



---

**ARCHITECT'S ADDENDUM NO. 3**

---

**TO:** ALL HOLDERS OF CONSTRUCTION DOCUMENTS AND SPECIFICATIONS  
CONSTRUCTION DOCUMENT SUBMITTAL

**PROJECT:** Lumpkin County Senior Center Addition & Renovation  
266 Mechanicsville Road, Dahlonega, GA 30533

**OWNER:** Lumpkin County  
99 Courthouse Hill, Dahlonega, GA 30533

**ARCHITECT:** JERICHO DESIGN GROUP  
3330 Preston Ridge Road  
Suite 380  
Alpharetta, Georgia 30005

**Date:** DECEMBER 6, 2018

---

The items listed on the attached pages take precedence over referenced portions of Contract Documents for the project and, in executing a contract, shall become a part thereof.

Where any item called for in the Contract Documents is supplemented hereby, the original requirements shall remain in effect. All supplemental conditions shall be considered as added thereto.

Where any original item is amended, voided, or superseded hereby, the provisions of such items not so specifically amended, voided, or superseded shall remain in effect.

---

**PART 1 – RFI'S: N/A**

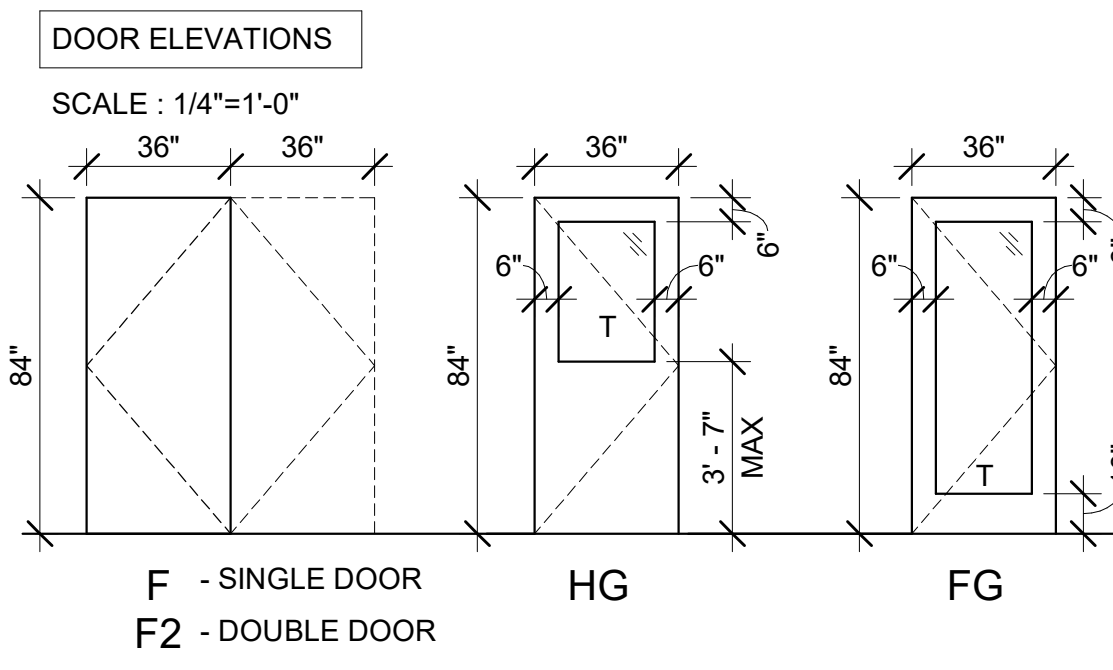
**PART 2 - CHANGES TO THE DRAWINGS**

- 2-1 Sheet A-1.01 FLOOR PLANS, ENLARGED PLANS & DETAILS:  
1. Added note #5 under FF&E GENERAL NOTES: Equipment Layout shall meet ADA 305 clear space requirements. Sheet attached and released with Addendum #3, dated December 6, 2018.
- 2-2 Sheet A-6.01 FINISH PLAN & SCHEDULE:  
1. Revised Detail 6/A-6.01 & 7/A-6.01 to meet ADA requirements. Countertop shall be a max of 34" AFF. Sheet attached and released with Addendum #3, dated December 6, 2018.
- 2-3 Sheet C-100 SITE PLAN:  
1. Revised Layout of ADA sidewalk ramp. Sheet attached and released with Addendum #3, dated December 6, 2018.
- 2-4 Sheet C-110 GRADING AND DRAINAGE PLAN:  
1. Revised Layout & Elevations of ADA sidewalk ramp. Sheet attached and released with Addendum #3, dated December 6, 2018.
- 2-5 Sheet C-500 CONSTRUCTION DETAILS:  
1. Revised Detail for ADA sidewalk ramp. Sheet attached and released with Addendum #3, dated December 6, 2018.

**PART 3 - CHANGES TO THE SPECIFICATIONS: N/A**

**END OF ADDENDUM NO. 3**



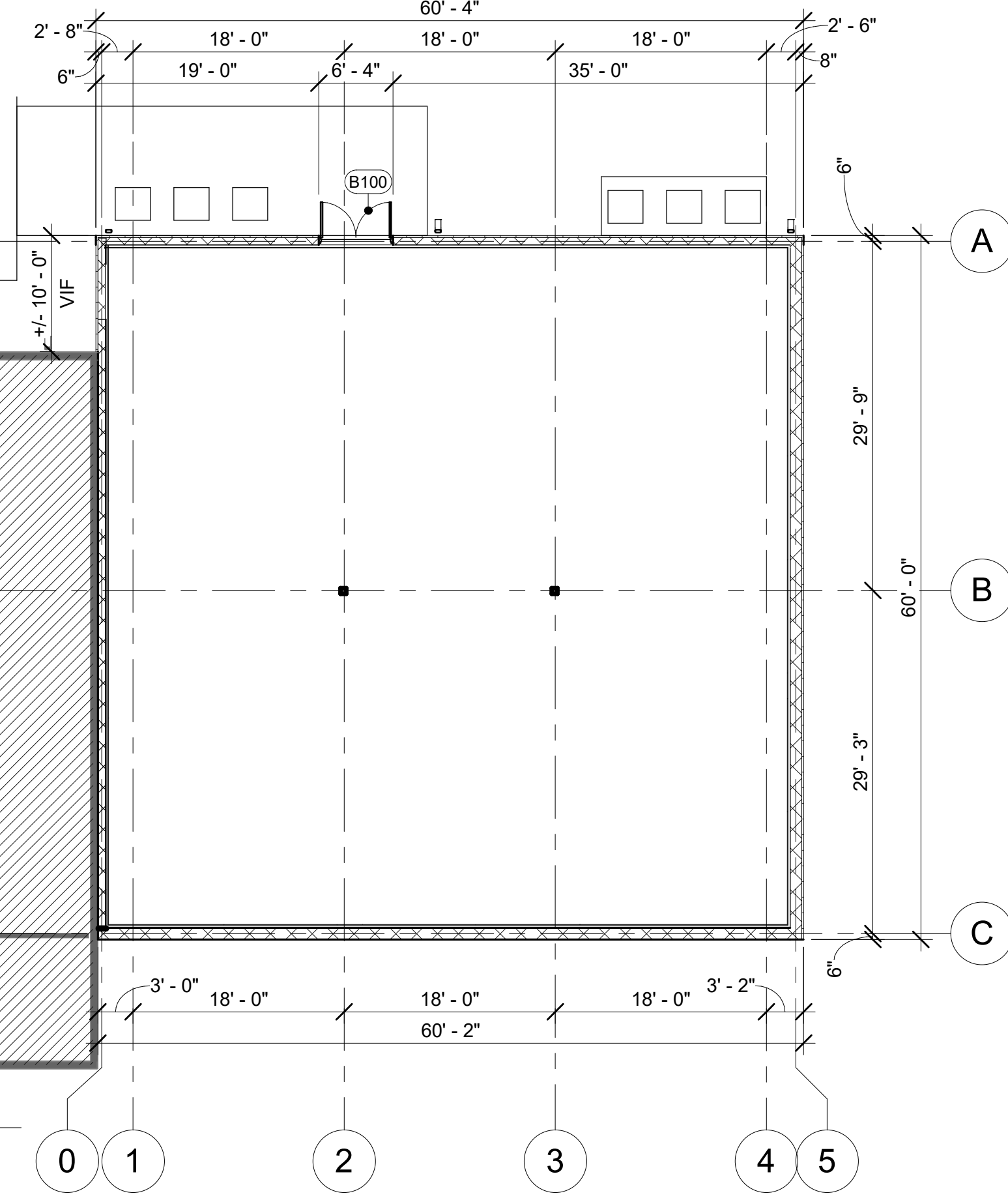
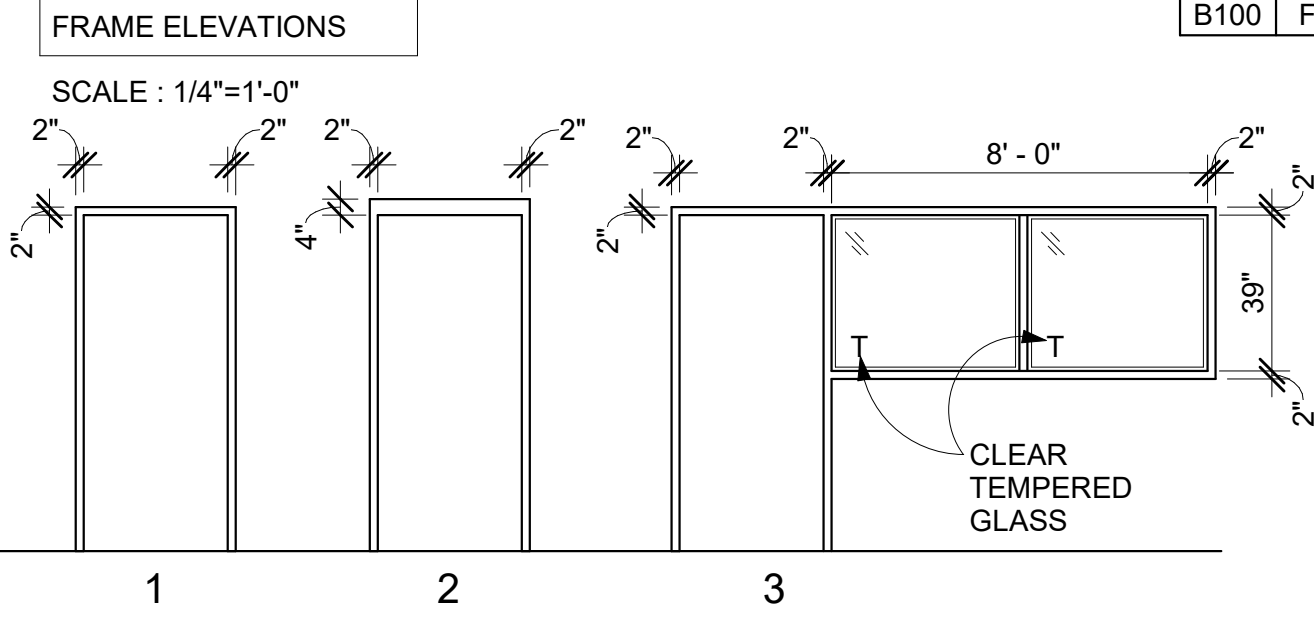


