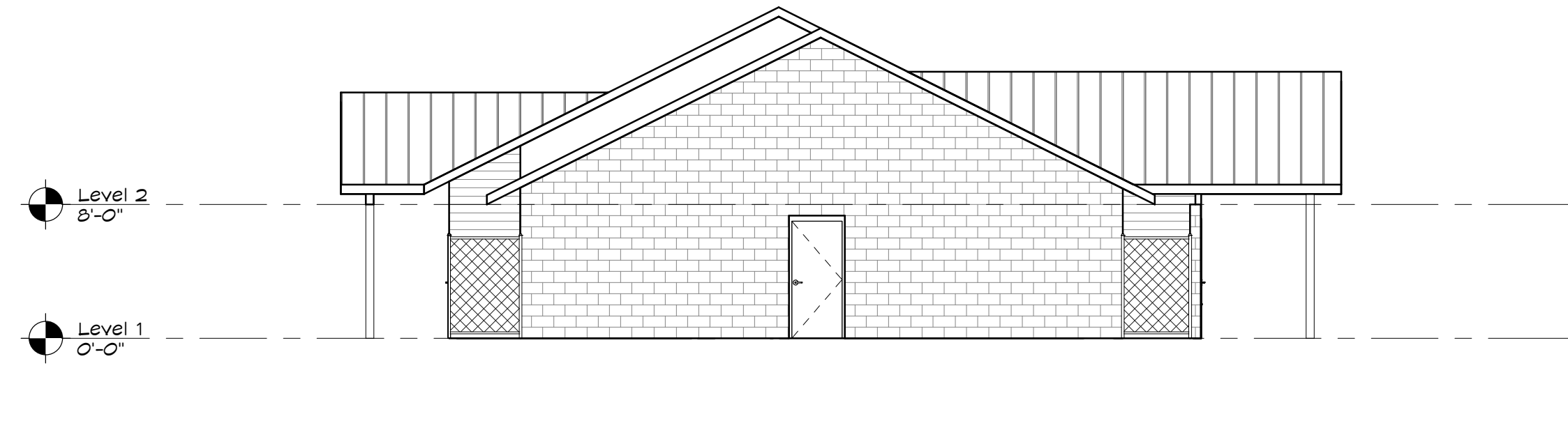
3

4

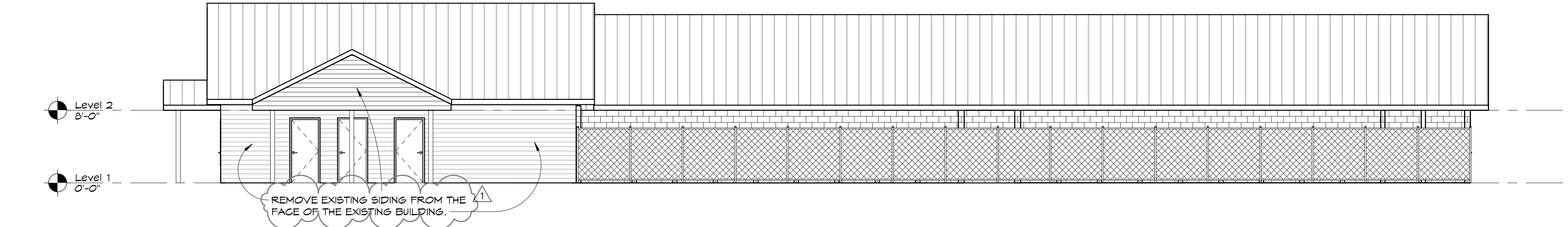
5



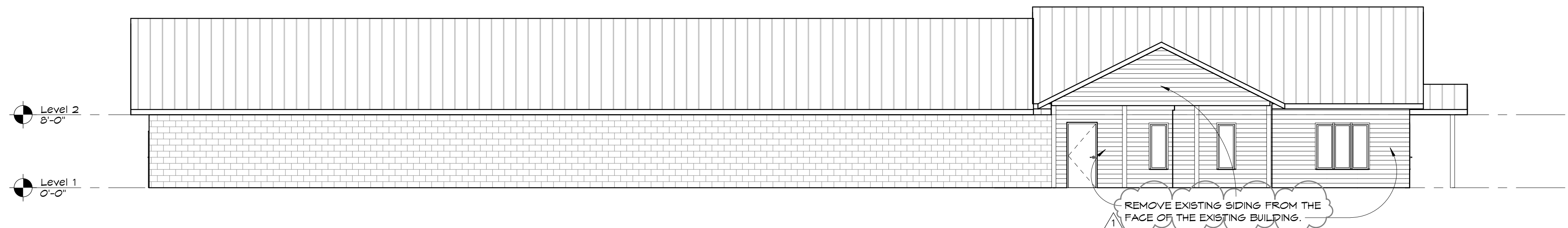
5 EAST ELEV. EXISTING  
1/8" = 1'-0"



4 WEST ELEV. EXISTING  
1/8" = 1'-0"

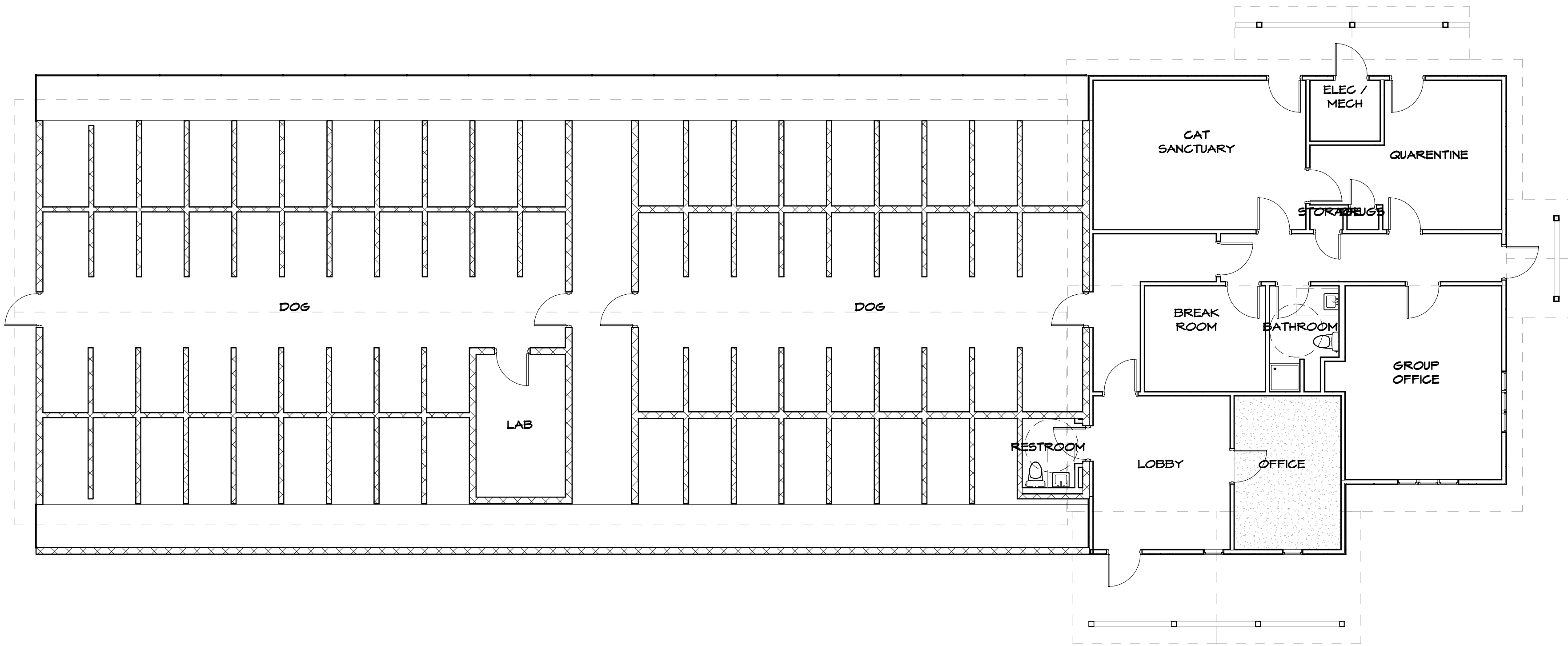


3 NORTH ELEV. EXISTING  
1/8" = 1'-0"



2 SOUTH ELEV. EXISTING  
1/8" = 1'-0"

NOTE:  
PLANS AND ELEVATIONS ON THIS SHEET ARE FOR  
REFERENCE ONLY



1 FLOOR PLAN EXISTING  
1/8" = 1'-0"

1

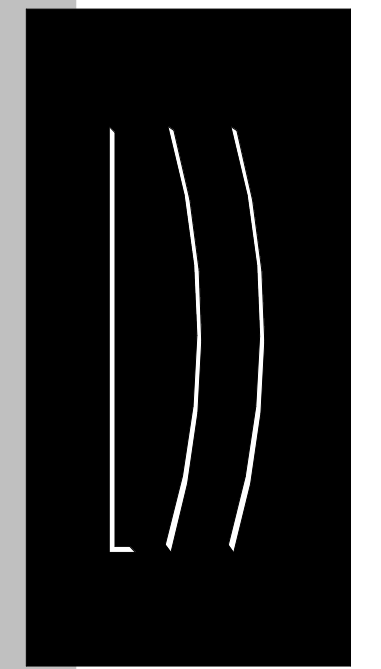
2

3

4

5

\\medi\62\Projects\11902400 Oconee Animal Service Center\Drawings\119024 Oconee Animal Shelter.rvt  
3/25/2020 10:10:45 AM



Lyman  
Davidson  
Dooley, Inc.  
1648 Powers Ferry Road  
Building One  
Marietta, GA 30067  
770.850.8494 f  
770.956.9030 f  
liddi-architects.com

REVISIONS
1 03/12/20 Owner/permit comments



EXISTING RENOVATION  
OCONEE ANIMAL SHELTER  
EXPANSION  
OCONEE COUNTY, GEORGIA

OCONEE  
ANIMAL  
SHELTER  
EXPANSION  
1171 Branch Rd.  
Bishop, GA 30621  
OCONEE  
COUNTY  
23 N Main Street  
Watkinsville, GA 30677

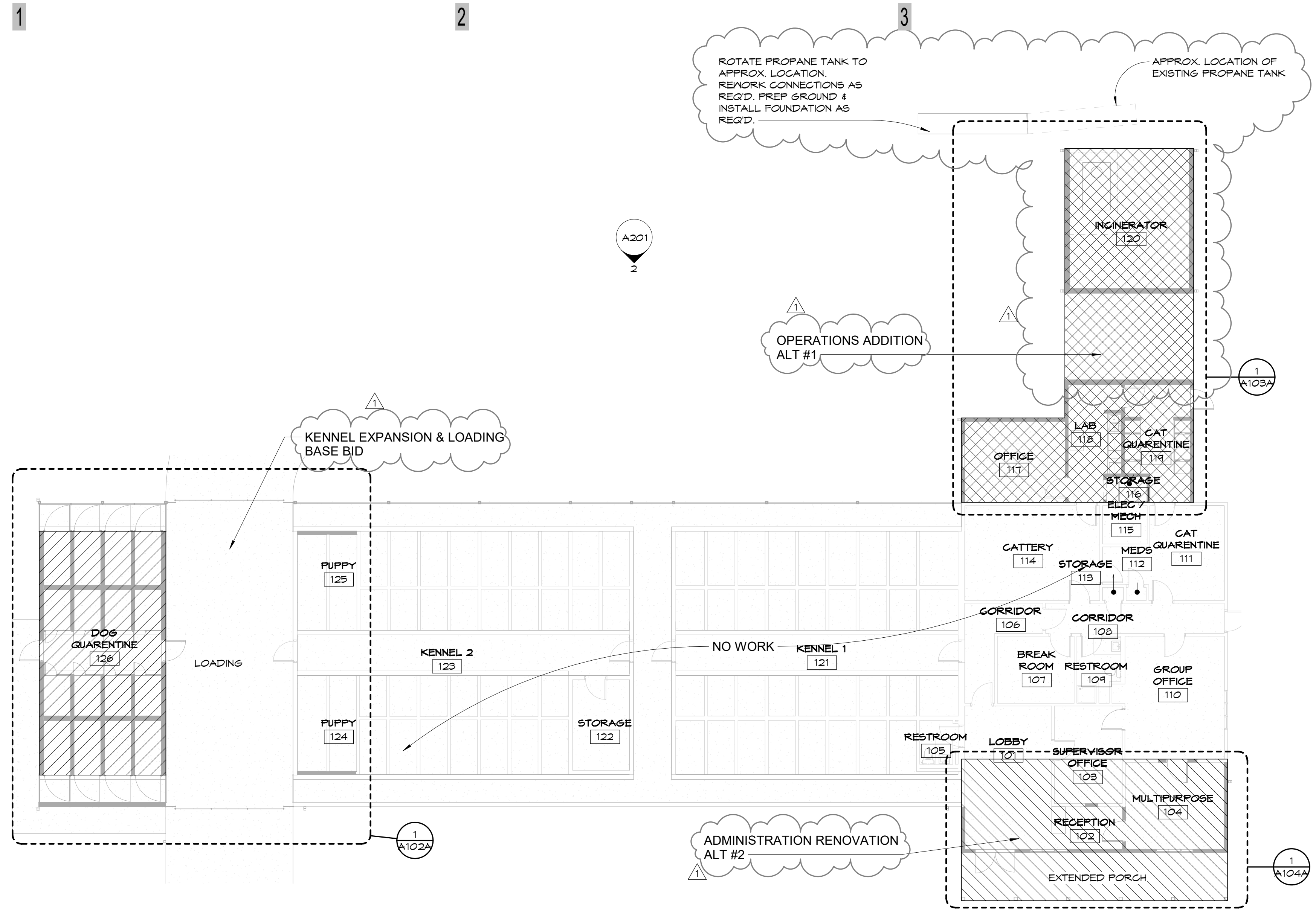
TITLE EXISTING FLOOR  
PLAN &  
ELEVATIONS  
STATUS PERMIT SET  
JOB 119024.00  
QC BKS  
DRAWN JT  
SHEET **A010**  
DATE 12/13/2019

PERMIT SET

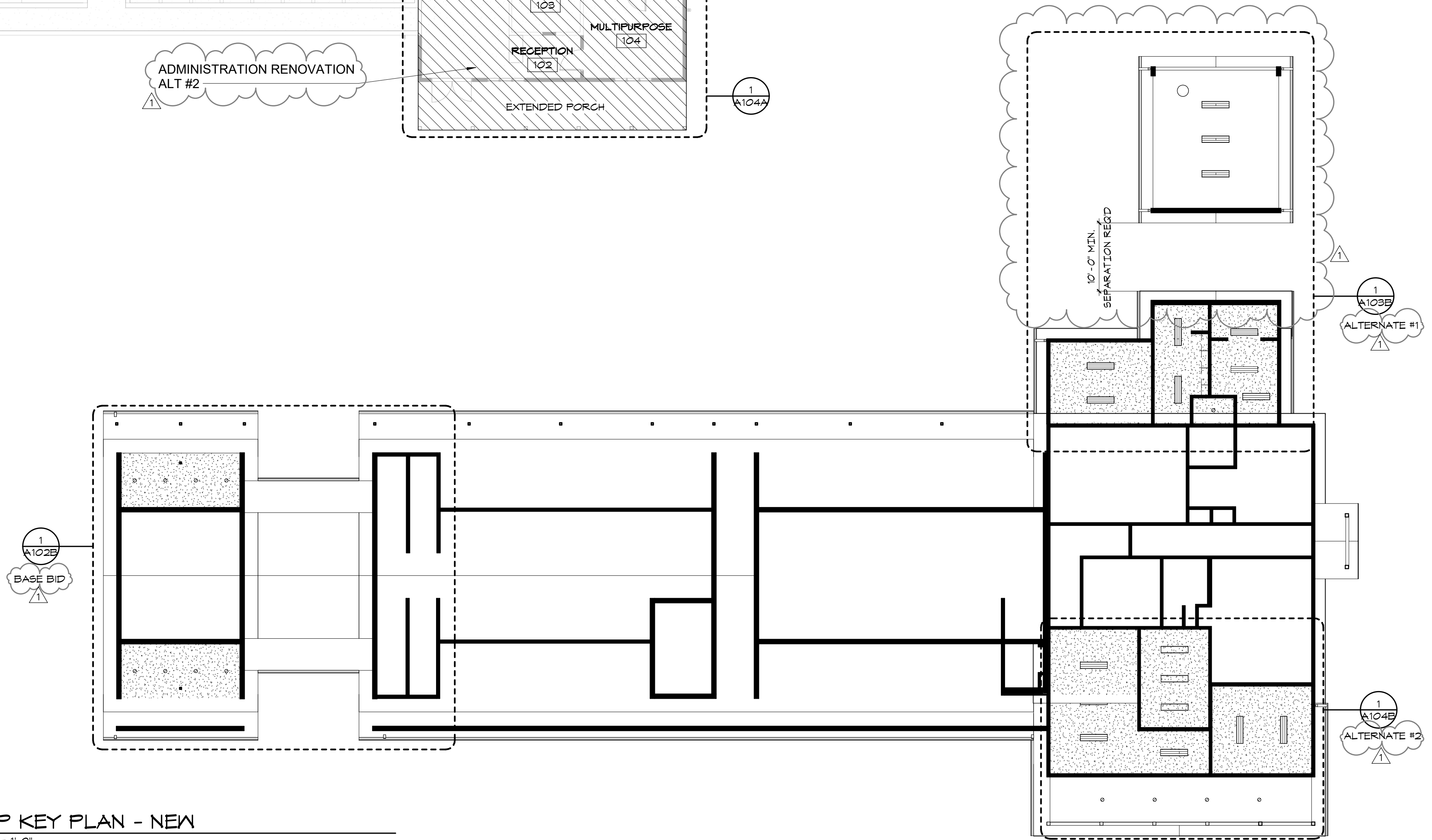
THIS DRAWING IS THE PROPERTY OF LYMAN DAVIDSON DOOLEY INCORPORATED ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED LYMAN DAVIDSON DOOLEY. NOT VALID UNLESS SIGNED AND SEALED.

\\medi62\Projects\11902400 Oconee Animal Service Center\Drawings\119024 Oconee Animal Shelter.rvt  
3/25/2020 10:10:46 AM

1 KEY PLAN - NEW  
3/32" = 1'-0"



2 RCP KEY PLAN - NEW  
3/32" = 1'-0"



REVISIONS

NO.	DATE	BY	DESCRIPTION
1	03/12/20	Owner/permit	comments



EXISTING RENOVATION  
OCONEE ANIMAL SHELTER  
EXPANSION  
OCONEE COUNTY, GEORGIA

OCONEE  
ANIMAL  
SHELTER  
EXPANSION  
1171 Branch Rd,  
Bishop, GA 30621  
OCONEE  
COUNTY  
23 N Main Street  
Watkinsville, GA 30677

TITLE KEY PLANS  
STATUS PERMIT SET  
JOB 119024.00  
QC BKS  
DRAWN JT  
SHEET A101  
DATE 12/13/2019

PERMIT SET

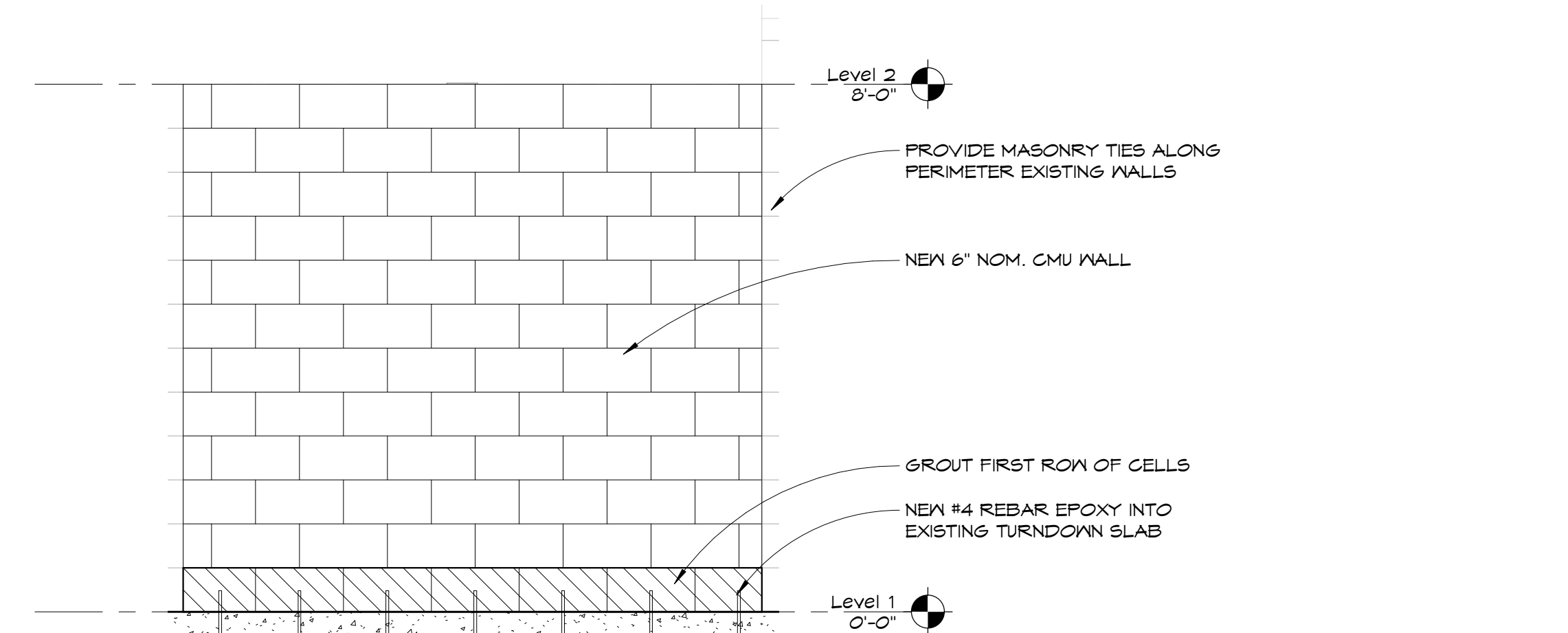
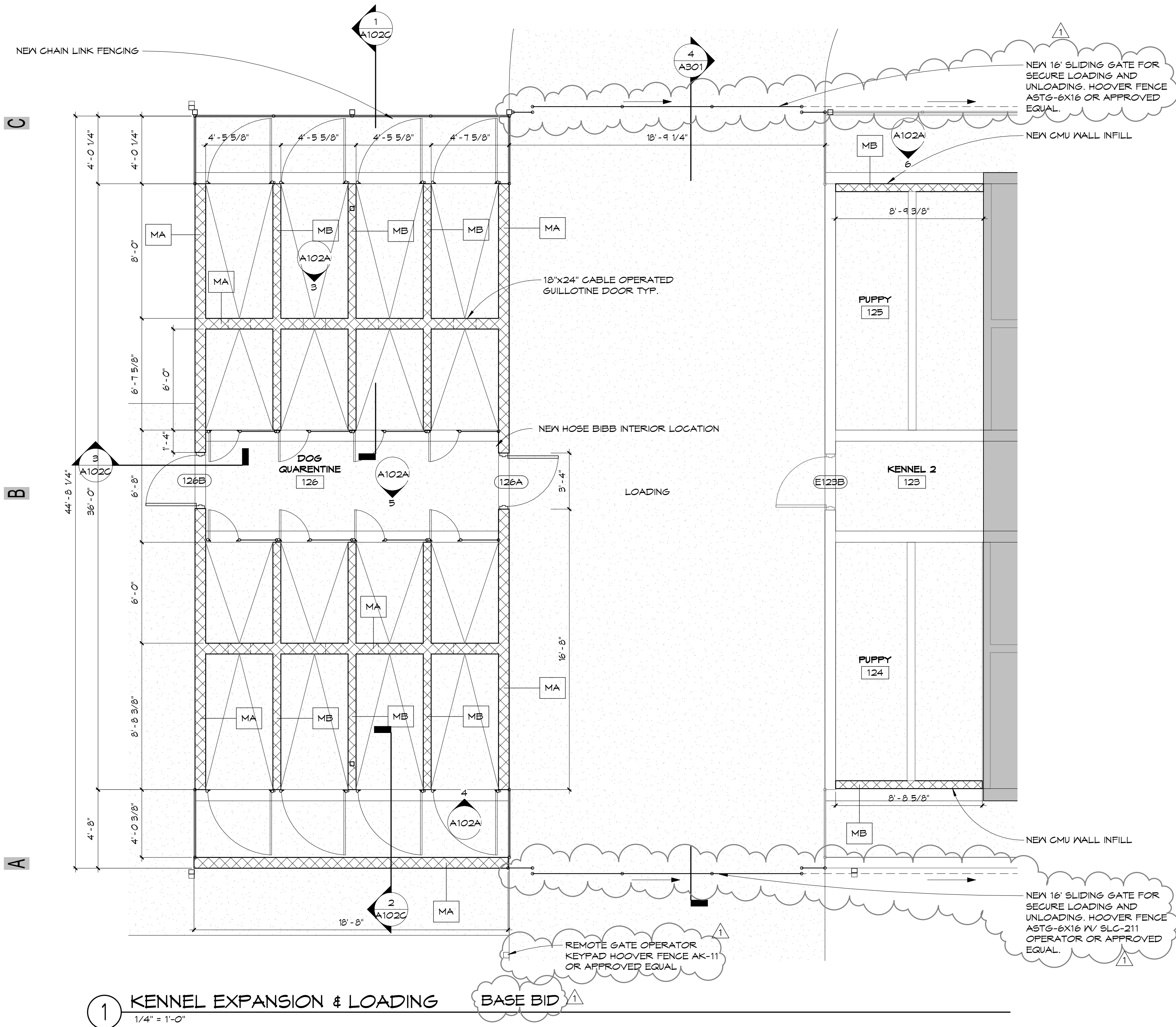
THIS DRAWING IS THE PROPERTY OF LYMAN DAVIDSON DOOLEY INCORPORATED ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED LYMAN DAVIDSON DOOLEY. NOT VALID UNLESS SIGNED AND SEALED.

DOOR SCHEDULE - KENNEL EXPANSION														
MARK	ROOM	TYPE	WIDTH	HEIGHT	DOOR		FRAME		DETAILS			HARDWARE SET NUM.	FIRE RATING	COMMENTS
					MAT.	FINISH	MAT.	FINISH	HEAD	JAMB	SILL			
126A	DOS QUARENTINE	A	3'-0"	7'-0"	H.M.	PAINT	H.M.	PAINT	1/A&O1	2/A&O1	3/A&O1	3		Base Bid
126B	DOS QUARENTINE	A	3'-0"	7'-0"	H.M.	PAINT	H.M.	PAINT	1/A&O1	2/A&O1	3/A&O1	3		Base Bid

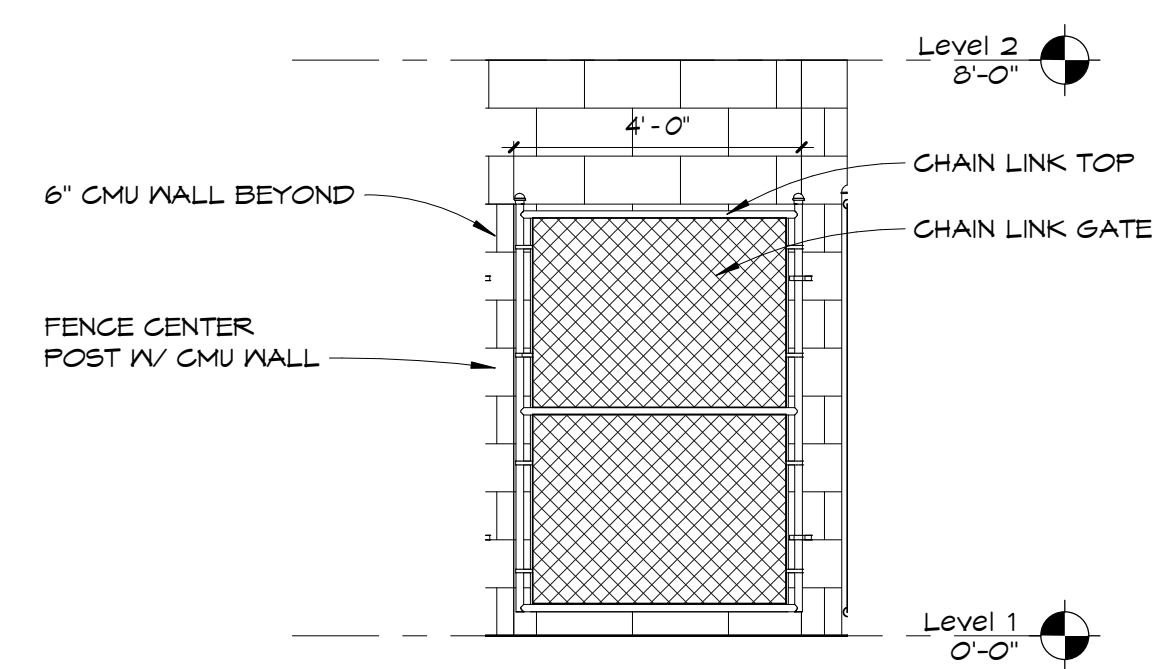
HARDWARE SET NUMBER 3 - EXTERIOR DOORS		
HINGE	1	CONTINUOUS HINGE SL-18HD x ATW 4
LOCKSET	1	CORBIN/RUSSWIN
CLOSER	1	1461-H-CUSH
MISC.	1	EXIT DEVICE QEL3347NL-OP
	1	THRESHOLD 425 X RCE
	1	KICKPLATE KP X B4E X CSK
	1	DOOR BOTTOM SEALS 200SA
	1	SET DOOR SEALS 700SA

INTERIOR WALL TYPES			
MARK	SYMBOL	DESCRIPTION	FIRE RATING
A		NEW EXTERIOR WALL: - VINYL SIDING TO MATCH EXISTING - 5/8" EXT. GRADE SHEATHING - 2X4 WOOD STUD - 5/8" GYP. BOARD	-
B		NEW 6" NOM. CMU WALL - 5/8" GYP. BOARD - 2X4 WOOD STUDS - 5/8" GYP. BOARD - EXTEND TO 6" ABOVE CEILING UNLESS OTHERWISE NOTED	-
MA		8" CMU - Paint exterior to match existing	-
MA-2		8" CMU - 2 Hour rated per UL 90B	2 HR Per UL 90B
MB		4" CMU - see kennel elevations for height	-

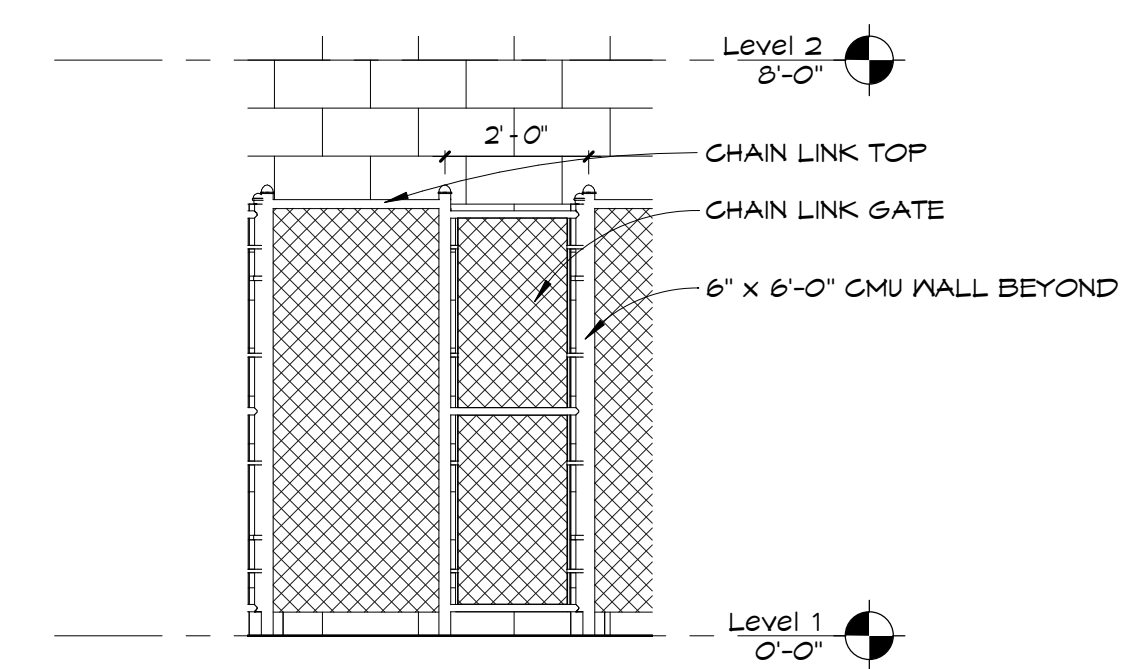
NOTES:  
 1. SEE WALL SECTIONS FOR EXTERIOR WALL TYPES.  
 2. ALL METAL STUDS @ 16" O.C. MIN. SEE SPEC FOR MORE DETAILS.  
 3. USE TILE BACKER BOARD IN PLACE OF GYP. BD. FOR WALLS THAT USE TILE TYP.  
 4. USE MOISTURE-RESISTANT GYP. BD. FOR NON-TILED WALLS IN RESTROOMS.



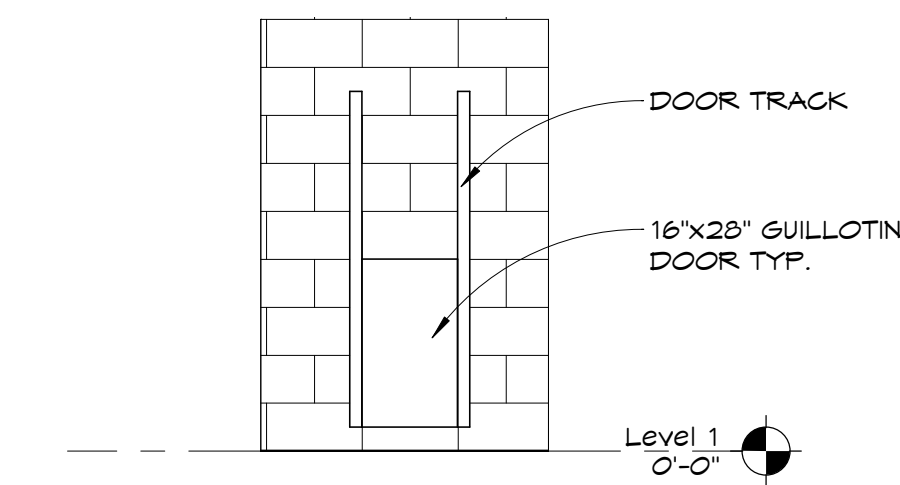
6 INFILL ELEVATION  
1/2" = 1'-0"



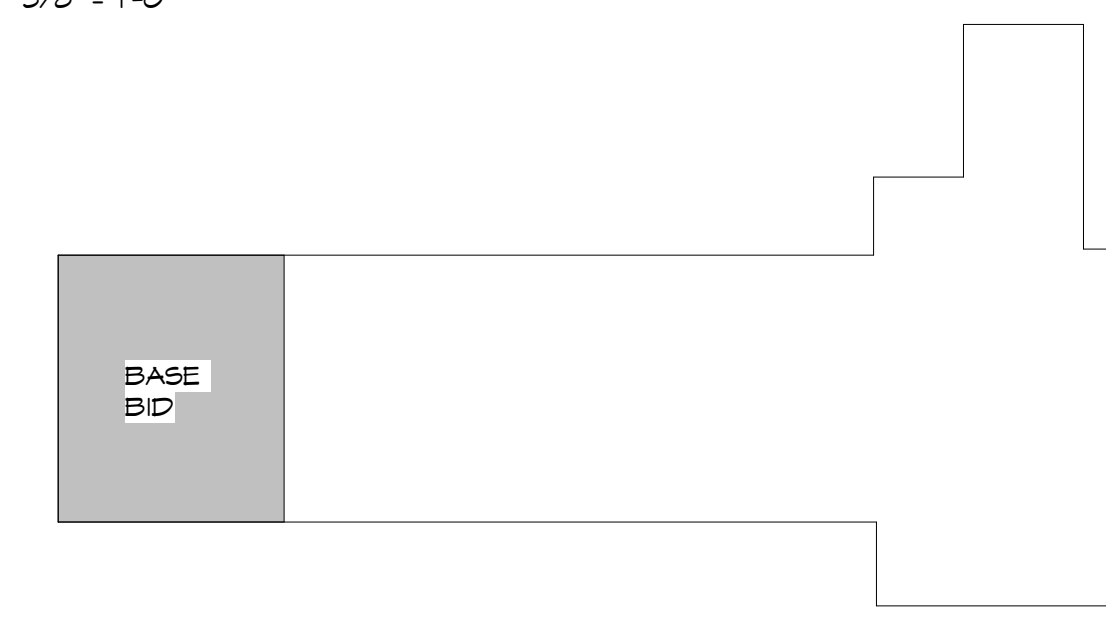
4 KENNEL EXTERIOR GATE  
3/8" = 1'-0"



5 KENNEL INTERIOR GATE  
3/8" = 1'-0"



3 KENNEL PASS THROUGH  
3/8" = 1'-0"



KEY PLAN - KENNEL AND LOADING

ARCHITECTURE  
PLANNING  
INTERIOR DESIGN

Lyman Davidson Dooley, Inc.

1648 Powers Ferry Road  
Building One  
Marietta, GA 30067

770.850.8494 f  
770.956.9030 f  
liddi-architects.com

REVISIONS

NO.	DATE	OWNER/PERMIT	COMMENTS
1	03/12/20	Owner/permit	comments

STATE OF GEORGIA  
Professional Seal of Lyman Davidson Dooley, Inc.

EXISTING RENOVATION  
OCONEE ANIMAL SHELTER  
EXPANSION  
OCONEE COUNTY, GEORGIA

OCONEE ANIMAL SHELTER EXPANSION

1171 Branch Rd.  
Bishop, GA 30621

OCONEE COUNTY  
23 N Main Street  
Watkinsville, GA 30677

TITLE: KENNEL EXPANSION & LOADING BASE BID

STATUS: PERMIT SET

JOB: 119024.00

QC: BKS

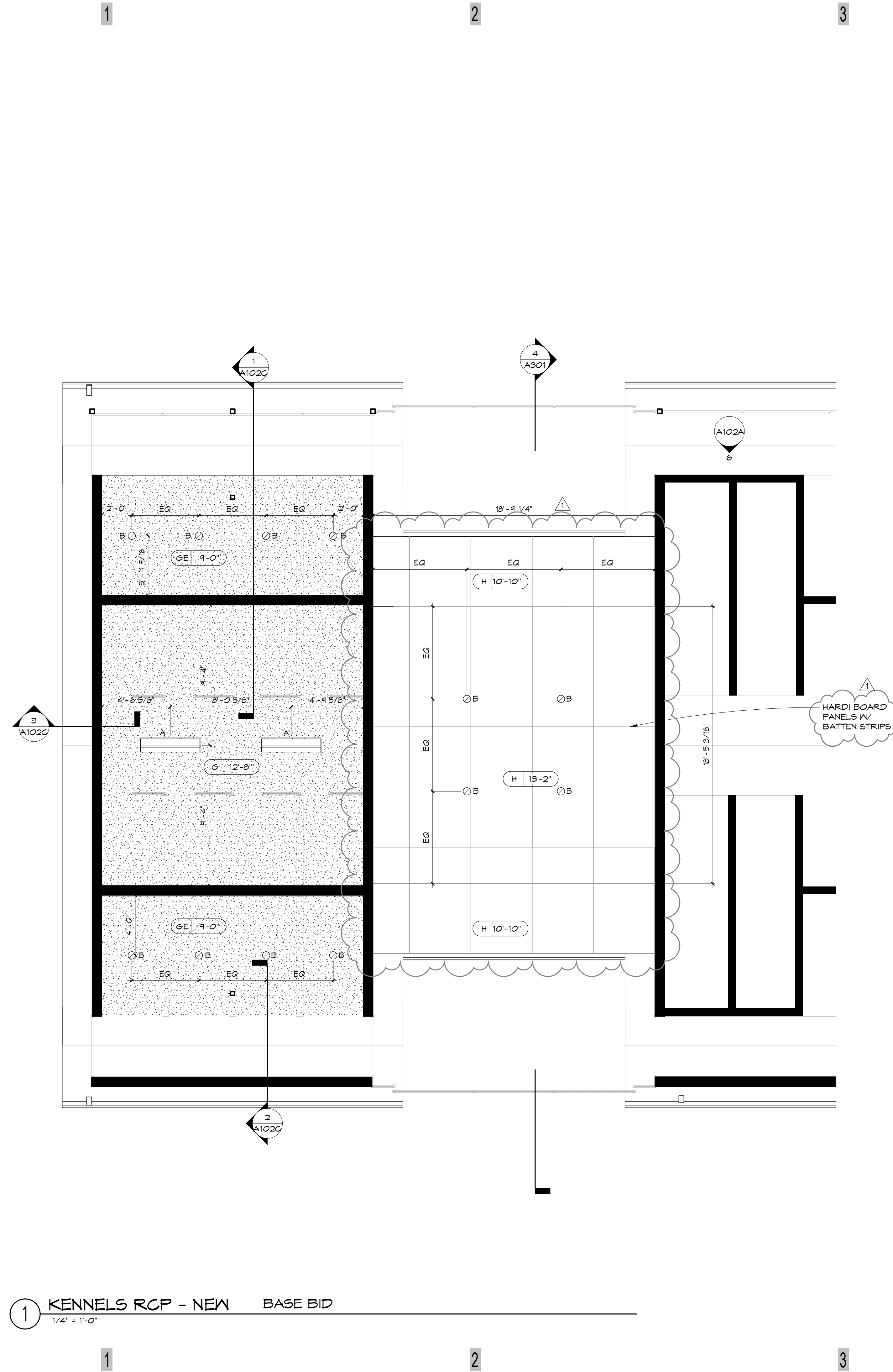
DRAWN: JT

SHEET: A102A

DATE: 12/13/2019

PERMIT SET

I:\Media\Projects\11902400 Oconee Animal Shelter\Center\Drawings\119024 Oconee Animal Shelter.rvt  
 3/25/2020 10:10:50 AM



### R.C.P. LEGEND

TYPE	HEIGHT	CEILING TYPE AND HEIGHT TAG:
GE		GYPSUM BOARD EXTERIOR GRADE
G		GYPSUM BOARD
H		HARDI BD.
A		1X4 CEILING MOUNTED FLOURESCENT LIGHT
B		6" DIA. RECESSED CAN LIGHT

**NOTES:**  
 1. PROVIDE EMERGENCY LIGHTING, STROBES, ALARMS, FIRE PULLS AND SMOKE DETECTORS AS REQUIRED BY CODE.  
 2. NOTIFY ARCHITECT IMMEDIATELY OF ANY CLEARANCE CONFLICTS WITH LIGHT FIXTURES DUE TO EXISTING OR RELOCATED ITEMS (DUCTWORK, SPRINKLER LINES, ETC.) ABOVE CEILING.  
 3. SEE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL EQUIPMENT IN THE CEILING.

1 KENNELS RCP - NEW BASE BID  
1/4" = 1'-0"

THIS DRAWING IS THE PROPERTY OF LYMAN DAVIDSON DOOLEY INCORPORATED ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED LYMAN DAVIDSON DOOLEY. NOT VALID UNLESS SIGNED AND SEALED.

**REVISIONS**

1	03/12/20	Owner/permit	comments

**EXISTING RENOVATION  
 OCONEE ANIMAL SHELTER  
 EXPANSION**

OCONEE COUNTY, GEORGIA

**OCONEE ANIMAL SHELTER EXPANSION**

1171 Branch Rd.  
 Bishop, GA 30621

**OCONEE COUNTY**  
 23 N Main Street  
 Watkinsville, GA 30677

TITLE: KENNEL RCP BASE BID

STATUS: PERMIT SET

JOB: 119024.00

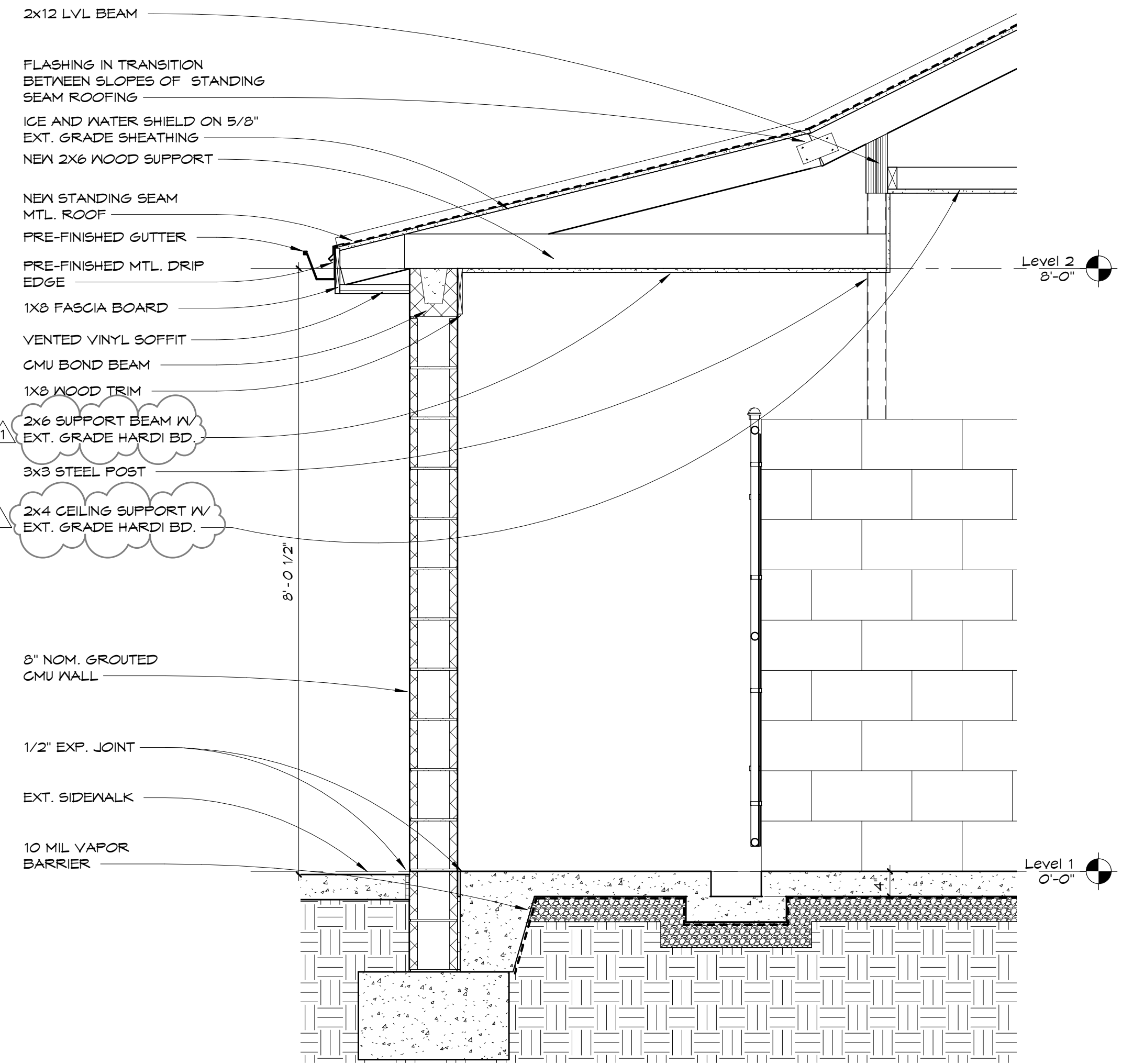
QC: BKS

DRAWN: JT

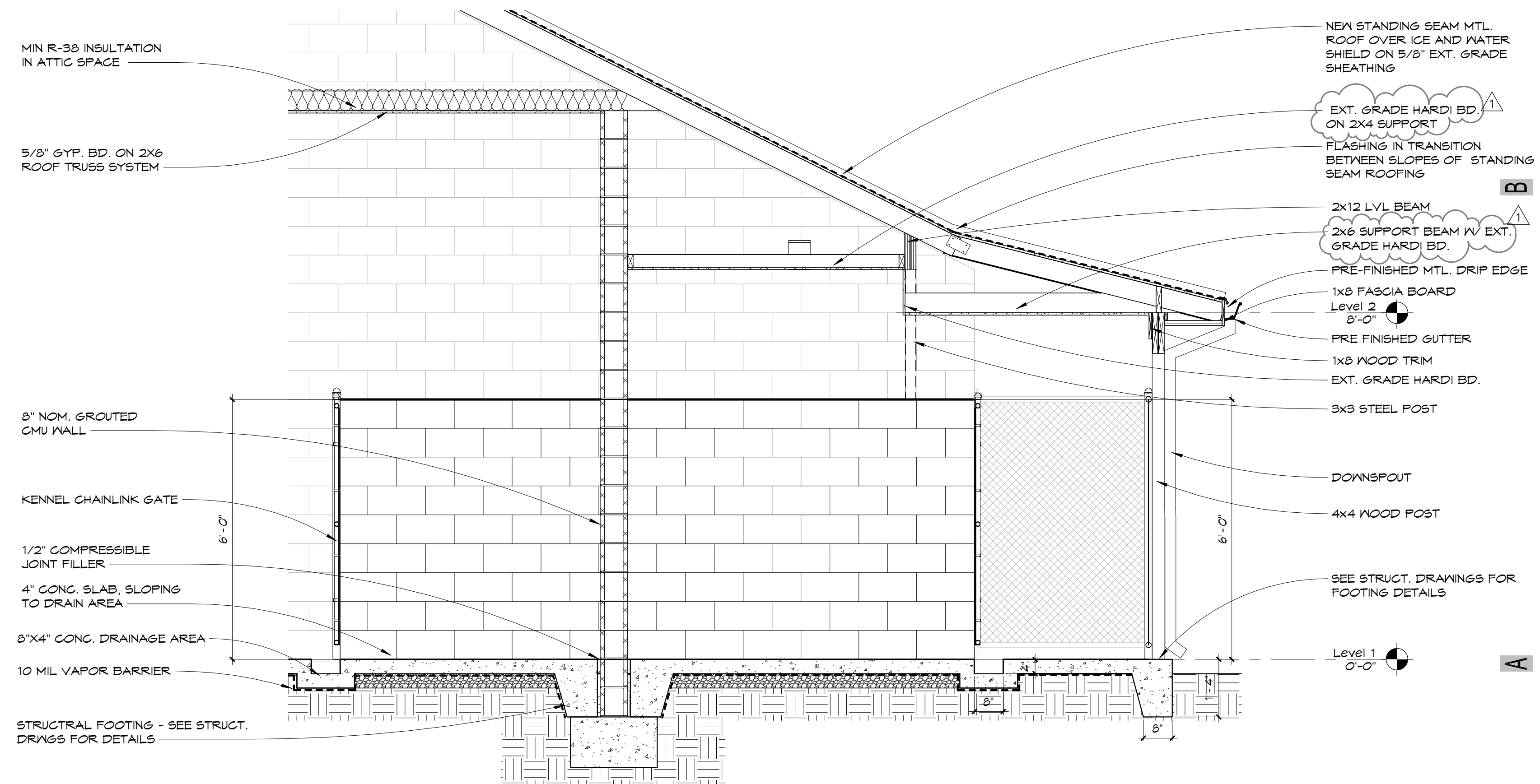
SHEET: **A102B**

DATE: 12/13/2019

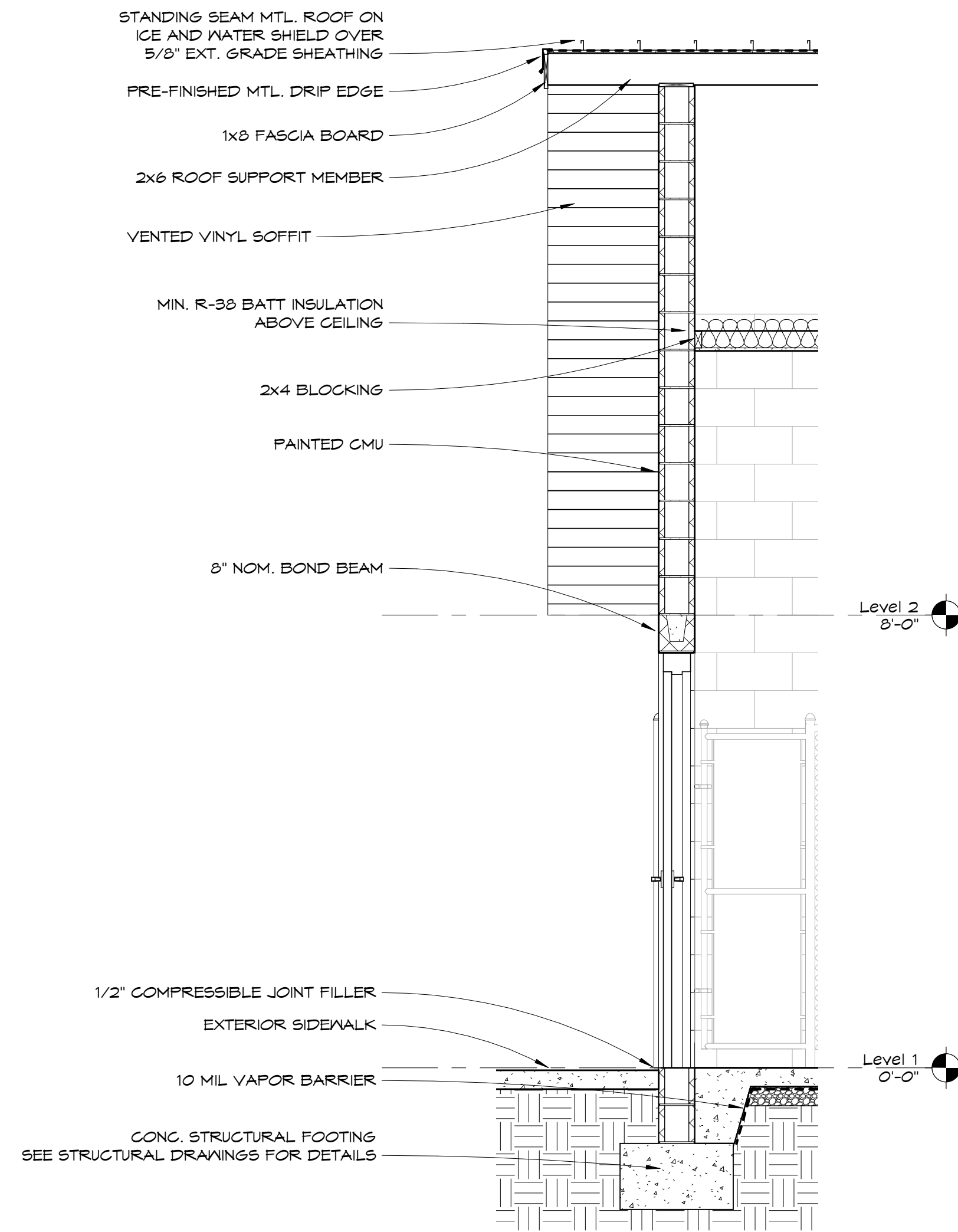
\\delv\62\Projects\11902400 Oconee Animal Shelter\CenterDrawings\119024 Oconee Animal Shelter.rvt  
 3/25/2020 10:10:52 AM



**2** NEW KENNEL WALL SECT. - CMU  
 3/4" = 1'-0"



**1** NEW KENNEL WALL SECT. - FENCE  
 1/2" = 1'-0"



**3** NEW KENNEL EXTERIOR WALLSECTION  
 1/2" = 1'-0"

THIS DRAWING IS THE PROPERTY OF LYMAN DAVIDSON DOOLEY INCORPORATED ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED LYMAN DAVIDSON DOOLEY. NOT VALID UNLESS SIGNED AND SEALED.

**REVISIONS**  
 1 03/12/20 Owner/permit comments

OCONEE COUNTY, GEORGIA  
 OCONEE ANIMAL SHELTER EXPANSION  
 OCONEE COUNTY, GEORGIA  
 OCONEE ANIMAL SHELTER EXPANSION  
 1171 Branch Rd, Bishop, GA 30621  
 OCONEE COUNTY  
 23 N Main Street, Watkinsville, GA 30667  
 TITLE: KENNEL SECTIONS AND DETAILS BASE BID  
 STATUS: PERMIT SET  
 JOB: 119024.00  
 QC: BKS  
 DRAWN: JT  
 SHEET: **A102C**  
 DATE: 12/13/2019

**PERMIT SET**

ARCHITECTURE  
 PLANNING  
 INTERIOR DESIGN  
 Lyman Davidson Dooley, Inc.  
 1548 Powers Ferry Road  
 Building One  
 Marietta, GA 30067  
 770.850.8494 f  
 770.956.9030 f  
 lddi-architects.com



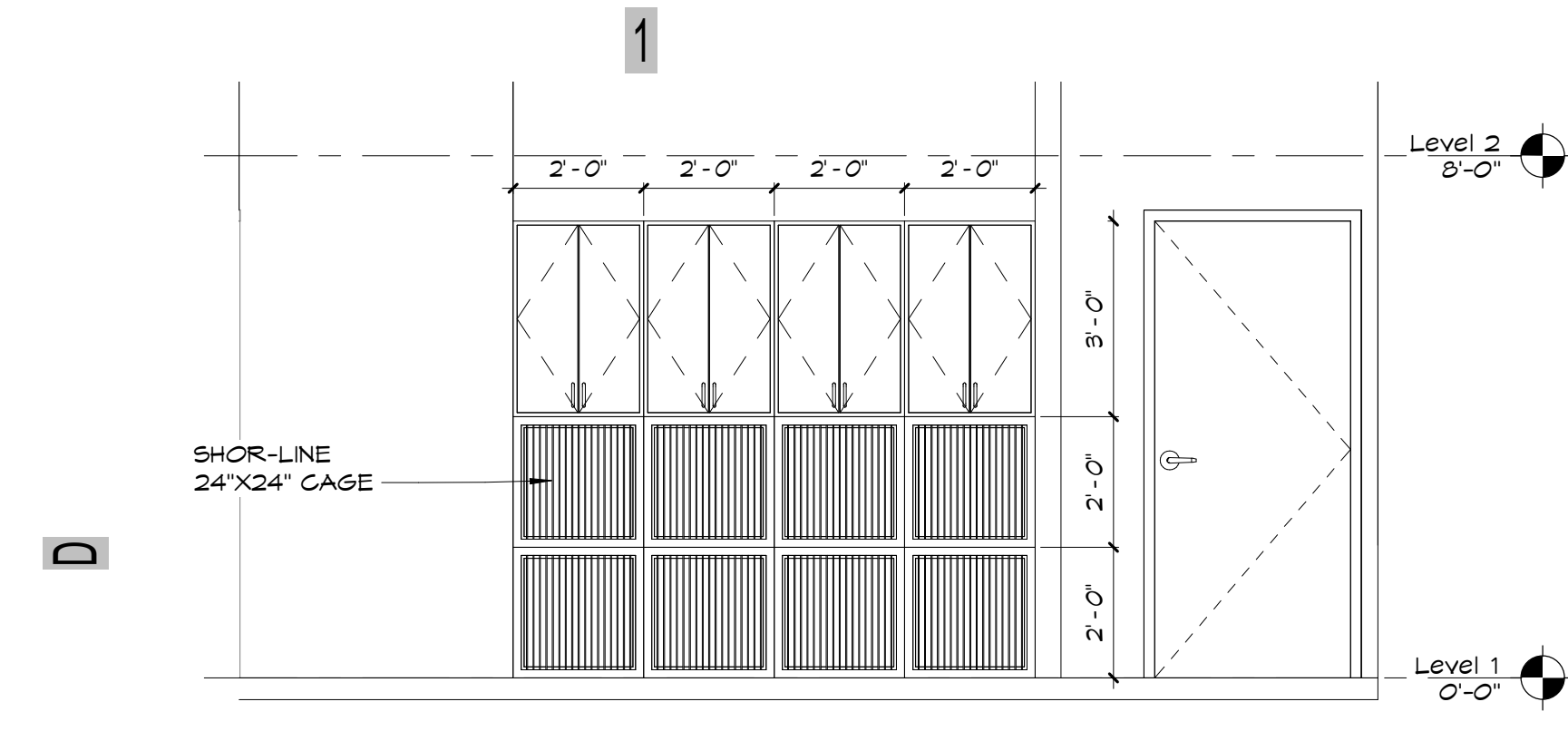
INTERIOR WALL TYPES			
MARK	SYMBOL	DESCRIPTION	FIRE RATING
A		NEW EXTERIOR WALL: - VINYL SIDING TO MATCH EXISTING - 5/8" EXT. GRADE SHEATHING - 2X4 WOOD STUD - 5/8" GYP. BOARD	-
B		- 5/8" GYP. BOARD - 2X4 WOOD STUDS - 5/8" GYP. BOARD - EXTEND TO 6" ABOVE CEILING UNLESS OTHERWISE NOTED	-
MA		- 8" CMU - Paint exterior to match existing	-
MA-2		- 8" CMU - 2 Hour rated per UL 905	2 HR Per UL 905
MB		- 4" CMU - See kennel elevations for height	-

NOTES:  
1. SEE WALL SECTIONS FOR EXTERIOR WALL TYPES.  
2. ALL METAL STUDS @ 16" O.C. MIN. SEE SPEC FOR MORE DETAILS.  
3. USE TILE BACKER BOARD IN PLACE OF GYP. BD. FOR WALLS THAT USE TILE, TYP.  
4. USE MOISTURE-RESISTANT GYP. BD. FOR NON-TILED WALLS IN RESTROOMS.

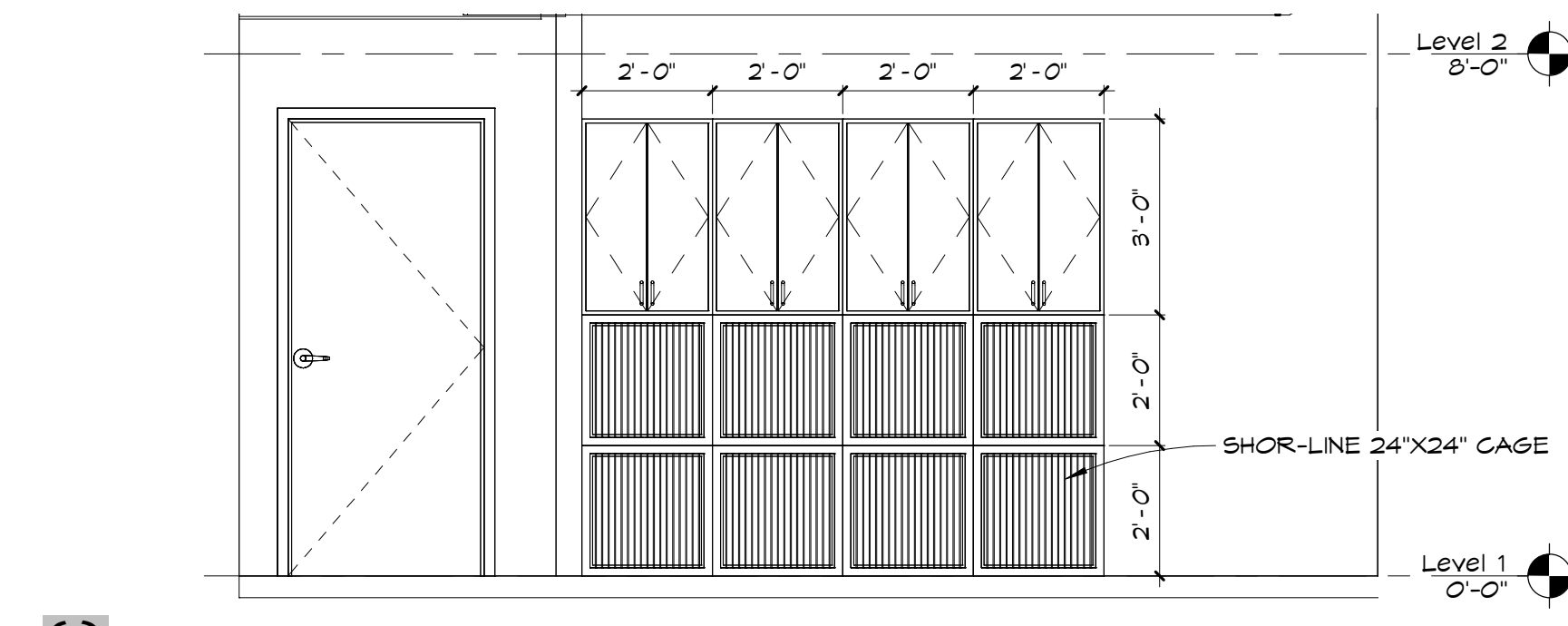
HARDWARE SET NUMBER 3 - EXTERIOR DOORS			
HINGE	1	CONTINUOUS HINGE	SL-18HD x ATW 4
LOCKSET	1	CORBIN/RUSSWIN	
CLOSER	1	1461-H-CUSH	
MISC.	1	EXIT DEVICE	OEL3347NL-OP
	1	THRESHOLD	425 X RCE
	1	KICKPLATE	KP X B4E X CSK
	1	DOOR BOTTOM SEALS	200SA
	1	SET DOOR SEALS	700SA

HARDWARE SET NUMBER 2 - INTERIOR DOORS			
HINGE	3	BB81	
LOCKSET	1	ML2055	
CLOSER	1	1461	
MISC.	1	KICKPLATE	KP X B43 X CSK
	1	DOOR STOP	575
	1	SET DOOR SEALS	5075

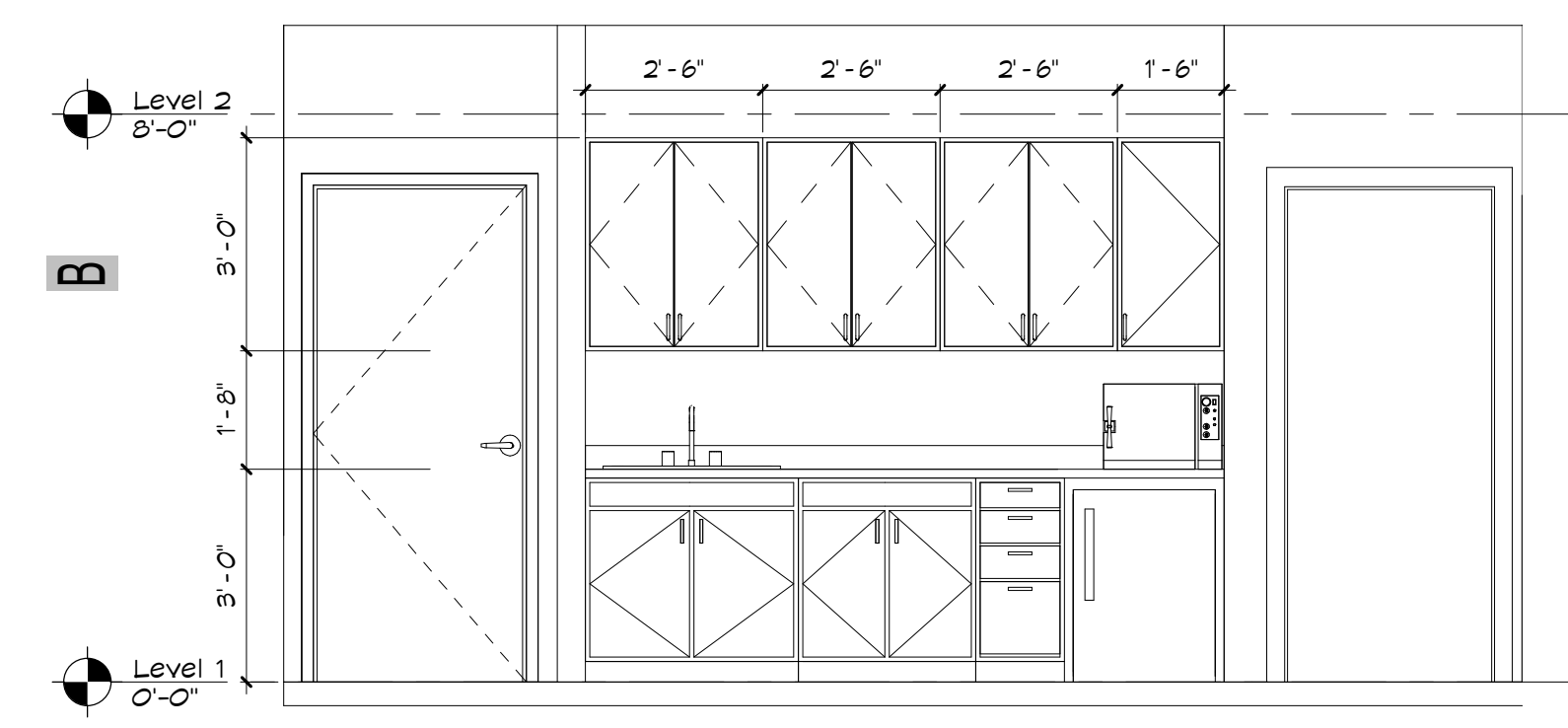


5 CAT QUARENTINE ELEV. 2  
3/8" = 1'-0"

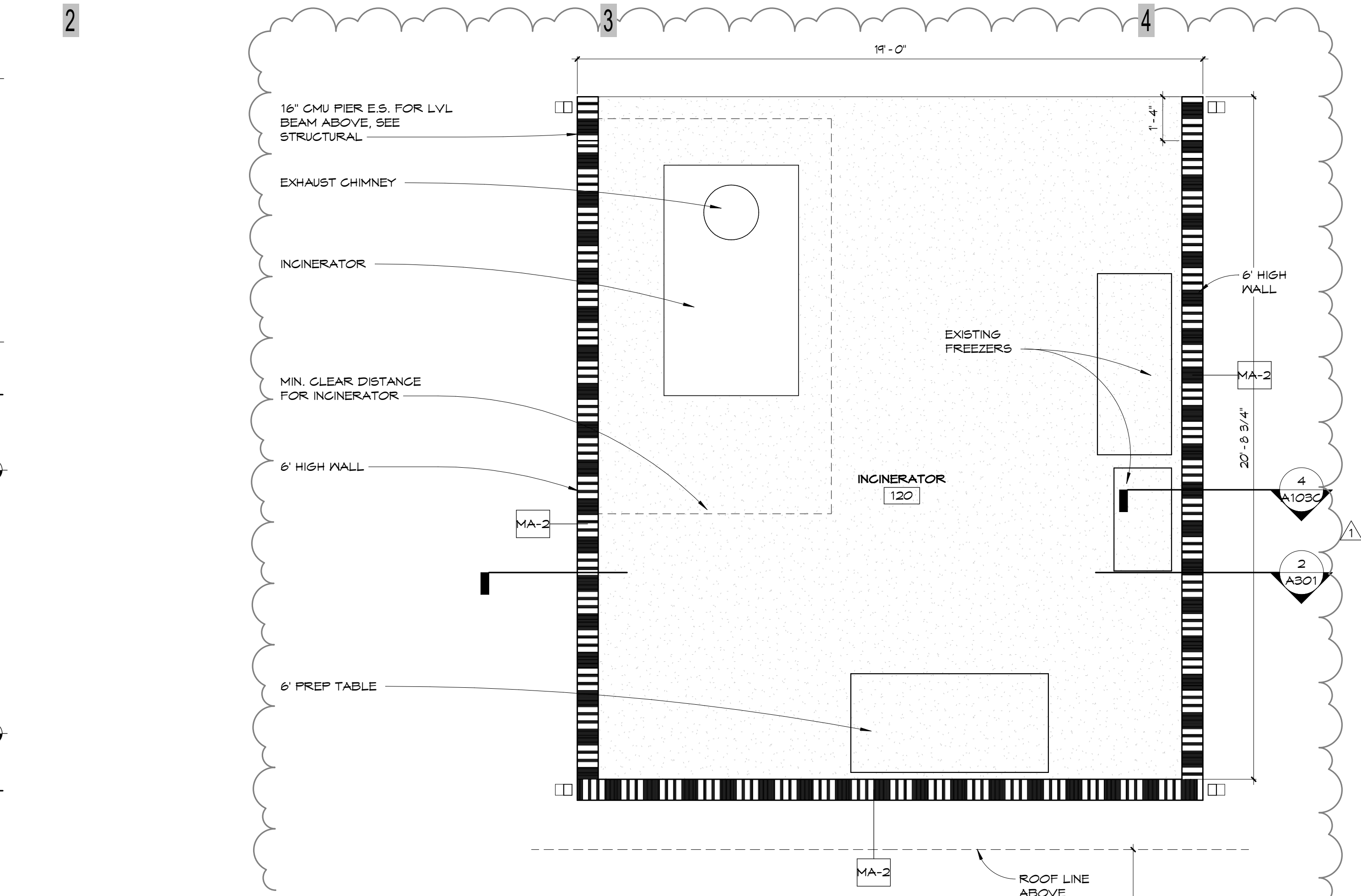


4 CAT QUARENTINE ELEV. 1  
3/8" = 1'-0"

NEW DOOR SCHEDULE - OPERATIONS ADDITION															
MARK	ROOM	TYPE	WIDTH	HEIGHT	DOOR			FRAME		DETAILS			HARDWARE SET NUM.	FIRE RATING	COMMENTS
					MAT.	FINISH	MAT.	FINISH	HEAD	JAMB	SILL				
117	LAB	A	3'-0"	7'-0"	H.M.	PAINT	H.M.	PAINT	4/A601	5/A601	3/A601	2		Alt #1	
119A	CAT QUARENTINE	A	3'-0"	7'-0"	H.M.	PAINT	H.M.	PAINT	4/A601	5/A601	3/A601	3		Alt #1	
119B	CAT QUARENTINE	A	3'-0"	7'-0"	H.M.	PAINT	H.M.	PAINT	4/A601	5/A601	3/A601	2		Alt #1	

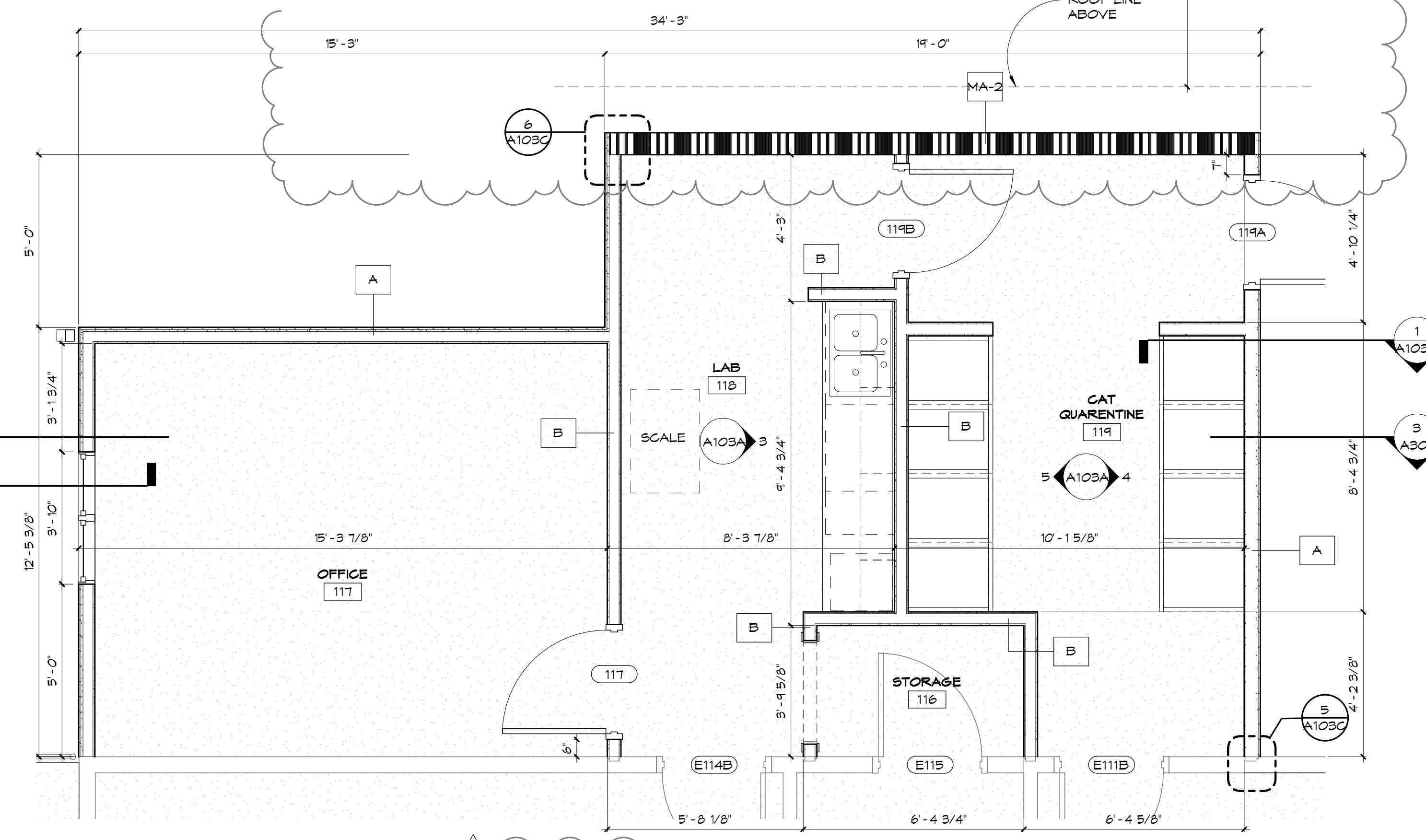


3 LAB CASEWORK ELEVATION  
3/8" = 1'-0"



1 OPERATIONS ADDITION  
3/8" = 1'-0"

ALTERNATE #1

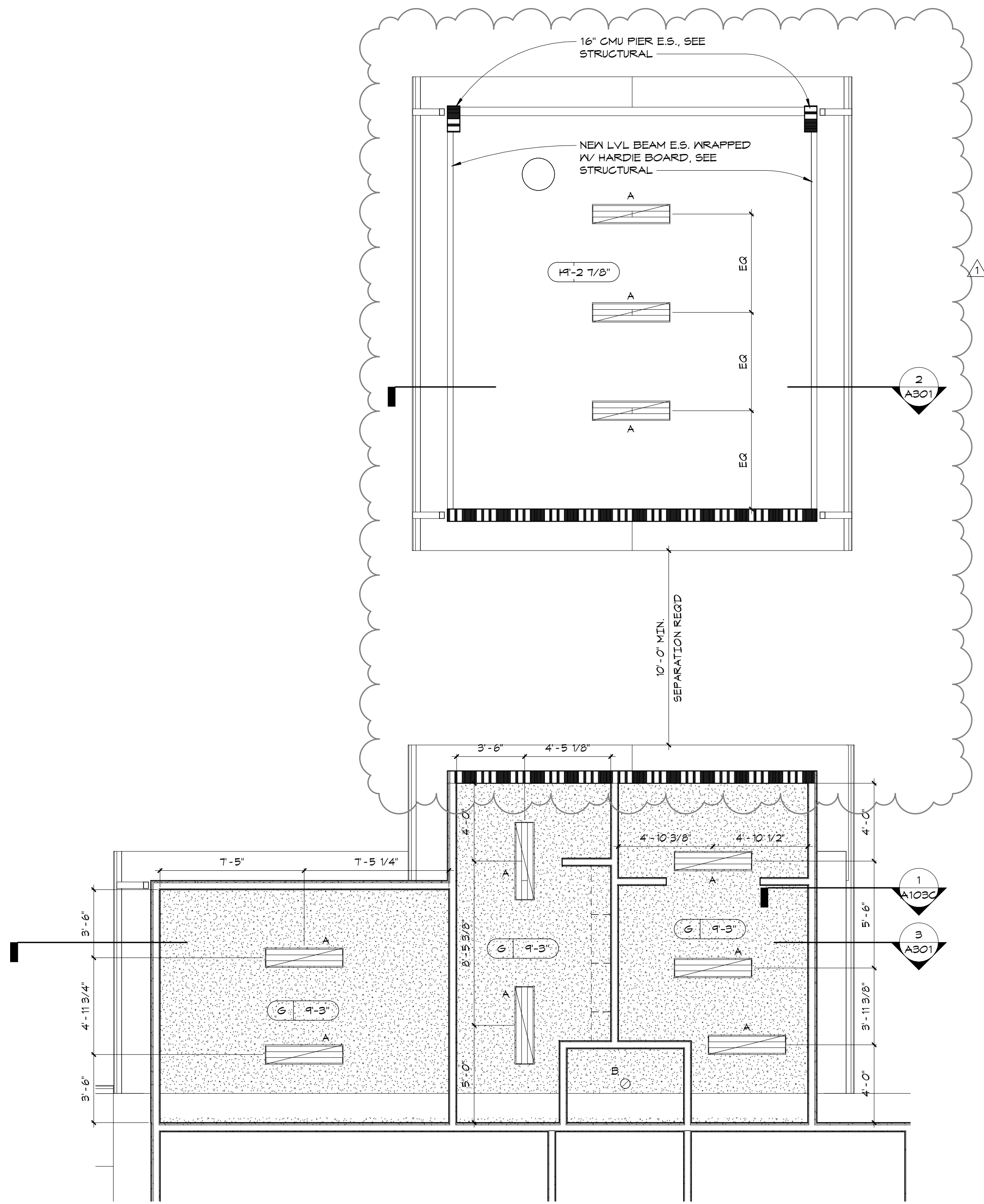


KEY PLAN - OPERATIONS

5

I:\di\62\Projects\11902400 Oconee Animal Shelter\Center\Drawings\119024 Oconee Animal Shelter.rvt  
 3/25/2020 10:10:54 AM

**1 OPERATIONS RCP - NEW ALTERNATE #1**  
1/4" = 1'-0"



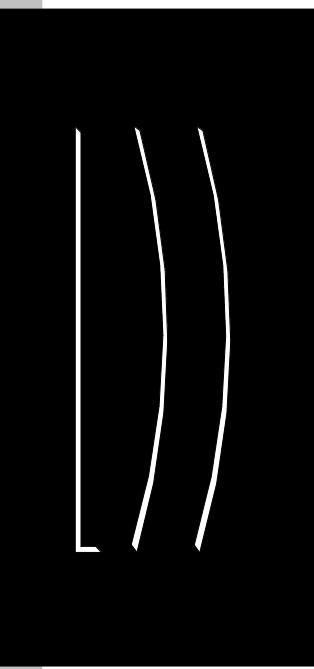
### R.C.P. LEGEND

TYPE	HEIGHT	CEILING TYPE AND HEIGHT TAG:
—		GE: GYPSUM BOARD EXTERIOR GRADE
—		G: GYPSUM BOARD
—		H: HARDI BD.
▬		A: 1X4 CEILING MOUNTED FLOURESCENT LIGHT
○		B: 6" DIA. RECESSED CAN LIGHT

**NOTES:**

- PROVIDE EMERGENCY LIGHTING, STROBES, ALARMS, FIRE PULLS AND SMOKE DETECTORS AS REQUIRED BY CODE.
- NOTIFY ARCHITECT IMMEDIATELY OF ANY CLEARANCE CONFLICTS WITH LIGHT FIXTURES DUE TO EXISTING OR RELOCATED ITEMS (DUCTWORK, SPRINKLER LINES, ETC.) ABOVE CEILING.
- SEE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL EQUIPMENT IN THE CEILING.