**DOOR SCHEDULE**

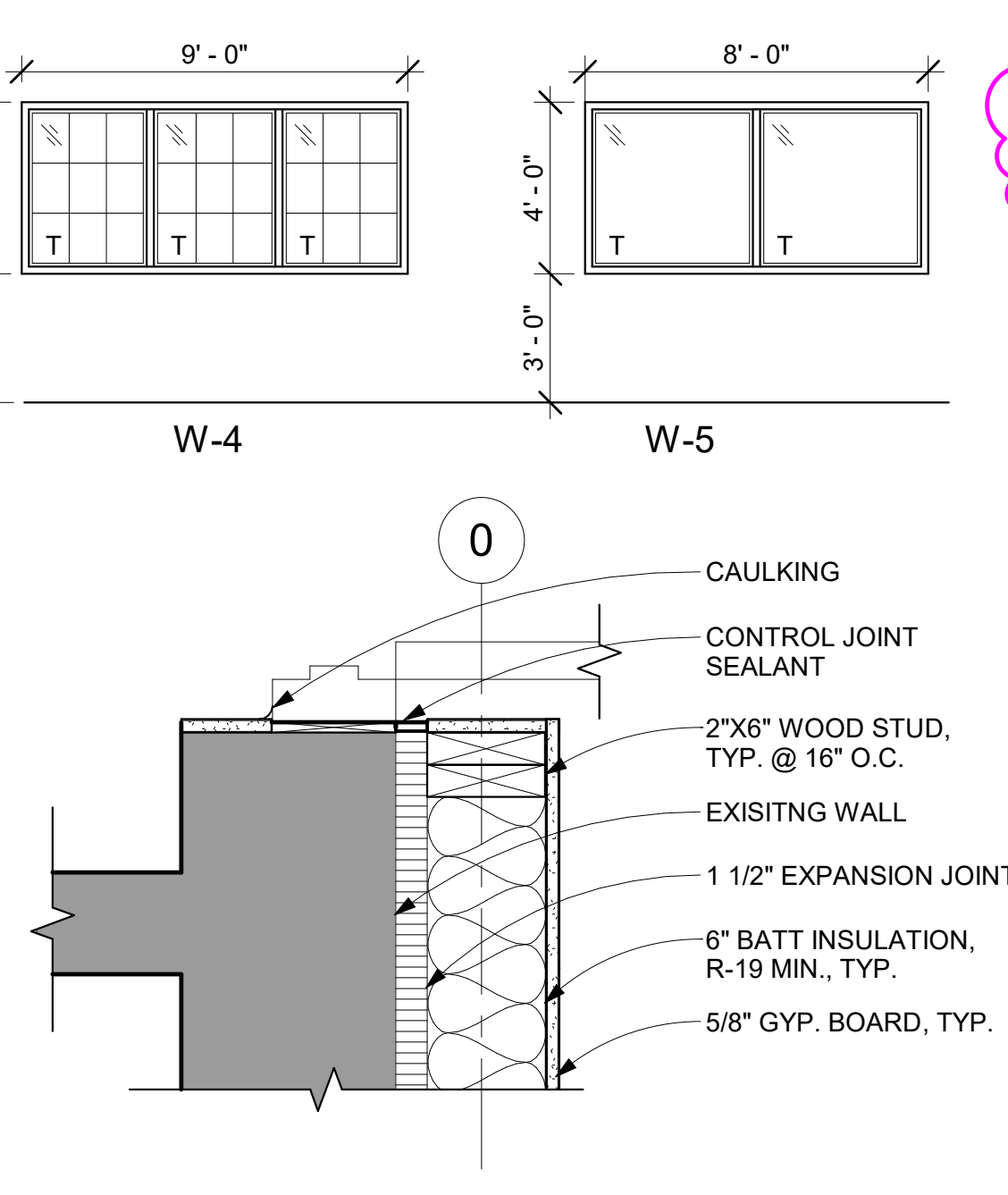
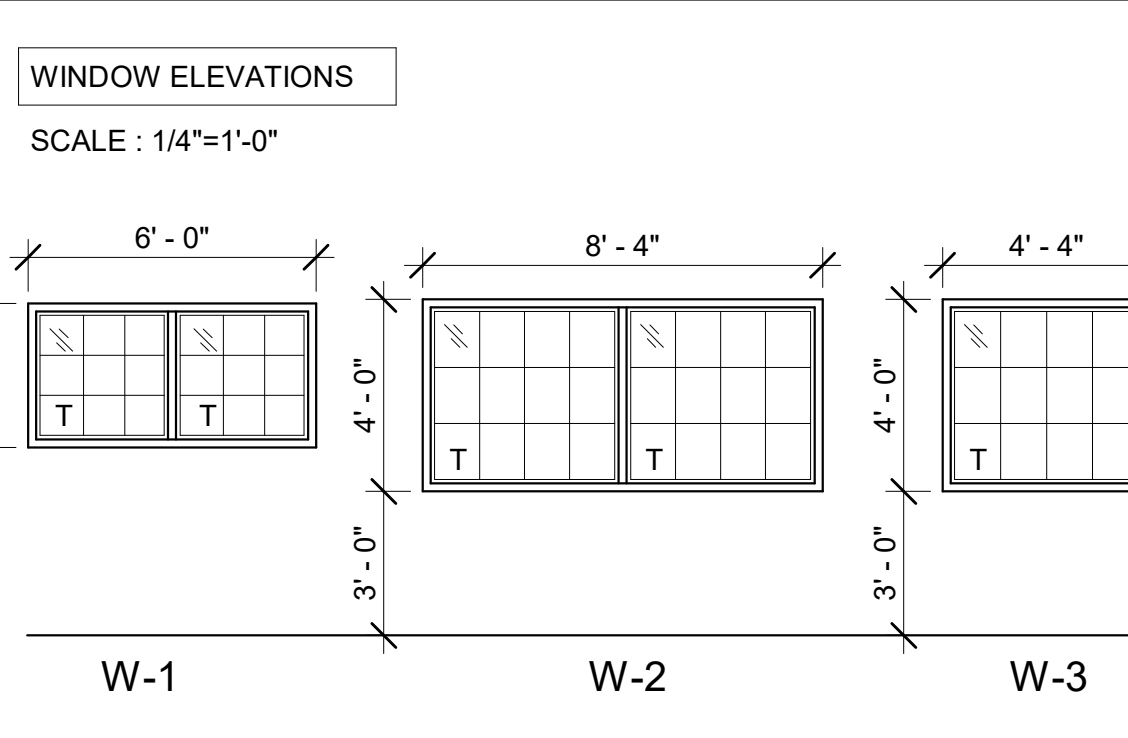
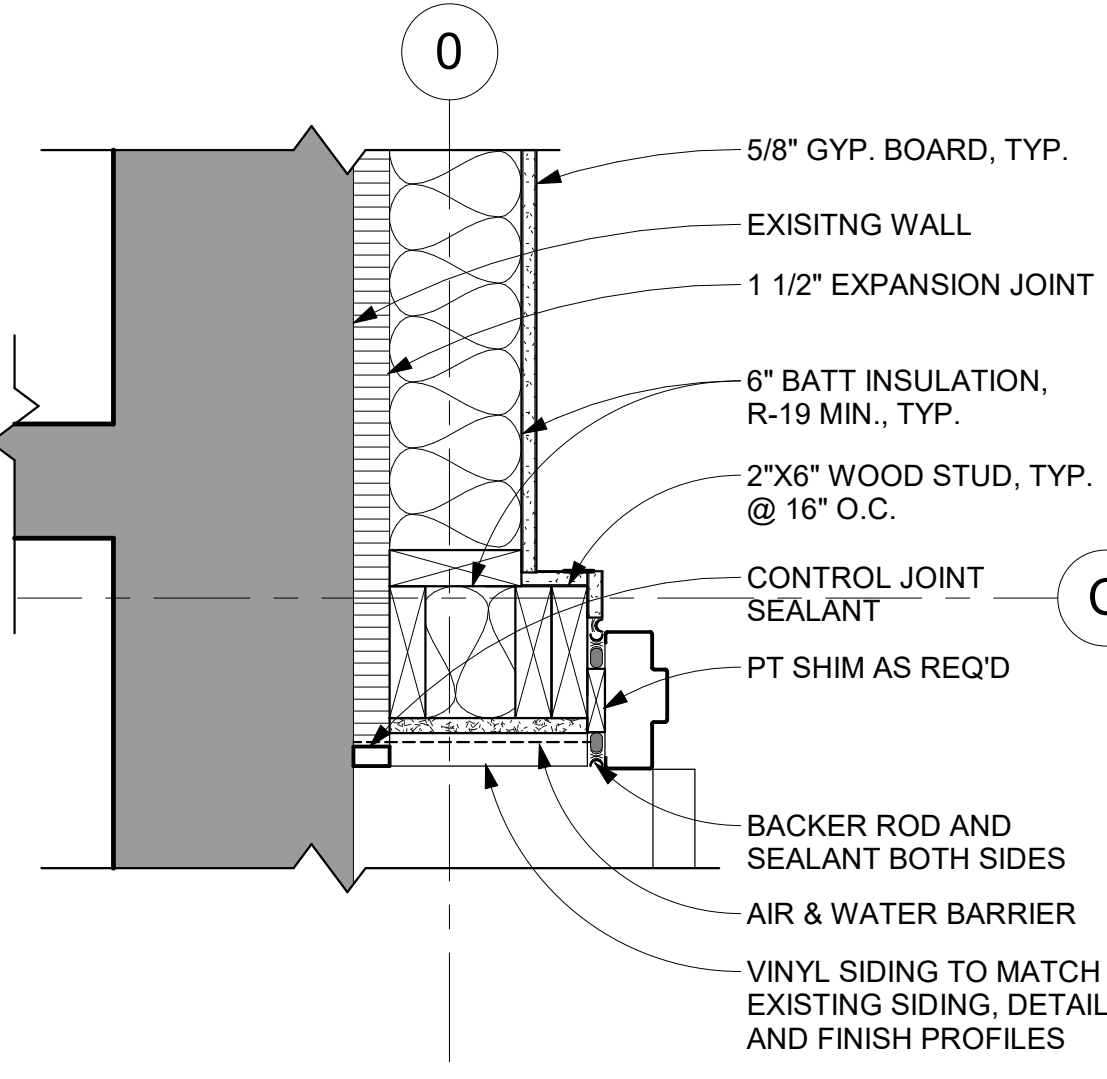
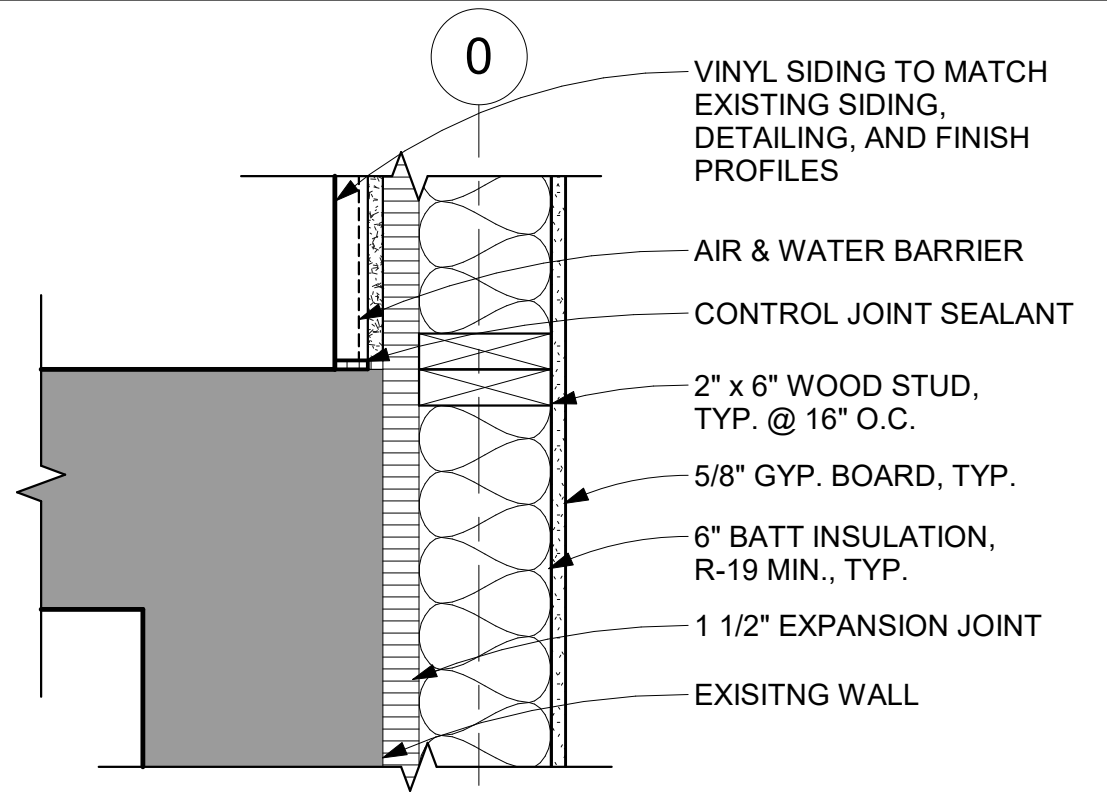
NO.	ELEVATION	MATL.	FRAME	ELEVATION	MATL.	HARDWARE
101	F	SCWD	F1	HM	OFF	
102	FG	SCWD	F1	HM	OFF	
103	F2	HM	1	HM	LOCK	
105.1	F	SCWD	F1	HM	RM	
105.2	F	SCWD	F1	HM	RM	
107	F	SCWD	F1	HM	OFF	
116.1	FG	SCWD	F1	HM	ENT	
116.2	FG	SCWD	F1	HM	ENT	
118	F	SCWD	F1	HM	OFF	
119	F2	HM	2	HM	LOCK	
120	F	SCWD	F1	HM	RM	
B100	F2	HM	2	HM	ENT	

**DOOR HARDWARE TYPE**

HARDWARE CODE	APPLICATION	DOOR HARDWARE TYPE																		
		CLOSER	HINGES	TRIM	HANDLESET / LOCKSET / LATCH	STANDARD CLOSER	CLOSER W/ STOP HOLD OPEN	CLOSER WITH STOP	NON-FERROUS BB WITH N.R.P.	CONCEALED PIVOTS	WEATHERSTRIP / GASKETING	BUMPERS	WALL-MOUNT DOOR STOP	KICK-DOWN HOLD OPEN	KICK PLATE	PASSAGE LEVERSET	ENTRY LOCKSET	OFFICE LOCKSET	PANIC BAR/EXIT DEVICE	
LOOK	CLOSET (WOOD OR HM)																			
OFF	OFFICE DOOR (WOOD OR HM)																			
RM	ROOM DOOR (WOOD OR HM)																			
ENT	ENTRANCE DOOR																			



**2 LOWER LEVEL FLOOR PLAN**  
SCALE: 3/32" = 1'-0"



**FLOOR PLAN GENERAL NOTES**

1. ALL DOOR FRAMES IN WOOD STUD WALLS SHALL BE SET 4" FROM PERPENDICULAR WALLS ADJACENT TO DOOR HINGE SIDE, U.N.O.
2. ALL DOOR FRAMES IN CMU WALLS SHALL BE SET 6" FROM PERPENDICULAR WALLS ADJACENT TO DOOR HINGE SIDE, U.N.O.
3. LOCATE CORNER GUARDS (C.G.) AS SHOWN ON THE PLANS
4. THE FINISH ELEVATIONS OF EXIT LANDINGS SHALL NOT EXCEED A MAXIMUM OF 1/2" BELOW THRESHOLDS.