ARCHITECTURE  
PLANNING  
INTERIOR DESIGN




**Lyman Davidson Dooley, Inc.**  
1648 Powers Ferry Road  
Building One  
Marietta, GA 30067  
770.850.8494 f  
770.956.9030 f  
lidd-architects.com

**EXISTING RENOVATION  
OCONEE ANIMAL SHELTER  
EXPANSION**  
OCONEE COUNTY, GEORGIA

**OCONEE ANIMAL SHELTER  
EXPANSION**  
1171 Branch Rd.  
Bishop, GA 30621

**OCONEE COUNTY**  
23 N Main Street  
Watkinsville, GA 30677

REVISIONS	DATE	BY	DESCRIPTION
1	03/12/20	Owner/permit	comments



TITLE OPERATIONS RCP  
ALTERNATE #1

STATUS PERMIT SET

JOB 119024.00

QC BKS

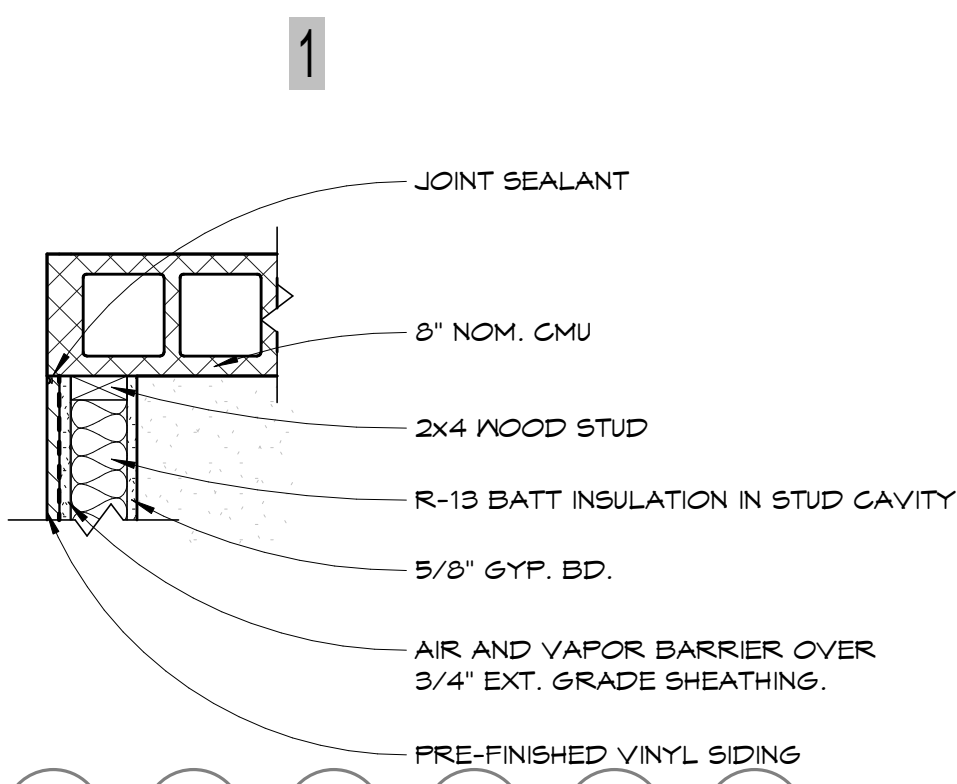
DRAWN JT

SHEET **A103B**

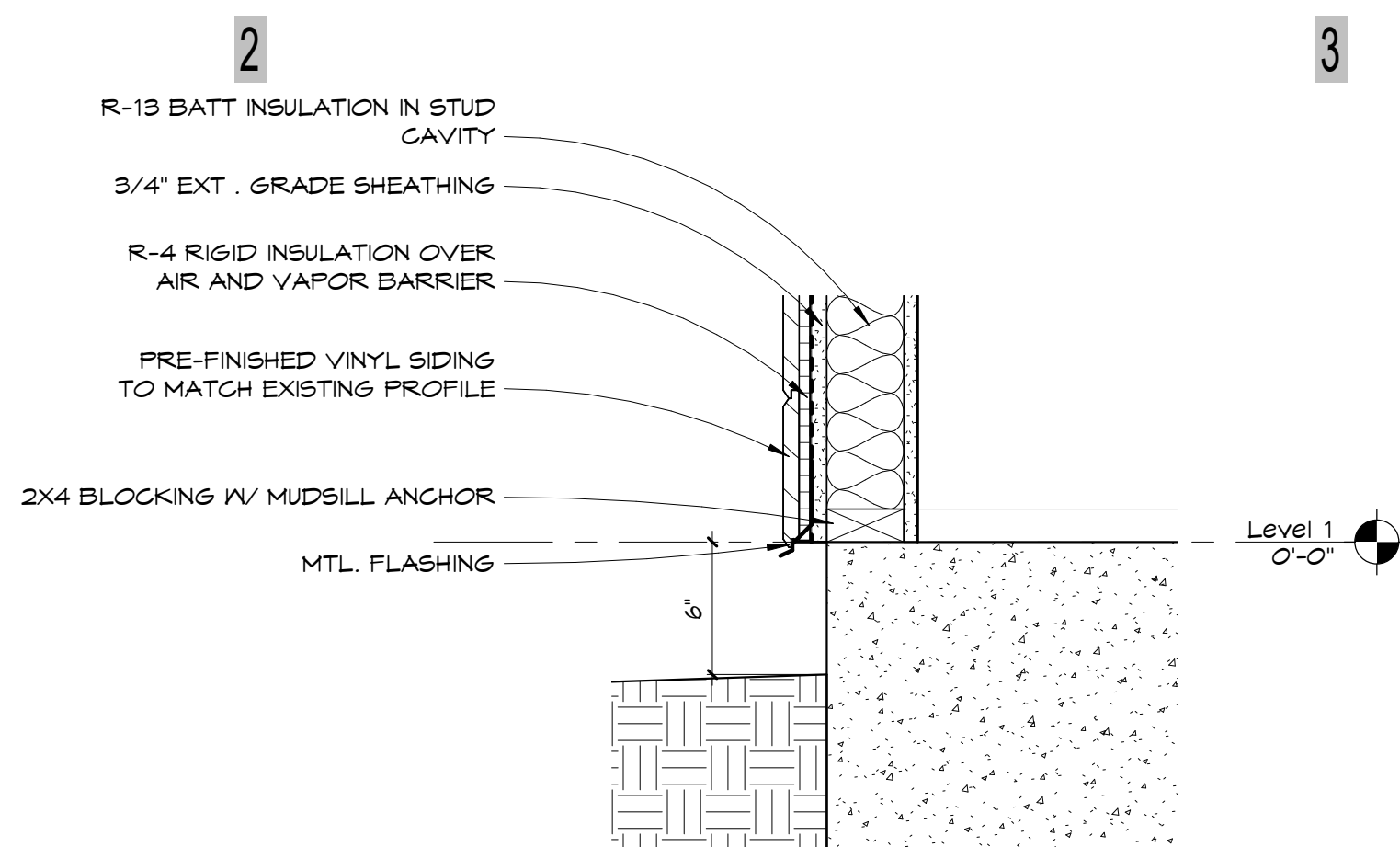
DATE 12/13/2019

**PERMIT SET**

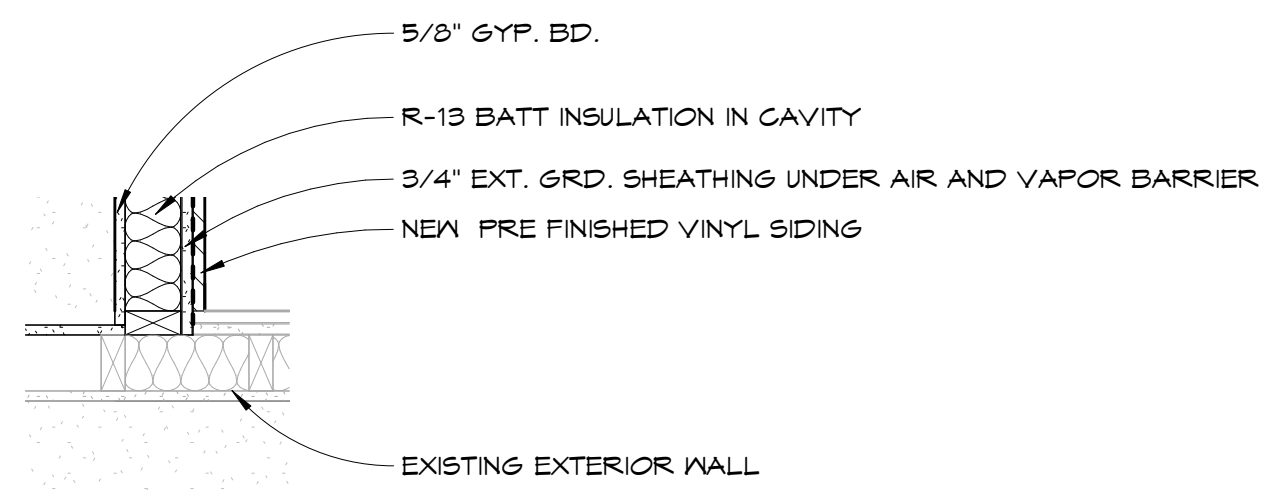




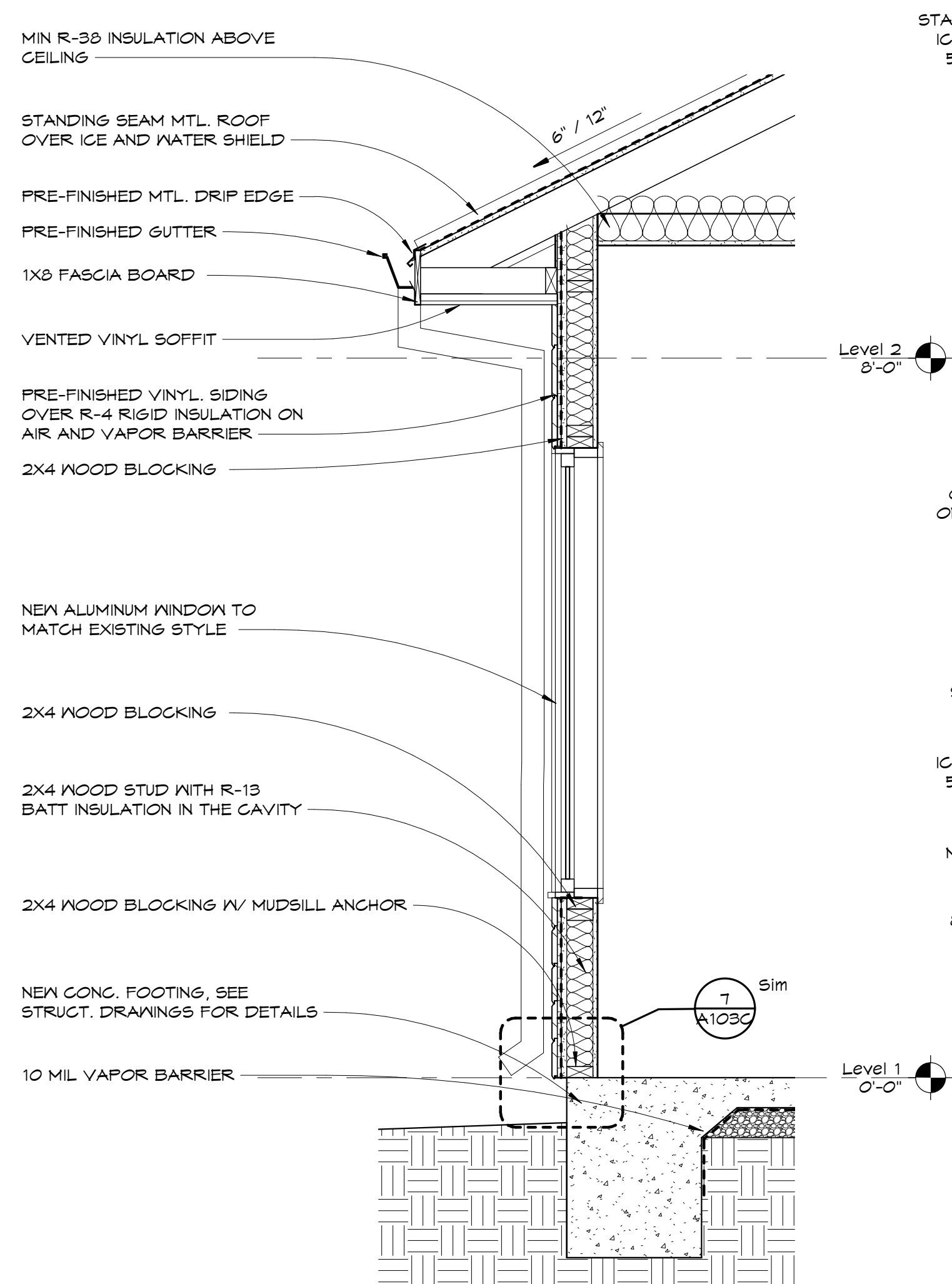
6 CMU - WOOD CORNER DETAIL  
1" = 1'-0"



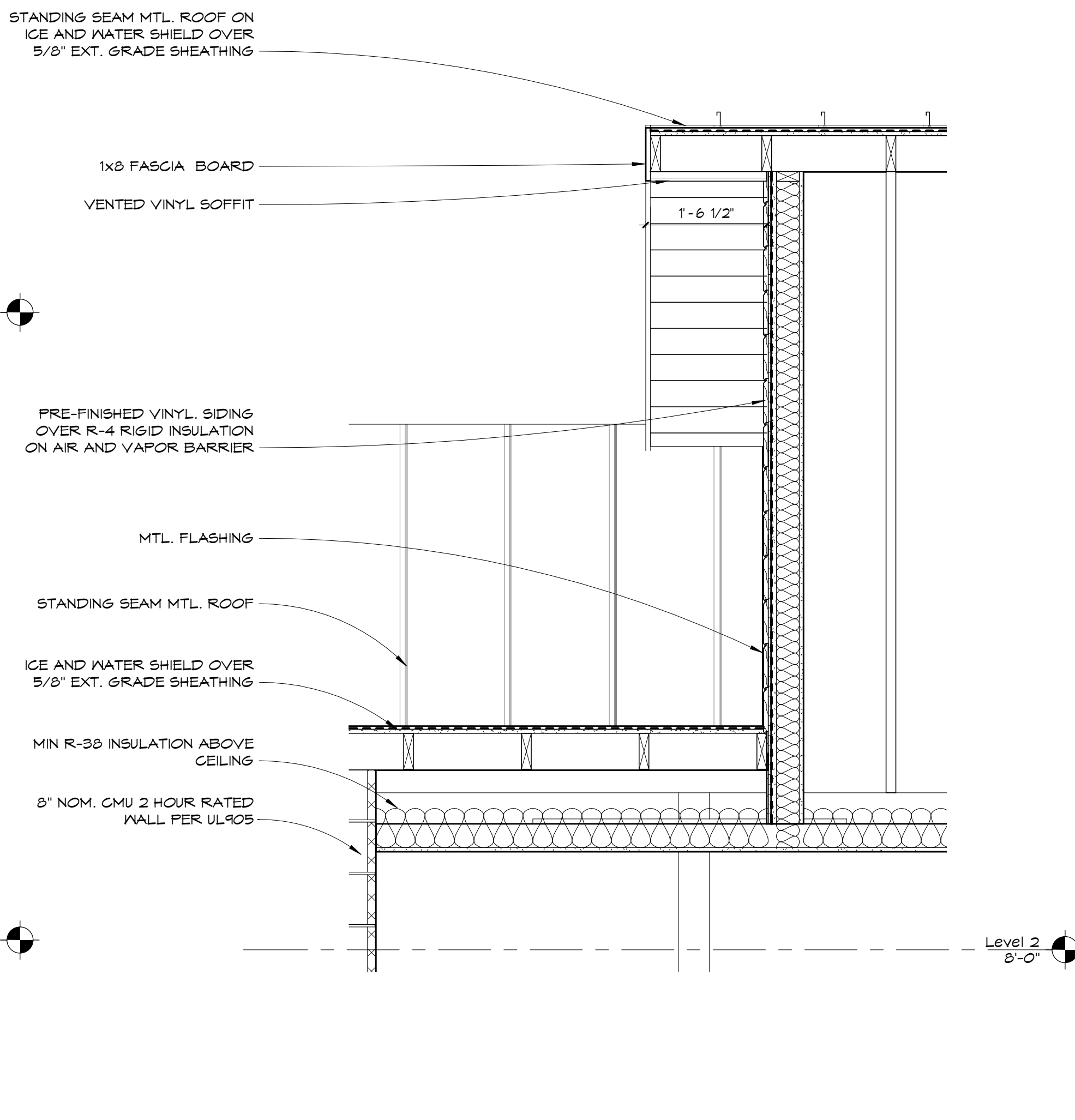
7 WALL BASE DETAIL  
1 1/2" = 1'-0"



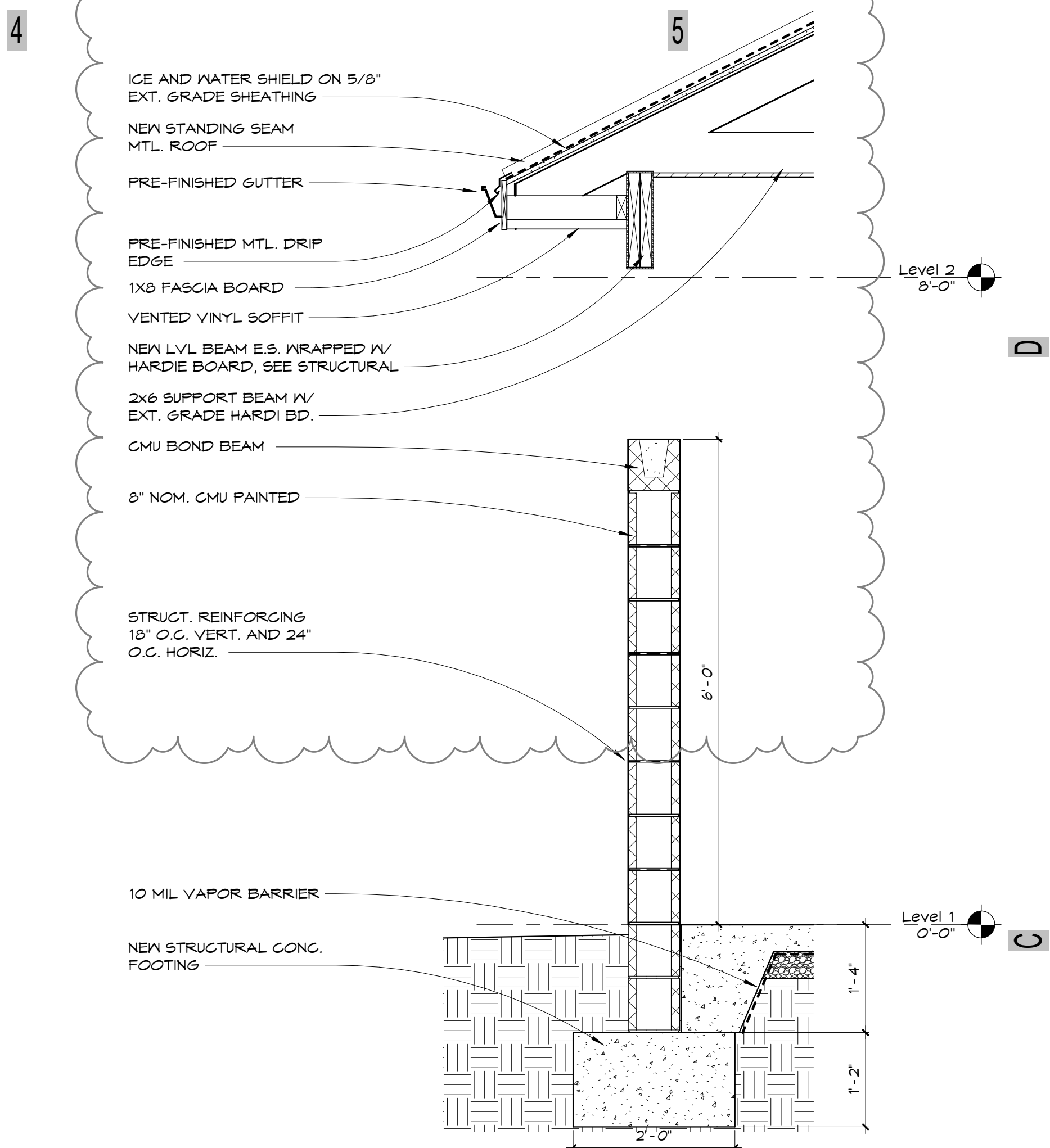
5 OPER. ADDITION PLAN DETAIL  
1" = 1'-0"



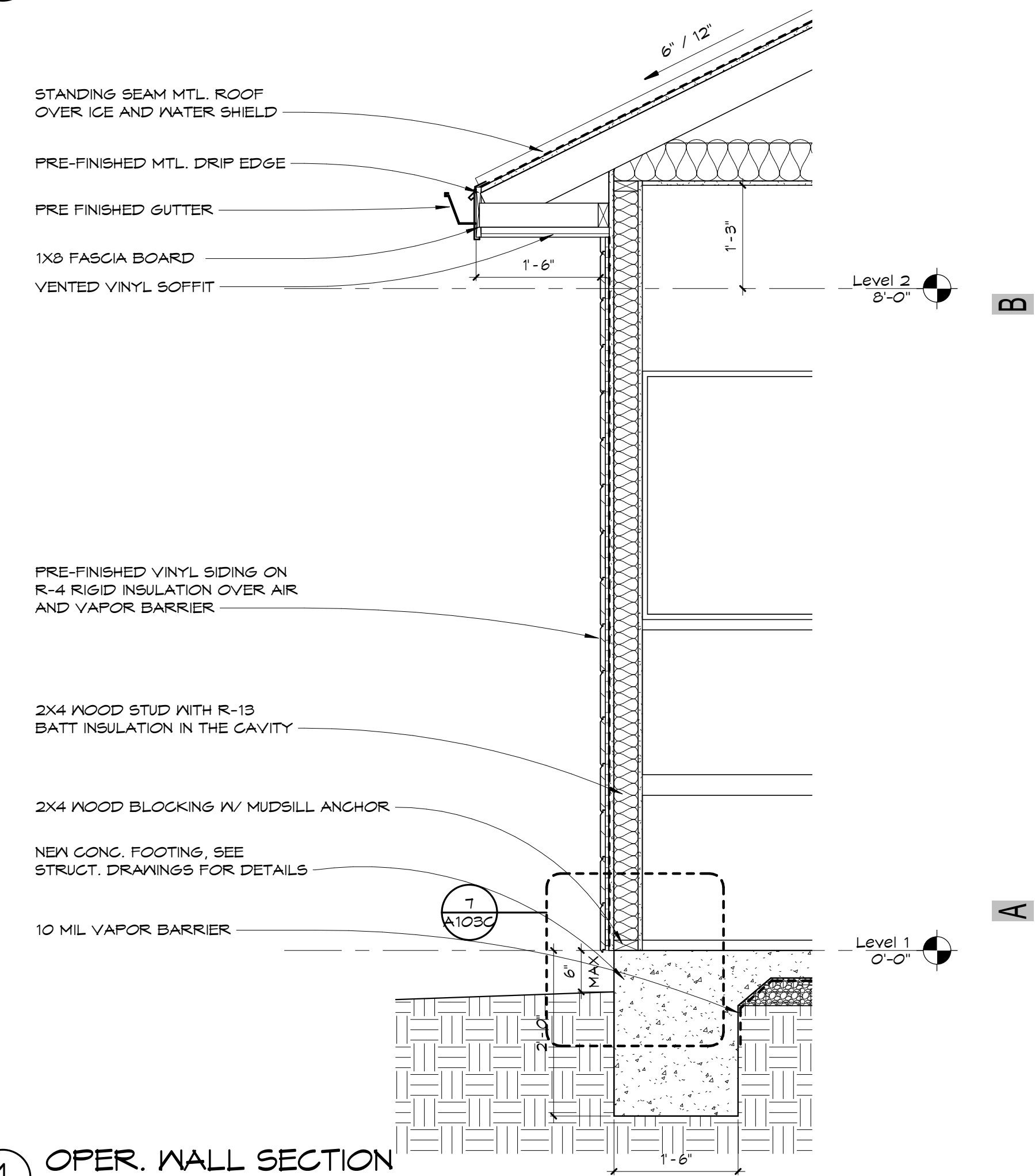
3 OPER. WALL SECTION 2  
3/4" = 1'-0"



2 ROOF TRANSITION SECTION  
3/4" = 1'-0"



4 OPER. WALL SECTION @ CMU  
3/4" = 1'-0"



1 OPER. WALL SECTION  
3/4" = 1'-0"

REVISIONS
1 03/12/20 Owner/permit comments



EXISTING RENOVATION  
OCONEE ANIMAL SHELTER  
EXPANSION  
OCONEE COUNTY, GEORGIA

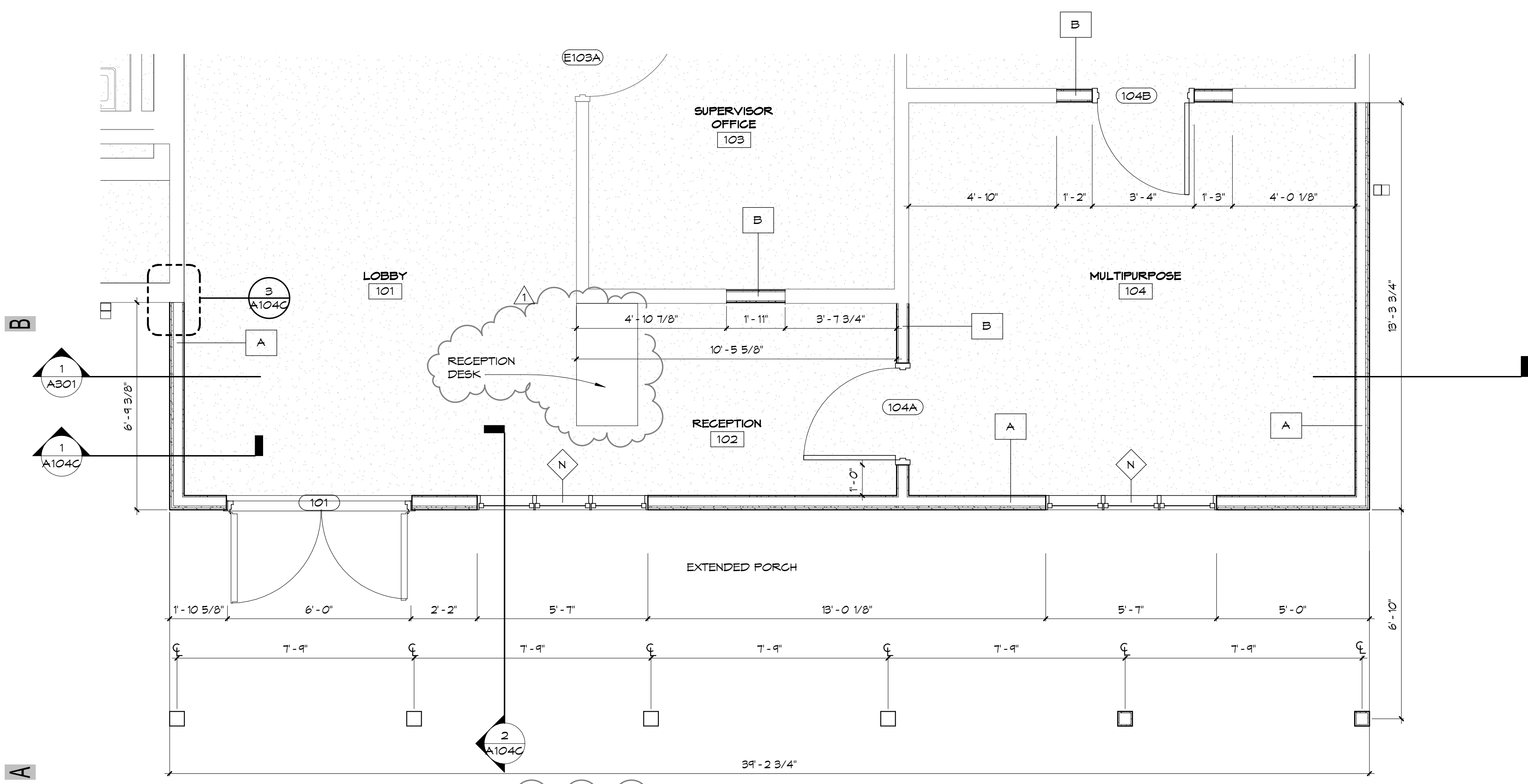
OCONEE ANIMAL SHELTER EXPANSION  
1171 Branch Rd.  
Bishop, GA 30621  
OCONEE COUNTY  
23 N Main Street  
Watkinsville, GA 30677

TITLE OPERATIONS SECTIONS AND DETAILS ALTERNATE #1  
STATUS PERMIT SET  
JOB 119024.00  
QC BKS  
DRAWN JT  
SHEET A103C  
DATE 12/13/2019

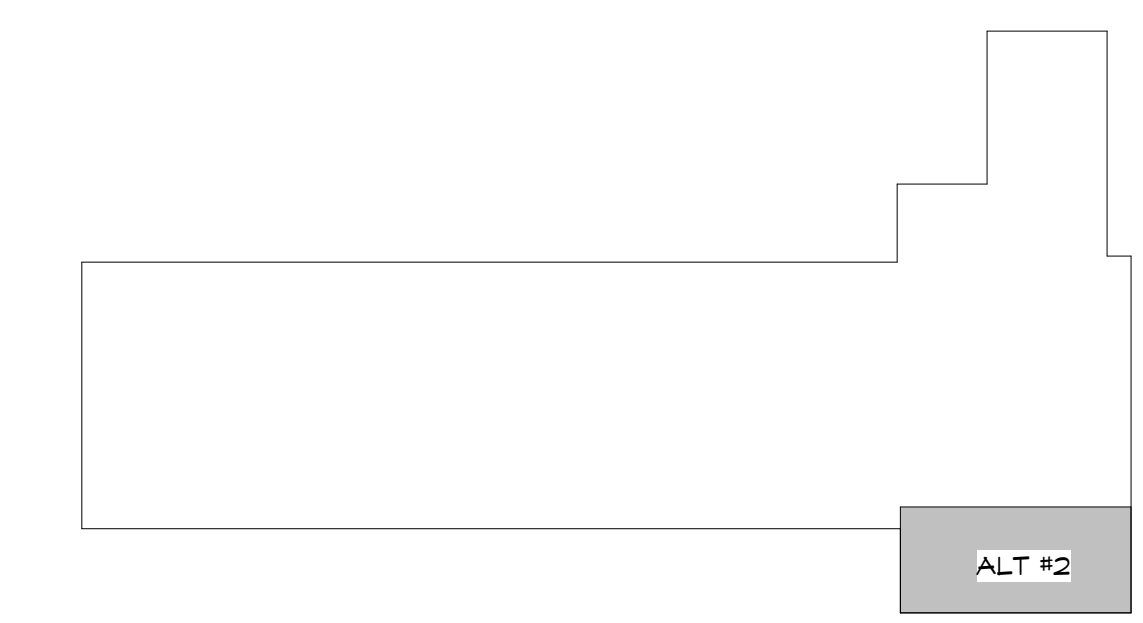
DOOR SCHEDULE - ADMINISTRATION ADDITION														
MARK	ROOM	TYPE	WIDTH	HEIGHT	DOOR		FRAME		DETAILS			HARDWARE SET NUM.	FIRE RATING	COMMENTS
					MAT.	FINISH	MAT.	FINISH	HEAD	JAMB	SILL			
101	LOBBY		6'-0"	7'-0"	H.M.	PAINT	H.M.	PAINT	4/A601	5/A601	3/A601		-	Alt #2
104A	RECEPTION	A	3'-0"	7'-0"	H.M.	PAINT	H.M.	PAINT	4/A601	5/A601	3/A601		-	Alt #2
104B	GROUP OFFICE	A	3'-0"	7'-0"	H.M.	PAINT	H.M.	PAINT	4/A601	5/A601	3/A601		-	Alt #2
HARDWARE SET NUMBER 1 - ENTRY DOOR					HARDWARE SET NUMBER 2 - INTERIOR DOORS									
HINGE	1	CONTINUOUS HINGE	SL-11HD		HINGE	3	BB81							
LOCKSET	1	CORBIN/RUSSWIN			LOCKSET	1	ML2055							
CLOSER	1	1461-H-CUSH			CLOSER	1	1461							
MISC.	1	EXIT DEVICE	QEL3347NL-OP		MISC.	1	KICKPLATE		KP X B43 X CSK					
	1	THRESHOLD	425 X RCE			1	DOOR STOP		575					
						1	SET DOOR SEALS		5075					

INTERIOR WALL TYPES			
MARK	SYMBOL	DESCRIPTION	FIRE RATING
A	=====	NEW EXTERIOR WALL: - VINYL SIDING TO MATCH EXISTING - 5/8" EXT. GRADE SHEATHING - 2X4 WOOD STUD - 5/8" GYP. BOARD	-
B	=====	- 5/8" GYP. BOARD - 2X4 WOOD STUDS - 5/8" GYP. BOARD - EXTEND TO 6" ABOVE CEILING UNLESS OTHERWISE NOTED	-
MA	=====	- 8" CMU - Paint exterior to match existing	-
MA-2	=====	- 8" CMU - 2 Hour rated per UL 90B	2 HR Per UL 90B
MB	=====	- 4" CMU - see kernel elevations for height	-

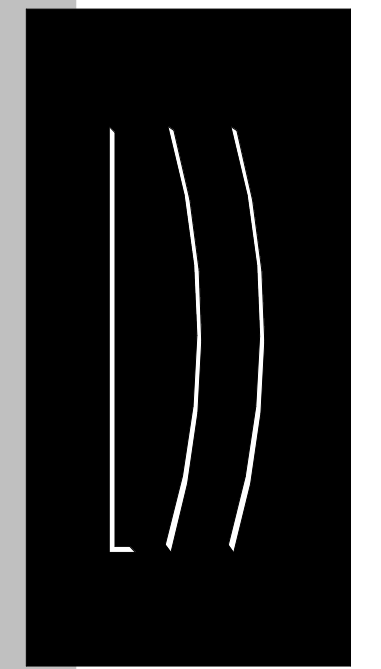
NOTES:  
1. SEE WALL SECTIONS FOR EXTERIOR WALL TYPES.  
2. ALL METAL STUDS @ 16" O.C. MIN., SEE SPEC FOR MORE DETAILS.  
3. USE TILE BACKER BOARD IN PLACE OF GYP. BD. FOR WALLS THAT USE TILE, TYP.  
4. USE MOISTURE-RESISTANT GYP. BD. FOR NON-TILED WALLS IN RESTROOMS.



1 ADMINISTRATION RENOVATION ALTERNATE #2  
3/8" = 1'-0"



KEY PLAN - ADMINISTRATION



Lyman Davidson Dooley, Inc.  
1648 Powers Ferry Road  
Building One  
Marietta, GA 30067  
770.850.8494 f  
770.956.9030 f  
iddi-architects.com

REVISIONS	
1	03/12/20 Owner/permit comments



EXISTING RENOVATION  
OCONEE ANIMAL SHELTER  
EXPANSION  
OCONEE COUNTY, GEORGIA

OCONEE ANIMAL SHELTER EXPANSION  
1171 Branch Rd.  
Bishop, GA 30621  
OCONEE COUNTY  
23 N Main Street  
Watkinsville, GA 30677

TITLE ADMINISTRATION RENOVATION ALTERNATE #2  
STATUS PERMIT SET  
JOB 119024.00  
QC Checker  
DRAWN Author  
SHEET A104A  
DATE 12/13/2019

THIS DRAWING IS THE PROPERTY OF LYMAN DAVIDSON DOOLEY INCORPORATED ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED LYMAN DAVIDSON DOOLEY. NOT VALID UNLESS SIGNED AND SEALED.

1

2

3

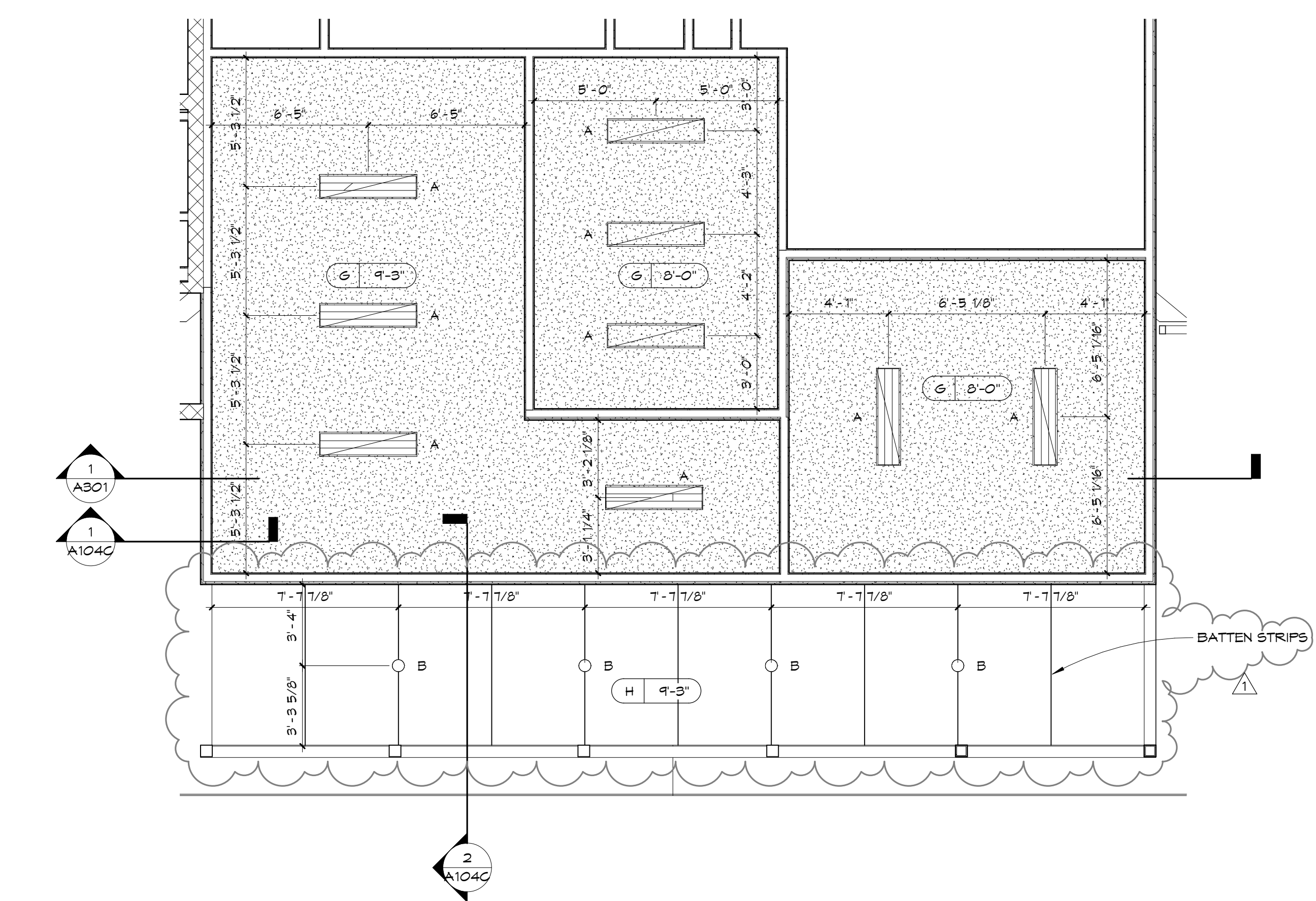
4

5

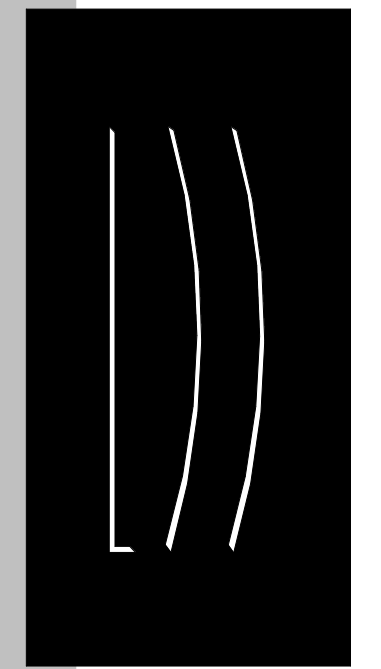
### R.C.P. LEGEND

TYPE	HEIGHT	CEILING TYPE AND HEIGHT TAG:
		GE: GYPSUM BOARD EXTERIOR GRADE
		G: GYPSUM BOARD
		H: HARDI BD.
		A: 1X4 CEILING MOUNTED FLOURESCENT LIGHT
		B: 6" DIA. RECESSED CAN LIGHT

- NOTES:**
- PROVIDE EMERGENCY LIGHTING, STROBES, ALARMS, FIRE PULLS AND SMOKE DETECTORS AS REQUIRED BY CODE.
  - NOTIFY ARCHITECT IMMEDIATELY OF ANY CLEARANCE CONFLICTS WITH LIGHT FIXTURES DUE TO EXISTING OR RELOCATED ITEMS (DUCTWORK, SPRINKLER LINES, ETC.) ABOVE CEILING.
  - SEE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL EQUIPMENT IN THE CEILING.



1 ADMIN RCP - NEW ALTERNATE #2  
1/4" = 1'-0"



**Lyman Davidson Dooley, Inc.**  
1648 Powers Ferry Road  
Building One  
Marietta, GA 30067  
770.850.8494 f  
770.956.9030 f  
laddi-architects.com

REVISIONS	DATE	OWNER/PERMIT	COMMENTS
1	03/12/20	Owner/permit	comments



EXISTING RENOVATION  
OCONEE ANIMAL SHELTER  
EXPANSION  
OCONEE COUNTY, GEORGIA

OCONEE ANIMAL SHELTER EXPANSION  
1171 Branch Rd.  
Bishop, GA 30621  
OCONEE COUNTY  
23 N Main Street  
Watkinsville, GA 30677

TITLE ADMIN RCP ALTERNATE #2  
STATUS PERMIT SET  
JOB 119024.00  
QC Checker  
DRAWN Author  
SHEET **A104B**  
DATE 12/13/2019

PERMIT SET

THIS DRAWING IS THE PROPERTY OF LYMAN DAVIDSON DOOLEY INCORPORATED ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED LYMAN DAVIDSON DOOLEY. NOT VALID UNLESS SIGNED AND SEALED.

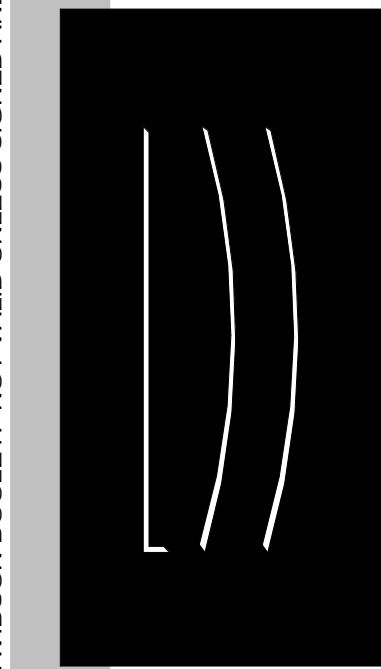
1

2

3

4

5



REVISIONS	
1	03/12/20 Owner/permit comments

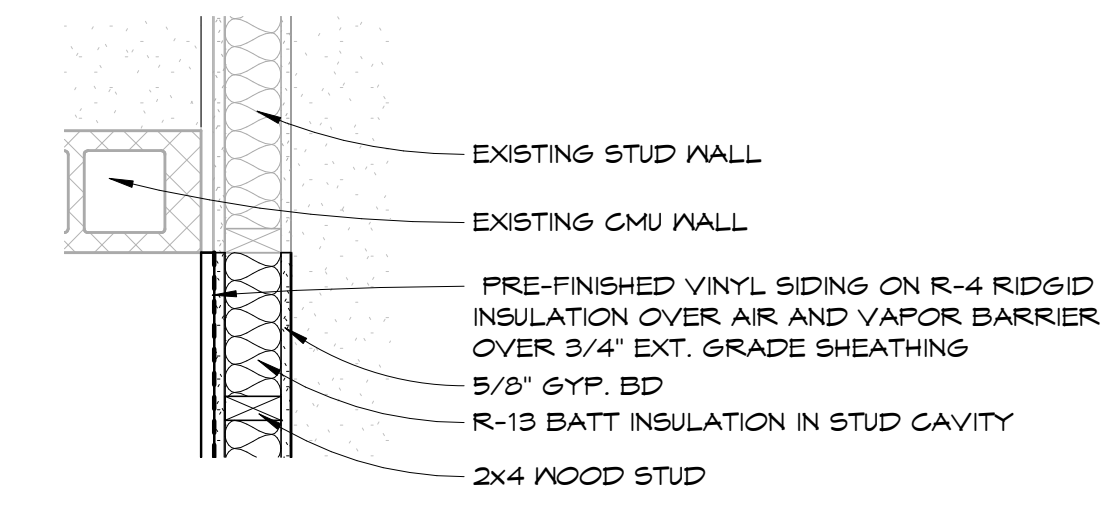


EXISTING RENOVATION  
OCONEE ANIMAL SHELTER  
EXPANSION  
OCONEE COUNTY, GEORGIA

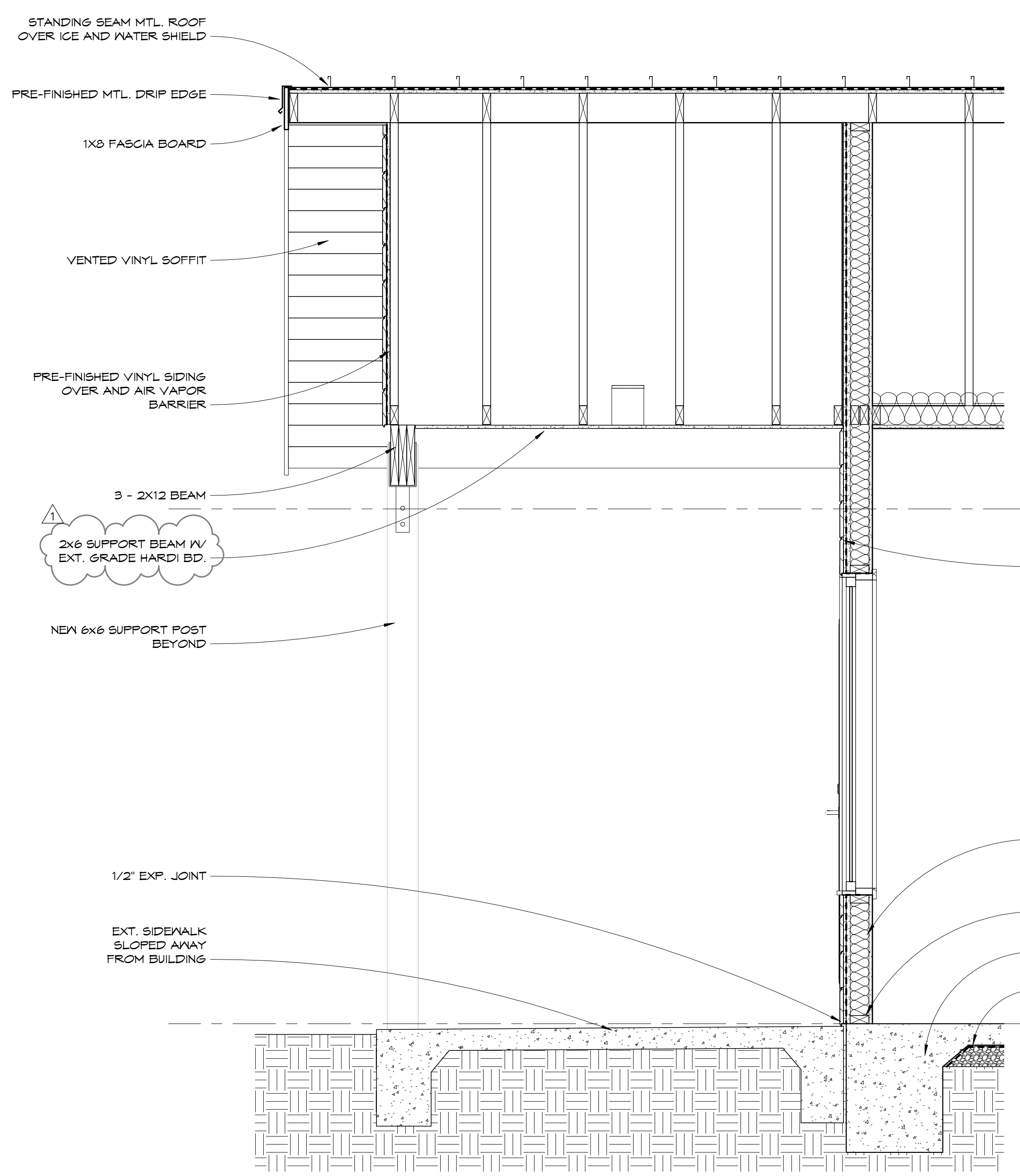
OCONEE  
ANIMAL  
SHELTER  
EXPANSION  
1171 Branch Rd.  
Bishop, GA 30621  
OCONEE  
COUNTY  
23 N Main Street  
Watkinsville, GA 30677

TITLE ADMIN SECTIONS  
AND DETAILS  
ALTERNATE #2  
STATUS PERMIT SET  
JOB 119024.00  
QC BKS  
DRAWN JT  
SHEET **A104C**  
DATE 12/13/2019

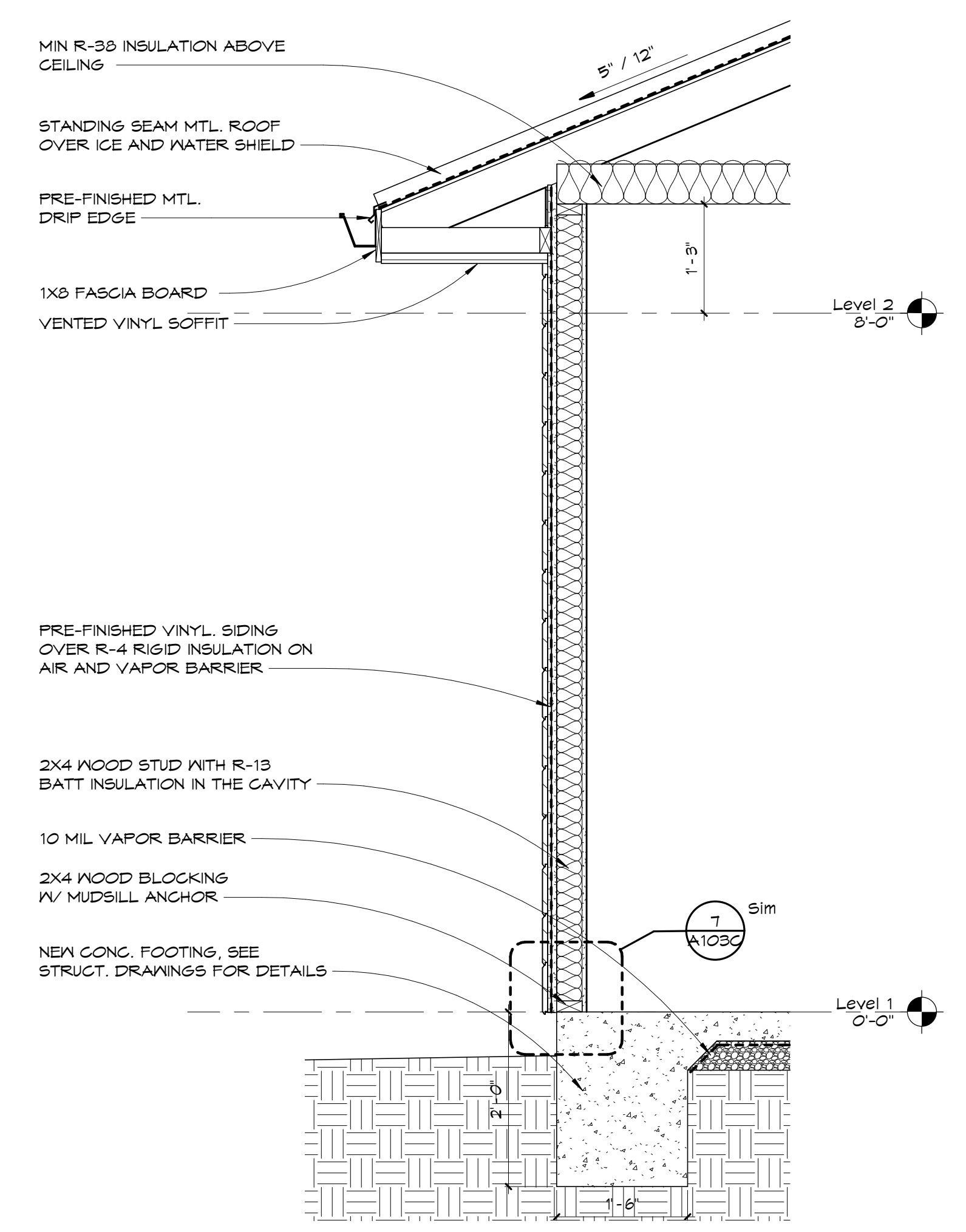
PERMIT SET



**3 ADMIN PLAN DETAIL 1**  
1" = 1'-0"



**2 PORCH ENTRY SECTION**  
3/4" = 1'-0"



**1 ADMIN. WALL SECTION**  
3/4" = 1'-0"

1

2

3

4

5

D

D

C

C

B

B

A

A

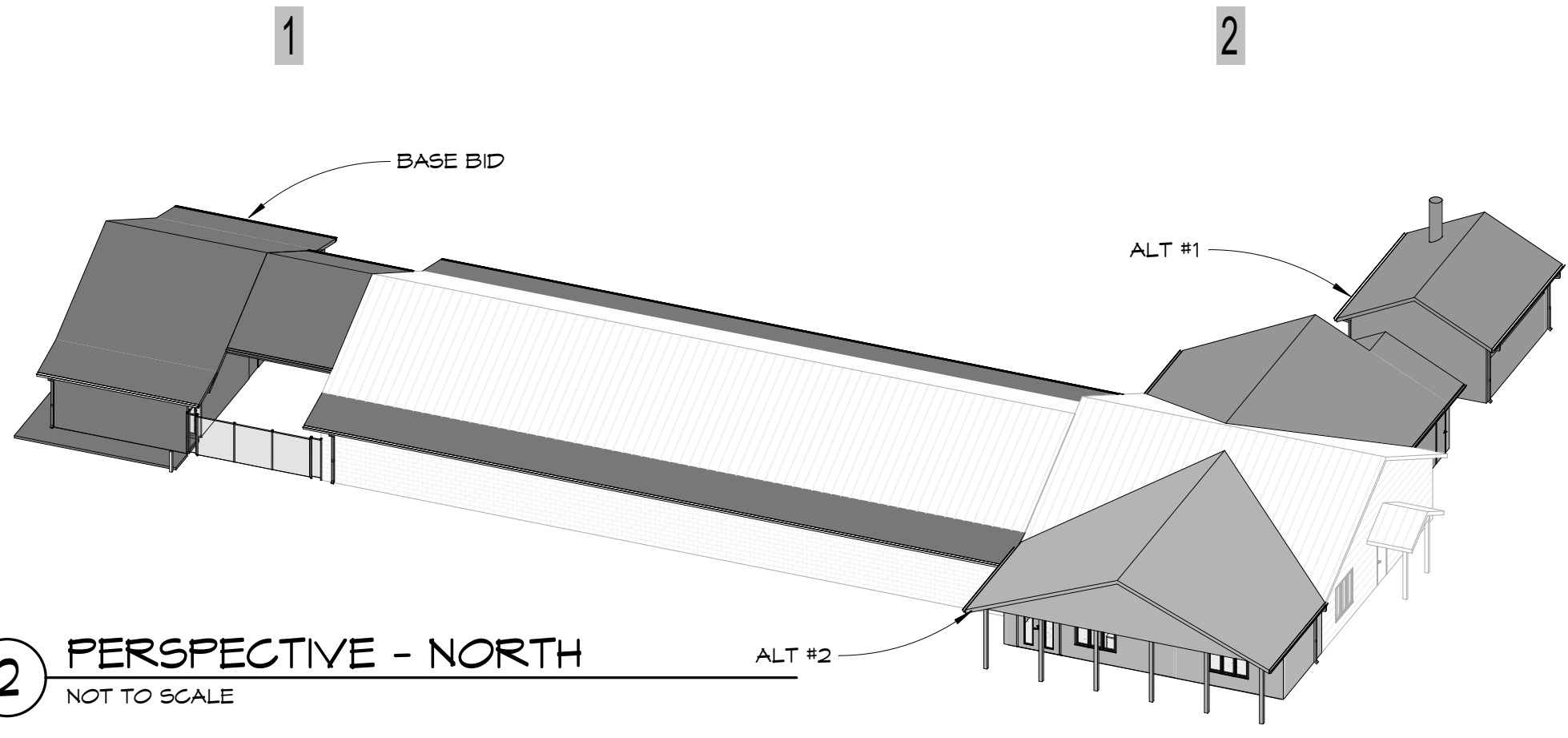
1

2

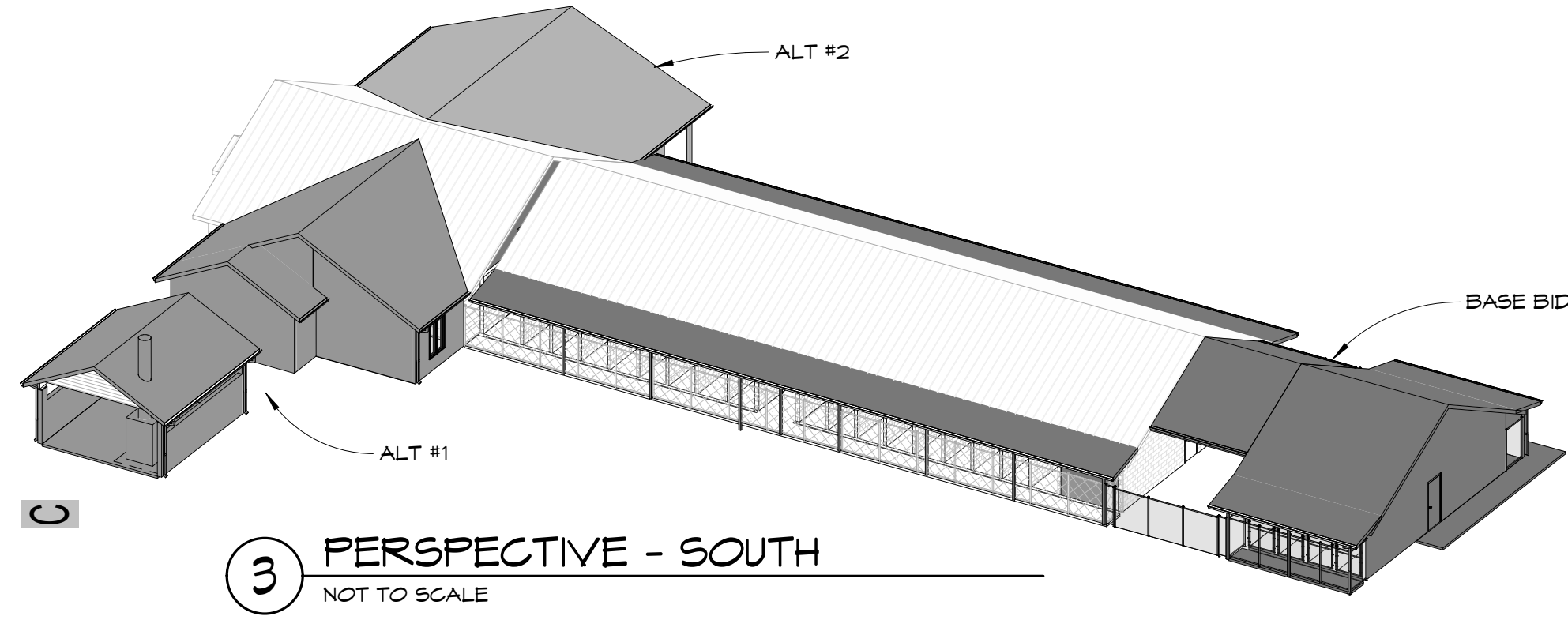
3

4

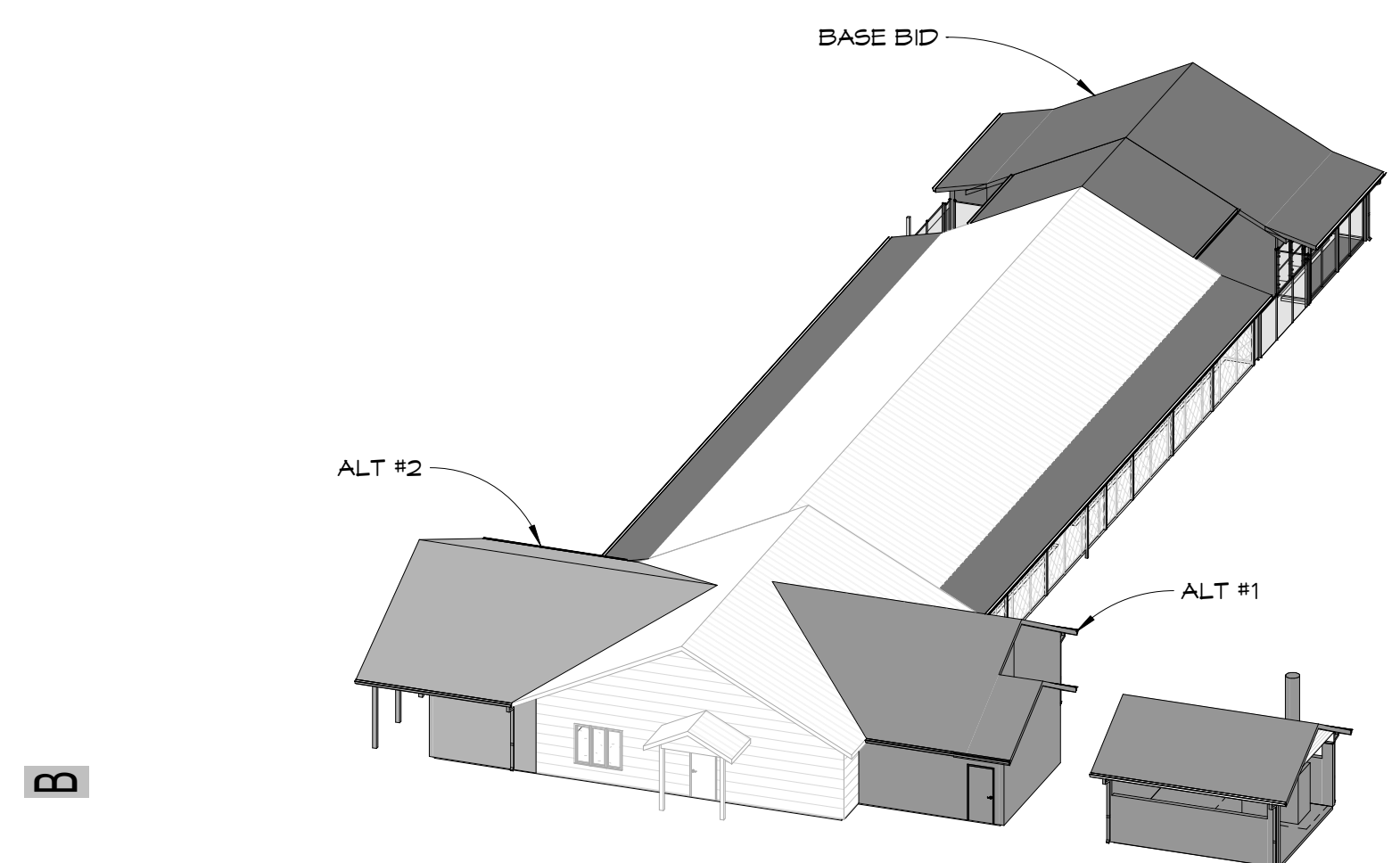
5



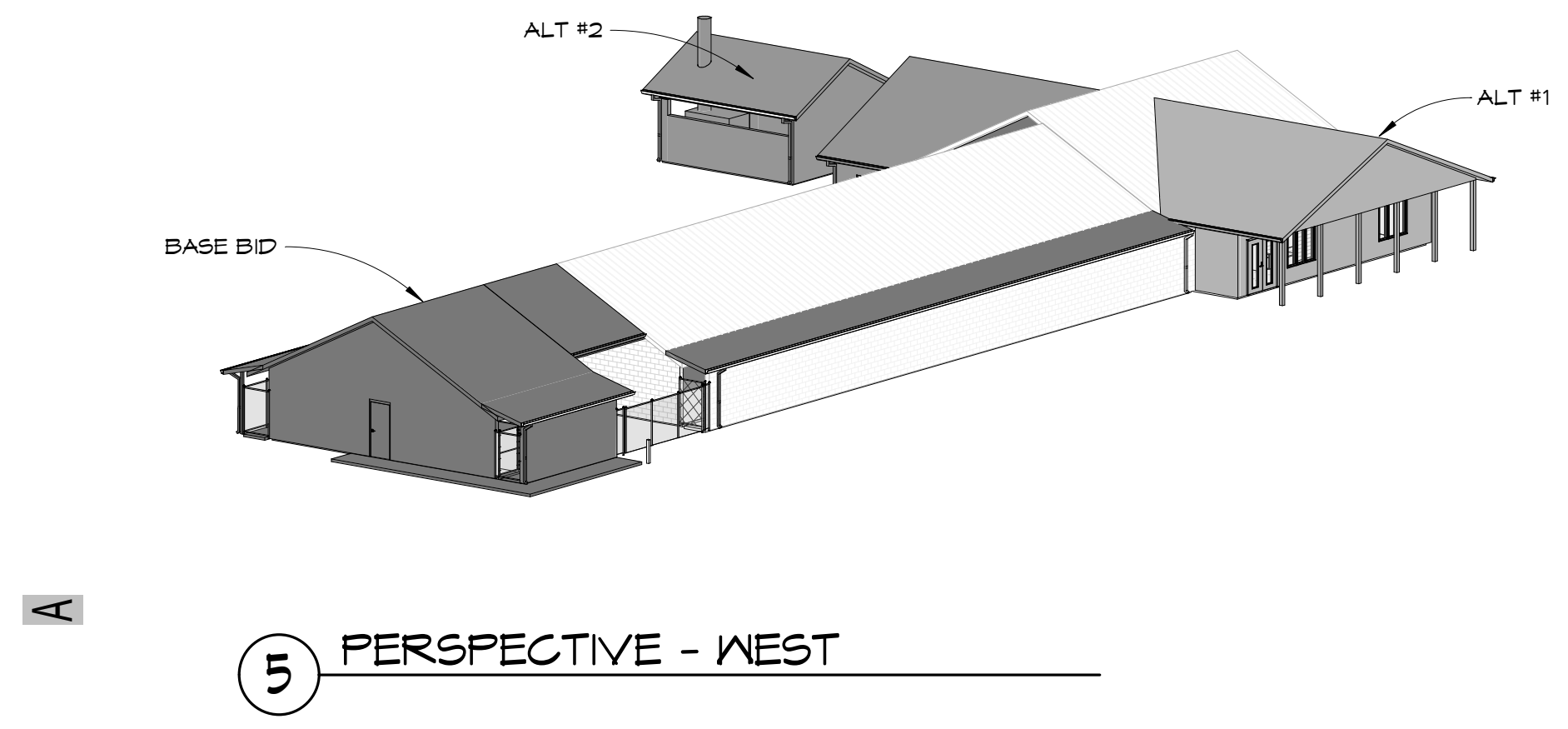
2 PERSPECTIVE - NORTH  
NOT TO SCALE



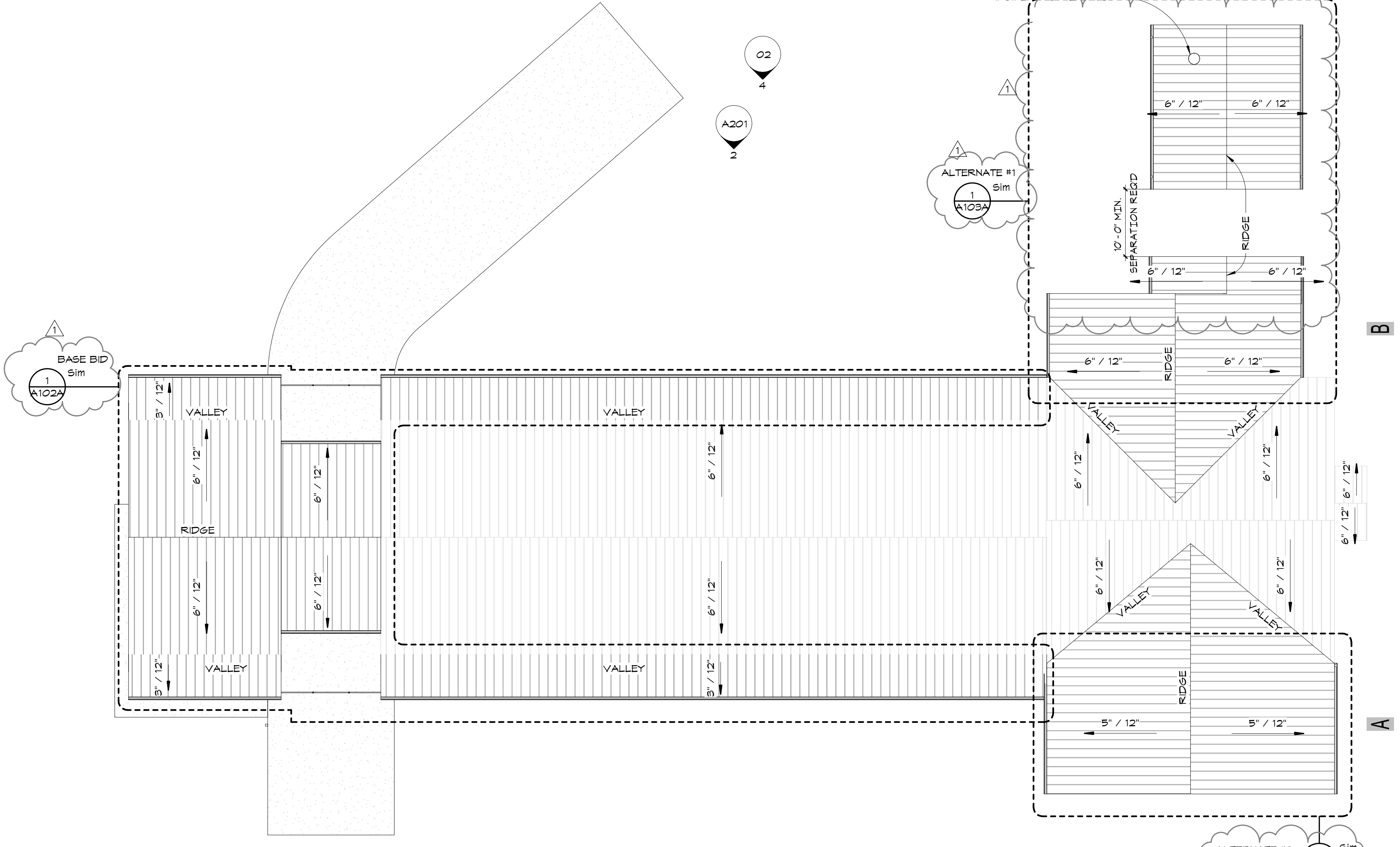
3 PERSPECTIVE - SOUTH  
NOT TO SCALE



4 PERSPECTIVE - EAST  
NOT TO SCALE



5 PERSPECTIVE - WEST  
NOT TO SCALE



1 ROOF PLAN  
3/32" = 1'-0"

### ROOF NOTES

1. SEE MECHANICAL/PLUMBING DRAWINGS FOR ADDITIONAL NOTES AND DETAILS.
2. VERIFY LOCATIONS OF ALL ROOF PENETRATIONS WITH STRUCTURAL, MECHANICAL AND PLUMBING DRAWINGS.
3. ALL EQUIPMENT ON ROOF TO BE MOUNTED ON CURBS. PROVIDE CRICKET TO DIVERT WATER AROUND EQUIPMENT.
4. ALL VENT LOCATIONS SHOULD BE VERIFIED WITH MECHANICAL AND PLUMBING DRAWINGS.
5. ALL ROOFS SHALL SLOPE A MINIMUM OF 1/4" PER FOOT.
6. ALL CRICKETS SHALL SLOPE A MINIMUM OF 1/2" PER FOOT.
7. ALL PRIMARY ROOF DRAINS TO HAVE A 4' X 4' ROOF DRAIN SUMP ZONE. SLOPE 1/2" PER FT. TO DRAIN.
8. ALL WOOD BLOCKING TO BE FIRE RETARDANT AND PRESSURE TREATED.

INDICATES CRICKET OR TAPERED INSULATION

REVISIONS
1 03/12/20 Owner/permit comments



EXISTING RENOVATION  
OCONEE ANIMAL SHELTER  
EXPANSION  
OCONEE COUNTY, GEORGIA

OCONEE  
ANIMAL  
SHELTER  
EXPANSION  
1171 Branch Rd,  
Bishop, GA 30621  
  
OCONEE  
COUNTY  
23 N Main Street  
Watkinsville, GA 30677

TITLE ROOF PLAN  
  
STATUS PERMIT SET  
  
JOB 119024.00  
QC Checker  
  
DRAWN Author  
  
SHEET **A110**  
DATE 12/13/2019

1

2

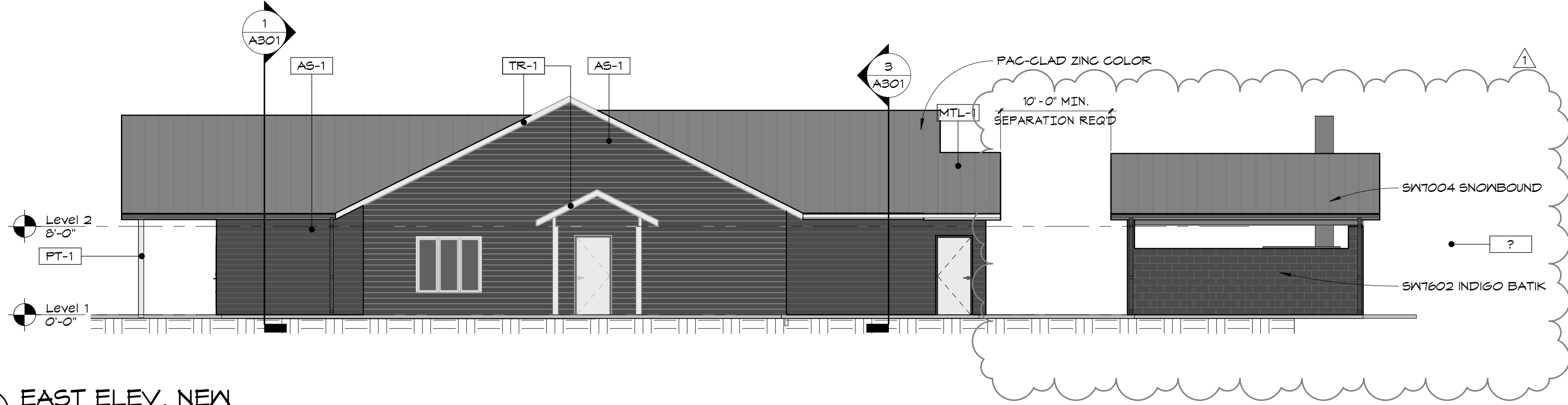
3

4

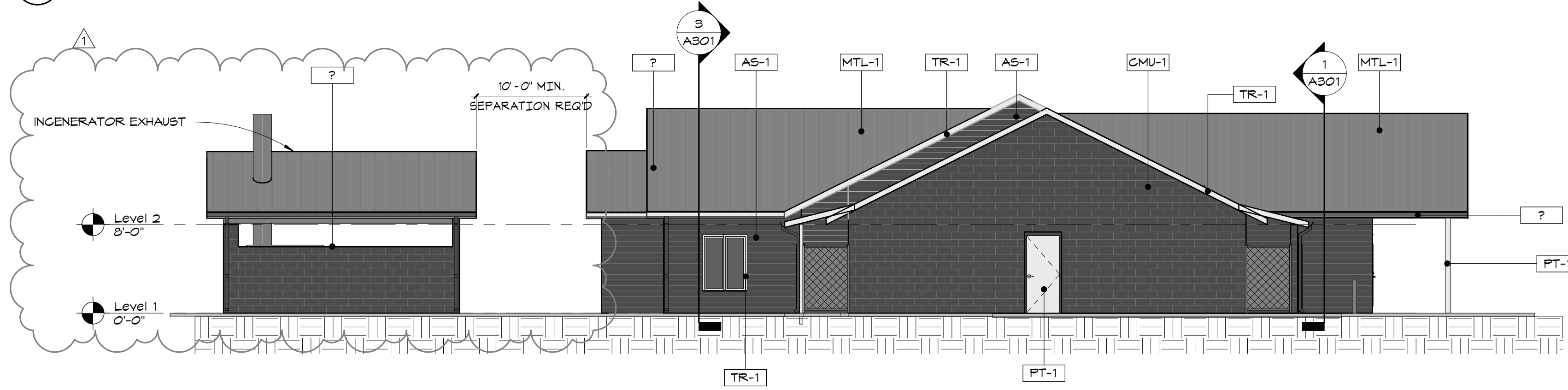
5

EXTERIOR FINISHES		
MARK	MATERIAL	COMMENTS
AS-1	PRE-FINISHED VINYL SIDING	PAINT - SMT602 INDIGO BATIK PROFILE TO MATCH EXISTING SIDING PROFILE
CMU-1	CONCRETE MASONRY UNITS	PAINT - SMT602 INDIGO BATIK
MTL-1	STANDING SEAM METAL ROOF	PAINT - PAC CLAD COLOR ZINC
PT-1	PAINT	PAINT - SMT004 SNOWBOUND
TR-1	WOOD TRIM	PAINT - SMT004 SNOWBOUND

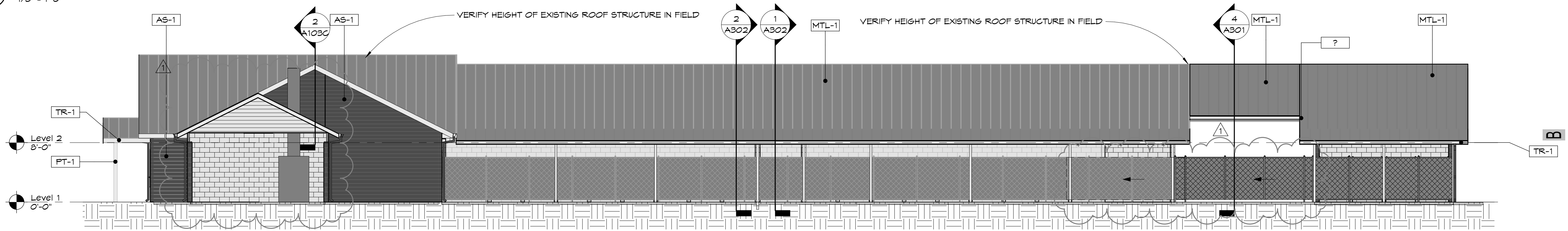
NOTE: CONTRACTOR TO SUBMIT SAMPLES AND TO BUILD SAMPLE WALL BEFORE ORDERING MATERIALS (SEE SPECS.)



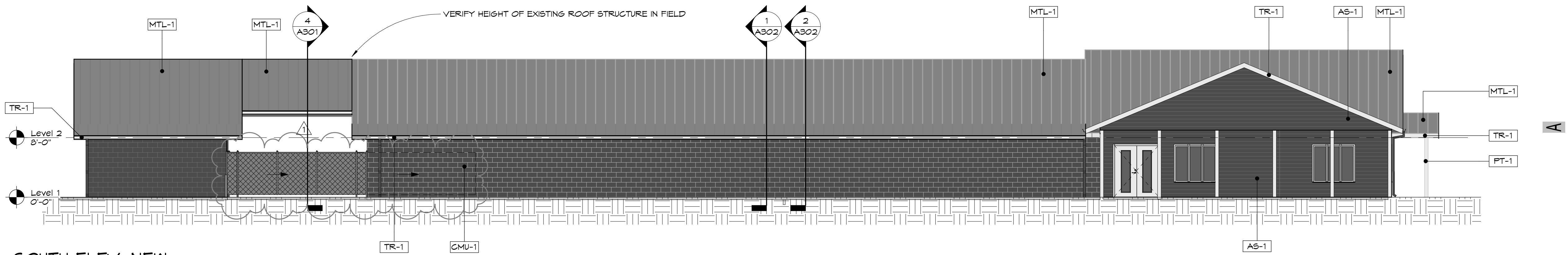
4 EAST ELEV. NEW  
1/8" = 1'-0"



3 WEST ELEV. NEW  
1/8" = 1'-0"



2 NORTH ELEV. NEW  
1/8" = 1'-0"



1 SOUTH ELEV. NEW  
1/8" = 1'-0"

1

2

3

4

5

ARCHITECTURE  
PLANNING  
INTERIOR DESIGN

Lyman  
Davidson  
Dooley, Inc.

1648 Powers Ferry Road  
Building One  
Marietta, GA 30067  
770.850.8494 f  
770.956.9030 f  
liddi-architects.com

REVISIONS

1 03/12/20 Owner/permit  
comments



EXISTING RENOVATION  
OCONEE ANIMAL SHELTER  
EXPANSION  
OCONEE COUNTY, GEORGIA

OCONEE  
ANIMAL  
SHELTER  
EXPANSION

1171 Branch Rd,  
Bishop, GA 30621

OCONEE  
COUNTY  
23 N Main Street  
Watkinsville, GA 30677

TITLE EXTERIOR  
ELEVATIONS

STATUS PERMIT SET

JOB 119024.00

QC BKS

DRAWN JT

SHEET **A201**

DATE 12/13/2019

PERMIT SET

\\medi62\Projects\11902400 Oconee Animal Shelter\Center\Drawings\119024 Oconee Animal Shelter.rvt  
3/25/2020 10:11:06 AM

THIS DRAWING IS THE PROPERTY OF LYMAN DAVIDSON DOOLEY INCORPORATED ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. COPYRIGHT AS DATED LYMAN DAVIDSON DOOLEY. NOT VALID UNLESS SIGNED AND SEALED.