**F.F & E GENERAL NOTES**

1. GENERAL CONTRACTOR TO COORDINATE SCHEDULED ITEMS WITH OWNER AND OWNER'S EQUIPMENT REPRESENTATIVE. THIS INCLUDES VERTICAL AND HORIZONTAL MOUNTING HEIGHTS OF ALL DEVICES, COORDINATION WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING.
2. LOW VOLTAGE BY OWNER'S EQUIPMENT REPRESENTATIVE, U.N.O.
3. FURNITURE & EQUIPMENT IS TO BE PROVIDED BY OWNER, U.N.O.
4. GENERAL CONTRACTOR TO COORDINATE WITH OWNER/OWNER REPRESENTATIVE ON DELIVERY SCHEDULE AND INSTALLATION FOR ALL F.F.
5. GENERAL CONTRACTOR TO COORDINATE WITH OWNER/OWNER REPRESENTATIVE ON LOCATIONS OF EXERCISE MACHINES AND EQUIPMENT. EXERCISE MACHINES AND EQUIPMENT SHALL HAVE A CLEAR FLOOR SPACE COMPLYING WITH 305 POSITIONED FOR TRANSFER OR FOR USE BY AN INDIVIDUAL SEATED IN A WHEELCHAIR.

**KEY NOTES - EQUIPMENT**

KEY NOTE #	DESCRIPTION
EQ-1	EXISTING KITCHEN FRIDGE TO REMAIN
EQ-2	EXISTING ICE MACHINE TO REMAIN
EQ-3	EXISTING SINK TO REMAIN
EQ-4	EXISTING OVEN TO REMAIN
EQ-5	EXISTING WARMER TO BE RELOCATED
EQ-6	NEW 4-WELL WARMER

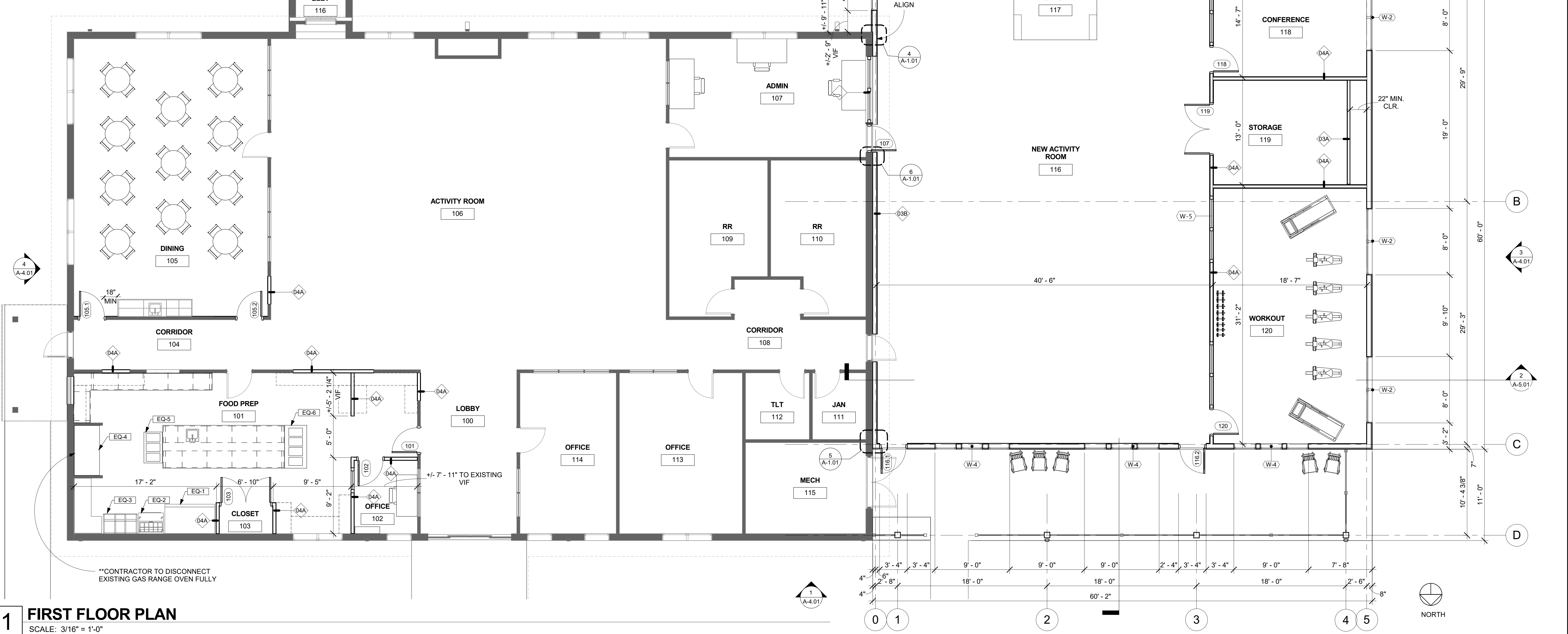
**GENERAL NOTES**

1. SEE GENERAL SPECIFICATIONS FOR DOOR AND FRAME FINISHES.
2. ALL DOOR HARDWARE SHALL BE HANDICAP ACCESSIBLE, COMPLYING WITH 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.
3. WHERE DISCREPANCIES OCCUR BETWEEN THE DOOR SCHEDULE NOTES AND HARDWARE SPECIFICATIONS, NOTIFY THE ARCHITECT OF DISCREPANCIES TO RECEIVE DIRECTION ON HOW TO PROCEED.
4. TIE MAGNETIC LOCK INTO FIRE ALARM.
5. REFER TO THE PARTITION TYPE OR APPLICABLE WALL SECTION AND THEN TO TYPICAL DOOR DETAILS FOR APPROPRIATE DETAIL.
6. ALL EXTERIOR HOLLOW METAL DOORS TO BE INSULATED.
7. ALL EXTERIOR DOORS TO BE WEATHER STRIPPED AND HAVE CLOSERS.
8. ALL FIRE RATED DOORS TO HAVE CLOSERS.

\* REFER TO ADA REGULATORY DIAGRAMS FOR MORE INFORMATION

**ABBREVIATIONS LEGEND**

DOOR MATERIAL TYPE	FINISH TYPE	FRAME MATERIAL TYPE
HM - HOLLOW METAL	STD - STAIN	HM - HOLLOW METAL
SCWD - SOLID CORE WOOD	PTD - PAINT	STL - STEEL
		WD - WOOD



**1 FIRST FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

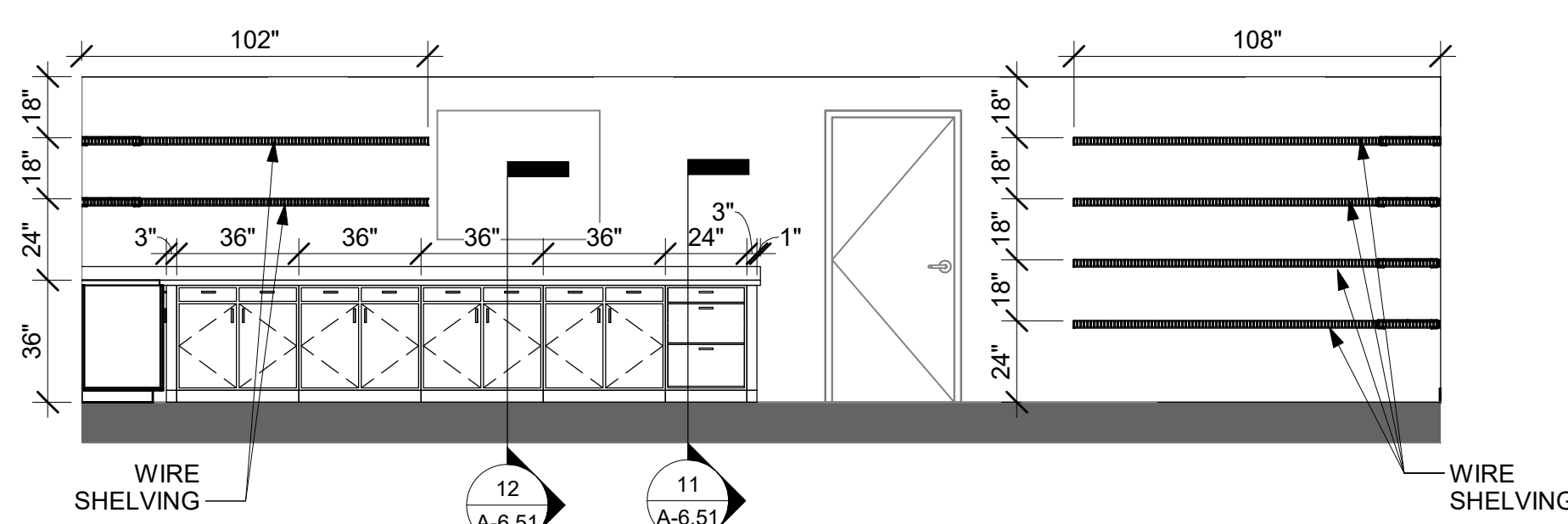
**LUMPKIN COUNTY SENIOR CENTER**  
**EXPANSION**  
266 MECHANICSVILLE RD.  
DAHLONEGA, GA 30533

**PRINT RECORD**

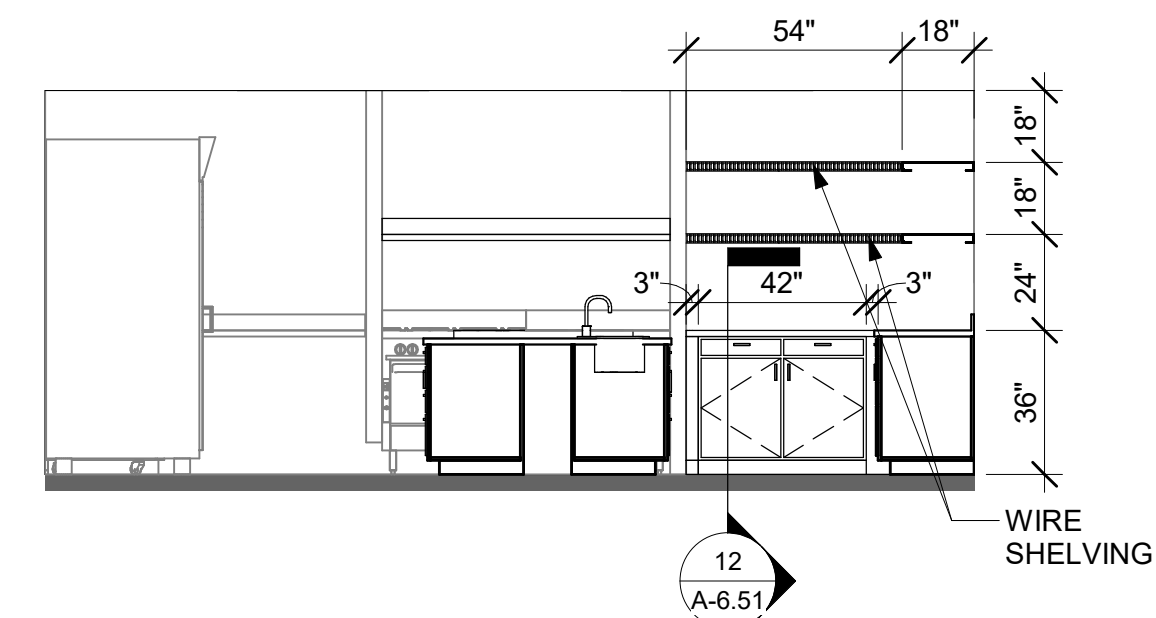
No.	DATE	DESCRIPTION
1	11/07/2018	PERMIT DOCUMENT
3	12/06/2018	ADDENDUM #3

**Drawn By** YN **Checked By** JDG  
**Date** 11/07/2018 **Job No.** 18011DG  
**Sheet Title** FLOOR PLANS, ENLARGED PLANS, & DETAILS  
**Sheet No.** A-1.01