REVISIONS
1 03/12/20 Owner/permit comments

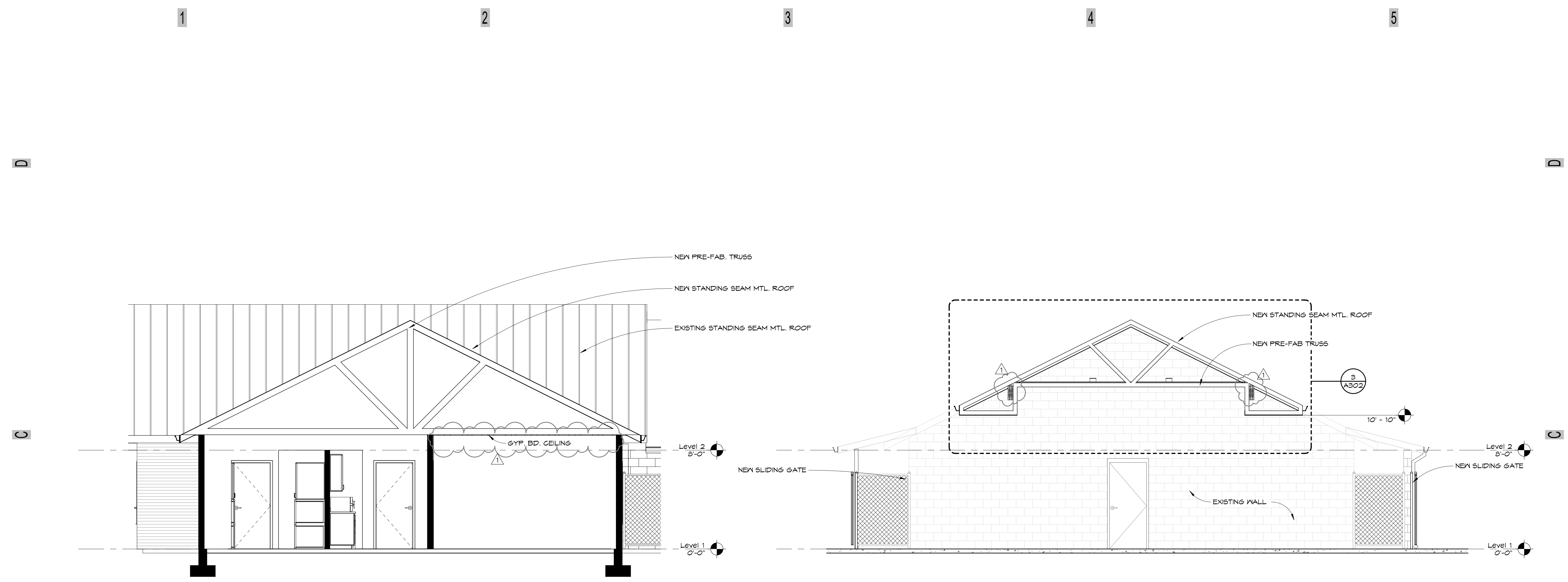


EXISTING RENOVATION  
OCONEE ANIMAL SHELTER  
EXPANSION  
OCONEE COUNTY, GEORGIA

OCONEE  
ANIMAL  
SHELTER  
EXPANSION  
1171 Branch Rd,  
Bishop, GA 30621  
OCONEE  
COUNTY  
23 N Main Street  
Watkinsville, GA 30677

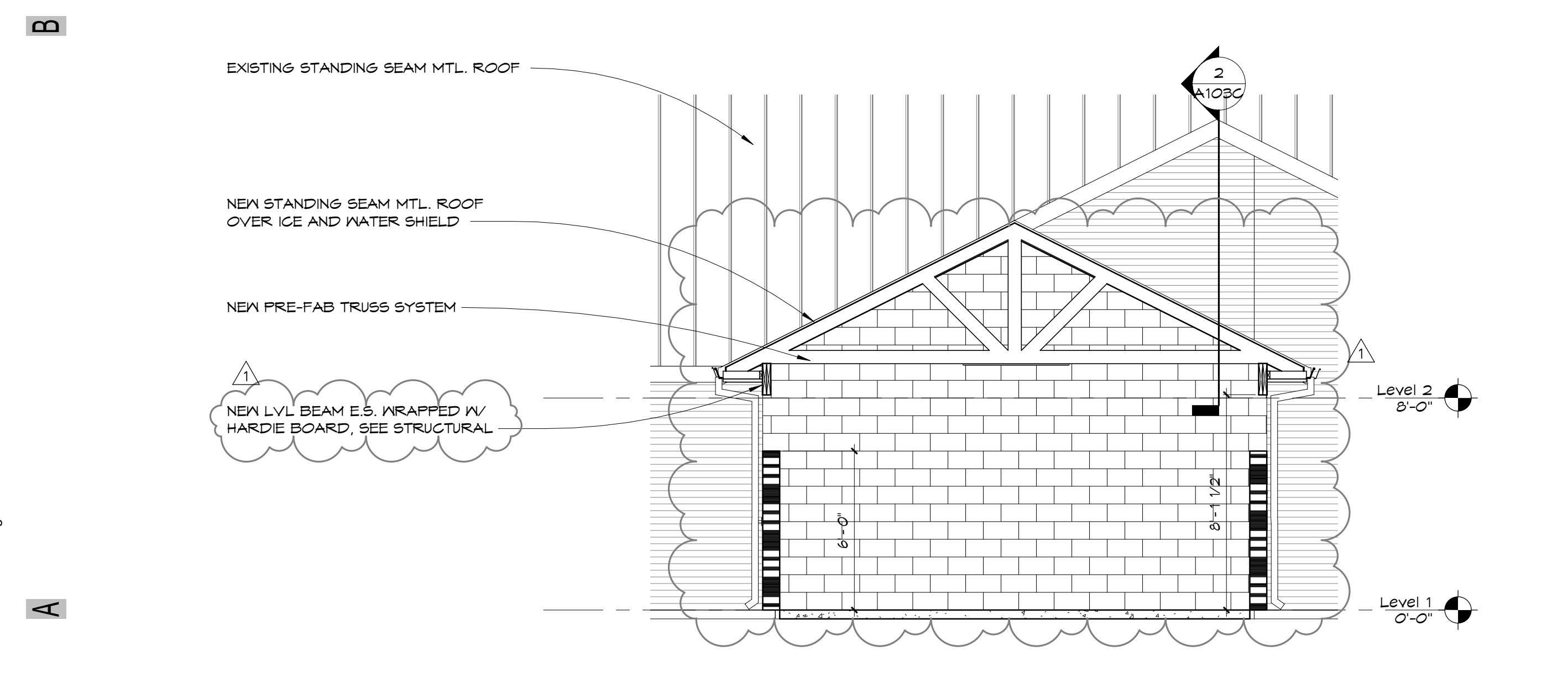
TITLE	BUILDING SECTIONS
STATUS	PERMIT SET
JOB	119024.00
QC	Checker
DRAWN	Author
SHEET	<b>A301</b>
DATE	12/13/2019

PERMIT SET

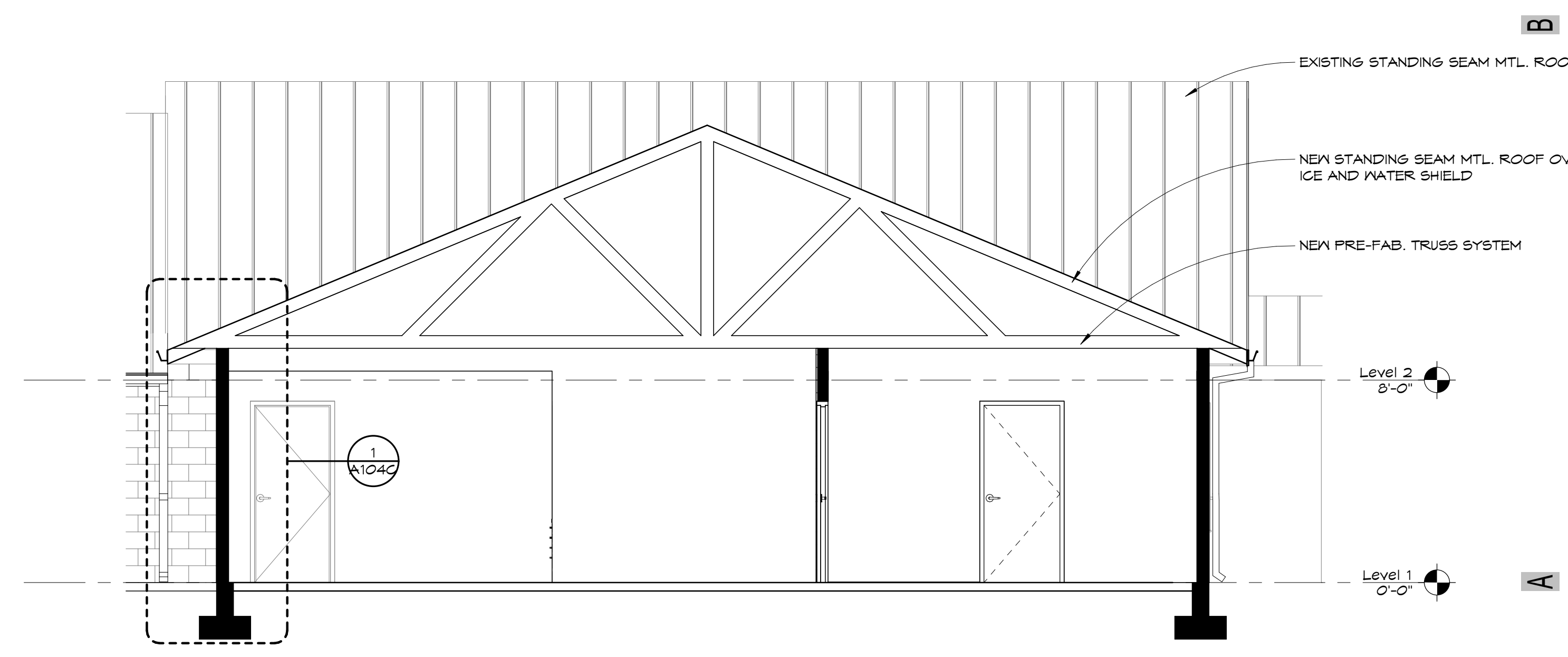


3 OPERATIONS SECTION 2 ALT #1  
1/4" = 1'-0"

4 LOADING SECTION BASE BID  
1/4" = 1'-0"



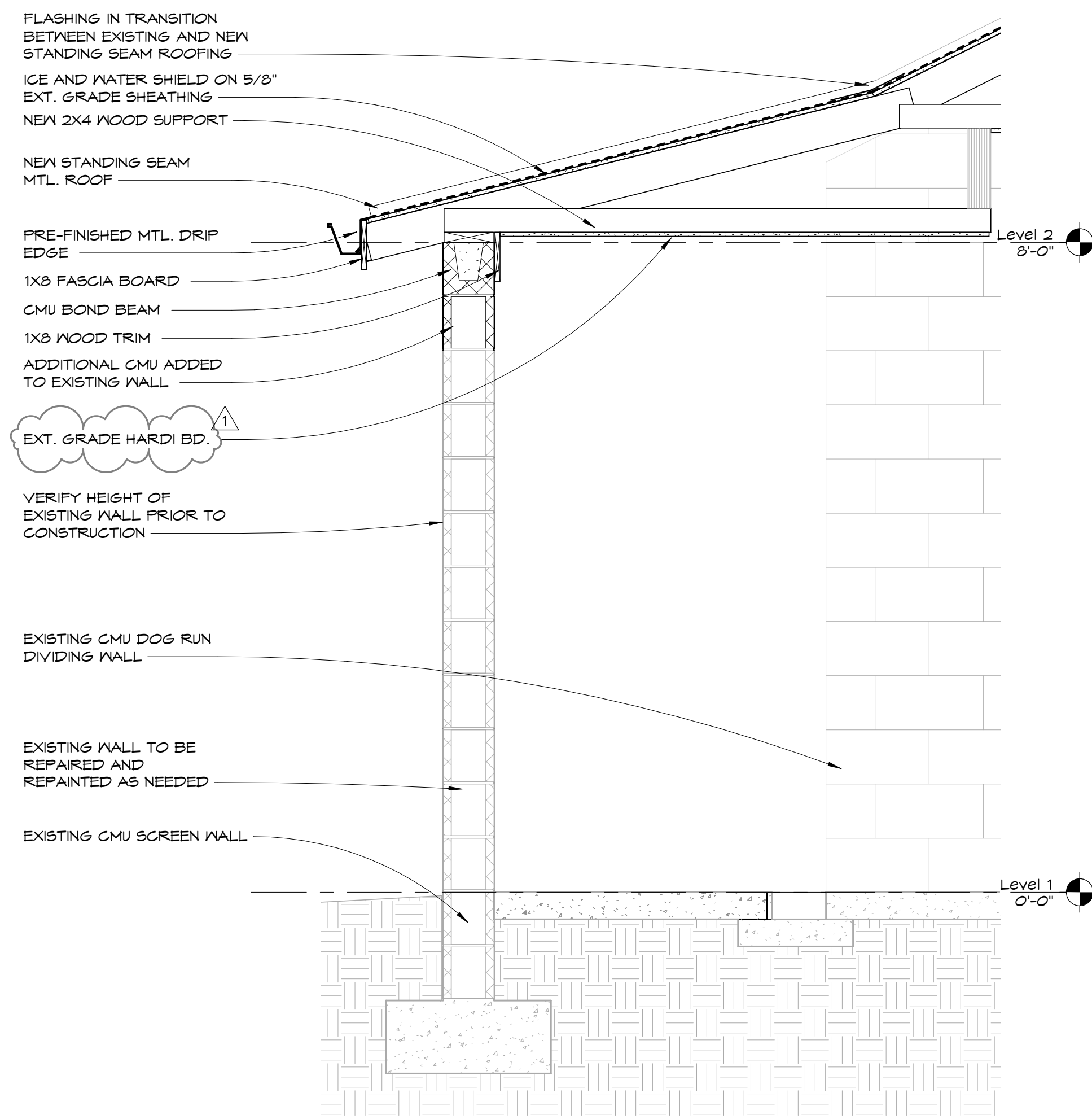
2 OPERATIONS SECTION 1 ALT #1  
1/4" = 1'-0"



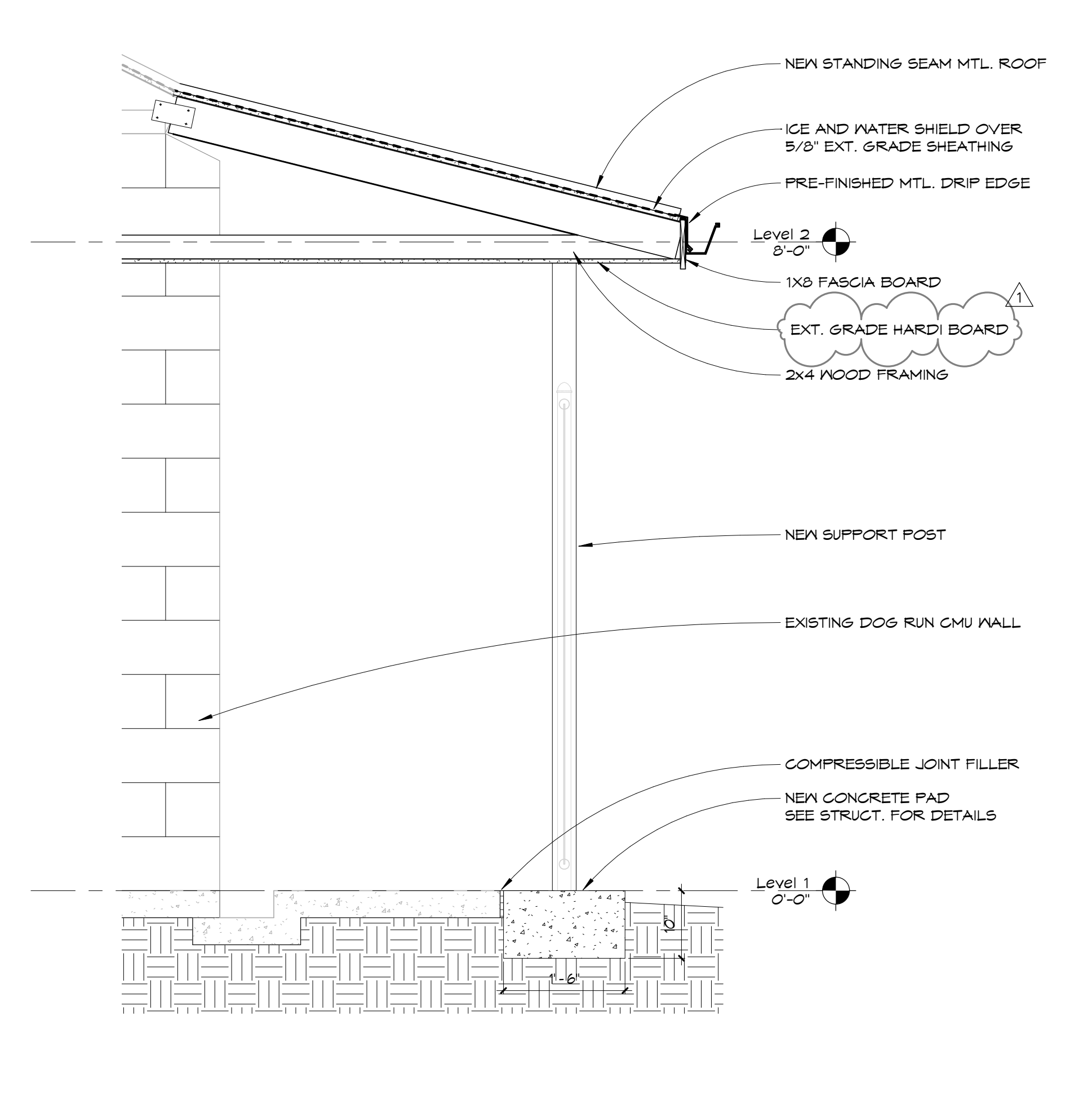
1 ADMINISTRATION SECTION ALT #2  
1/4" = 1'-0"

I:\d\162\Projects\11902400 Oconee Animal Shelter\Center\Drawings\119024 Oconee Animal Shelter.rvt  
3/25/2020 10:11:07 AM

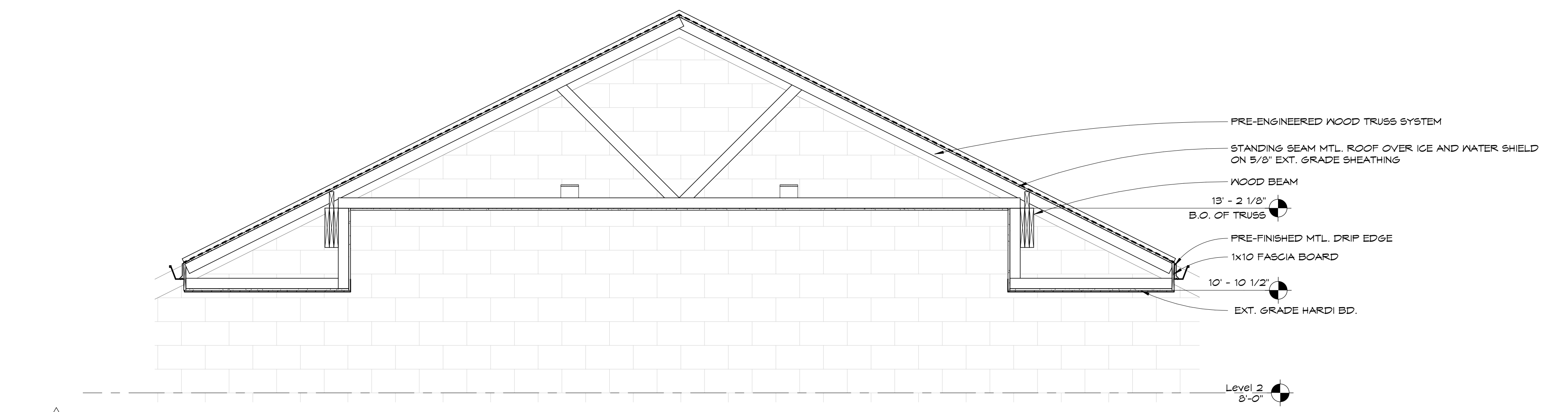
1 2 3 4 5  
D  
C  
B  
A



2 EXIST. KENNEL WALL SECT. - CMU  
3/4" = 1'-0"  
BASE BID



1 EXIST. KENNEL WALL SECT. - FENCE  
3/4" = 1'-0"  
BASE BID



3 LOADING AREA ROOF SECTION  
1/2" = 1'-0"  
BASE BID

ARCHITECTURE  
PLANNING  
INTERIOR DESIGN

Lyman  
Davidson  
Dooley, Inc.

1548 Powers Ferry Road  
Building One  
Marietta, GA 30067  
770.850.8494 f  
770.956.9030 f  
liddi-architects.com

REVISIONS
1 03/12/20 Owner/permit comments

STATE OF GEORGIA  
Professional Seal of Lyman Davidson Dooley, Inc.  
REGISTERED ARCHITECT

EXISTING RENOVATION  
OCONEE ANIMAL SHELTER  
EXPANSION  
OCONEE COUNTY, GEORGIA

OCONEE ANIMAL SHELTER EXPANSION  
1171 Branch Rd.  
Bishop, GA 30621

OCONEE COUNTY  
23 N Main Street  
Watkinsville, GA 30671

TITLE WALL SECTIONS

STATUS PERMIT SET

JOB 119024.00

QC BKS

DRAWN JT

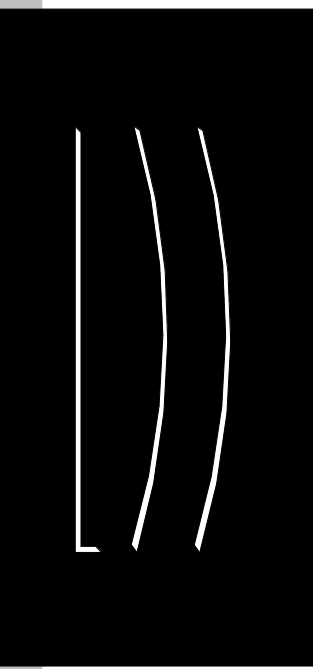
SHEET A302

DATE 12/13/2019

PERMIT SET

THIS DRAWING IS THE PROPERTY OF LYMAN DAVIDSON DOOLEY INCORPORATED ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED LYMAN DAVIDSON DOOLEY. NOT VALID UNLESS SIGNED AND SEALED.





Lyman  
Davidson  
Dooley, Inc.  
1648 Powers Ferry Road  
Building One  
Marietta, GA 30067  
770.850.8494 f  
770.956.9030 f  
liddi-architects.com

REVISIONS

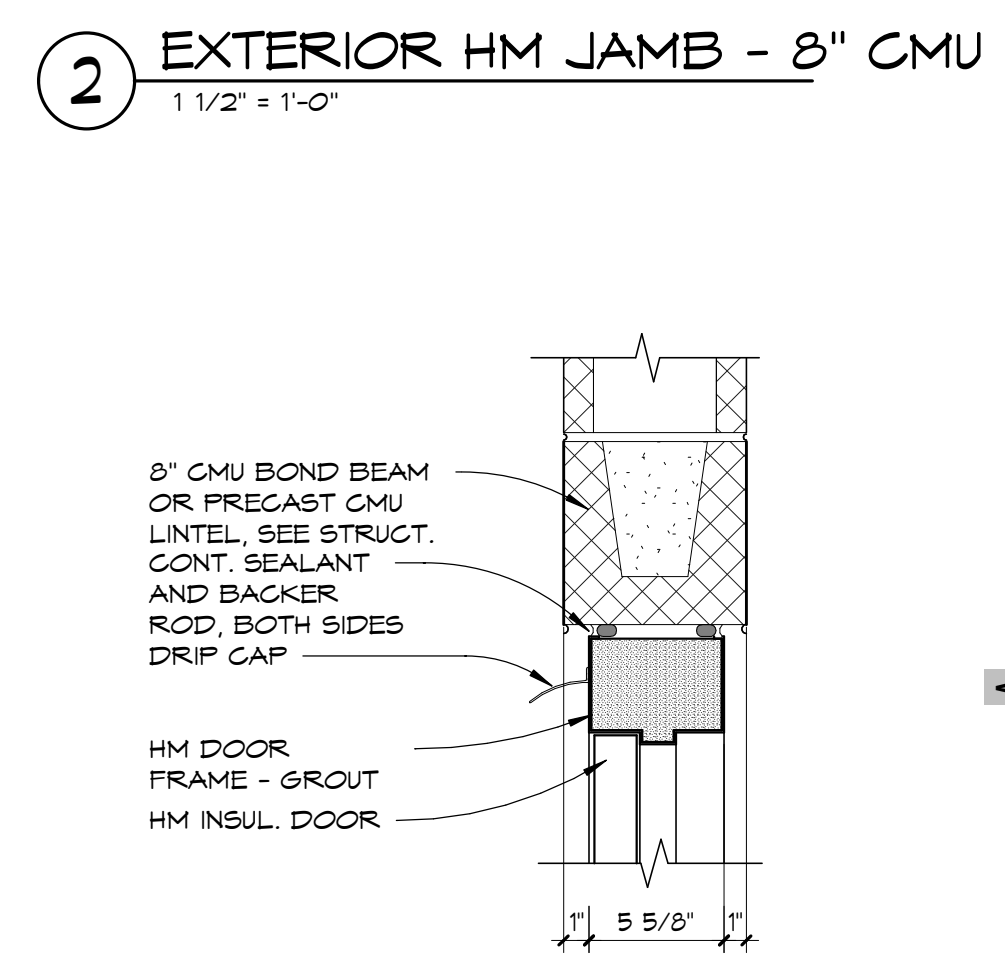
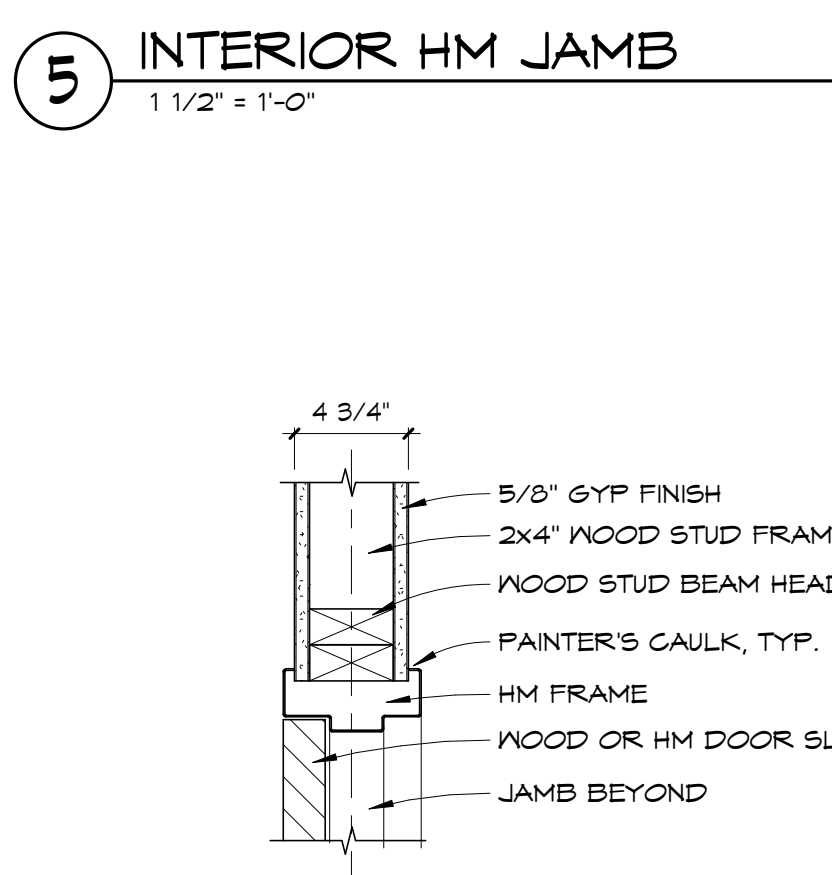
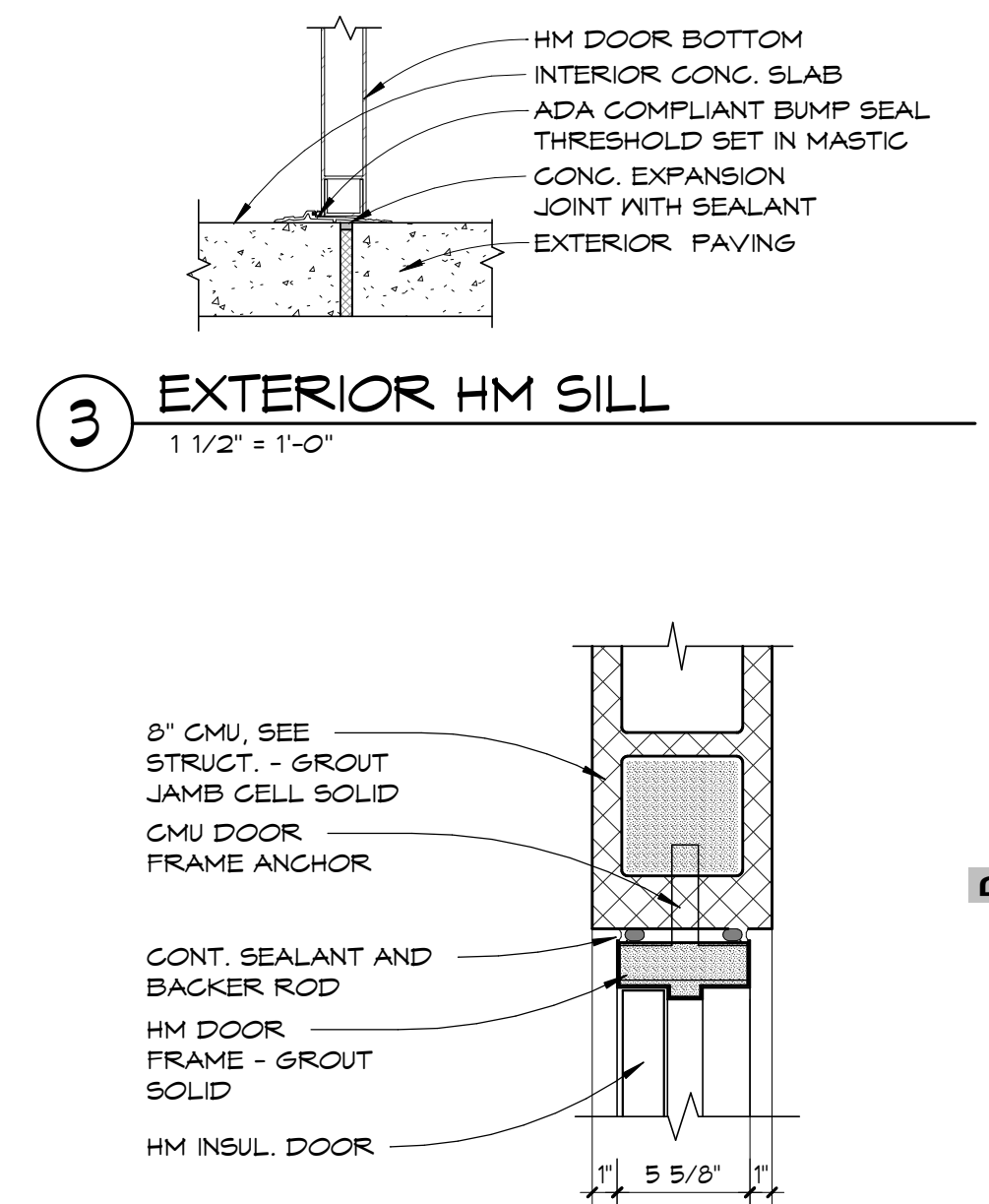
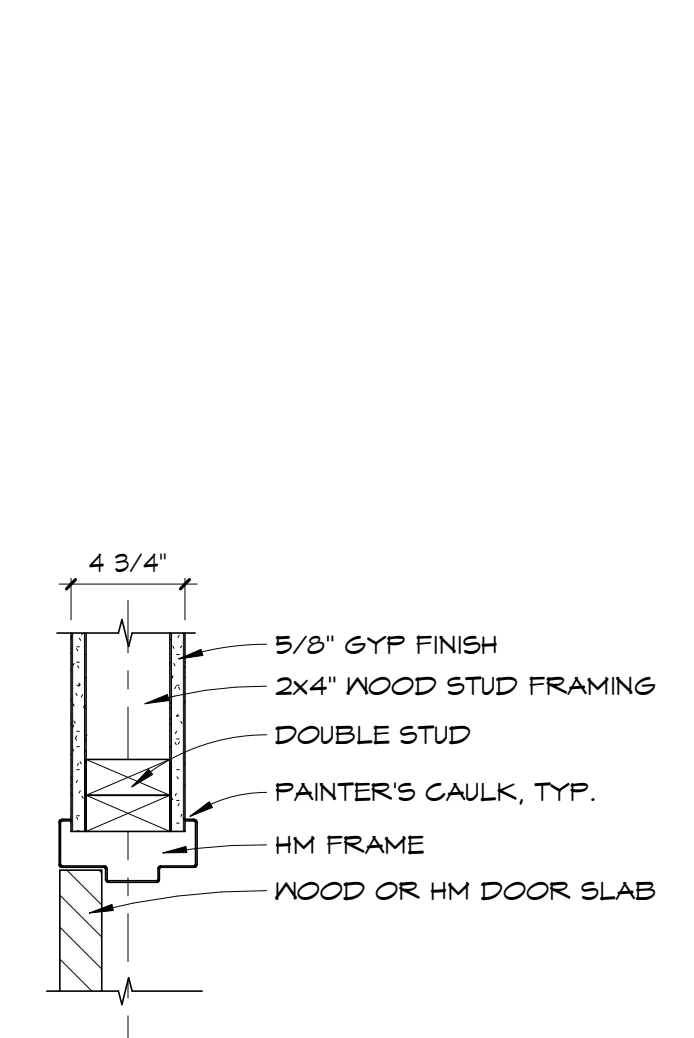
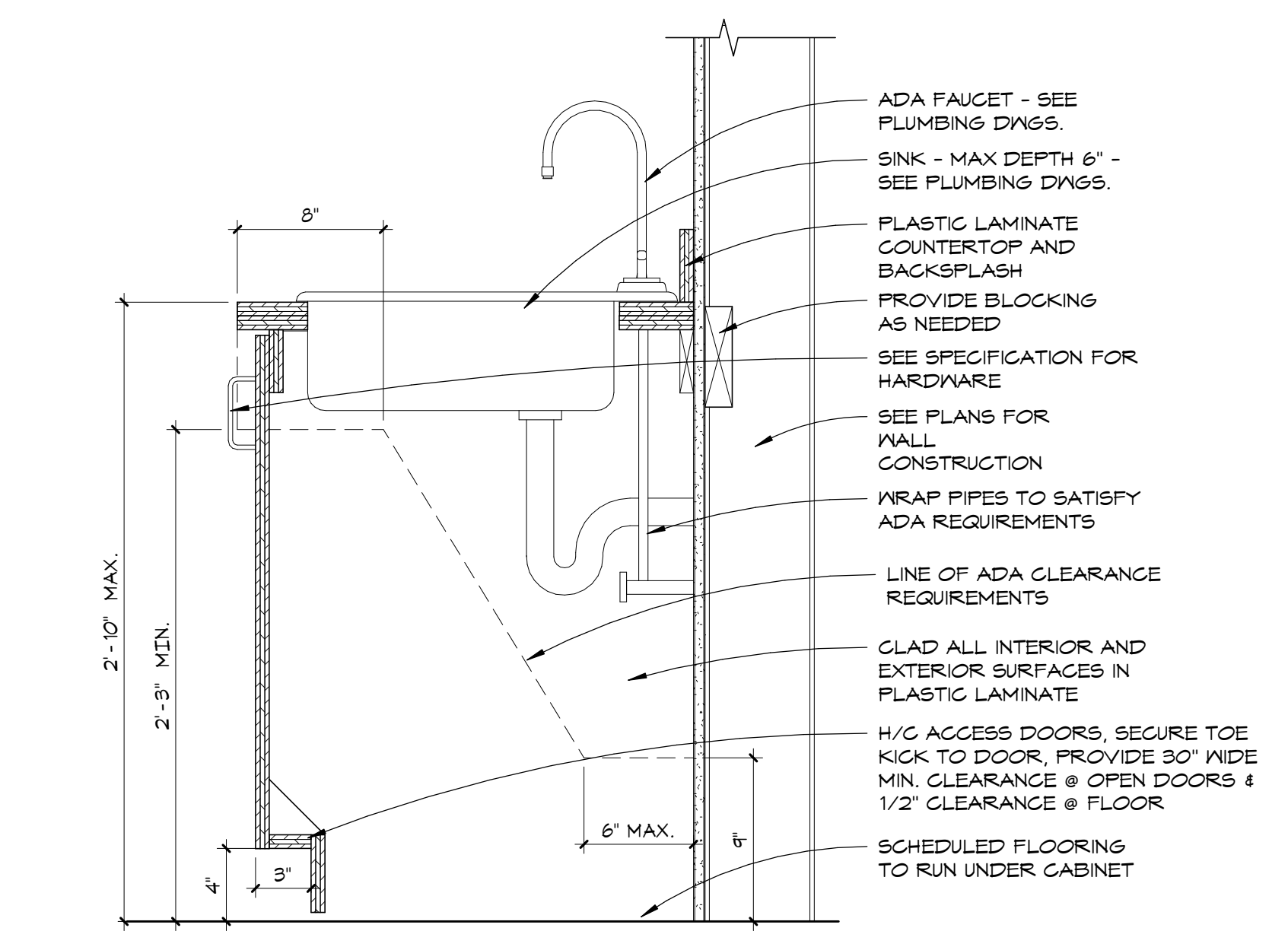
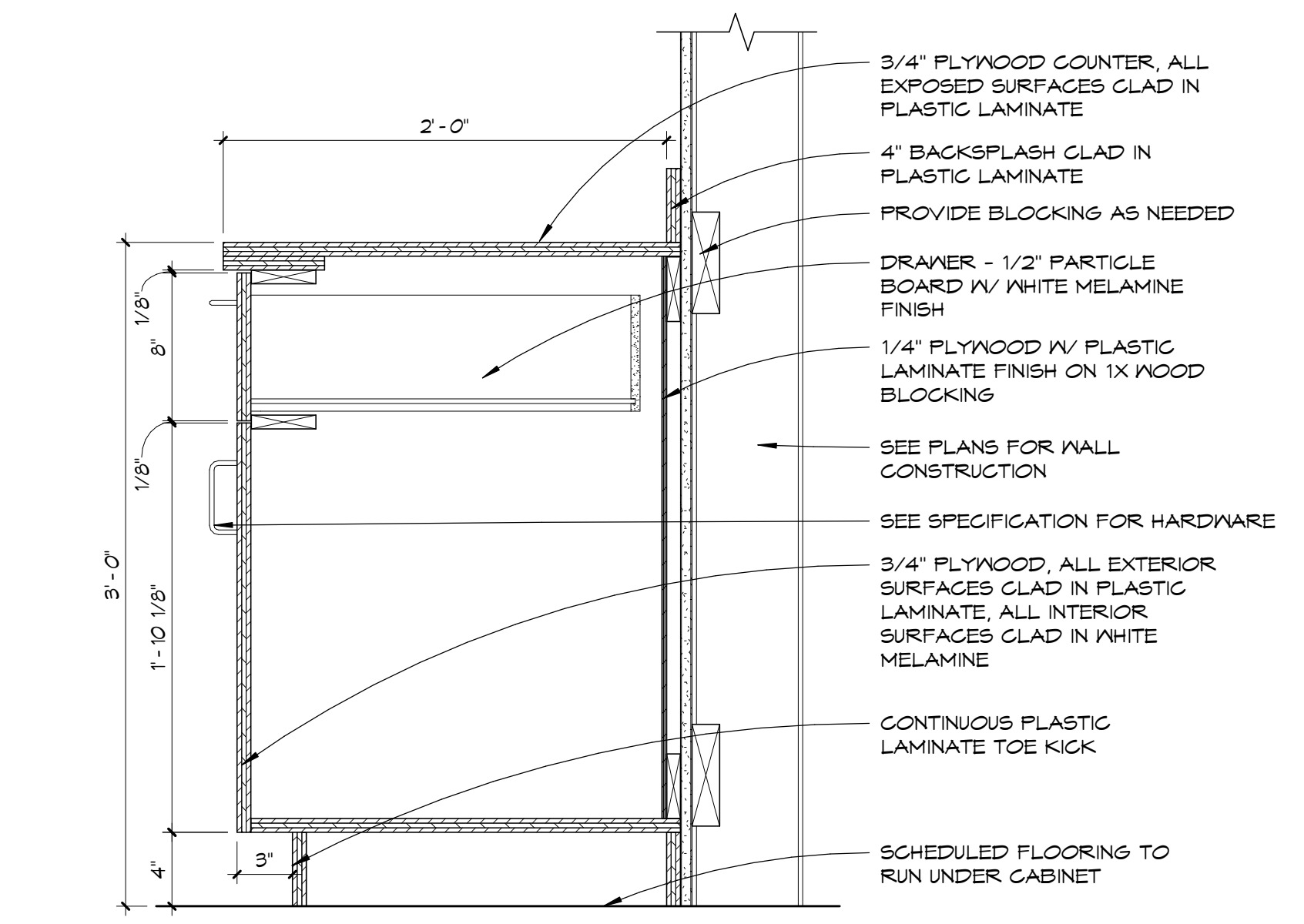
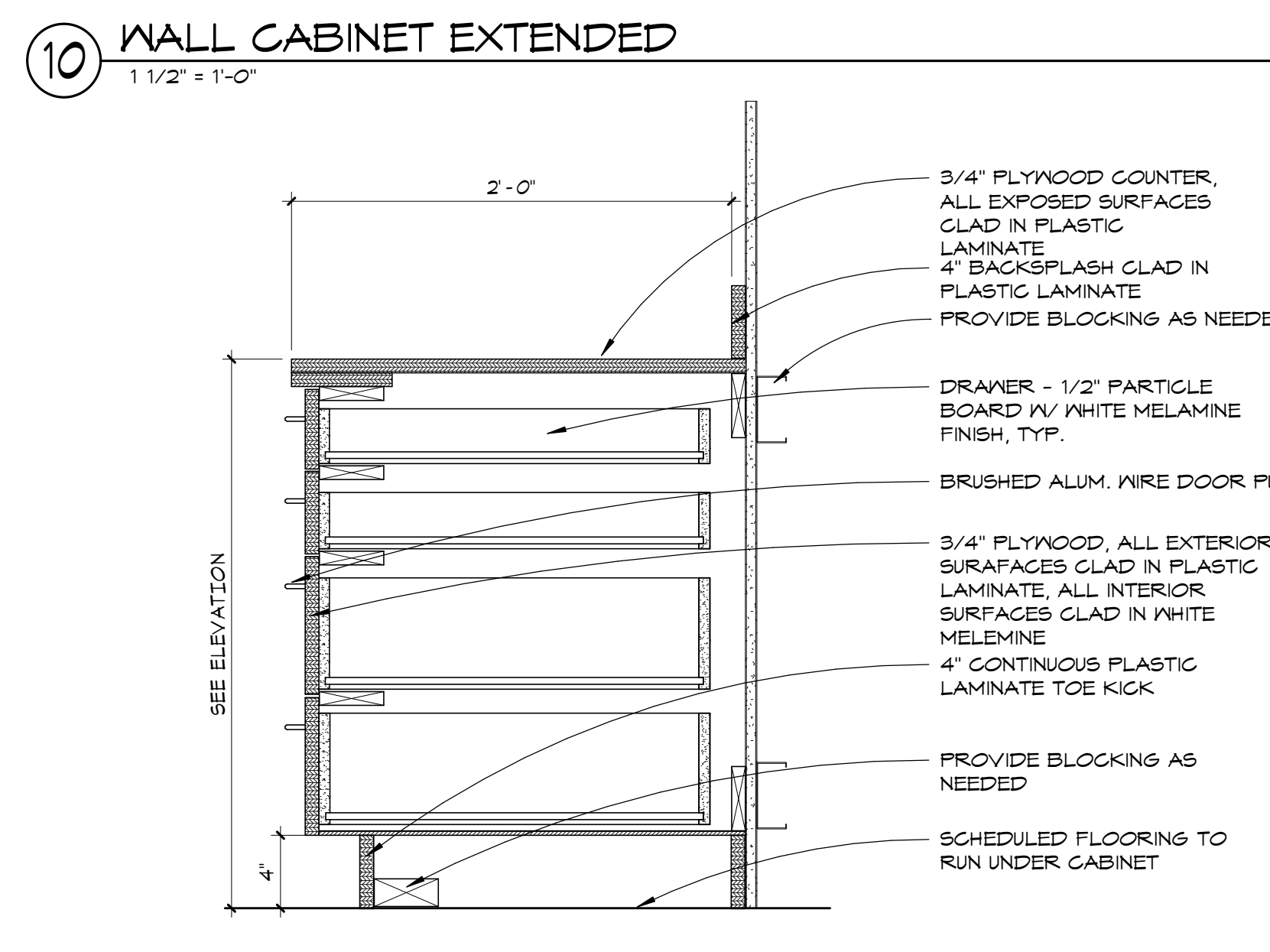
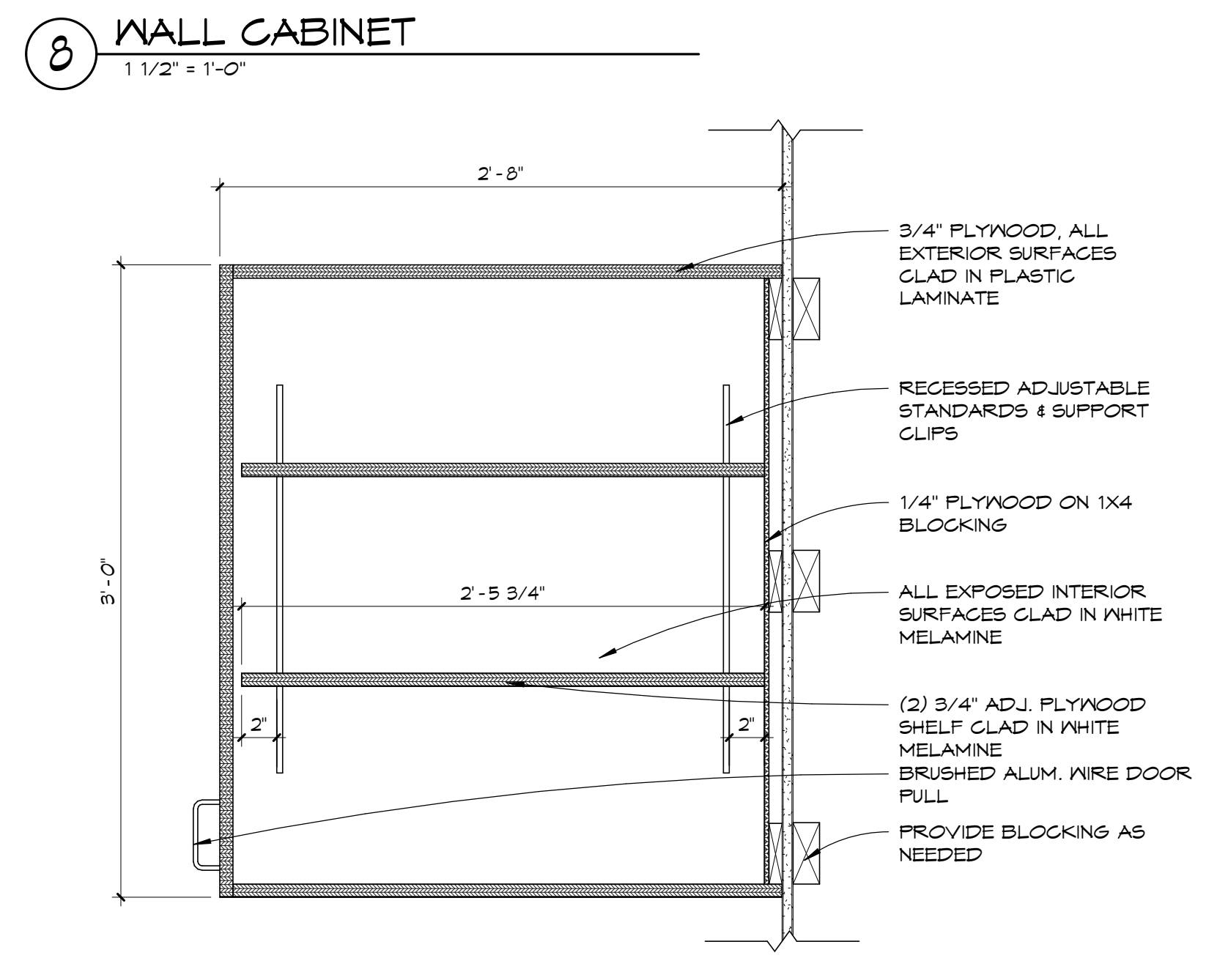
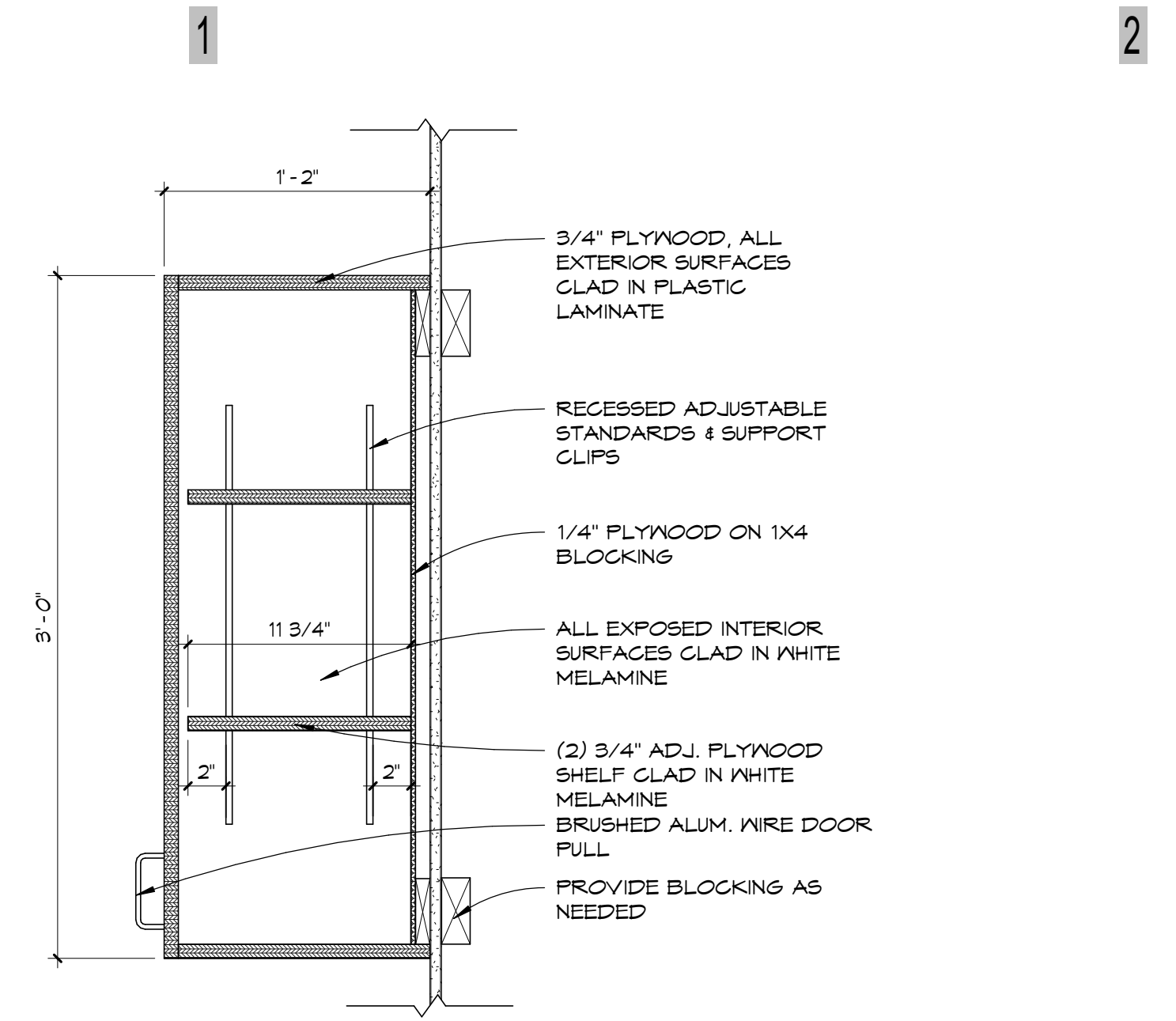
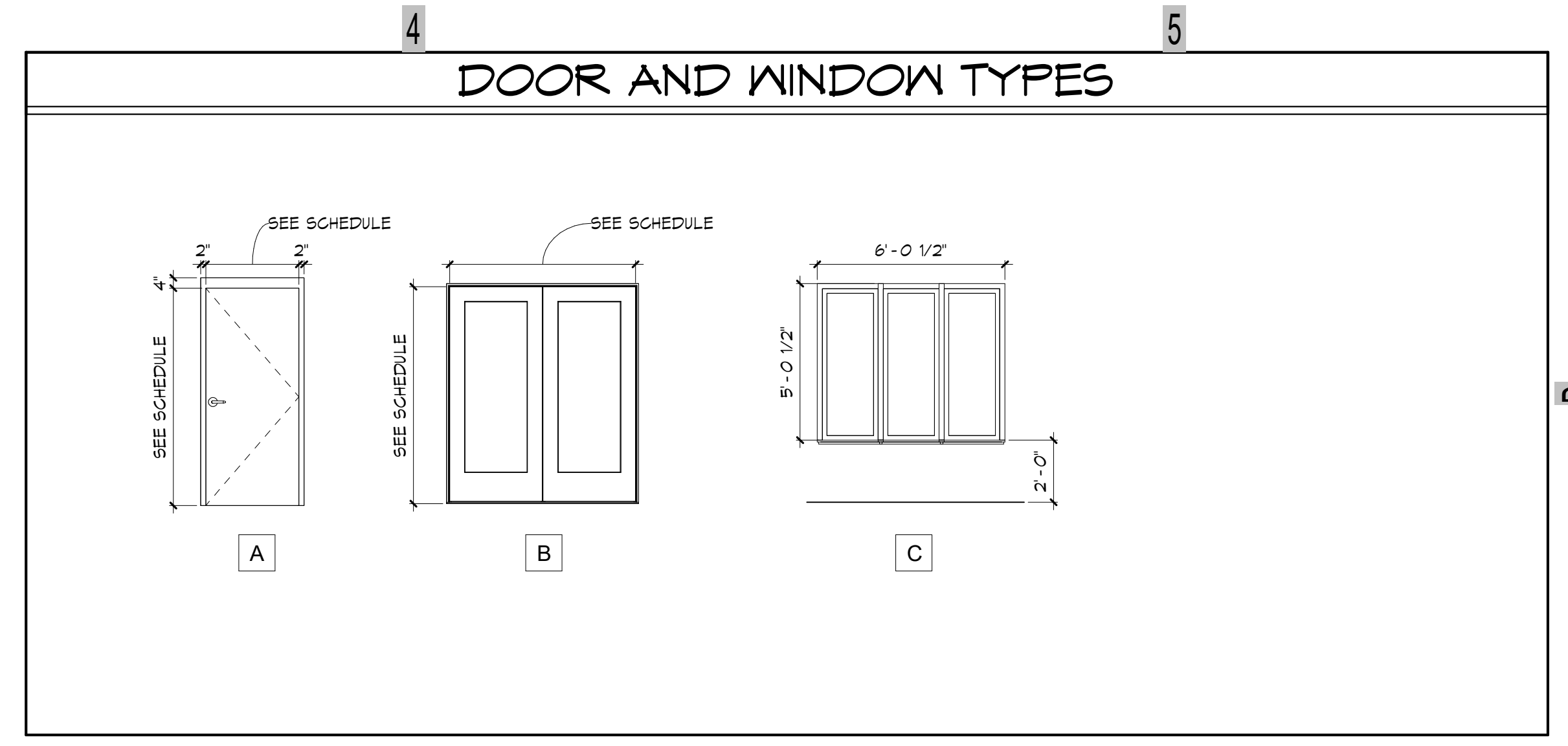