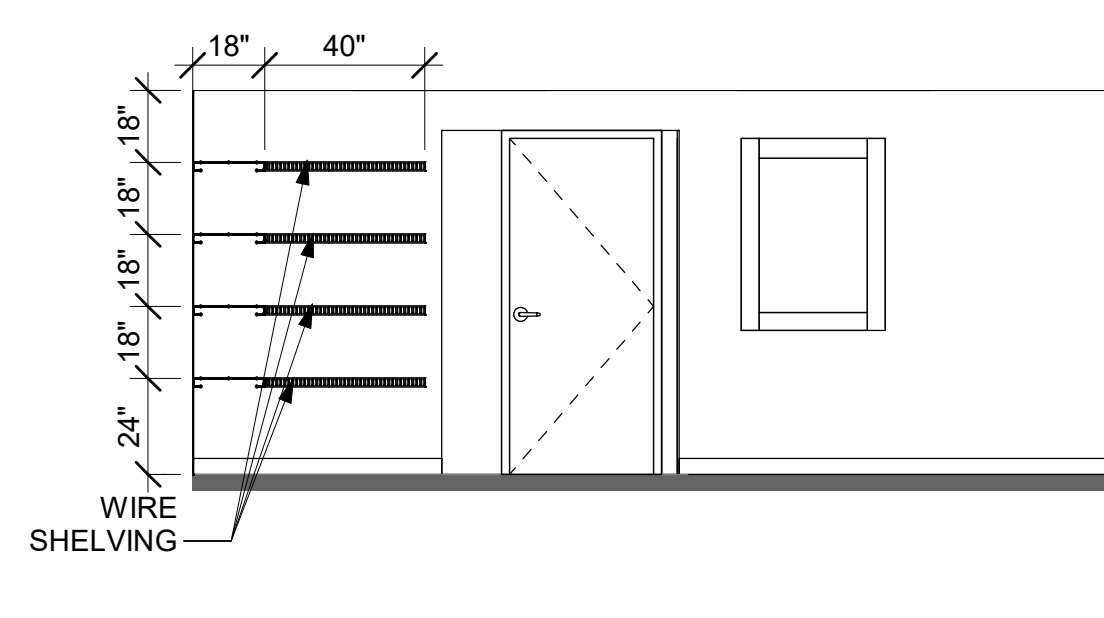




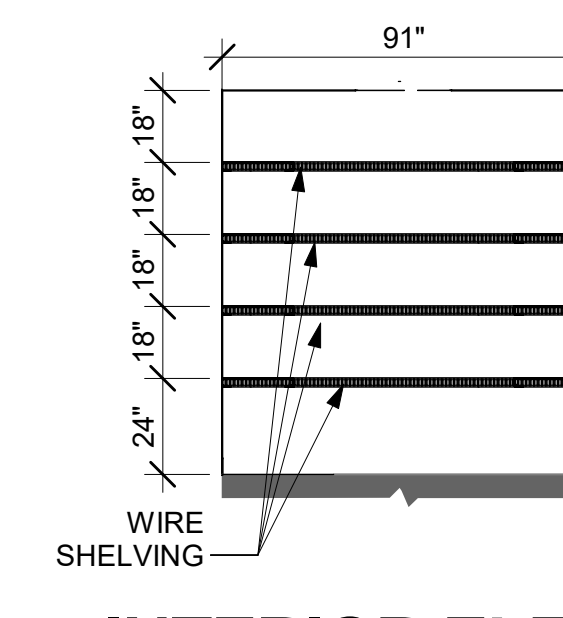
**1 INTERIOR ELEVATION - KITCHEN**  
SCALE: 1/4" = 1'-0"



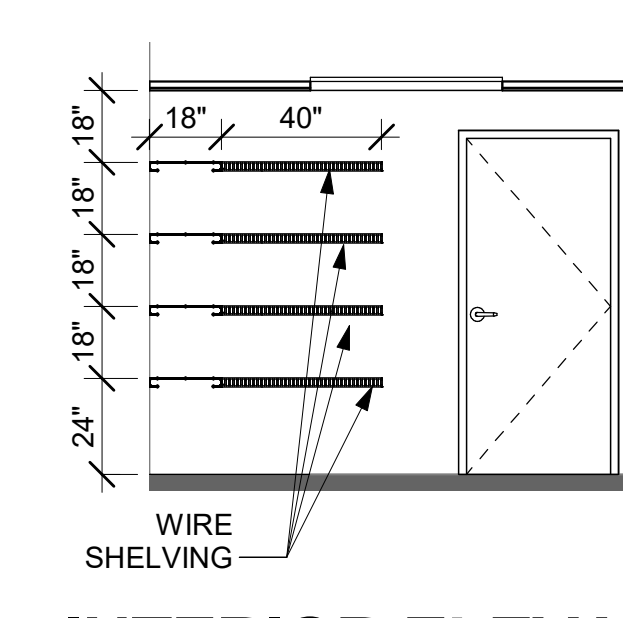
**2 INTERIOR ELEVATION - KITCHEN**  
SCALE: 1/4" = 1'-0"



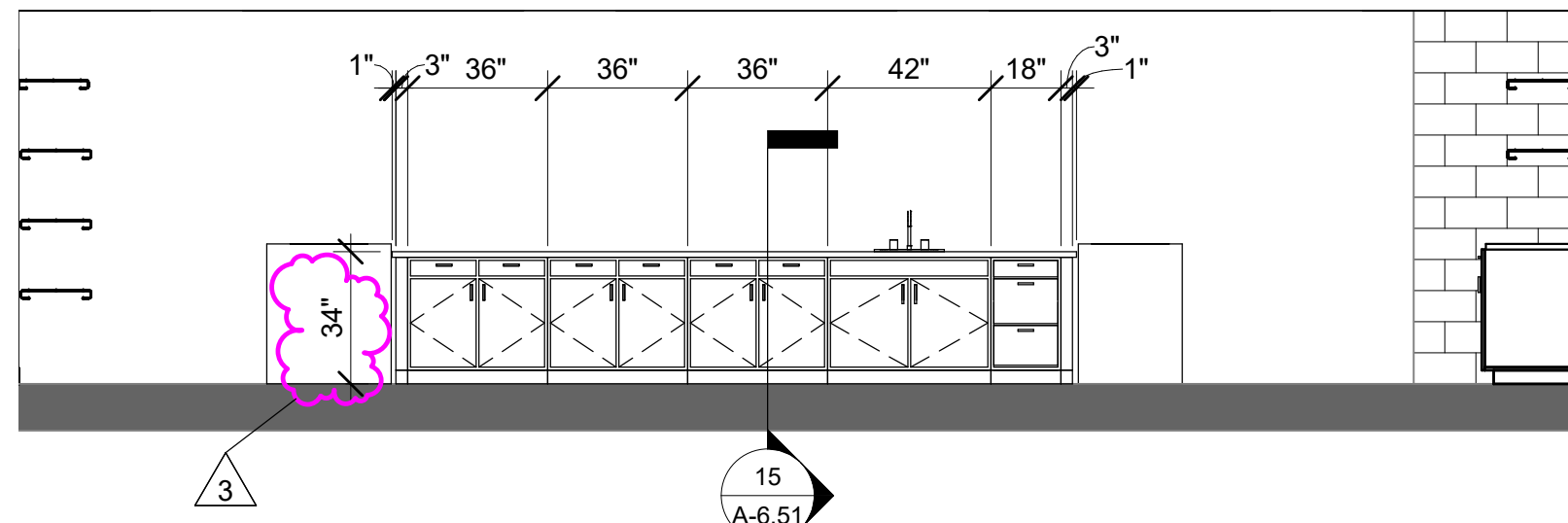
**3 INTERIOR ELEVATION - KITCHEN**  
SCALE: 1/4" = 1'-0"



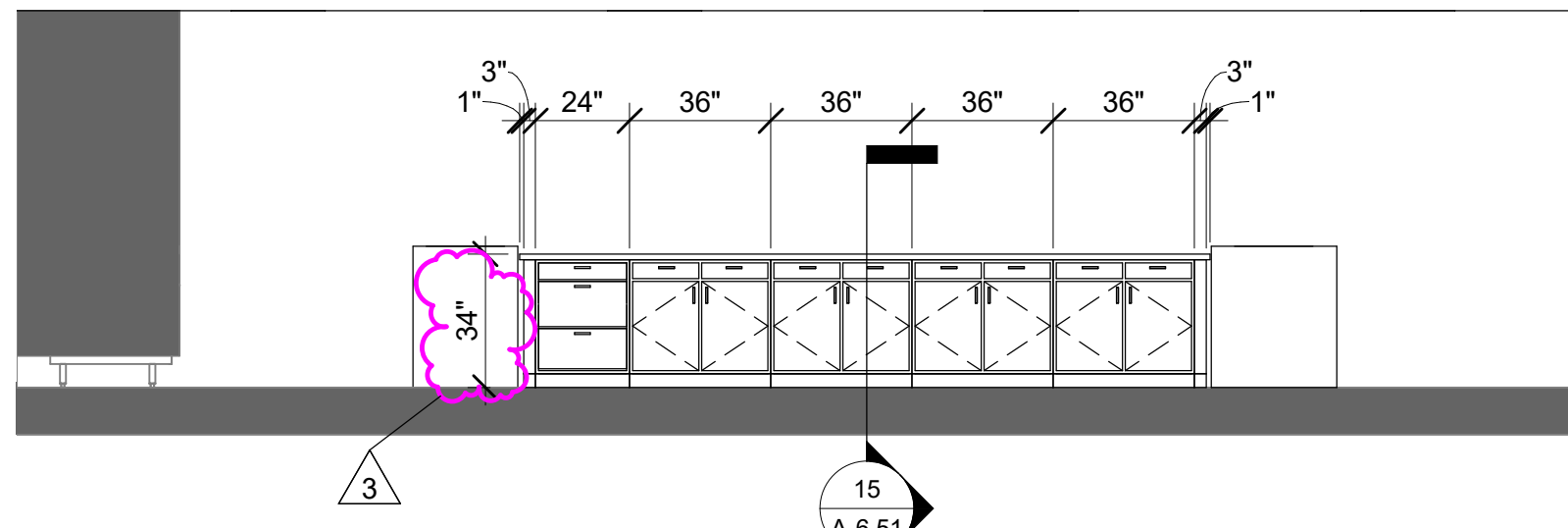
**4 INTERIOR ELEVATION - KITCHEN**  
SCALE: 1/4" = 1'-0"



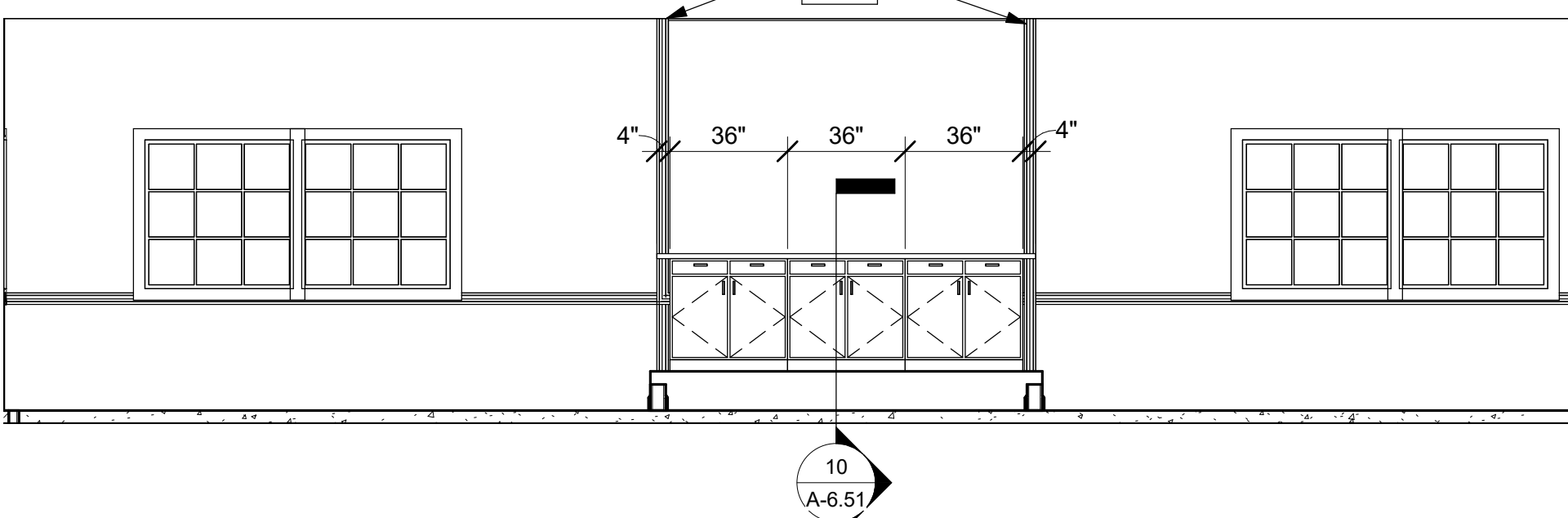
**5 INTERIOR ELEVATION - KITCHEN**  
SCALE: 1/4" = 1'-0"



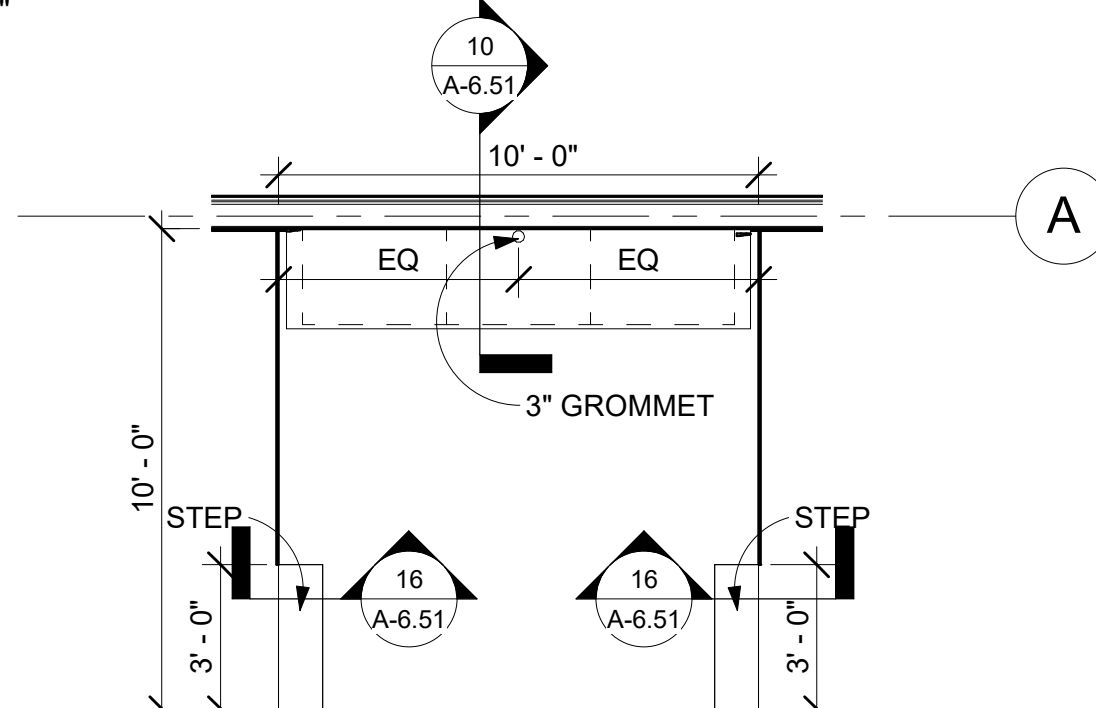
**6 INTERIOR ELEVATION - ISLAND**  
SCALE: 1/4" = 1'-0"