EXISTING RENOVATION  
OCONEE ANIMAL SHELTER  
EXPANSION  
OCONEE COUNTY, GEORGIA

OCONEE  
ANIMAL  
SHELTER  
EXPANSION  
1171 Branch Rd.  
Bishop, GA 30621  
OCONEE  
COUNTY  
23 N Main Street  
Watkinsville, GA 30677

TITLE DOOR AND  
MILLWORK  
DETAILS TYPES  
STATUS PERMIT SET  
JOB 119024.00  
QC Checker  
DRAWN Author  
SHEET **A601**  
DATE 12/13/2019

PERMIT SET



I:\di\62\Projects\11902400 Oconee Animal Shelter Center\Drawings\119024 Oconee Animal Shelter.rvt  
3/25/2020 10:11:09 AM

1

2

3

4

5

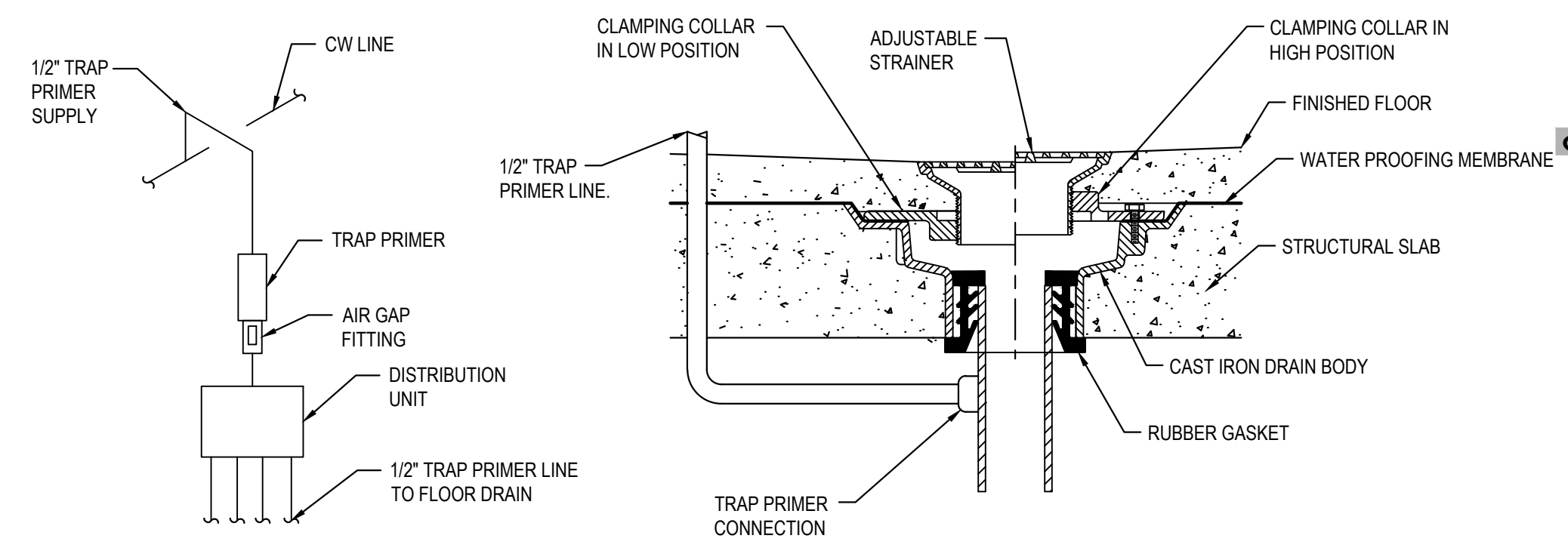
SECTION 220100 - PLUMBING GENERAL:

- A. GENERAL
1. CONTRACTOR SHALL PROVIDE ALL MATERIALS, EQUIPMENT, TOOLS AND LABOR NECESSARY TO PROVIDE A COMPLETE PLUMBING SYSTEM COMPLIANT WITH ALL REQUIRED CODES & STANDARDS.
  2. DRAWINGS ARE SCHEMATIC IN NATURE AND SHALL NOT BE SCALED.
  3. ALL REQUIRED PERMITS & INSPECTIONS SHALL BE SECURED & PAID FOR UNDER THIS CONTRACT. INSPECTION CERTIFICATIONS SHALL BE PROVIDED TO THE OWNER.
  4. CONTRACTOR SHALL VISIT THE SITE TO THOROUGHLY EXAMINE EXISTING CONDITIONS PRIOR TO SUBMITTING BID. IF EXISTING CONDITIONS DIFFER FROM DESIGN DOCUMENTS IN SUCH A MANNER THAT AFFECTS PRICING, THE CONTRACTOR SHALL ADJUST THE BID ACCORDINGLY AND NOTIFY THE OWNER & ENGINEER PRIOR TO SUBMITTING THE BID. NO ALLOWANCES WILL BE MADE FOR LACK OF KNOWLEDGE REGARDING THE EXISTING CONDITIONS.
- C. IDENTIFICATION
1. PERMANENT BAKELITE TAGS WITH 1" TALL LETTERS SHALL BE PROVIDED FOR ALL EQUIPMENT. EQUIPMENT NUMBERING SHALL MATCH BUILDING STANDARDS.
- D. STARTERS
1. ALL MOTORS SHALL BE PROVIDED WITH MAGNETIC MOTOR STARTERS WITH OVERLOAD PROTECTION.
  2. STARTERS SHALL BE PROVIDED WITH HAND-OFF-AUTO SWITCHES.
  3. INDOOR MOTOR STARTERS SHALL BE FURNISHED WITHIN A NEMA 1 ENCLOSURE.
  4. OUTDOOR MOTOR STARTERS SHALL BE FURNISHED WITHIN A NEMA 3R ENCLOSURE.
- E. SUBMITTALS & SHOP DRAWINGS
1. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS & PRODUCT DATA FOR ALL PLUMBING EQUIPMENT & SYSTEMS TO BE PROVIDED AND/OR INSTALLED.
- F. SUBSTITUTE MANUFACTURERS
1. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION & COST OF ALL CHANGES REQUIRED FOR INSTALLATION OF EQUIPMENT & PRODUCTS MANUFACTURED BY THOSE OTHER THAN WHAT IS SPECIFIED IN THE CONTRACT DOCUMENTS.
  2. CAREFULLY COORDINATE SUBSTITUTE MANUFACTURER'S INSTALLATION REQUIREMENTS WITH ALL OTHER TRADES INCLUDING BUT NOT LIMITED TO STRUCTURE, ELECTRICAL, PLUMBING AND ARCHITECTURAL. ALL INSTALLATION COSTS ASSOCIATED WITH INSTALLATION OF SUBSTITUTE MANUFACTURER SHALL BE INCLUDED IN BID. NO ALLOWANCES SHALL BE GIVEN FOR CHANGES ASSOCIATED WITH INSTALLATION OF SUBSTITUTE EQUIPMENT & SYSTEMS.
  3. LISTING OF A MANUFACTURER AS AN "EQUAL" DOES NOT RELIEVE CONTRACTOR'S RESPONSIBILITY OF COORDINATION & COST ASSOCIATED WITH CHANGES REQUIRED TO OTHER TRADES.
- G. WARRANTY
1. CONTRACTOR SHALL WARRANT ALL EQUIPMENT, MATERIALS AND WORKMANSHIP FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR.
  2. ALL HVAC COMPRESSORS SHALL BE WARRANTED FOR A PERIOD OF NOT LESS THAN 5 YEARS.
- H. AS-BUILT DRAWINGS
1. CONTRACTOR SHALL KEEP REDLINE SET OF DRAWINGS ON SITE DURING CONSTRUCTION TO UPDATE LOCATION OF ALL EQUIPMENT AND SYSTEMS AS THE CONSTRUCTION PROGRESSES. REDLINE SET OF DRAWINGS SHALL BE TURNED OVER TO OWNER AT COMPLETION OF CONSTRUCTION.
- I. OPERATION & MAINTENANCE MANUALS
1. CONTRACTOR SHALL PROVIDE AN ELECTRONIC SET AND ONE (1) SET OF HARD COPIES OF INSTALLATION AND MAINTENANCE MANUALS FOR ALL EQUIPMENT & SYSTEMS PROVIDED UNDER THIS CONTRACT.
- J. INSTRUCTION
1. CONTRACTOR SHALL THOROUGHLY INSTRUCT OWNER ON OPERATION AND RECOMMENDED MAINTENANCE PROCEDURES OF ALL INSTALLED EQUIPMENT & SYSTEMS.

SECTION 24000 PLUMBING SYSTEMS

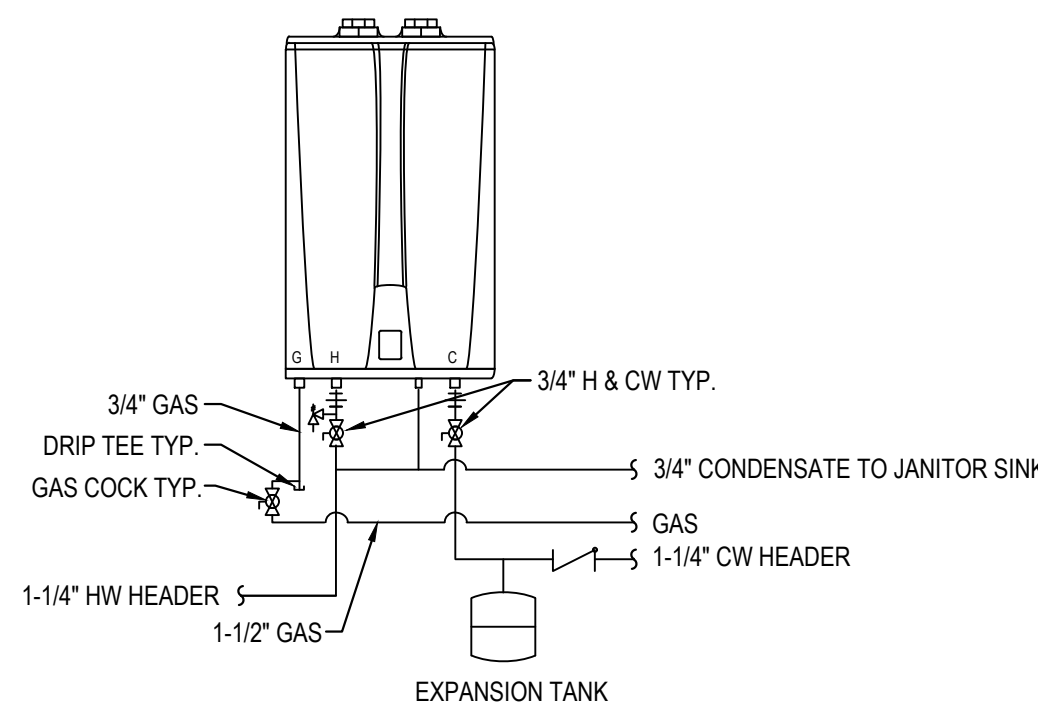
- A. ALL SANITARY PIPING SHALL BE SLOPED AT 1/8" PER FOOT.
- B. SANITARY & VENT PIPING SHALL BE SCHEDULE 40 PVC.
- C. DOMESTIC WATER & CONDENSATE PIPING SHALL BE TYPE L HARD COPPER WITH LEAD FREE SOLDERED JOINTS. CONDENSATE PIPING SHALL BE INSTALLED WITH DWV TYP FITTINGS.
- D. ALL CONDENSATE, HOT & COLD WATER PIPING SHALL BE INSULATED WITH 1/2" THICK FIBERGLASS INSULATION WITH WHITE ALL SERVICE JACKET.
- E. WATER HAMMER ARRESTORS SHALL BE PROVIDED & SIZED PER PDI GUIDELINES AT ALL QUICK CLOSING VALVES. ALL PIPING SHALL BE PRESSURE TESTED PRIOR TO CONCEALING OR INSULATING THE PIPING.
- F. ALL PIPING SHALL BE CONCEALED WITHIN WALLS OR ABOVE CEILING.
- G. PIPING INSTALLED ABOVE CEILING SHALL BE INSTALLED AS HIGH AS POSSIBLE.
- H. ALL VALVES LOCATED ABOVE CEILING SHALL BE LOCATED WITHIN 1' OF ACCESS PANEL OR 1' ACCESSIBLE CEILING.
- I. REFER TO ARCHITECTURAL FLOOR PLANS & ELEVATIONS FOR EXACT LOCATIONS OF PLUMBING FIXTURES.
- J. PLUMBING SYSTEMS SHALL NOT BE INSTALLED WITHIN OR PASSING THROUGH, ELECTRICAL CLOSETS, SWITCHGEAR ROOMS, TELEPHONE ROOMS, ELEVATOR EQUIPMENT ROOMS OR ABOVE ELECTRICAL PANELS.
- K. INSTALL IDENTIFICATION MARKERS ON ALL PIPING SYSTEMS & VALVES THAT INCLUDE SERVICE TYPE & DIRECTION OF FLOW PER ASME A13.1.
- L. ALL DOMESTIC WATER PIPING SYSTEMS SHALL BE FLUSHED & DISINFECTED. SYSTEMS SHALL BE FILLED WITH AN EVENLY DISTRIBUTED DOSE OF 50 TO 200 PPM CHLORINE. ALL FIXTURES & OUTLETS SHALL BE TESTED TO ENSURE EVEN DISTRIBUTION. AFTER 12 HOURS THE RESIDUAL CHLORINE SHALL BE TESTED. DISINFECTION PROCEDURE SHALL BE REPEATED UNTIL RESIDUAL CHLORINE LEVEL IS GREATER THAN 10 PPM AFTER SITTING UNDISTURBED FOR 12 HOURS. ONCE DISINFECTION PROCEDURE IS COMPLETE, SYSTEM SHALL BE THOROUGHLY FLUSHED WITH CLEAN WATER.
- M. GAS PIPING SHALL BE SCHEDULE 40 STEEL WITH MALLEABLE IRON FITTINGS AND THREADED JOINTS. THREADS SHALL BE COATED WITH RECTOR SEAL PRIOR TO ASSEMBLING EACH JOINT. PROVIDE GAS COCK, DRIP LEG AND UNION AT EACH EQUIPMENT CONNECTION. FOR SYSTEMS WITH DELIVERY PRESSURE ABOVE 14" W.C. A REGULATOR SHALL BE PROVIDED AND SIZED FOR EACH PIECE OF EQUIPMENT. ENTIRE GAS PIPING SYSTEM SHALL BE PRESSURE TESTED TO 30 PSI FOR A MINIMUM OF 8 HOURS WITHOUT A LOSS IN PRESSURE. GAS SERVICE SHALL NOT BE CONNECTED UNTIL PRESSURE TEST HAS BEEN COMPLETED AND PASSED. GAS PIPING INSTALLED BELOW GRADE SHALL BE POLYETHYLENE PIPING WITH FUSION WELDED JOINTS.

LEGEND		
TAG	SYMBOL	DESCRIPTION
A/C		ABOVE CEILING
AFF		ABOVE FINISHED FLOOR
AHU		AIR HANDLING UNIT
B/F		BELOW FLOOR
B/G		BELOW GRADE
CO		CLEAN OUT
CW	—	DOMESTIC COLD WATER
	⌵	CHECK VALVE
	—	NEW WORK
EXIST.	—	EXISTING PIPE / EQUIPMENT
FCU		FAN COIL UNIT
FCO	⊙	FLOOR CLEAN OUT
FD	—	FLOOR DRAIN
FDC		FIRE DEPARTMENT CONNECTION
FS		FLOOR SINK
FW		FILTERED WATER
HB	—	HOSE BIBB
HD	—	HUB DRAIN
HW		DOMESTIC HOT WATER
HWR		HOT WATER RETURN
NFWH	—	NON FREEZE WALL HYDRANT
SAN		SANITARY PIPING
ST		STORM PIPING
V		VENT PIPING
VTR		VENT THROUGH ROOF
	⊞	BALL VALVE
WCO		WALL CLEAN OUT
W		WASTE PIPING
WSHP		WATER SOURCE HEAT PUMP



2 TRAP PRIMER DETAIL  
P0.01 SCALE: N.T.S.

1 FLOOR DRAIN DETAIL  
P0.01 SCALE: N.T.S.



5 TANKLESS WATER HEATER PIPING DIAGRAM  
P0.01 SCALE: N.T.S.

INSTANTANEOUS GAS WATER HEATER SCHEDULE						
TAG	INPUT MBH	EFFICIENCY	FLOW RATE (GPM @ 90F RISE)	VOLTS/ PHASE	BASIS OF DESIGN	NOTES
IGW-1	199	96%	4.4	120/1	NAVIEN NPE-240S	1

NOTES:  
1. PROVIDE WITH USER ADJUSTABLE THERMOSTATIC CONTROLS TO MAINTAIN 120F LEAVING WATER TEMPERATURE.

PLUMBING FIXTURES & CONNECTION SCHEDULE						
TAG	FIXTURE	CW	HW	DIRECT WASTE	VENT	FIXTURE SPECIFICATION
P-1H	ADA LAB SINK	1/2"	1/2"	2"	1-1/2"	SELF RIMMING, 18 GA STAINLESS STEEL DOUBLE BOWL DROP IN SINK WITH 14"x14"x6" DEEP BOWL DIMENSIONS, 33"x19-1/2" OVERALL DIMENSIONS, SOUND DAMPENING UNDER COATING, 1.5 GPM, CHROME PLATED, SOLID BRASS FAUCET, WRIST BLADE HANDLES AND 8" GOOSE NECK SWING SPOUT, BASKET STRAINER, TAIL PIECE, OFFSET P-TRAP, SERVICE STOPS & ADA INSULATION KIT. BASIS OF DESIGN: ELKAY LRAD2922 SINK AND CHICAGO 201-AGN8AES-317CP FAUCET.
HD	FLOOR DRAIN - MECHANICAL ROOM	1/2" TP	-	4"	2"	FLOOR DRAINS IN MECHANICAL ROOMS SHALL HAVE 11-3/4" ROUND CAST IRON GRATE, SEDIMENT BUCKET AND DEEP SEAL P-TRAP. BASIS OF DESIGN: JR SMITH 2131 SERIES. PROVIDE WITH TRAP PRIMER

**WESTSIDE**  
ENGINEERING  
#19135

5525 Interstate North Pkwy  
Suite 200  
Atlanta, GA 30328

404-965-1287 tel  
404-601-9859 fax  
ceslinger@westside-engineering.com

GENERAL NOTES (APPLY TO ALL SHEETS):

1. DRAWINGS ARE SCHEMATIC IN NATURE. CONTRACTOR SHALL PROVIDE ALL MATERIALS, EQUIPMENT, TOOLS AND LABOR NECESSARY TO PROVIDE A COMPLETE PLUMBING SYSTEM COMPLIANT WITH ALL REQUIRED CODES & STANDARDS.
2. CONTRACTOR SHALL VISIT THE SITE TO THOROUGHLY EXAMINE EXISTING CONDITIONS PRIOR TO SUBMITTING BID. IF EXISTING CONDITIONS DIFFER FROM DESIGN DOCUMENTS IN SUCH A MANNER THAT AFFECTS PRICING, THE CONTRACTOR SHALL ADJUST THE BID ACCORDINGLY AND NOTIFY THE OWNER & ENGINEER PRIOR TO SUBMITTING THE BID. NO ALLOWANCES WILL BE MADE FOR LACK OF KNOWLEDGE REGARDING THE EXISTING CONDITIONS.
3. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT FIXTURE MOUNTING HEIGHTS & LOCATIONS.
4. COORDINATE ALL SAN, VENT, CW, HW, ETC. WITH EXISTING CONDITIONS & ALL OTHER TRADES.
5. ALL SANITARY PIPING SHALL BE SLOPED AT 1/8" PER FOOT.
6. ALL PIPING SHALL BE PRESSURE TESTED PRIOR TO CONCEALING OR INSULATING THE PIPING.

ARCHITECTURE  
PLANNING  
INTERIOR DESIGN

Lyman  
Davidson  
Dooley, Inc.

1648 Powers Ferry Road  
Building One  
Marietta, GA 30067

770.850.8494 f  
770.956.9030 t  
liddi-architects.com

REVISIONS		
No.	Date	Description
1	03.12.2020	Owner/Permit Comments



EXISTING RENOVATION  
OCONEE ANIMAL SHELTER  
EXPANSION  
OCONEE COUNTY, GEORGIA

OCONEE ANIMAL SHELTER EXPANSION  
1171 Branch Rd.  
Bishop, GA 30621  
OCONEE COUNTY  
23 N Main Street  
Watkinsville, GA 30677

TITLE LEGEND, NOTES, DETAILS, SCHEDULES & NOTES- PLUMBING

STATUS PERMIT SET

JOB 119024.00

QC

DRAWN

SHEET P0.1

DATE 12/13/19

1

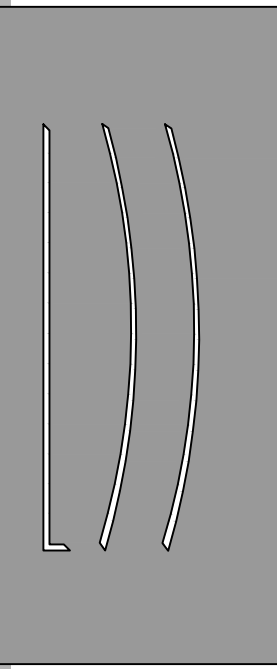
2

3

4

5

THIS DRAWING IS THE PROPERTY OF LYMAN DAVIDSON DOOLEY, INCORPORATED ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED LYMAN DAVIDSON DOOLEY. NOT VALID UNLESS SIGNED AND SEALED.



Lyman  
Davidson  
Dooley, Inc.  
1648 Powers Ferry Road  
Building One  
Marietta, GA 30067  
770.850.8494 f  
770.956.9030 f  
liddi-architects.com

REVISIONS	DATE	DESCRIPTION
1	03.12.2020	OWNER PERMIT COMMENTS

THIS DRAWING IS THE PROPERTY OF LYMAN DAVIDSON DOOLEY INCORPORATED ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED LYMAN DAVIDSON DOOLEY. NOT VALID UNLESS SIGNED AND SEALED.

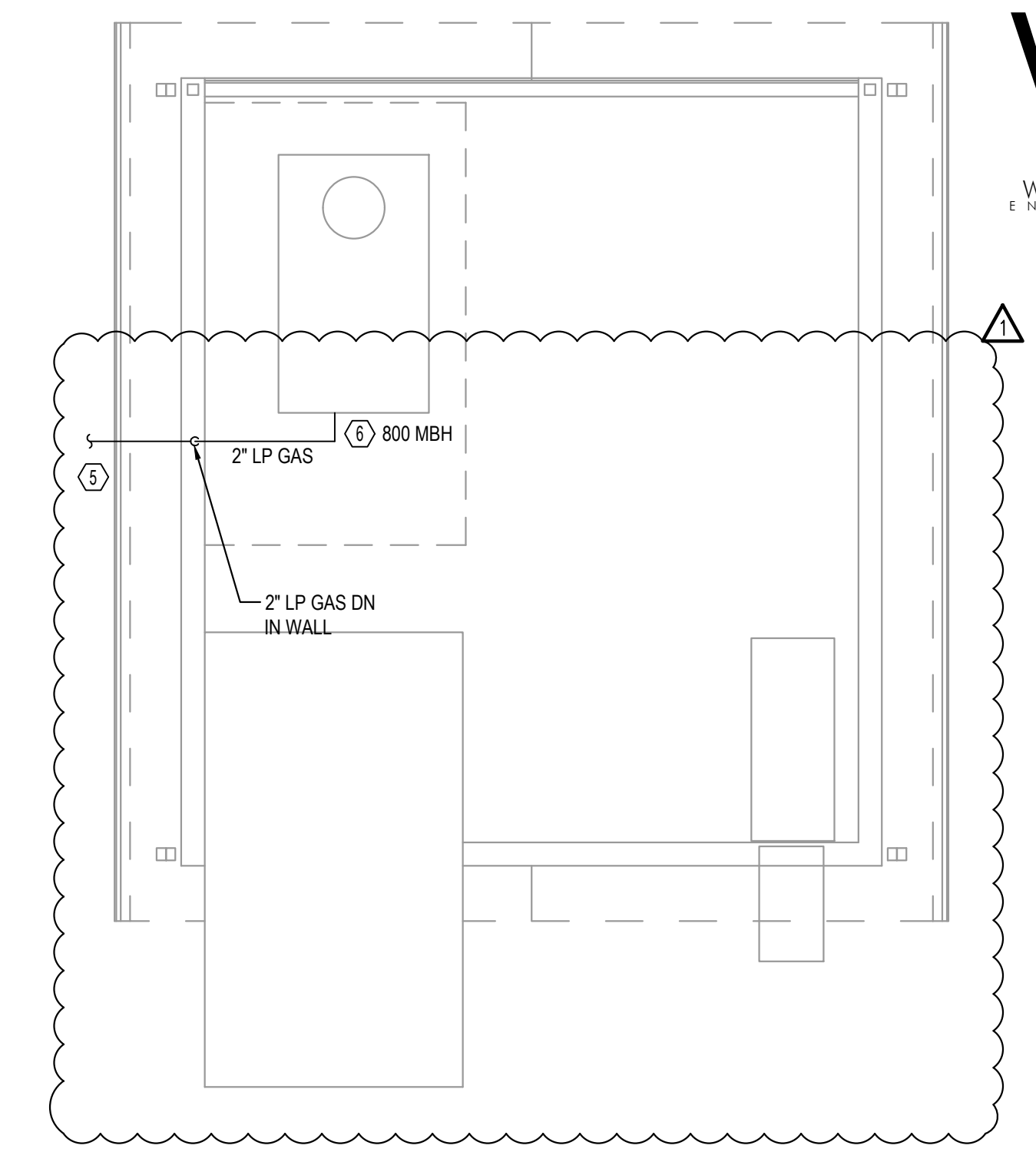


EXISTING RENOVATION  
OCONEE ANIMAL SHELTER  
EXPANSION  
OCONEE COUNTY, GEORGIA

OCONEE  
ANIMAL  
SHELTER  
EXPANSION  
1171 Branch Rd,  
Bishop, GA 30621  
OCONEE  
COUNTY  
23 N Main Street  
Watkinsville, GA  
30677

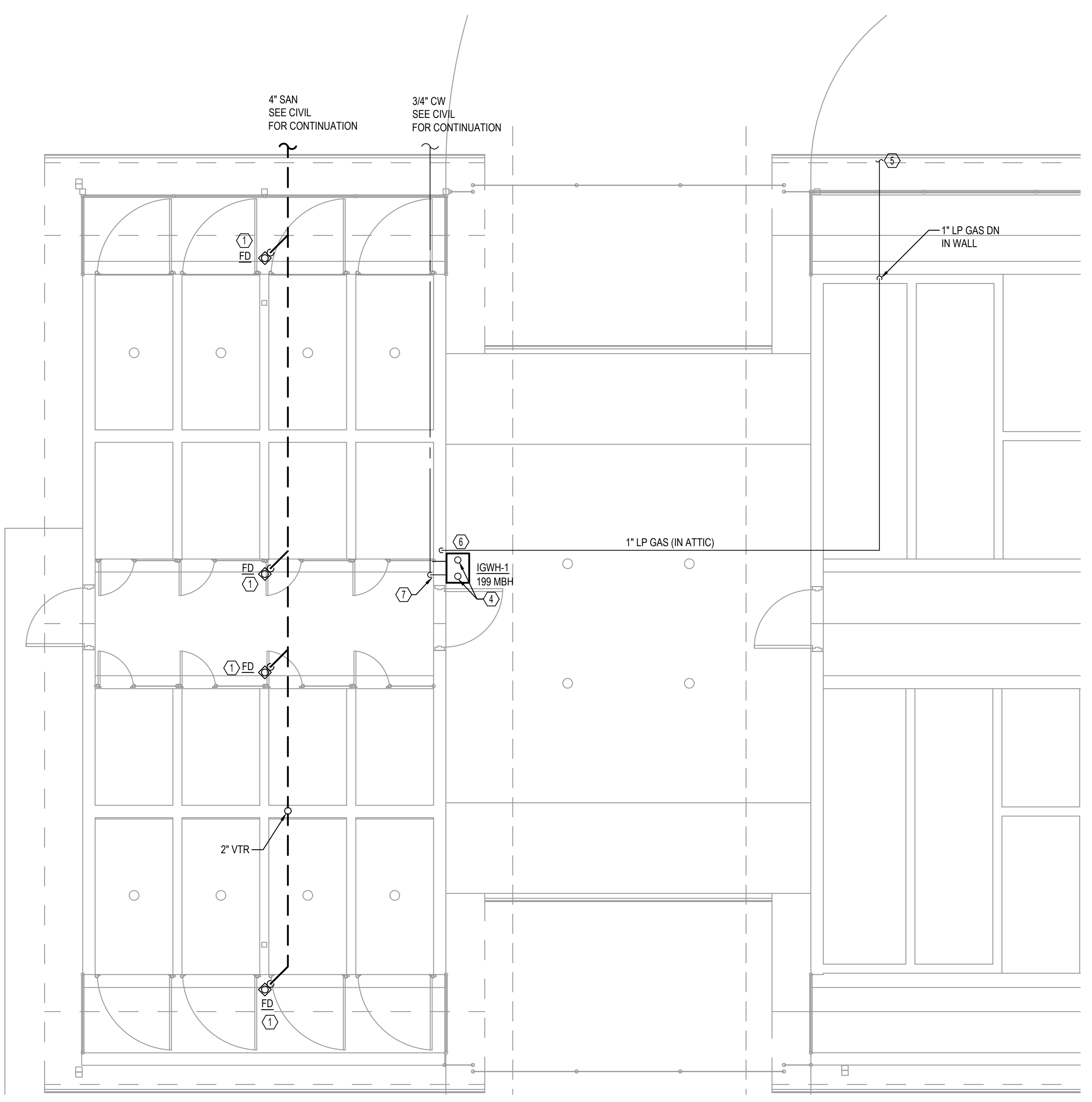
TITLE ENLARGED PLUMBING PLANS  
STATUS PERMIT SET  
JOB 119024.00  
QC  
DRAWN  
SHEET **P1.1**  
DATE 12/13/19

**WESTSIDE**  
ENGINEERING  
5525 Interstate North Pkwy  
Suite 200  
Atlanta, GA 30328  
404-965-1287 tel  
404-601-9859 fax  
cesalinger@westside-engineering.com



**2 OPERATIONS PLAN - PLUMBING**  
SCALE: 1/4" = 1'-0"

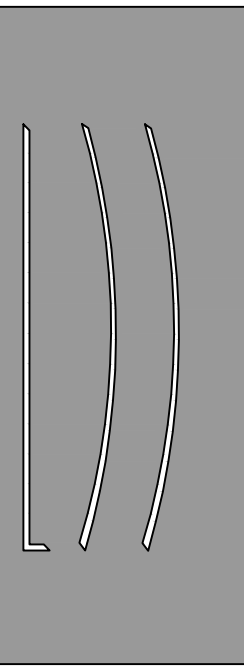
- KEY NOTES:**
- LOCATE FLOOR DRAIN WITHIN TRENCH. FIELD VERIFY EXACT LOCATION.
  - CONNECT NEW 3" SAN TO EXISTING SAN BIF. FIELD VERIFY EXACT LOCATION.
  - CONNECT NEW 1/2" CW & 1/2" HW TO EXISTING CW & HW. FIELD VERIFY EXACT LOCATION.
  - FLUE & COMBUSTION AIR PIPING UP THROUGH ROOF. SIZE AND MATERIAL SHALL BE AS SPECIFIED BY EQUIPMENT INSTALLATION INSTRUCTIONS.
  - ROUTE LP PIPING TO LP TANK B/G. FIELD VERIFY EXACT LOCATION. PIPING SIZED FOR 300' TO MOST REMOTE APPLIANCE.
  - CONNECT TO APPLIANCE WITH GAS COCK, DRIP TEE AND REGULATOR (IF REQUIRED).
  - PROVIDE HOT & COLD SERVICE SINK FAUCET MOUNTED ON WALL WITH VACUUM BREAKER AND BUCKET HOOK. BASIS OF DESIGN IS STERN WILLIAMS T-10-VB.