**7 INTERIOR ELEVATION - ISLAND**  
SCALE: 1/4" = 1'-0"

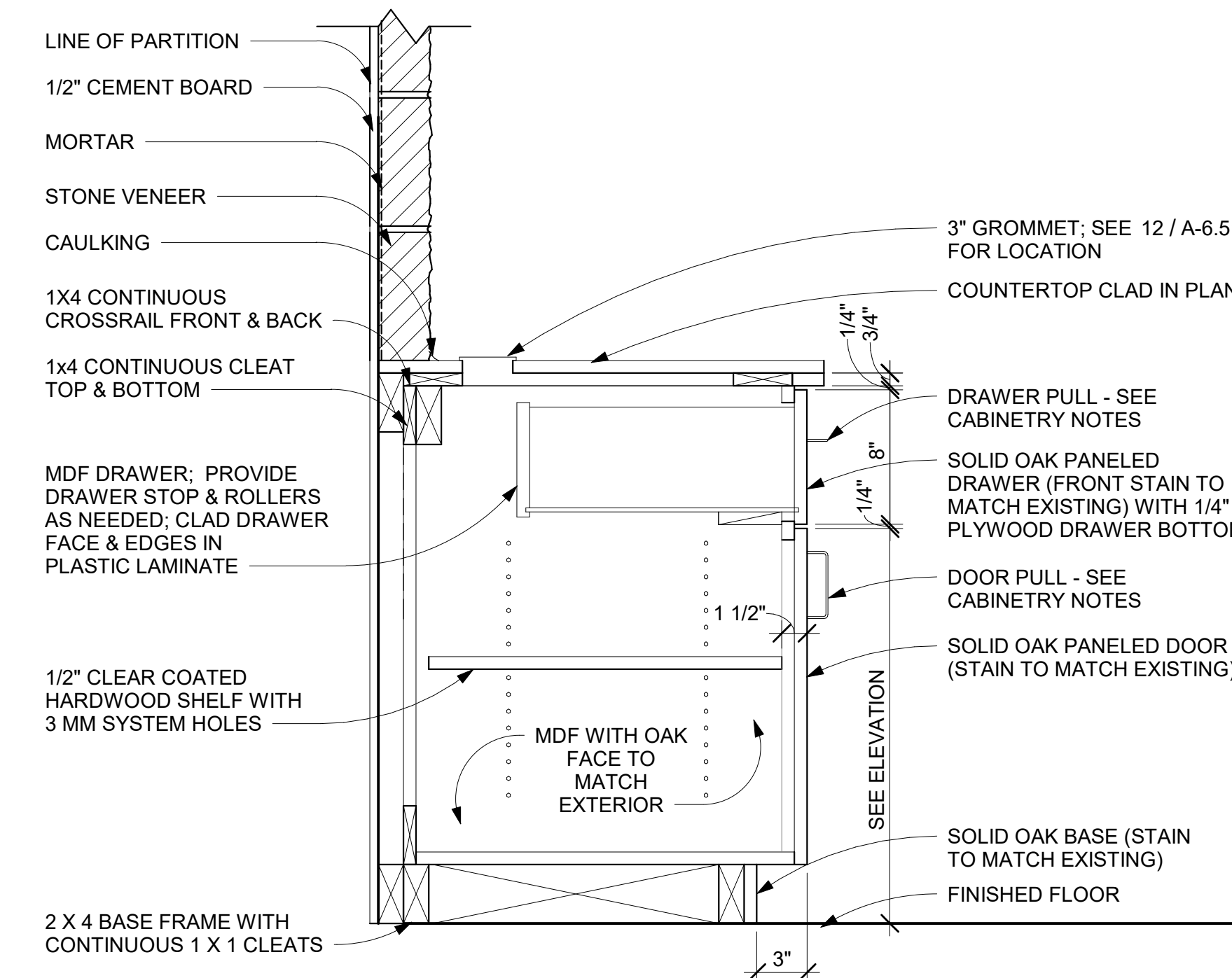


**8 INTERIOR ELEVATION - ACTIVITY SPACE**  
SCALE: 1/4" = 1'-0"

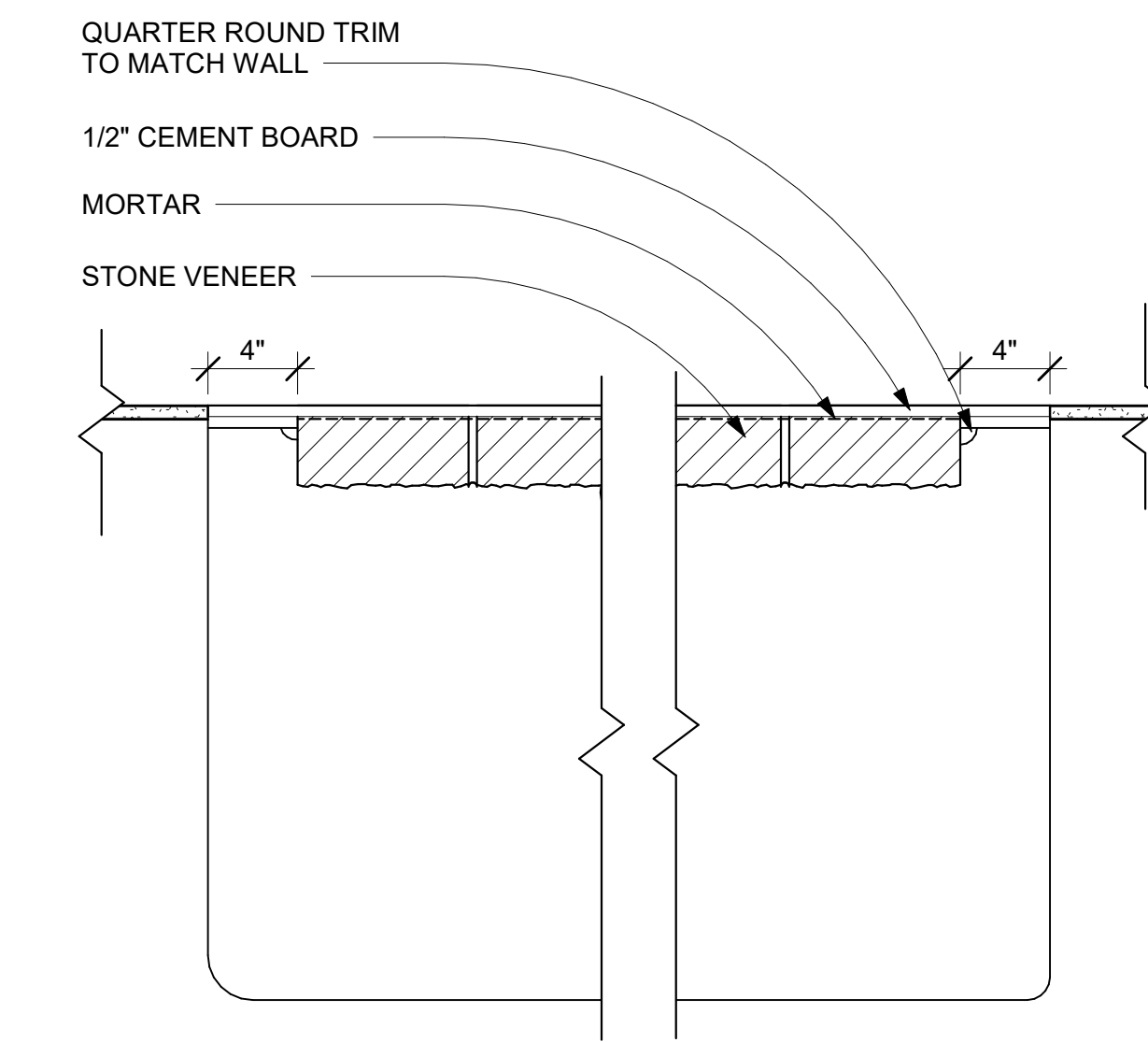


**9 ENLARGED PLAN - STAGE**  
SCALE: 1/4" = 1'-0"

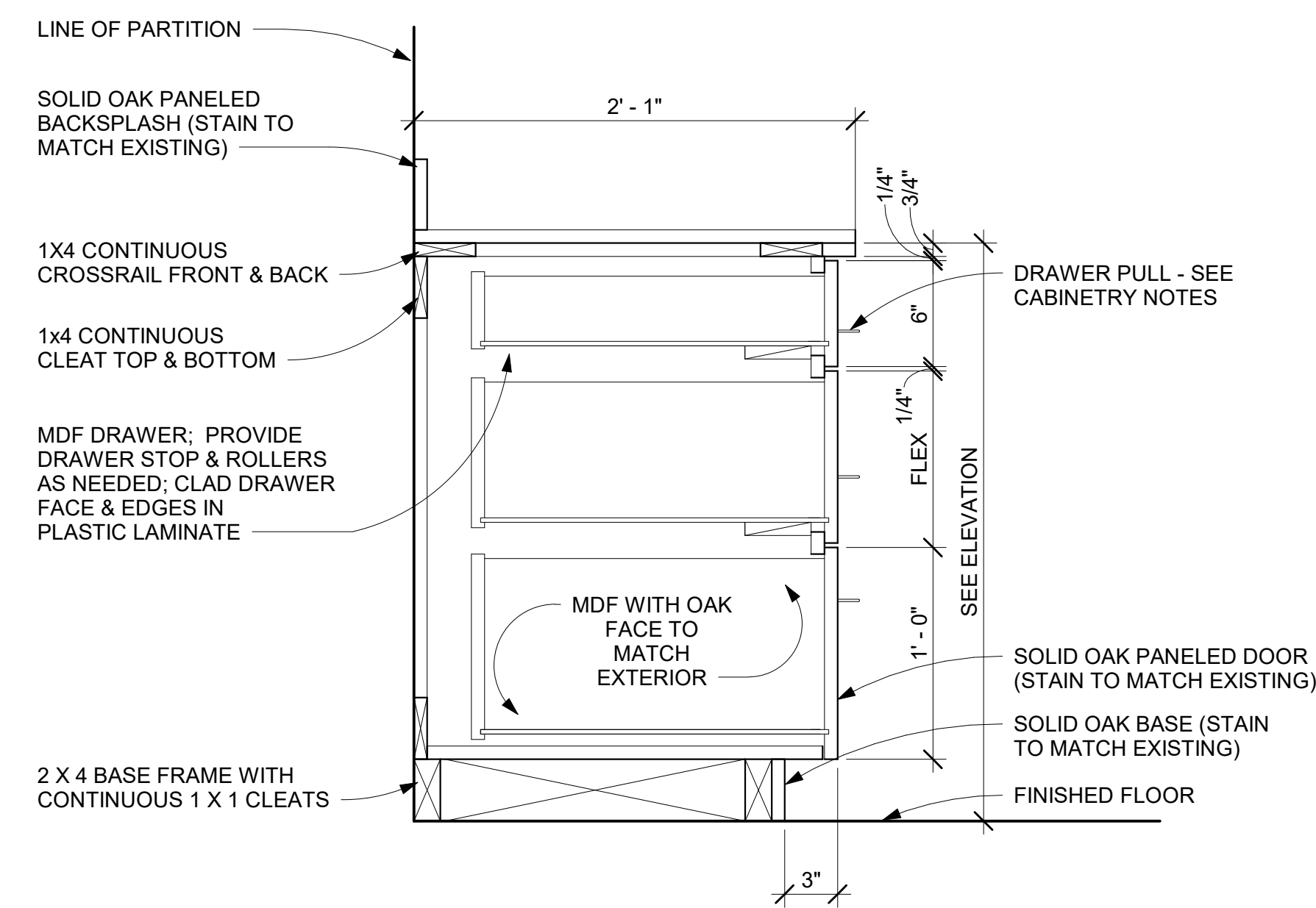
**SECTION**



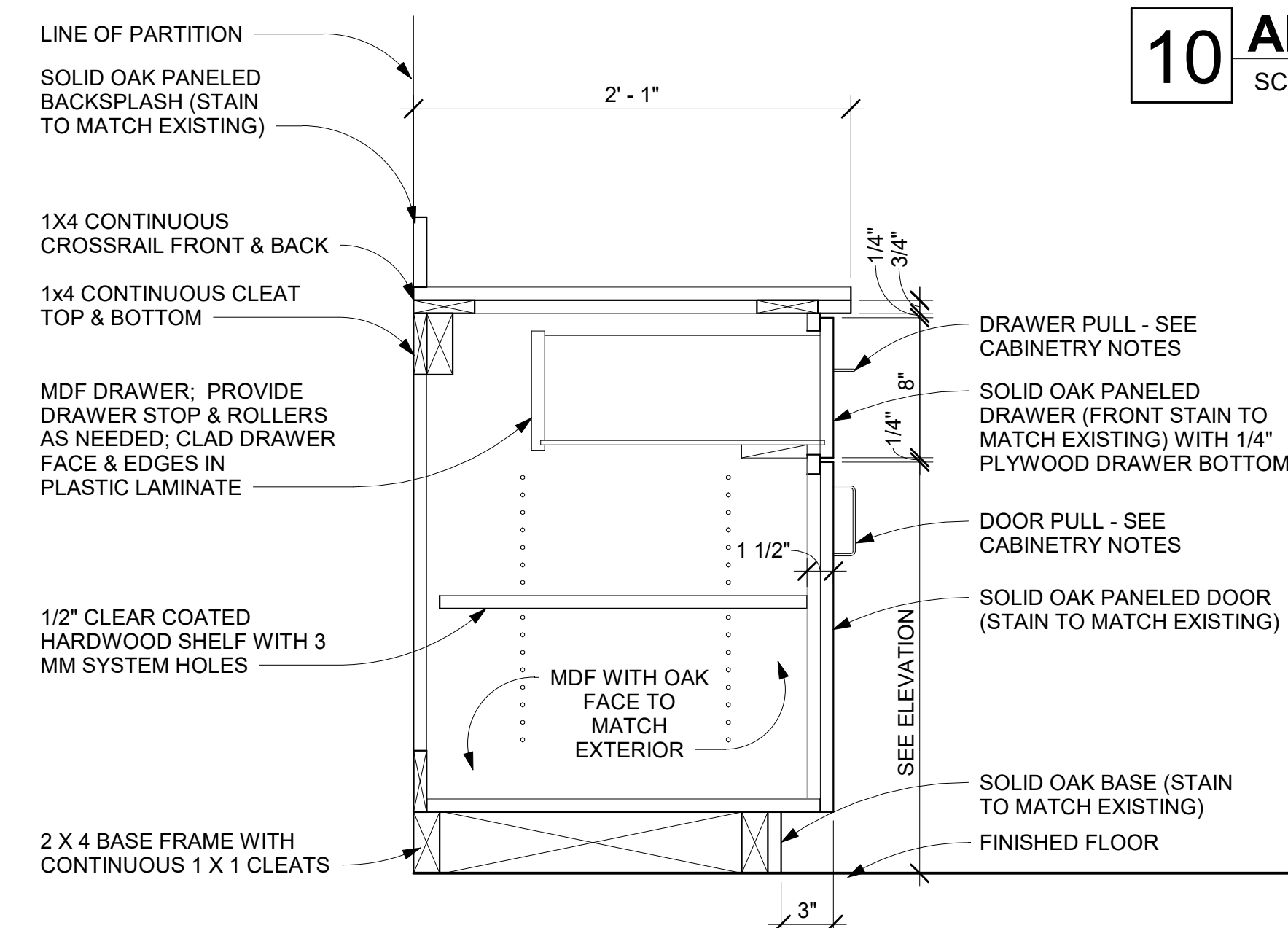
**PLAN**



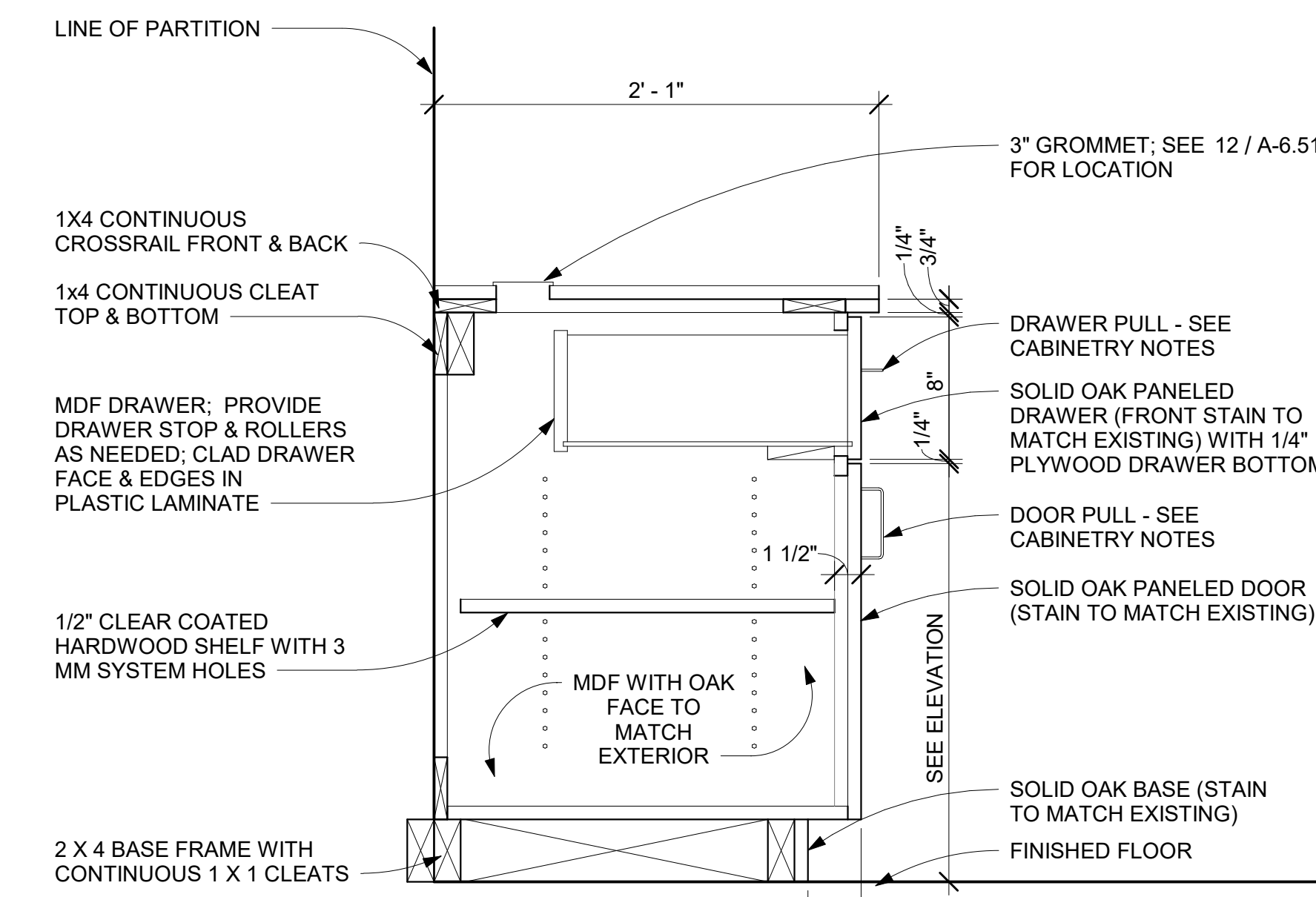
**10 ADD ALTERNATE - STAGE COUNTERTOP**  
SCALE: 1 1/2" = 1'-0"