**1 KENNEL PLAN - PLUMBING**  
SCALE: 1/4" = 1'-0"

D:\SP\Projects\119024 Oconee Animal  
Shelter\p1.dwg  
10:55:21 AM

1 2 3 4 5  
A B C D



Lyman  
Davidson  
Dooley, Inc.

1648 Powers Ferry Road  
Building One  
Marietta, GA 30067

770.850.8494  
770.956.9030

liddi-architects.com

**REVISIONS**

1 03.12.2024 Owner/Permit Comments

NOT VALID UNLESS SIGNED AND SEALED



EXISTING RENOVATION  
OCONEE ANIMAL SHELTER  
EXPANSION  
OCONEE COUNTY, GEORGIA

OCONEE  
ANIMAL  
SHELTER  
EXPANSION

1171 Branch Rd,  
Bishop, GA 30621

OCONEE  
COUNTY

23 N Main Street  
Watkinsville, GA  
30677

TITLE LEGEND, NOTES,  
DETAILS, SCHEDULES &  
NOTES - MECHANICAL

STATUS PERMIT SET

JOB 119024.00

QC

DRAWN

SHEET **M0.1**

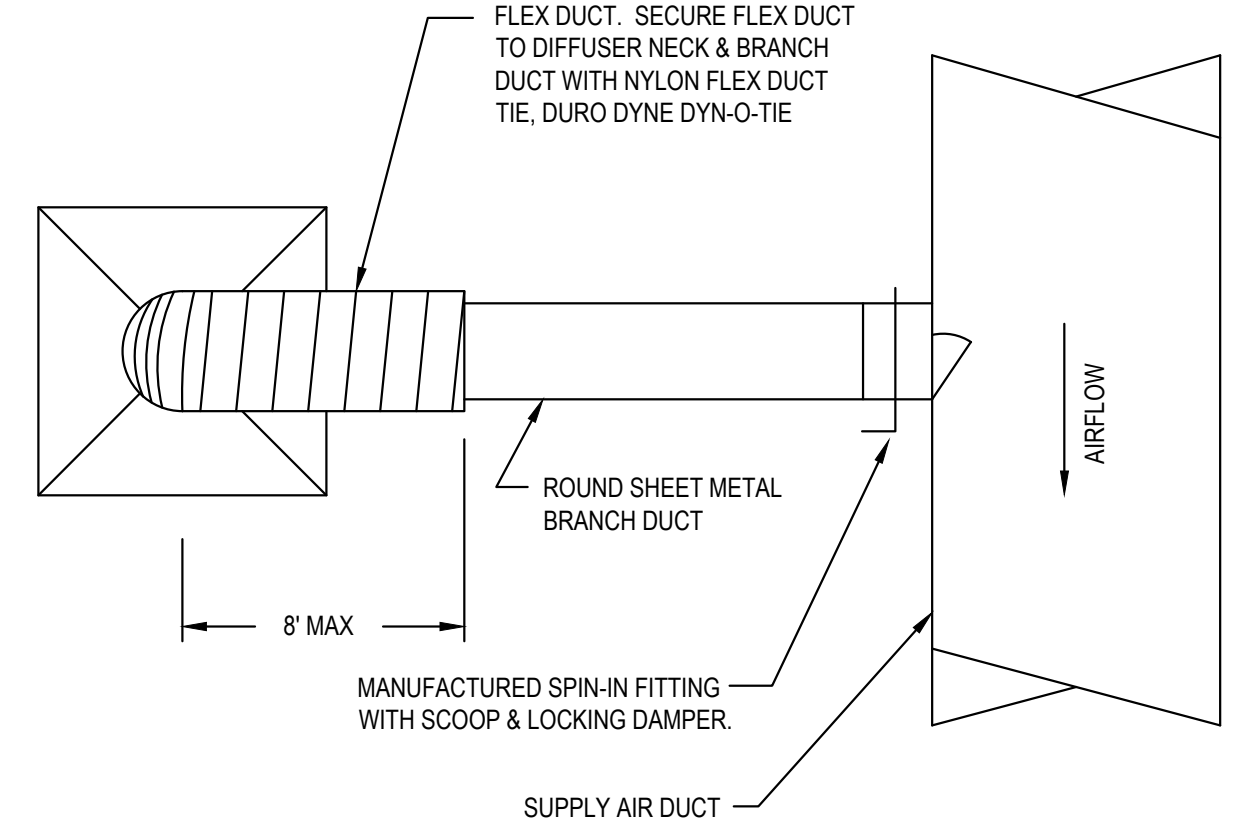
DATE 12/13/19

5525 Interstate North Pkwy  
Suite 200  
Atlanta, GA 30328

404-965-1287 tel  
404-601-9859 fax  
ceslinger@westside-engineering.com



BRANCH DUCT & FLEX DUCT SIZE  
SHALL MATCH DIFFUSER NECK SIZE  
OR SIZE NOTED ON PLAN,  
WHICHEVER IS LARGER.



**1 DIFFUSER CONNECTION DETAIL**  
SCALE: N.T.S.

LEGEND		
TAG	SYMBOL	DESCRIPTION
A/C		ABOVE CEILING
AHU		AIR HANDLER
BDD		BACKDRAFT DAMPER
B/F		BELOW FLOOR
CD	☒	CEILING DIFFUSER
CWS&R		CONDENSER WATER SUPPLY & RETURN
CFM		CUBIC FOOT PER MIN.
DB		DRY BULB
		NEW DUCT WORK
EXIST.	- - - -	EXISTING DUCT / PIPE
EAT		ENTERING AIR TEMPERATURE
EWT		ENTERING WATER TEMPERATURE
EF		EXHAUST FAN
ER	☒	EXHAUST REGISTER
ESP		EXTERNAL STATIC PRESSURE
FD		FIRE DAMPER
F/S/D		COMBINATION FIRE & SMOKE DAMPER
	—◆—	VERTICAL FIRE DAMPER
	—◆—	VERTICAL COMBINATION FIRE & SMOKE DAMPER
HP		HORSEPOWER
LAT		LEAVING AIR TEMPERATURE
LWT		LEAVING WATER TEMPERATURE
MD		MANUAL DAMPER
	☒—	MOTOR OPERATED DAMPER
OA		OUTSIDE AIR
RA		RETURN AIR
RAG	☒	RETURN AIR GRILLE
SA		SUPPLY AIR
SR		SUPPLY REGISTER
	Ⓢ	THERMOSTAT
	⊗	BALL VALVE
WSHP		WATER SOURCE HEAT PUMP

**SECTION 230100 - GENERAL:**

- A. GENERAL
- CONTRACTOR SHALL PROVIDE ALL MATERIALS, EQUIPMENT, TOOLS AND LABOR NECESSARY TO PROVIDE A COMPLETE MECHANICAL SYSTEM COMPLIANT WITH ALL REQUIRED CODES & STANDARDS.
  - DRAWINGS ARE SCHEMATIC IN NATURE AND SHALL NOT BE SCALED.
  - ALL REQUIRED PERMITS & INSPECTIONS SHALL BE SECURED & PAID FOR UNDER THIS CONTRACT. INSPECTION CERTIFICATIONS SHALL BE PROVIDED TO THE OWNER.
  - CONTRACTOR SHALL VISIT THE SITE TO THOROUGHLY EXAMINE EXISTING CONDITIONS PRIOR TO SUBMITTING BID. IF EXISTING CONDITIONS DIFFER FROM DESIGN DOCUMENTS IN SUCH A MANNER THAT AFFECTS PRICING, THE CONTRACTOR SHALL ADJUST THE BID ACCORDINGLY AND NOTIFY THE OWNER & ENGINEER PRIOR TO SUBMITTING THE BID. NO ALLOWANCES WILL BE MADE FOR LACK OF KNOWLEDGE REGARDING THE EXISTING CONDITIONS.
- B. VIBRATION ISOLATION
- VIBRATION ISOLATION SHALL BE PROVIDED FOR ALL MOTOR DRIVEN EQUIPMENT SUSPENDED FROM STRUCTURE OR MOUNTED ON FLOOR. VIBRATION ISOLATORS SHALL BE SIZED PER EQUIPMENT MANUFACTURER'S REQUIREMENTS.
- C. IDENTIFICATION
- PERMANENT BAKELITE TAGS WITH 1" TALL LETTERS SHALL BE PROVIDED FOR ALL EQUIPMENT. EQUIPMENT NUMBERING SHALL MATCH BUILDING STANDARDS.
- D. STARTERS
- ALL MOTORS SHALL BE PROVIDED WITH MAGNETIC MOTOR STARTERS WITH OVERLOAD PROTECTION.
  - STARTERS SHALL BE PROVIDED WITH HAND-OFF-AUTO SWITCHES.
  - INDOOR MOTOR STARTERS SHALL BE FURNISHED WITHIN A NEMA 1 ENCLOSURE.
  - OUTDOOR MOTOR STARTERS SHALL BE FURNISHED WITHIN A NEMA 3R ENCLOSURE.
- E. SUBMITTALS & SHOP DRAWINGS
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS & PRODUCT DATA FOR ALL MECHANICAL EQUIPMENT & SYSTEMS TO BE PROVIDED AND/OR INSTALLED.
- F. SUBSTITUTE MANUFACTURERS
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION & COST OF ALL CHANGES REQUIRED FOR INSTALLATION OF EQUIPMENT & PRODUCTS MANUFACTURED BY THOSE OTHER THAN WHAT IS SPECIFIED IN THE CONTRACT DOCUMENTS.
  - CAREFULLY COORDINATE SUBSTITUTE MANUFACTURER'S INSTALLATION REQUIREMENTS WITH ALL OTHER TRADES INCLUDING BUT NOT LIMITED TO STRUCTURE, ELECTRICAL, PLUMBING AND ARCHITECTURAL. ALL INSTALLATION COSTS ASSOCIATED WITH INSTALLATION OF SUBSTITUTE MANUFACTURER SHALL BE INCLUDED IN BID. NO ALLOWANCES SHALL BE GIVEN FOR CHANGES ASSOCIATED WITH INSTALLATION OF SUBSTITUTE EQUIPMENT & SYSTEMS.
  - LISTING OF A MANUFACTURER AS AN "EQUAL" DOES NOT RELIEVE CONTRACTOR'S RESPONSIBILITY OF COORDINATION & COST ASSOCIATED WITH CHANGES REQUIRED TO OTHER TRADES.
- G. WARRANTY
- CONTRACTOR SHALL WARRANT ALL EQUIPMENT, MATERIALS AND WORKMANSHIP FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR.
  - ALL HVAC COMPRESSORS SHALL BE WARRANTED FOR A PERIOD OF NOT LESS THAN 5 YEARS.
- H. AS-BUILT DRAWINGS
- CONTRACTOR SHALL KEEP REDLINE SET OF DRAWINGS ON SITE DURING CONSTRUCTION TO UPDATE LOCATION OF ALL EQUIPMENT AND SYSTEMS AS THE CONSTRUCTION PROGRESSES. REDLINE SET OF DRAWINGS SHALL BE TURNED OVER TO OWNER AT COMPLETION OF CONSTRUCTION.
- I. OPERATION & MAINTENANCE MANUALS
- CONTRACTOR SHALL PROVIDE AN ELECTRONIC SET AND ONE (1) SET OF HARD COPIES OF INSTALLATION AND MAINTENANCE MANUALS FOR ALL EQUIPMENT & SYSTEMS PROVIDED UNDER THIS CONTRACT.
- J. INSTRUCTION
- CONTRACTOR SHALL THOROUGHLY INSTRUCT OWNER ON OPERATION AND RECOMMENDED MAINTENANCE PROCEDURES OF ALL INSTALLED EQUIPMENT & SYSTEMS.

**SECTION 230600 PIPING SYSTEMS**

- A. CONDENSATE PIPING SHALL BE TYPE L HARD COPPER WITH WROUGHT COPPER FITTINGS & SOLDERED JOINTS.
- B. REFRIGERANT PIPING SHALL BE TYPE ACR CLEANED COPPER FOR REFRIGERANT SERVICE WITH WROUGHT COPPER JOINTS AND SIL-PHOS BRAZED JOINTS. REFRIGERANT PIPING SHALL BE PURGED WITH NITROGEN DURING BRAZING OF JOINTS.

**SECTION 231810 INSULATION**

- A. RETURN AIR AND TRANSFER AIR DUCTS SHALL BE LINED WITH 1" THICK DUCT LINER.
- B. SUPPLY & OUTSIDE AIR DUCTWORK SHALL BE WRAPPED WITH 2" THICK, 3/4 LB DENSITY, R-6 FOIL BACKED INSULATION. JOINTS SHALL BE LAPPED A MINIMUM OF 2" AND SECURED WITH FLARE TYPE STAPLES.
- C. REFRIGERANT PIPING SHALL BE INSULATED WITH 1/2" THICK, CLOSED CELL, NEOPRENE INSULATION. INSULATION SHALL BE SLIP ON TYPE. ALL JOINTS SHALL BE SEALED WITH AN ADHESIVE APPROVED BY THE INSULATION MANUFACTURER.
- D. ALL REFRIGERANT PIPING INSULATION INSTALLED OUTDOORS SHALL BE COATED WITH TWO (2) COATS OF UV RESISTANT COATING.
- E. CONDENSATE PIPING SHALL BE INSULATED WITH 1/2" THICK FIBERGLASS INSULATION WITH WHITE ALL SERVICE JACKET AND MITERED ELBOWS. ALL JOINTS SHALL BE SEALED WITH SELF ADHESIVE OVERLAP.

**SECTION 238000 - DUCTWORK**

- A. ALL DUCTWORK SHALL BE FABRICATED WITH GALVANIZED SHEET METAL.
- B. MEDIUM PRESSURE DUCTWORK, INSTALLED BETWEEN BUILDING AIR HANDLER & TERMINAL UNITS, SHALL BE SPIRAL, FLAT OVAL OR RECTANGULAR DUCT CONSTRUCTED FOR 4" PRESSURE SERVICE WITH CLASS A SEALS.
- C. LOW PRESSURE DUCTWORK, INSTALLED DOWN STREAM OF TERMINAL UNITS, SHALL BE CONSTRUCTED FOR 2" PRESSURE SERVICE WITH CLASS C SEALS.
- D. DUCTWORK CONSTRUCTION AND INSTALLATION SHALL CONFORM TO THE LATEST VERSION OF SMACNA DUCT STANDARDS.
- E. ALL ELBOWS SHALL BE FULL RADIUS TYPE OR MITERED WITH TURNING VANES. MITERED ELBOWS ARE NOT ACCEPTABLE FOR USE IN MEDIUM PRESSURE DUCTWORK.
- F. PROVIDE BELL MOUTH FITTINGS AT ALL MEDIUM PRESSURE BRANCH DUCT TAPS INTO MEDIUM PRESSURE MAIN DUCT.
- G. PROVIDE SPIN IN FITTING WITH SCOOP & LOCKING DAMPER AT ALL LOW PRESSURE BRANCH DUCT CONNECTIONS TO MAIN DUCT.
- H. DUCTWORK SHALL BE INSPECTED & SEALED AIR TIGHT TO BE FREE OF LEAKS PRIOR TO INSULATING OR COVERING UP THE DUCTWORK.
- I. FIRE DAMPERS SHALL BE TYPE 'B' UL LISTED DAMPERS WITH FIRE CURTAIN LOCATED OUTSIDE OF THE AIR STREAM. FIRE DAMPERS SHALL BE LISTED FOR USE IN THE WALL RATING WITHIN WHICH THE DAMPER IS INSTALLED.
- J. SMOKE DAMPERS SHALL BE UL LISTED. DAMPERS SHALL CLOSE UPON DETECTION OF SMOKE OR UPON POWER FAILURE UNLESS NOTED OTHERWISE. SMOKE DAMPERS SHALL BE AUTOMATIC RESET TYPE.
- K. SMOKE DETECTORS SHALL BE PROVIDED BY DIVISION 26 FOR INSTALLATION BY DIVISION 23.
- L. SMOKE DETECTORS SHALL CLOSE ALL ASSOCIATED SMOKE DAMPERS AND SHUT DOWN THE ASSOCIATED AIR MOVING DEVICE.

**SECTION 239500 - TEST & BALANCE**

- A. TEST & BALANCE AGENCY SHALL BE NEBB OR AABC CERTIFIED.
- B. TEST & BALANCE AGENCY SHALL BE HIRED DIRECTLY BY THE GENERAL CONTRACTOR.
- C. ALL EQUIPMENT SHALL BE LUBRICATED, TESTED, ADJUSTED AND BALANCED TO MEET DESIGN, MANUFACTURER'S OPERATING & INSTALLATION GUIDELINES.
- D. AIR TERMINALS SHALL BE BALANCED TO CFM INDICATED ON PLAN.
- E. TERMINAL UNITS SHALL BE BALANCED TO THE SUM OF THE CONNECTED AIR DISTRIBUTION DEVICES.
- F. ALL DEFICIENCIES SHALL BE RECORDED AND SENT TO THE MECHANICAL CONTRACTOR FOR RESOLUTION.
- G. ONCE ALL DEFICIENCIES HAVE BEEN CORRECTED, TWO (2) HARD COPIES OF THE FINAL REPORT SHALL BE DELIVERED TO THE OWNER. AN ELECTRONIC COPY IN PDF FORMAT SHALL BE SUBMITTED IN ADDITION TO THE HARD COPIES.

**GENERAL NOTES:**

- DRAWINGS ARE SCHEMATIC IN NATURE. CONTRACTOR SHALL PROVIDE ALL MATERIALS, EQUIPMENT, TOOLS AND LABOR NECESSARY TO PROVIDE A COMPLETE MECHANICAL SYSTEM COMPLIANT WITH ALL REQUIRED CODES & STANDARDS.
- CONTRACTOR SHALL VISIT THE SITE TO THOROUGHLY EXAMINE EXISTING CONDITIONS PRIOR TO SUBMITTING BID. IF EXISTING CONDITIONS DIFFER FROM DESIGN DOCUMENTS IN SUCH A MANNER THAT AFFECTS PRICING, THE CONTRACTOR SHALL ADJUST THE BID ACCORDINGLY AND NOTIFY THE OWNER & ENGINEER PRIOR TO SUBMITTING THE BID. NO ALLOWANCES WILL BE MADE FOR LACK OF KNOWLEDGE REGARDING THE EXISTING CONDITIONS.
- ALL LOW VOLTAGE CONTROL WIRING SHALL BE INSTALLED AND WIRED TO EQUIPMENT AS A PART OF THIS CONTRACT.
- MATERIALS EXPOSED IN RETURN AIR PLENUMS SHALL BE NON COMBUSTIBLE WITH A FLAME SPREAD INDEX NOT MORE THAN 25 AND A SMOKE DEVELOPED INDEX OF NOT MORE THAN 50.

AIR DISTRIBUTION SCHEDULE		
TAG	DESCRIPTION	BASIS OF DESIGN
SR	SUPPLY REGISTERS (SR) SHALL BE ALUMINUM, DOUBLE DEFLECTION TYPE PROVIDED WITH OPPOSED BLADE DAMPER AND OUTER MOST SET OF DEFLECTORS PARALLEL TO THE SHORT DIMENSION. PROVIDE WITH OPPOSED BLADE BALANCING DAMPER AND FACTORY APPLIED, WHITE, BAKED ENAMEL FINISH.	TITUS 300FS
SOFFIT INTAKE / EXH.	SURFACE MOUNT GRILLE SHALL BE ALUMINUM WITH FIXED 35° DEFLECTION, BLADES PARALLEL TO THE LONG DIMENSION AND 3/4" BLADE SPACING. PROVIDE WITH WHITE, BAKED ENAMEL FINISH.	TITUS 350FL
ER	SURFACE MOUNT EXHAUST REGISTERS (ER) SHALL BE ALUMINUM WITH FIXED 35° DEFLECTION, BLADES PARALLEL TO THE LONG DIMENSION AND 3/4" BLADE SPACING. PROVIDE WITH OPPOSED BLADE BALANCING DAMPER AND WHITE, BAKED ENAMEL FINISH.	TITUS 350FL

DUCTLESS SPLIT SYSTEM SCHEDULE															
TAG	AIRFLOW (CFM)	EXT. S.P. (IN W.C.)	OUTSIDE AIR (CFM)	TOTAL COOLING CAPACITY (MBH)	SENSIBLE COOLING CAPACITY (MBH)	COOLING EAT DB/WB (F)	HEATING CAPACITY (MBH @ 47°F)	MIN. SEER	MIN. HSPF	OUTDOOR TEMPERATURE (F)	INDOOR UNIT VOLTS/PHASE	CONDENSING UNIT VOLTS/PHASE	ORIENTATION	BASIS OF DESIGN	NOTES
DCU-1	--	--	--	23.5		--	23.0	17.9	12.5	95	--	208/1	--	DAIKIN 3MXS24NMVJU	2
DFC-1A	350	--	15	9	6.75	80/67	9	--	--	95	208/1	--	CEILING CASSETTE	DAIKIN FFQ09Q2VJU	1.3
DFC-1B	350	--	--	9	6.75	80/67	9	--	--	95	208/1	--	WALL MOUNT	DAIKIN FTXS09LVJU	1.4
DFC-1C	350	--	--	9	6.75	80/67	9	--	--	95	208/1	--	WALL MOUNT	DAIKIN FTXS09LVJU	1.4
DFC-2	580	--	--	18	14	80/67	18	15	8.2	95	208/1	208/1	WALL MOUNT	DAIKIN FTXN18NMVJU / RXN18NMVJU	1
DFC-3	350	--	--	13.3	8.4	80/67	16.8	20.2	11.2	95	208/1	208/1	CEILING CASSETTE	DAIKIN FFQ12Q2VJU / RX12RMVJU9	1.3
DFC-4	580	--	--	25.4	16.1	80/67	25.4	15	8.2	95	208/1	208/1	WALL MOUNT	DAIKIN FTXN24NMVJU / RXN24NMVJU	1.4

- NOTES:
- PROVIDE WITH INTEGRAL CONDENSATE PUMP AND WIRED THERMOSTAT.
  - PROVIDE MULTI SPLIT SYSTEM WITH CONDENSING UNIT AND CONTROLS CAPABLE OF CONNECTING OUTDOOR UNIT (DCU-1) TO MULTIPLE INDOOR UNITS (DFC-1A, 1B, 1C).
  - INTERLOCK MOTORIZED OUTSIDE AIR DAMPER WITH COMPRESSOR OPERATION.
  - OUTSIDE AIR DELIVERED DIRECTLY TO SPACE THROUGH ERV.



5525 Interstate North Pkwy  
Suite 200  
Atlanta, GA 30328  
404-965-1287 tel  
404-601-9859 fax  
ceslinger@westside-engineering.com

Lyman  
Davidson  
Dooley, Inc.

1648 Powers Ferry Road  
Building One  
Marietta, GA 30067  
770.850.8494 t  
770.956.9030 f  
liddi-architects.com

NO.	DATE	REVISIONS
1	03.12.2020	Owner/Permit Comments

THIS DRAWING IS THE PROPERTY OF LYMAN DAVISON DOOLEY INCORPORATED ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED LYMAN DAVISON DOOLEY. NOT VALID UNLESS SIGNED AND SEALED.



EXISTING RENOVATION  
OCONEE ANIMAL SHELTER  
EXPANSION  
OCONEE COUNTY, GEORGIA

OCONEE  
ANIMAL  
SHELTER  
EXPANSION  
1171 Branch Rd.  
Bishop, GA 30621  
OCONEE  
COUNTY  
23 N Main Street  
Watkinsville, GA  
30677

TITLE ENLARGED  
MECHANICAL PLANS

STATUS PERMIT SET

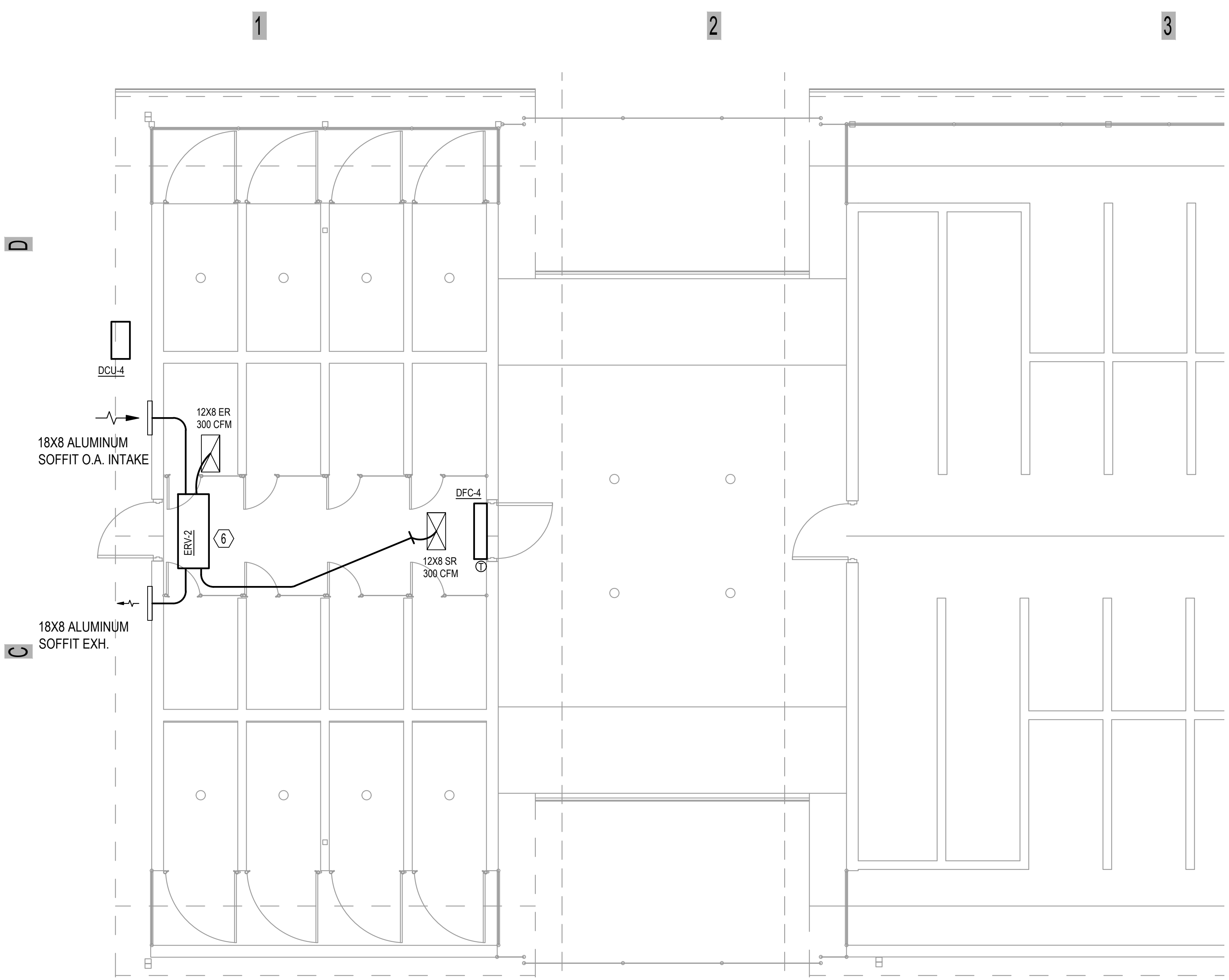
JOB 119024.00

QC

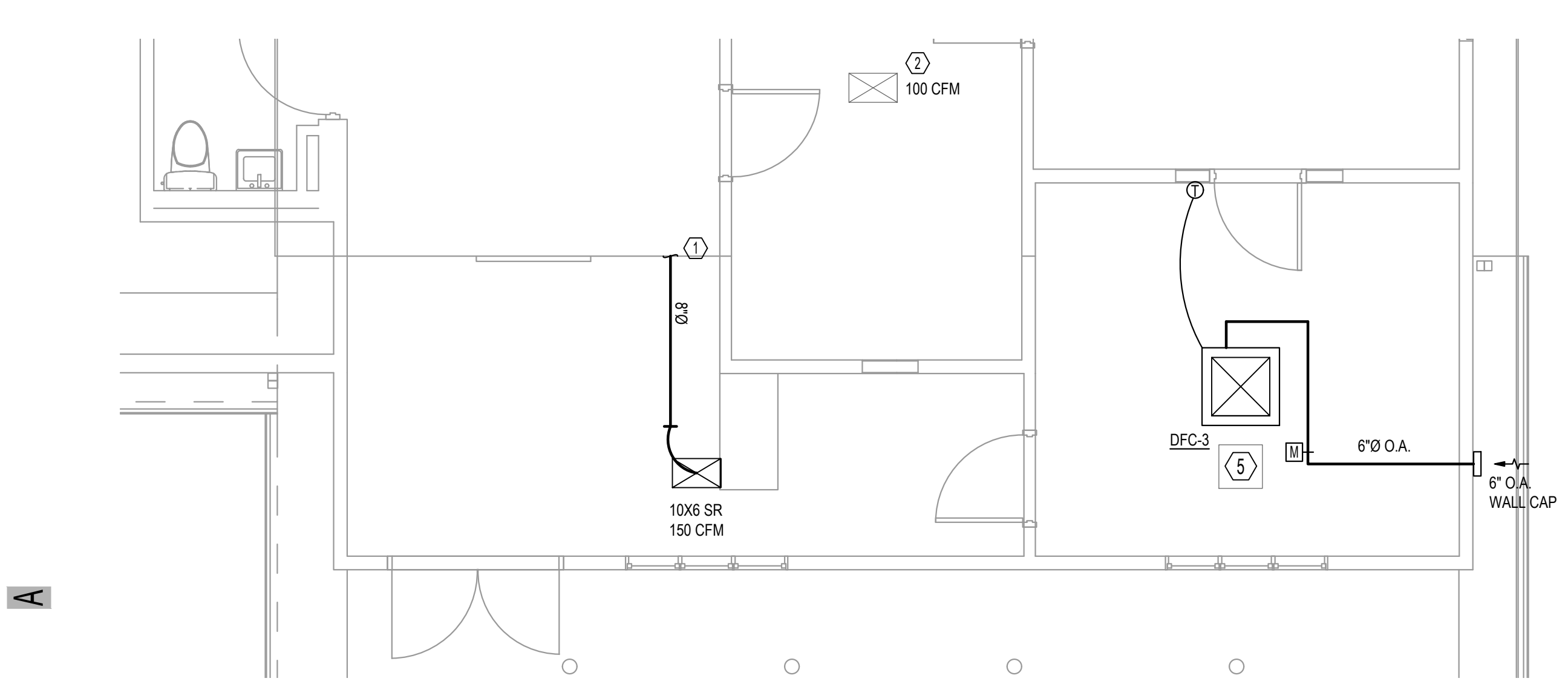
DRAWN

SHEET **M1.1**

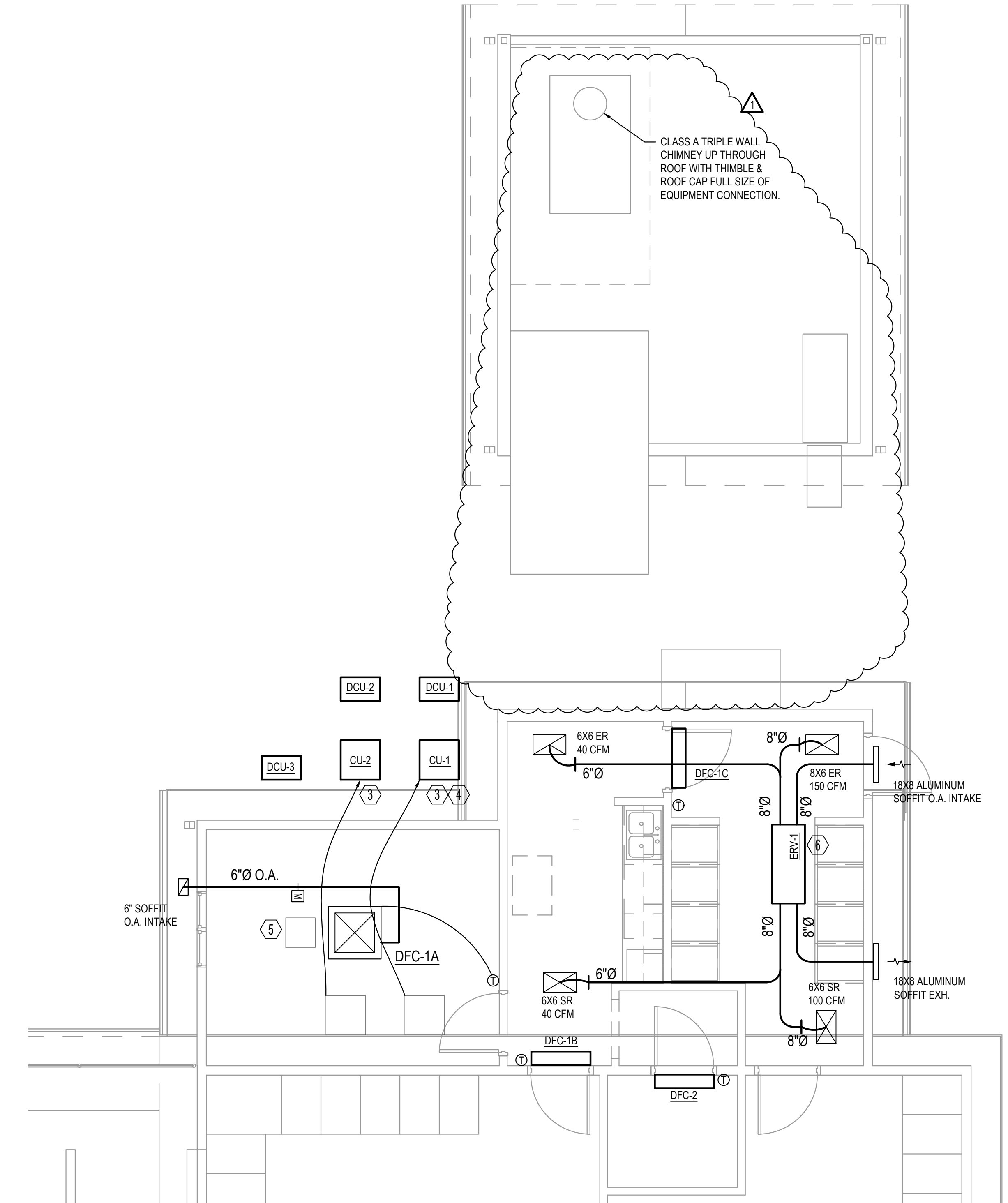
DATE 12/13/19



1 KENNEL PLAN - MECHANICAL  
M1.1 SCALE: 1/4" = 1'-0"



3 ADMINISTRATION PLAN - MECHANICAL  
M1.1 SCALE: 1/4" = 1'-0"



2 OPERATIONS PLAN - MECHANICAL  
M1.1 SCALE: 1/4" = 1'-0"

KEY NOTES:

- CONNECT NEW DIFFUSER TO EXISTING SPLIT SYSTEM SERVING THIS AREA.
- BALANCE EXISTING DIFFUSER TO CFM INDICATED ON PLAN.
- RELOCATE EXISTING HEAT PUMP. EXTEND/REWORK EXISTING LINE SETS AS REQUIRED.
- PROVIDE SEPARATE LINE ITEM PRICING TO REPLACE EXISTING NOMINAL 2 TON GOODMAN HEAT PUMP SYSTEM (INDOOR AND OUTDOOR UNITS) WITH LIKE MODEL IN LIEU OF RELOCATING EXISTING HEAT PUMP. FIELD VERIFY AND MATCH EXISTING ELECTRIC HEAT KW.
- NEW 18x18 ACCESS PANEL IN CEILING.
- ERV-1 & ERV-2 SHALL BE DAIKIN VAM300GVJU OR EQUAL ENERGY RECOVERY VENTILATORS WITH INTEGRAL SUPPLY & EXHAUST FANS, SUPPLY & EXHAUST FILTERS AND CROSS FLOW ENTHALPY TYPE HEAT EXCHANGER CORE. AIR FLOWS SHALL BE ADJUSTED TO MATCH TOTAL OF ALL CONNECTED DIFFUSERS.

D:\S\Projects\119024 Oconee Animal  
9/11/2019 10:55:21 AM

### EXISTING PANELBOARD SCHEDULE - 'X3'

OCT #	TRIP #	POLE	DESCRIPTION	LOAD (KVA)												TRIP	OCT #														
				LTG	REC	MTR	A/C	HTG	KIT	MISC	A	B	LTG	REC	MTR			A/C	HTG	KIT	MISC										
1	20/1		EXIST. KENNEL #2 LIGHTING														0.5	60/2	2												
3	20/1		EXIST. KENNEL #2 LIGHTING														0.5	60/2	2												
5	20/1		EXIST. KENNEL #1 LIGHTING														0.5	30/2	4												
7	20/1		EXIST. KENNEL #1 LIGHTING														0.5	30/2	4												
9	20/1		EXIST. PANEL RECEPTACLES														0.5	20/1	10												
11	20/1		EXIST. BATHROOM RECEPT.														0.5	20/1	12												
13	20/1		EXISTING														0.5	20/1	14												
15	20/1		EXIST. REFRIGERATOR														0.5	20/2	16												
17	15/2		ERV-2														0.2	...	18												
19			...														0.2	...	20												
21	20/1		LIGHTING														0.4	20/1	22												
23	20/1		EXTERIOR LIGHTING														0.2	1P	24												
25	1P		SPACE															1P	26												
27	1P		SPACE															1P	28												
29	1P		SPACE															1P	30												
31	1P		SPACE															1P	32												
33	15/2		GATE POWER														1.0	30/2	34												
35			...														1.0	...	36												
37	15/2		GATE POWER														1.0	50/2	38												
39			...														1.0	...	40												
LIGHTING (KVA):				5.1				2.4				2.0				0.0				0.0				0.0				CONNECTED LOAD (KVA):		34.3	
RECEPTACLES (KVA):				3.8				2.7				1.8				2.8				12.0				0.0				DEMAND LOAD (KVA):		34.3	
MOTORS (KVA):				7.2				15.5				22.2				12.0								CONNECTED LOAD (AMPS):		142.9					
A/C (KVA):				12.0				18.8				15.7												DEMAND LOAD (AMPS):		142.9					
HEATING (KVA):				0.0				13.5				12.0				0.0				0.0				DEMAND LOAD (AMPS):		142.9					
KITCHEN (KVA):				0.0								KVA				AMPS								DEMAND LOAD (AMPS):		142.9					
MISCELLANEOUS (KVA):				6.2																				AMPAQTY REQUIRED:		148.2					

### NEW PANELBOARD SCHEDULE - 'NA' (NEMA 3R)

OCT #	TRIP #	POLE	DESCRIPTION	LOAD (KVA)												TRIP	OCT #						
				LTG	REC	MTR	A/C	HTG	KIT	MISC	A	B	LTG	REC	MTR			A/C	HTG	KIT	MISC		
1	20/2		DCU-1														1.3	15/2	2				
3			...														1.3	...	4				
5	15/2		DFC-1A, 1B, 1C AND ERV														1.1	15/2	6				
7			...														1.1	...	8				
9	20/1		RECEPTACLES														1.0	20/1	10				
11	20/1		RECEPTACLES														0.4	1P	12				
13	20/1		RECEPTACLES														0.4	1P	14				
15	1P		SPACE															1P	16				
17	1P		SPACE															1P	18				
19	1P		SPACE															1P	20				
21	1P		SPACE															1P	22				
23	1P		SPACE															1P	24				
LIGHTING (KVA):				0.0				1.0				0.0				0.0				CONNECTED LOAD (KVA):		11.2	
RECEPTACLES (KVA):				1.0				0.0				0.0				0.0				DEMAND LOAD (KVA):		11.2	
MOTORS (KVA):				1.8				6.2				51.7								CONNECTED LOAD (AMPS):		46.7	
A/C (KVA):				8.4				5.0				41.7								DEMAND LOAD (AMPS):		46.7	
HEATING (KVA):				0.0				KVA				AMPS								DEMAND LOAD (AMPS):		46.7	
KITCHEN (KVA):				0.0																AMPAQTY REQUIRED:		46.7	
MISCELLANEOUS (KVA):				0.0																AMPAQTY REQUIRED:		46.7	

### NEW PANELBOARD SCHEDULE - 'NB' (NEMA 3R)

OCT #	TRIP #	POLE	DESCRIPTION	LOAD (KVA)												TRIP	OCT #						
				LTG	REC	MTR	A/C	HTG	KIT	MISC	A	B	LTG	REC	MTR			A/C	HTG	KIT	MISC		
1	20/1		INCINERATOR														0.2	20/1	2				
3	20/1		SPARE															20/1	4				
5	20/1		SPARE															20/1	6				
7	20/1		SPARE															20/1	8				
9	20/1		SPARE															20/1	10				
11	20/1		SPARE															20/1	12				
LIGHTING (KVA):				0.2				0.0				0.0				0.0				CONNECTED LOAD (KVA):		1.6	
RECEPTACLES (KVA):				0.4				0.0				0.0				0.0				DEMAND LOAD (KVA):		1.6	
MOTORS (KVA):				1.0				1.6				13.3								CONNECTED LOAD (AMPS):		6.7	
A/C (KVA):				0.0				0.0				0.0				0.0				DEMAND LOAD (AMPS):		6.7	
HEATING (KVA):				0.0				KVA				AMPS								DEMAND LOAD (AMPS):		6.7	
KITCHEN (KVA):				0.0																AMPAQTY REQUIRED:		6.9	
MISCELLANEOUS (KVA):				0.0																AMPAQTY REQUIRED:		6.9	

### EXISTING PANELBOARD SCHEDULE - 'X1'

OCT #	TRIP #	POLE	DESCRIPTION	LOAD (KVA)												TRIP	OCT #						
				LTG	REC	MTR	A/C	HTG	KIT	MISC	A	B	LTG	REC	MTR			A/C	HTG	KIT	MISC		
1	30/2		EXIST. EXHAUST FAN														1.8	60/2	2				
3			...														1.8	...	4				
5	20/1		EXIST. FREEZER														0.5	20/1	6				
7	20/1		EXIST. FREEZER														0.5	20/1	8				
9	20/1		EXIST. REFRIGERATOR														0.5	20/2	10				
11	20/1		EXIST. FREEZER														0.5	...	12				
13	20/1		EXIST. BATHROOM RECEPT.														0.5	20/1	14				
15	20/1		EXIST. NIGHT LIGHTING														0.5	20/1	16				
17	20/1		EXIST. MECH. LIGHTING														0.5	20/1	18				
19	20/1		EXIST. HEATER FANS														0.5	20/1	20				
21	1P		SPACE														0.5	20/1	22				
23	1P		SPACE															1P	24				
LIGHTING (KVA):				2.0				1.0				1.0				0.0				CONNECTED LOAD (KVA):		18.1	
RECEPTACLES (KVA):				4.5				1.0				1.0				0.0				DEMAND LOAD (KVA):		18.1	
MOTORS (KVA):				4.6				9.8				81.7								CONNECTED LOAD (AMPS):		79.6	
A/C (KVA):				0.5				9.3				77.5								DEMAND LOAD (AMPS):		79.6	
HEATING (KVA):				0.0				KVA				AMPS								DEMAND LOAD (AMPS):		79.6	
KITCHEN (KVA):				0.0																AMPAQTY REQUIRED:		81.7	
MISCELLANEOUS (KVA):				7.5																AMPAQTY REQUIRED:		81.7	

### EXISTING PANELBOARD SCHEDULE - 'X2'

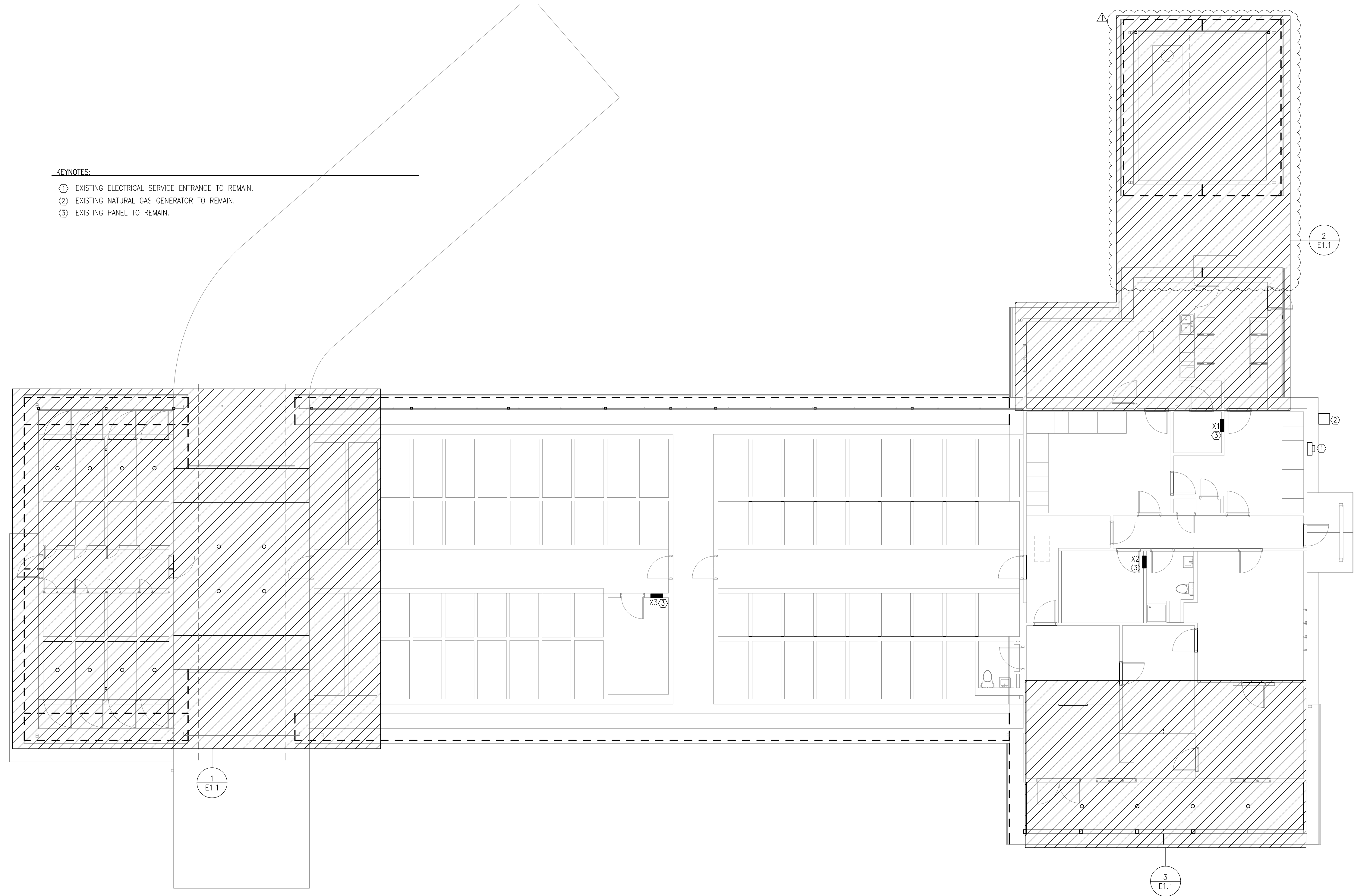
OCT #	TRIP #	POLE	DESCRIPTION	LOAD (KVA)												TRIP	OCT #		
				LTG	REC	MTR	A/C	HTG	KIT	MISC	A	B	LTG	REC	MTR			A/C	HTG
1	30/2		EXIST. WATER HEATER														3.0	60/2	2
3			...														3.0	...	4
5	30/2		EXIST. DRYER														2.5	40/2	6
7			...														2.5	...	8
9	20/1		EXIST. KENNEL LIGHTING														0.5	20/1	10
11	20/1		EXIST. HALLWAY LIGHTING														0.5	20/1	12
13	20/1		EXIST. ATTIC LIGHTING														0.5	20/1	14
15	20/1		EXIST. WASHING MACHINE														0.5	20/1	16
17	20/1		EXIST. OFFICE RECEPT.														0.5	20/1	18
19	20/1		EXIST. EXTERIOR RECEPT.														0.5	20/1	20
21	20/1		EXIST. OFFICE RECEPT.														0.5	20/1	22
23	20/1		EXIST. EXIST LIGHTING														0.5	20/1	24
25	20/1		EXIST. RECEPTION RECEPT.														0.5	20/1	26
27	50/2		EXIST. HVAC														3.6	20/1	28
29			...														3.6	30/2	30
31	20/1		OFFICE RECEPTACLES														0.8	...	32
33	20/1		OFFICE RECEPTACLES														0.6	20/1	34
35	20/1		OFFICE RECEPTACLES																



5525 Interstate North Pkwy  
Suite 200  
Atlanta, GA 30328  
404-965-1287 tel  
404-601-9859 fax  
ceslinger@westside-engineering.com

KEYNOTES:

- ① EXISTING ELECTRICAL SERVICE ENTRANCE TO REMAIN.
- ② EXISTING NATURAL GAS GENERATOR TO REMAIN.
- ③ EXISTING PANEL TO REMAIN.



① OVERALL ELECTRICAL KEY PLAN  
1/8" = 1'-0"

REVISIONS	
1	03.12.2020 Owner/Permit Comments



EXISTING RENOVATION  
OCONEE ANIMAL SHELTER  
EXPANSION  
OCONEE COUNTY, GEORGIA

OCONEE ANIMAL SHELTER EXPANSION  
1171 Branch Rd.  
Bishop, GA 30621  
OCONEE COUNTY  
23 N Main Street  
Watkinsville, GA 30677

TITLE OVERALL ELECTRICAL PLAN  
STATUS PERMIT SET  
JOB 119024.00  
QC JRW  
DRAWN EF  
SHEET E1.0  
DATE 12/13/19

REVISIONS	
1	03.12.2020 Owner/Permit Comments

THIS DRAWING IS THE PROPERTY OF LYMAN DAVIDSON DOOLEY INCORPORATED ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED LYMAN DAVIDSON DOOLEY. NOT VALID UNLESS SIGNED AND SEALED.



EXISTING RENOVATION  
OCONEE ANIMAL SHELTER  
EXPANSION  
OCONEE COUNTY, GEORGIA

OCONEE  
ANIMAL  
SHELTER  
EXPANSION  
1171 Branch Rd.  
Bishop, GA 30621  
OCONEE  
COUNTY  
23 N Main Street  
Watkinsville, GA  
30677

TITLE ENLARGED ELECTRICAL PLANS

STATUS PERMIT SET

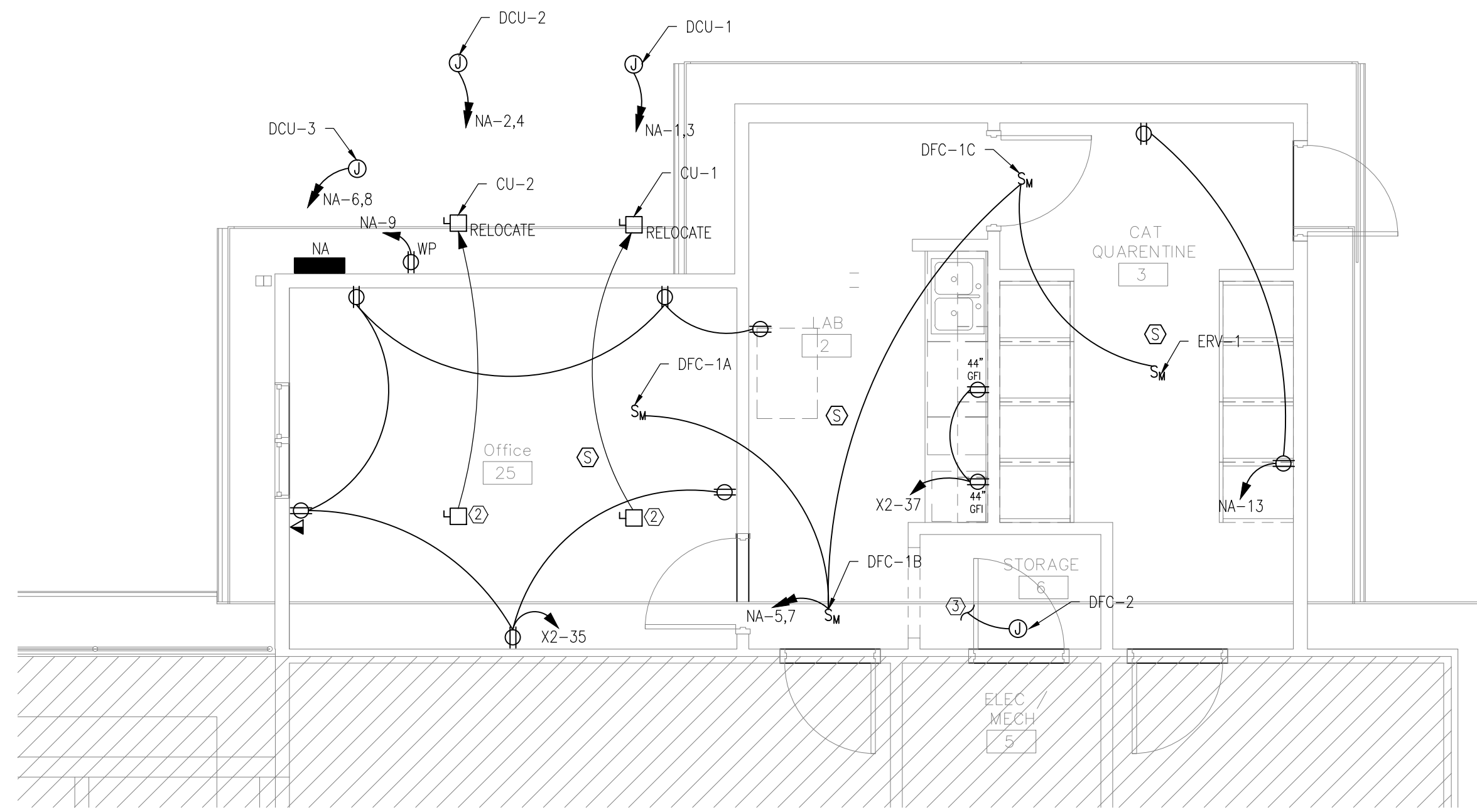
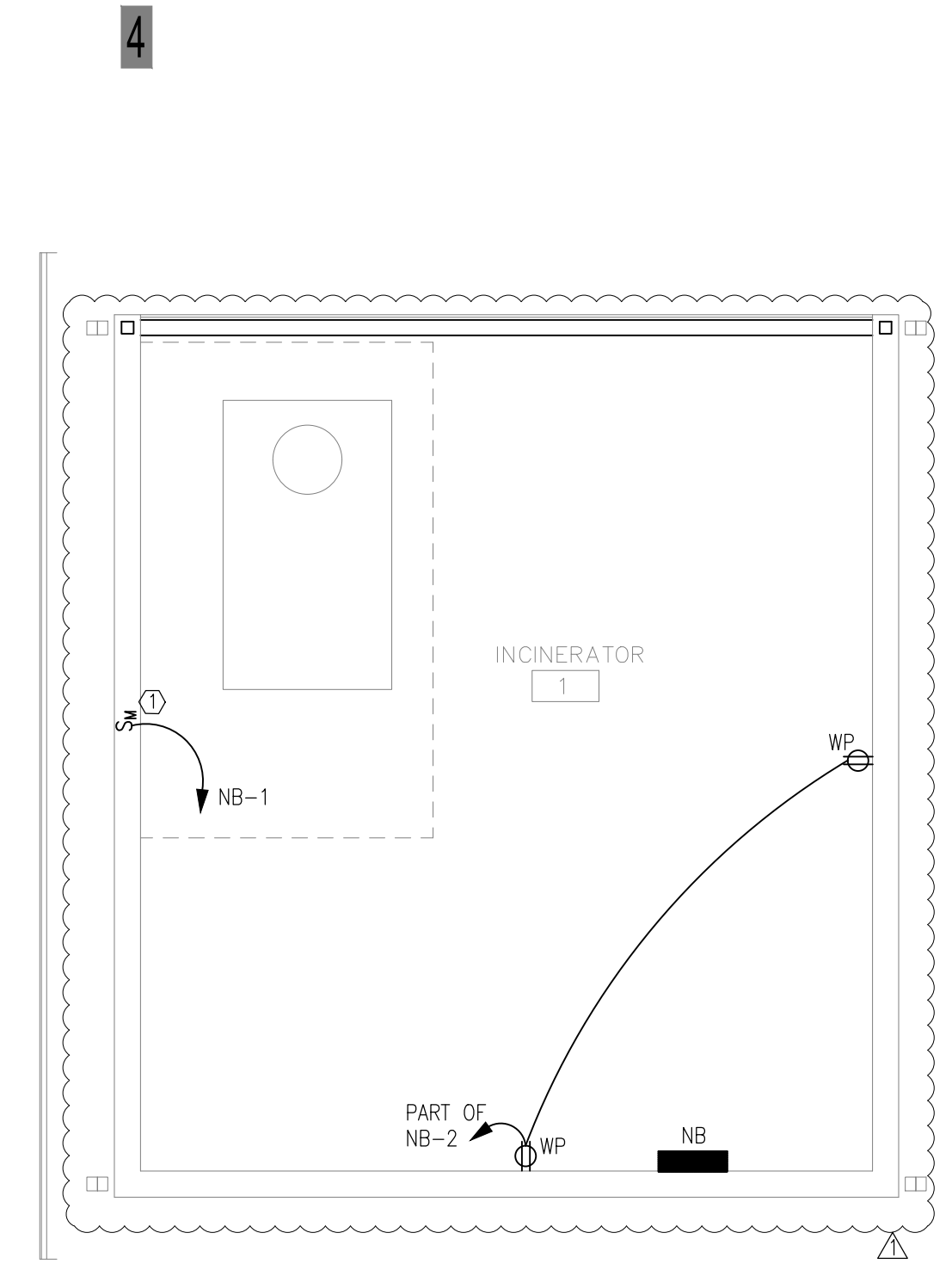
JOB 119024.00

QC JRW

DRAWN EF

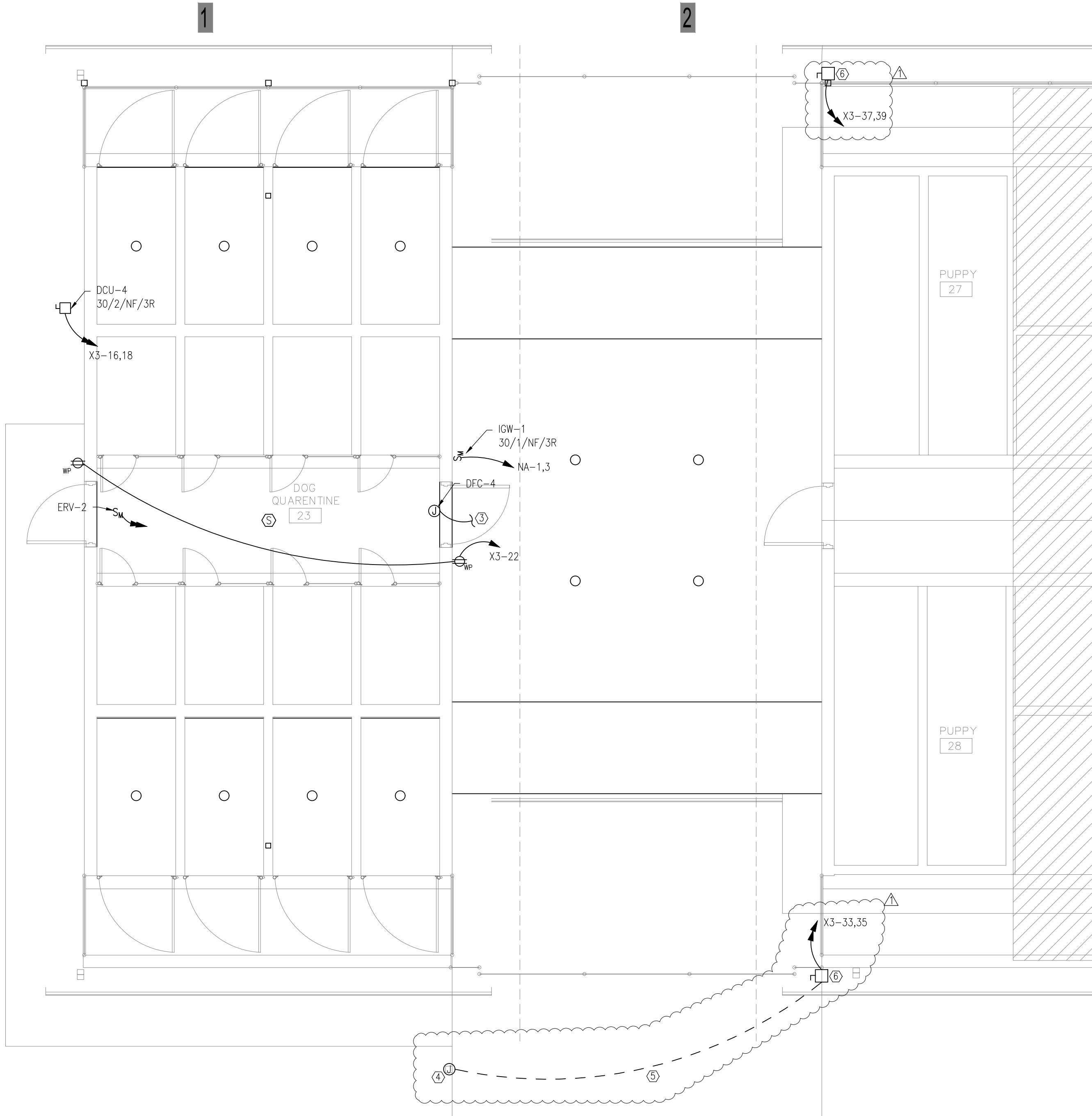
SHEET **E1.1**

DATE 12/13/19

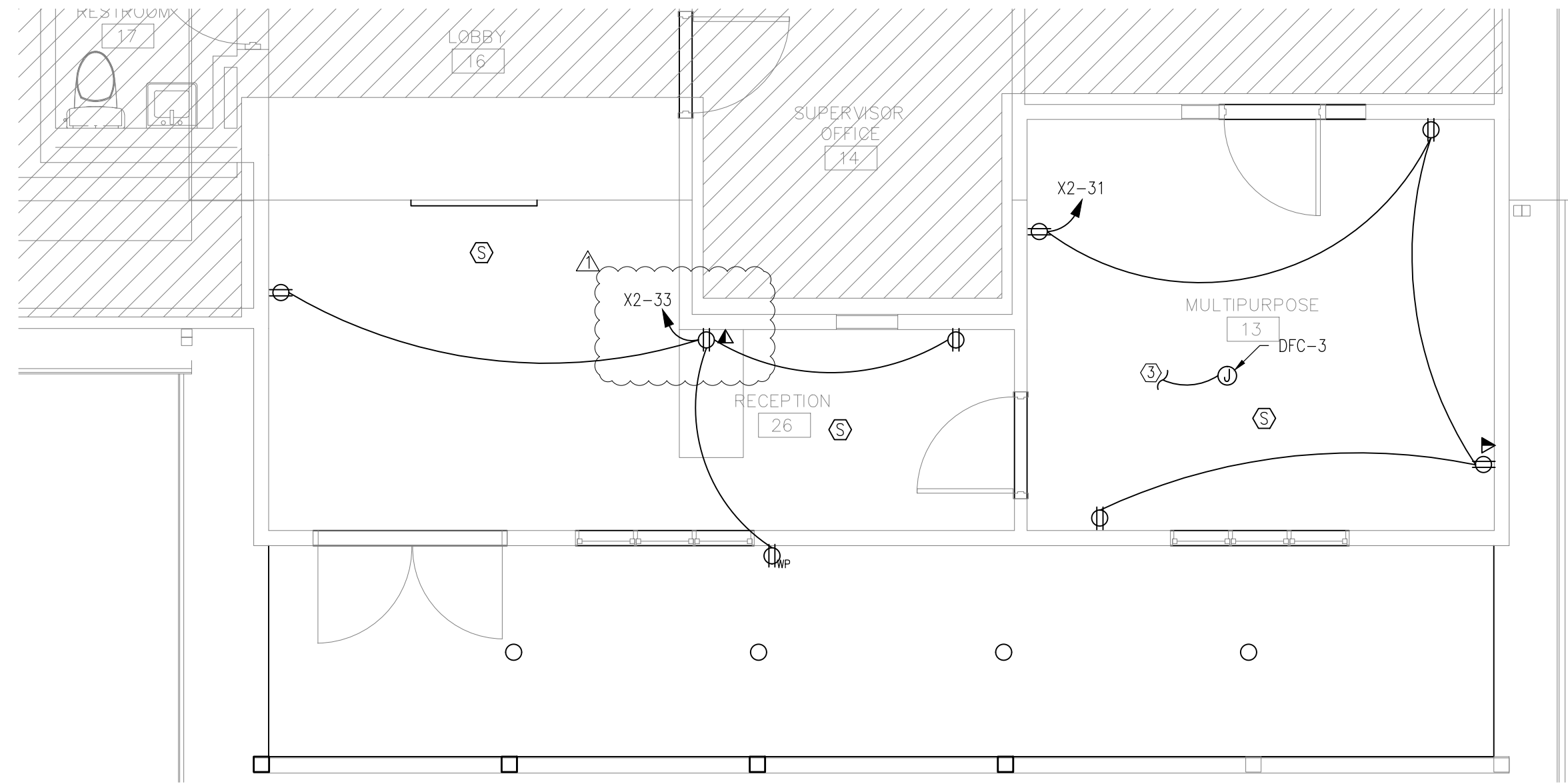


② OPERATIONS ADDITION PART PLAN - ELECTRICAL  
1/4" = 1'-0"

- KEYNOTES:**
- ① PROVIDE CONNECTION TO INCINERATOR PER MANUFACTURERS RECOMMENDATIONS.
  - ② RELOCATE EXISTING DISCONNECT TO NEW LOCATION AS INDICATED. EXTEND AND RECONNECT EXISTING CIRCUITRY AS REQUIRED.
  - ③ MECHANICAL UNIT POWERED VIA OUTDOOR UNIT. PROVIDE CONNECTION TO ASSOCIATED CONDENSING UNIT VIA 2#12, 1#12G, 3/4"C. PER MANUFACTURERS RECOMMENDATIONS.
  - ④ PROVIDE LOW VOLTAGE CONNECTION TO DOOR CONTROLLER FROM DOOR OPERATOR AS REQUIRED BY MANUFACTURER. COORDINATE EXACT REQUIREMENTS WITH EQUIPMENT SUPPLIER PRIOR TO ROUGH-IN.
  - ⑤ ROUTE 3/4"C. BELOW GRADE. CUT AND PATCH EXISTING SLAB AS REQUIRED.
  - ⑥ PROVIDE CONNECTION TO DOOR OPERATOR AS REQUIRED BY MANUFACTURER VIA 30/2/NF/3R DISCONNECT SWITCH. COORDINATE EXACT REQUIREMENTS WITH EQUIPMENT SUPPLIER PRIOR TO ROUGH-IN.



① KENNEL EXPANSION PART PLAN - ELECTRICAL  
1/4" = 1'-0"



③ ADMINISTRATION RENOVATION PART PLAN - ELECTRICAL  
1/4" = 1'-0"



**WESTSIDE**  
E. T. W. #19135 F.T.N.G.

5525 Interstate North Pkwy  
Suite 200  
Atlanta, GA 30328

404-965-1287 tel  
404-601-9859 fax  
ceslinger@westside-engineering.com

Lyman  
Davidson  
Dooley, Inc.

1648 Powers Ferry Road  
Building One  
Marietta, GA 30067

770.850.8494 t  
770.956.9030 f  
lddl-architects.com

REVISIONS	DATE	DESCRIPTION
1	03.12.2020	Owner/Permit Comments

THIS DRAWING IS THE PROPERTY OF LYMAN DAVIDSON DOOLEY INCORPORATED ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED LYMAN DAVIDSON DOOLEY. NOT VALID UNLESS SIGNED AND SEALED.



EXISTING RENOVATION  
OCONEE ANIMAL SHELTER  
EXPANSION  
OCONEE COUNTY, GEORGIA

OCONEE  
ANIMAL  
SHELTER  
EXPANSION  
1171 Branch Rd.  
Bishop, GA 30621

OCONEE  
COUNTY  
23 N Main Street  
Watkinsville, GA  
30677

TITLE ENLARGED LIGHTING PLANS

STATUS PERMIT SET

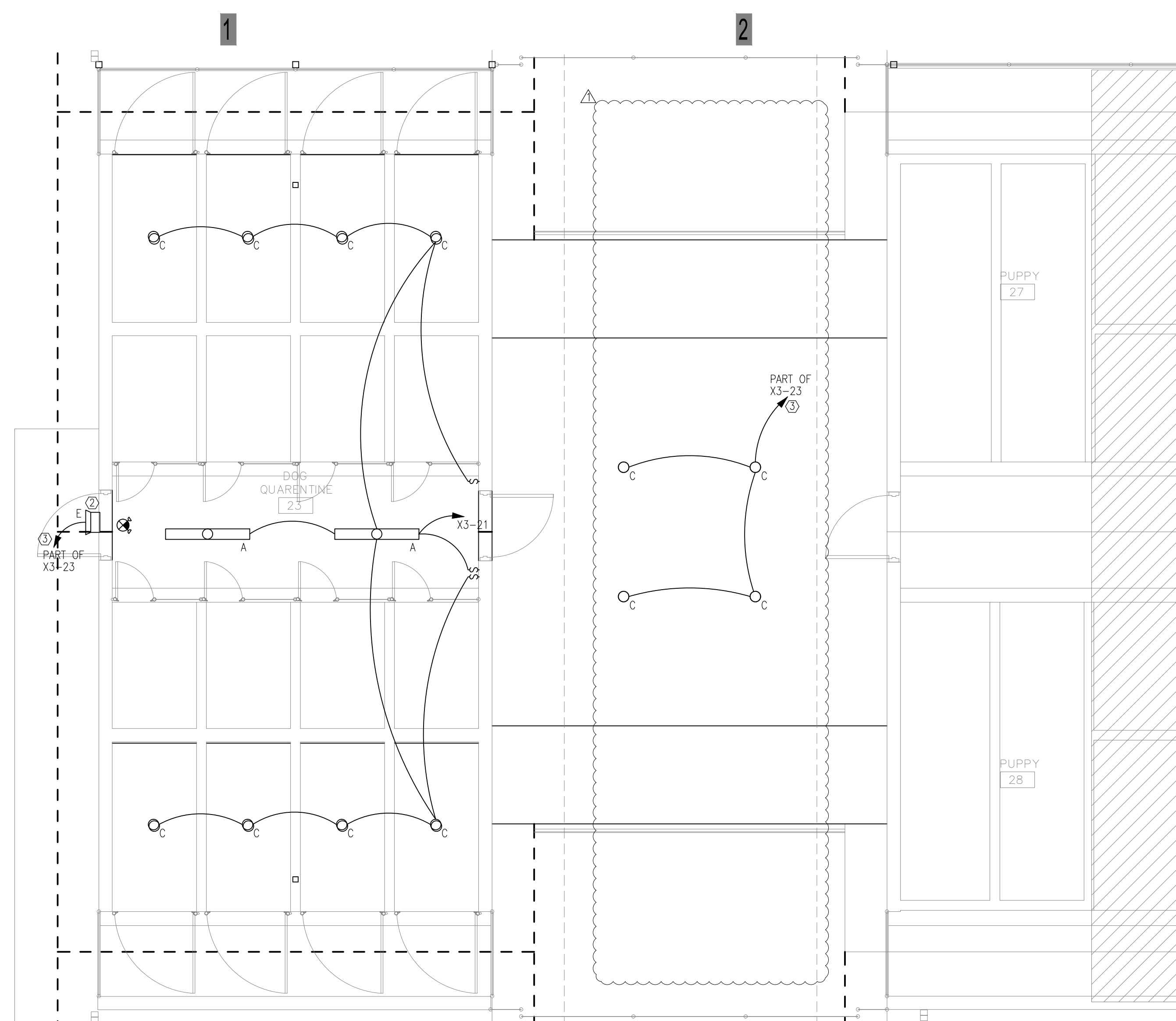
JOB 119024.00

QC JRW

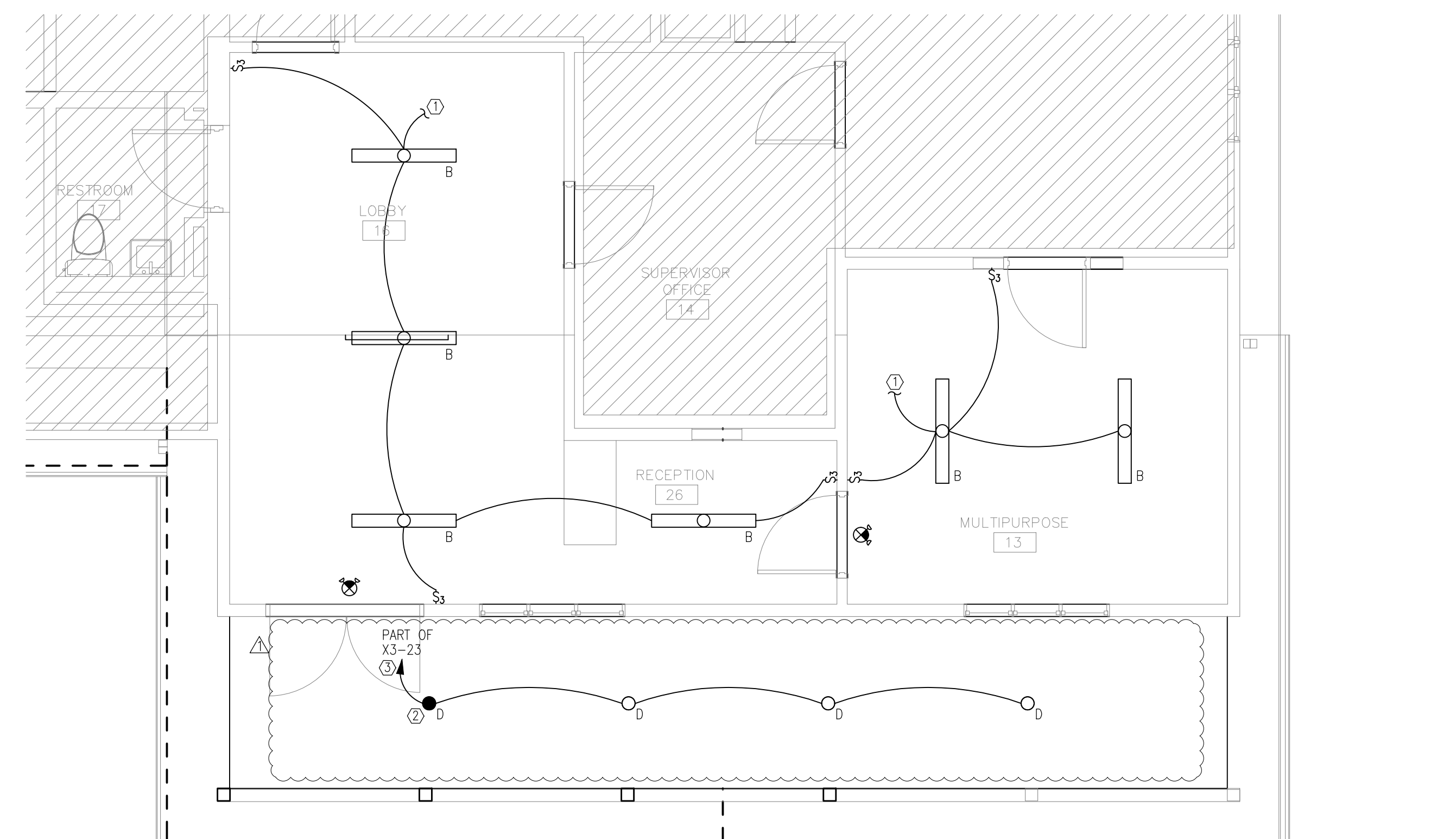
DRAWN EF

SHEET **E2.1**

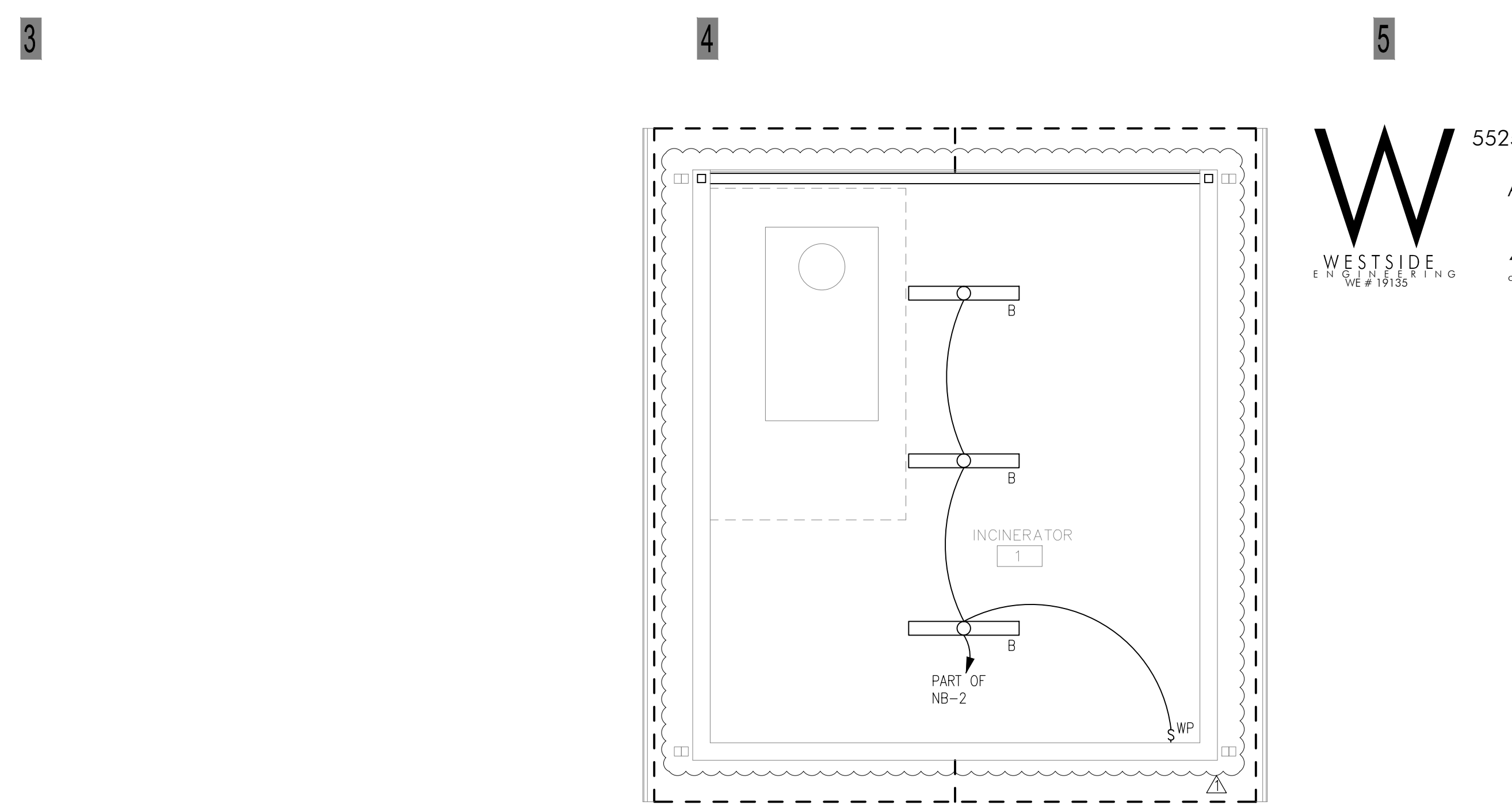
DATE 12/13/19



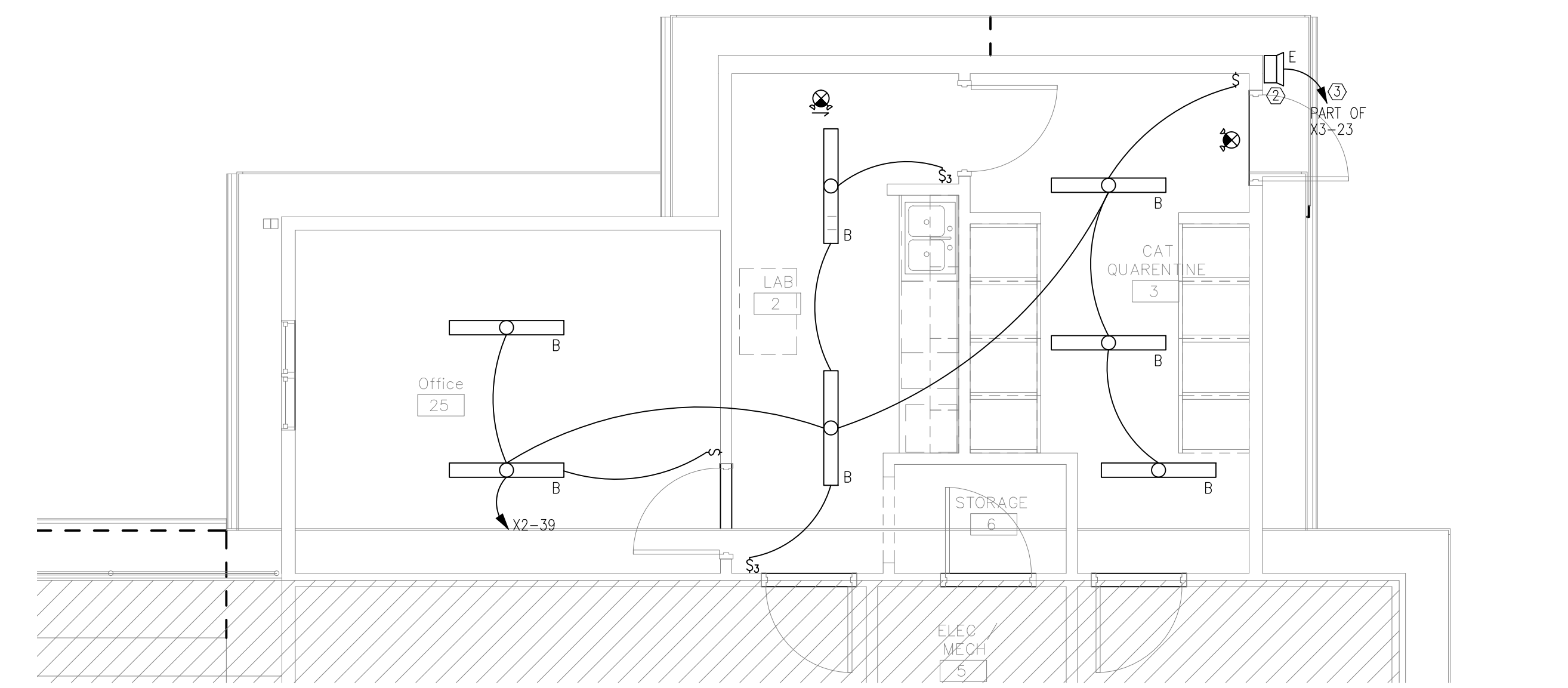
1 KENNEL EXPANSION PART PLAN - LIGHTING  
1/4" = 1'-0"



3 ADMINISTRATION RENOVATION PART PLAN - LIGHTING  
1/4" = 1'-0"



2 OPERATIONS ADDITION PART PLAN - LIGHTING  
1/4" = 1'-0"



**GENERAL NOTES:**

- PULL AN UNSWITCHED PHASE CONDUCTOR TO ALL EMERGENCY AND EGRESS LIGHTING.
- HATCHED AREAS ARE OUTSIDE OF SCOPE OF WORK UNLESS NOTED OTHERWISE.

**KEYNOTES:**

- PROVIDE CONNECTION TO EXISTING CIRCUITRY FORMERLY SERVING LIGHTS IN THIS AREA REMOVED DURING DEMOLITION.
- FIXTURE SUPPLIED WITH EMERGENCY BATTERY PACK. ALL FIXTURE LAMPS SHALL BE SWITCHED ON/OFF. EMERGENCY BATTERY PACK SHALL BECOME ENERGIZED UPON LOSS OF CIRCUIT POWER.
- ROUTE CIRCUIT VIA CONTACTOR FOR PHOTOCCELL ON/TIMECLOCK OFF OPERATION.

D:\SP\Projects\119024 Oconee Animal Shelter\119024.dwg  
10:55:21 AM