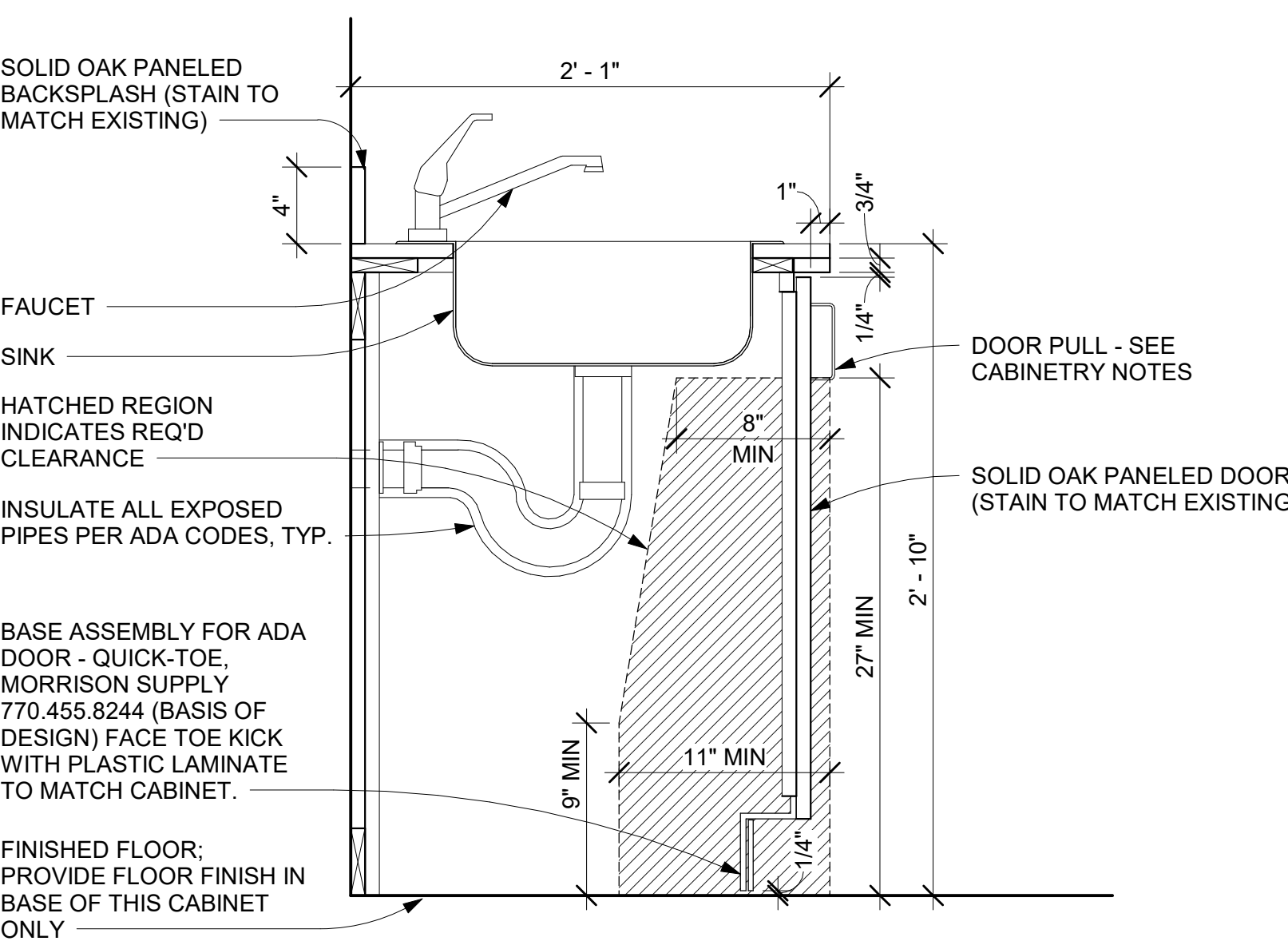
**11 BASE CABINET - 3 DRAWERS**  
SCALE: 1 1/2" = 1'-0"



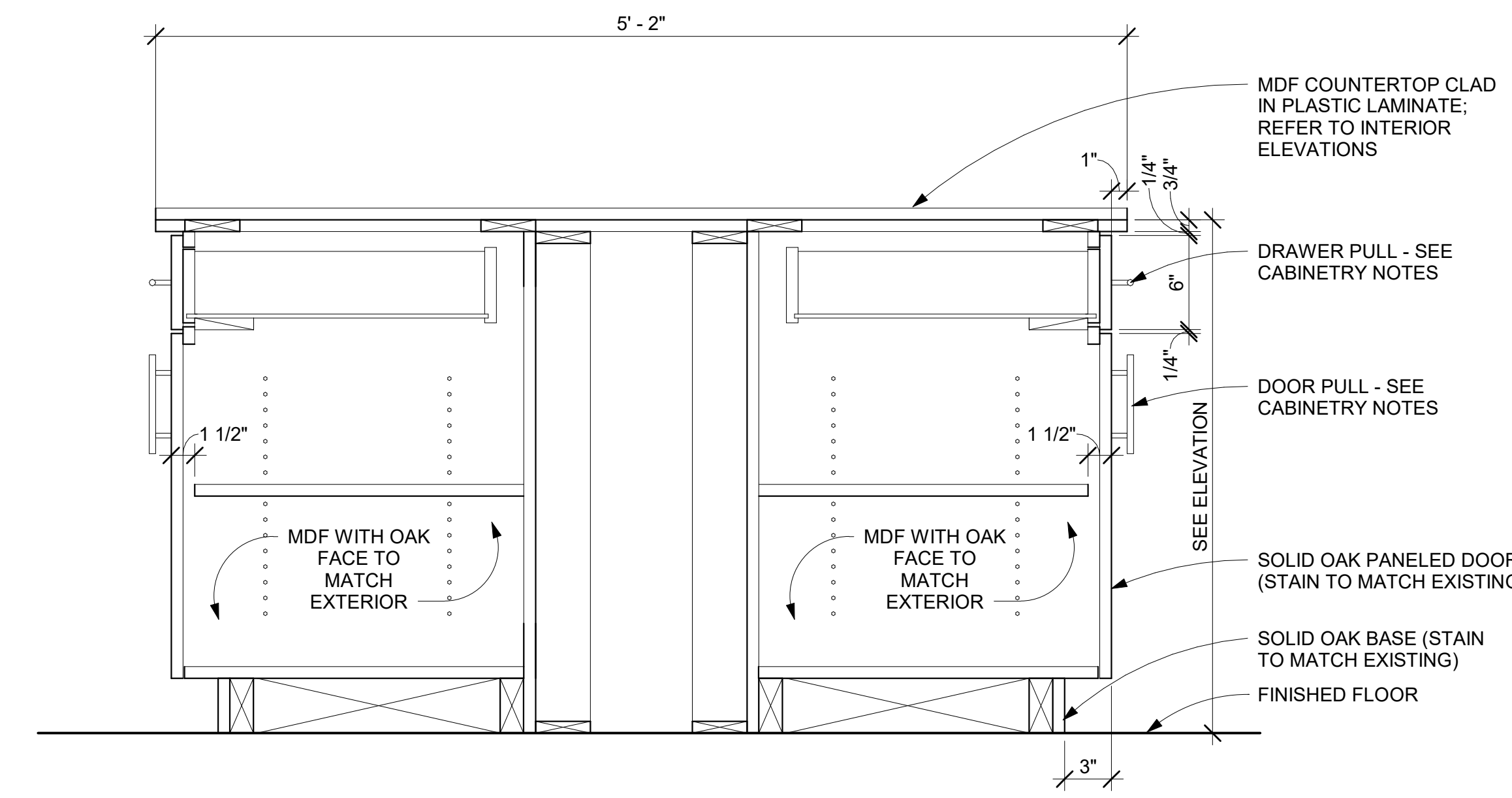
**12 BASE CABINET - 1 DRAWER & DOORS**  
SCALE: 1 1/2" = 1'-0"



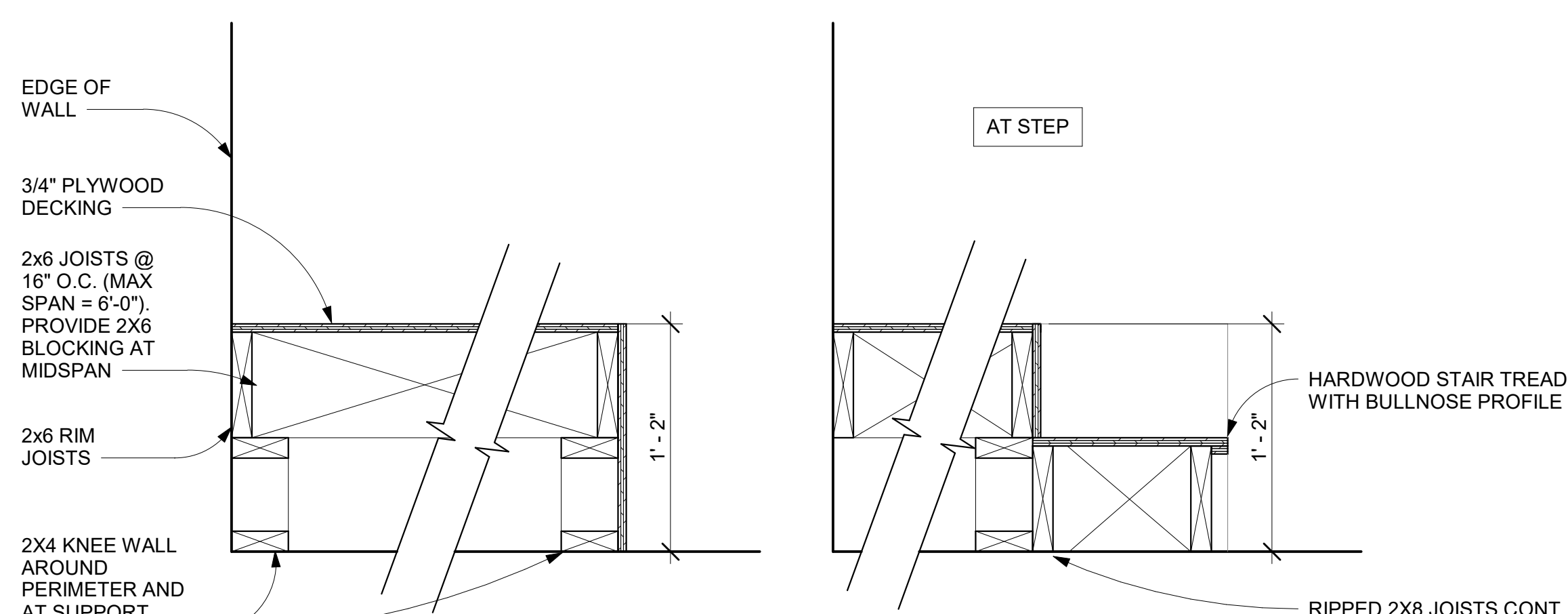
**13 STAGE COUNTERTOP**  
SCALE: 1 1/2" = 1'-0"



**14 BASE CABINET - ACCESSIBLE SINK**  
SCALE: 1 1/2" = 1'-0"



**15 BASE CABINET - 1 DRAWER & DOORS**  
SCALE: 1 1/2" = 1'-0"



**16 DETAIL - STAGE PLATFORM**  
SCALE: 1 1/2" = 1'-0"

LUMPKIN COUNTY SENIOR CENTER

EXPANSION

266 MECHANICVILLE RD.  
DAHLONEGA, GA 30533

**PRINT RECORD**

No.	DATE	DESCRIPTION
1	11/07/2018	PERMIT DOCUMENT
3	12/06/2018	ADDENDUM #3

Drawn By: JYN  
Checked By: JDG

Date: 11/07/2018  
Job No.: 18011DG

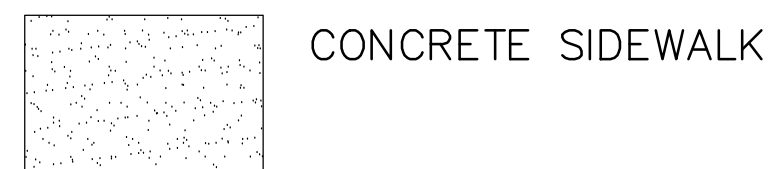
Sheet Title:  
**INTERIOR ELEVATIONS & DETAILS**

Sheet No.:

**A-6.51**

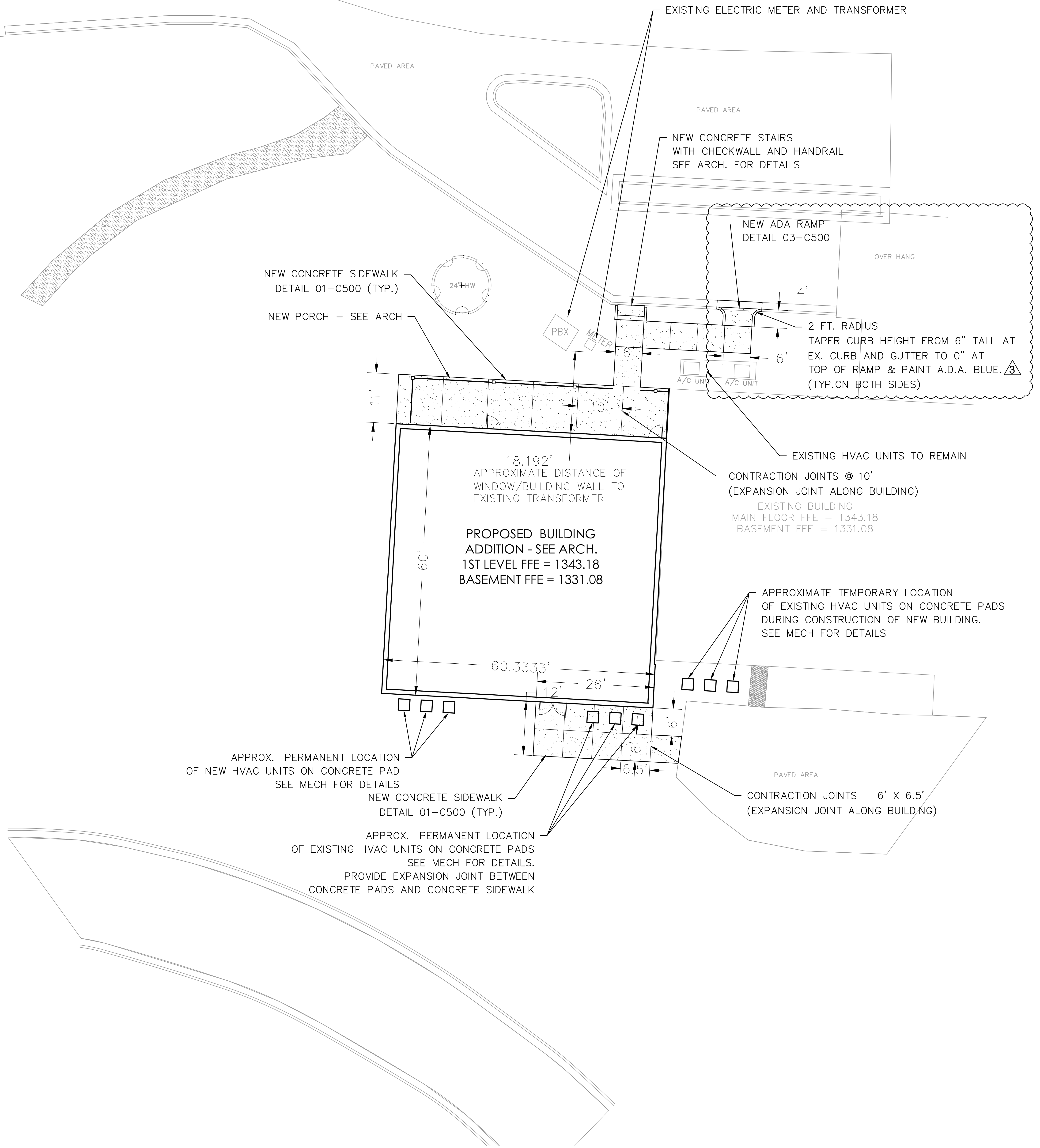


**PAVEMENT LEGEND**



**SITE PLAN GENERAL NOTES**

- CONTRACTOR SHALL MATCH ALL NEW PAVEMENT, SIDEWALK, AND/OR CURB & GUTTER WITH EXISTING AT ALL CONNECTION POINTS. PROVIDE SEALANT AT ALL JOINTS BETWEEN EX. AND PROPOSED ASPHALT PAVEMENTS TO PROVIDE A SMOOTH & SEAMLESS TRANSITION.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING & COLUMN DIMENSIONS & DETAILS.
- ALL DIMENSIONS ARE TO THE FACE OF CURB, EDGE OF PAVEMENT (IF NO CURB), FACE OF BUILDING, CENTER OF COLUMN, CENTER OF STRUCTURE, CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
- PATCH AND REPAIR ALL EXISTING CONCRETE SIDEWALK, CURB & GUTTER DAMAGED DURING CONSTRUCTION. (TYP.) CONTRACTOR SHOULD DOCUMENT THE EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION AND SUBMIT DOCUMENTATION TO ARCHITECT



**PROJECT DATA**

OWNER/DEVELOPER: LUMPKIN COUNTY  
99 COURTHOUSE HILL, SUITE H  
DAHLONEGA, GA 30533

ARCHITECT: JERICHO DESIGN GROUP  
3330 PRESTON RIDGE RD STE. 380  
ALPHARETTA, GEORGIA 30005

CIVIL SITE ENGINEER: CORNERSTONE SITE  
CONSULTANTS, LLC  
2985 GORDY PKWY, SUITE 119  
MARIETTA, GA 30066  
ANDREW M. HALLORAN, P.E.,  
PH: 770-490-9182

SITE ADDRESS: 266 MECHANICSVILLE ROAD  
DAHLONEGA, GA 30533  
LL 997&998, 12TH DISTRICT

SITE AREA: \_\_\_\_\_ ACRES

DISTURBED SITE AREA: 0.4 ACRES

EXISTING SITE USE: LUMPKIN COUNTY SENIOR CENTER

PROPOSED PROJECT: BUILDING ADDITION

SITE ZONING: NONE

IMPERVIOUS AREA: 4,500 SF INCREASE  
(SINCE < 5,000 SF, EXEMPT  
FROM STORMWATER MANAGEMENT)

SEE DETAIL SHEETS FOR ALL CONSTRUCTION DETAILS

**EXISTING INFORMATION DISCLAIMER**  
EXISTING INFORMATION MAY NOT BE SHOWN ON ALL DRAWINGS IN ORDER TO BETTER ILLUSTRATE THE PROPOSED CONSTRUCTION INFORMATION. PLEASE REFER TO THE EXISTING CONDITIONS PLANS AS NECESSARY WHEN REVIEWING THE DRAWINGS.

**GEORGIA811**

www.Georgia811.com  
5 BUSINESS DAYS PRIOR TO CONSTRUCTION  
CONTACT GEORGIA 811 UTILITY PROTECTION CENTER

**UTILITY DISCLAIMER**

ALL KNOWN UTILITIES HAVE BEEN SHOWN BASED ON THE BEST INFORMATION AVAILABLE TO THE OWNER. ALL KNOWN UTILITIES HAVE BEEN SHOWN SCHEMATICALLY ON THE PLANS AND MAY NOT BE SHOWN ACCURATELY HORIZONTALLY OR VERTICALLY. UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH UTILITY COMPANIES TO HAVE THEM RELOCATED EITHER VERTICALLY OR HORIZONTALLY WHEN NECESSARY FOR PROPOSED CONSTRUCTION OR ADAPTED FOR PROPOSED CONNECTIONS. CONTRACTOR SHALL CALL THE UTILITIES PROTECTION CENTER (UPC) AT LEAST 72 HOURS (THREE BUSINESS DAYS) PRIOR TO CONSTRUCTION.

SEE SHEET C-000 FOR GENERAL NOTES AND DRAWING LEGEND

**SCOPE OF WORK CLARIFICATION:**

GENERAL CONTRACTOR SHALL PROVIDE IMPROVEMENTS SHOWN



**CORNERSTONE SITE CONSULTANTS**

2985 Gordy Parkway, Suite 119  
Marietta, Georgia 30066  
www.cornerstone.com

**LUMPKIN COUNTY SENIOR CENTER EXPANSION**  
**LUMPKIN COUNTY BOARD OF COMMISSIONERS**

266 Mechanicville Road  
Dahlonega, Georgia 30533

**PRINT RECORD**

No.	DATE	DESCRIPTION
1029/2018	PERMIT DOCUMENT	
1107/2018	PERMIT DOCUMENT	
1206/2018	ADDENDUM #3	

Drawn By: CHC  
Checked By: AMH  
Date: 10/29/2018  
Job No.: 17001DG

Sheet Title: **SITE PLAN**

Sheet No.: **C-100**

RELEASED FOR CONSTRUCTION



**GRADING & DRAINAGE NOTES**

1. PROVIDE POSITIVE DRAINAGE AT ALL TIMES.
2. SEE C300 FOR STORM SEWER PROFILE LINE "A"
3. MATCH EXISTING GRADE AT THE INTERFACE BETWEEN NEW AND EXISTING SURFACES. NOTIFY ENGINEER IMMEDIATELY IF DESIGN GRADES DO NOT MATCH EXISTING GRADES AS SHOWN ON THE PLANS.
4. MAXIMUM NEW CUT/FILL SLOPE IS 2H:1V
5. CLEAN AND FLUSH EXISTING STORM SEWER STRUCTURE AND/OR LINE. CONTRACTOR SHALL REMOVE ALL DEBRIS & SEDIMENT WITH VACUUM TRUCK & REMOVE FROM SITE. DO NOT FLUSH DEBRIS OR SEDIMENT DOWNSTREAM.
6. RE-SPREAD STRIPPED TOPSOIL TO 4" DEPTH OVER GRADED AREAS TO BE GRASSED PER DETAIL
7. ADJUST THE TOPS OF ALL EXISTING STORM STRUCTURES TO FINAL GRADE.
8. PLACEMENT OF FILL OVER SLOPES 4H:1V OR STEEPER SHALL BE BENCHED PER GA. DOT DETAIL.
9. PROVIDE A MINIMUM OF A 5 FT. SHOULDER AROUND THE BUILDING SLOPING AWAY AT 2% SLOPE. (TYP.)

**ROOF & LANDSCAPE DRAIN STORM PIPE NOTES**

1. SITE CONTRACTOR SHALL PROVIDE ROOF DRAIN LEADER PIPE AND DOWNSPOUT ADAPTER TO CONNECT WITH DOWNSPOUTS.
2. DOWNSPOUT ADAPTER SHALL MATCH COLOR OF DOWNSPOUTS WHERE ABOVE GRADE.
3. ROOF DRAIN LINE SHALL BE EITHER D.I.P. CLASS 51, SDR 35 PVC, OR HDPE ADS N-12 (OR APPROVED EQUAL) SMOOTH INTERIOR WATER TIGHT JOINTS STORM PIPE LINE WHERE SHOWN ON THE DRAWINGS.
4. CLEANOUTS IN PAVED AREAS MUST HAVE TRAFFIC RESISTANT TOPS.
5. ALL CLEANOUTS SHALL BE FLUSH WITH FINISHED GRADE. SEE DETAIL ON CONSTRUCTION DETAILS.
6. PROVIDE STORM SEWER CLEANOUTS LOCATIONS SHOWN.
7. PROVIDE WYE CONNECTIONS INSTEAD OF TEES ALONG ALL ROOF DRAIN OR LANDSCAPE DRAIN STORM PIPING.
8. WHERE SHOWN ON THE DRAWINGS, CONNECT ROOF DRAINS AND LANDSCAPE DRAIN STORM PIPING TO STORM STRUCTURE AT INVERT SPECIFIED ON THIS SHEET OR PROFILE SHEET.
9. PROVIDE A MINIMUM OF 2 FEET OF COVER OVER ROOF DRAIN STORM PIPE.

**FOUNDATION DRAIN STORM PIPE NOTES**

1. SITE CONTRACTOR SHALL PROVIDE NON-PERFORATED STORM PIPE FROM THE END OF THE FOUNDATION DRAIN AT THE WALL TO CONNECT TO THE STORM STRUCTURE AS SHOWN ON THE DRAWINGS.
2. STORM PIPE SHALL BE EITHER D.I.P. CLASS 51 SDR 35 PVC OR HDPE ADS N-12 (OR APPROVED EQUAL) SMOOTH INTERIOR, WATER TIGHT JOINTS STORM PIPE LINE WHERE SHOWN ON THE DRAWINGS.
3. PROVIDE A MINIMUM OF 2 FEET OF COVER OVER NON-PERFORATED FOUNDATION DRAIN STORM PIPE.

**PROJECT DATA**

OWNER/DEVELOPER: LUMPKIN COUNTY  
99 COURTHOUSE HILL, SUITE H  
DAHLONEGA, GA 30533

ARCHITECT: JERICHO DESIGN GROUP  
3330 PRESTON RIDGE RD STE. 380  
ALPHARETTA, GEORGIA 30005

CIVIL SITE ENGINEER: CORNERSTONE SITE CONSULTANTS, LLC  
2985 GORDY PKWY, SUITE 119  
MARIETTA, GA 30066  
ANDREW M. HALLORAN, P.E.,  
PH: 770-490-9182

SITE ADDRESS: 266 MECHANICSVILLE ROAD  
DAHLONEGA, GA 30533  
LL 997&998, 12TH DISTRICT

SITE AREA: \_\_\_\_\_ ACRES

DISTURBED SITE AREA: 0.4 ACRES

EXISTING SITE USE: LUMPKIN COUNTY SENIOR CENTER

PROPOSED PROJECT: BUILDING ADDITION

SITE ZONING: NONE

IMPERVIOUS AREA: 4,500 SF INCREASE  
(SINCE < 5,000 SF, EXEMPT FROM STORMWATER MANAGEMENT)

SEE DETAIL SHEETS FOR ALL CONSTRUCTION DETAILS

**EXISTING INFORMATION DISCLAIMER**

EXISTING INFORMATION MAY NOT BE SHOWN ON ALL DRAWINGS IN ORDER TO BETTER ILLUSTRATE THE PROPOSED CONSTRUCTION INFORMATION. PLEASE REFER TO THE EXISTING CONDITIONS PLANS AS NECESSARY WHEN REVIEWING THE DRAWINGS.

**GEORGIA811**

www.Georgia811.com  
5 BUSINESS DAYS PRIOR TO CONSTRUCTION  
CONTACT GEORGIA 811 UTILITY PROTECTION CENTER

**UTILITY DISCLAIMER**

ALL KNOWN UTILITIES HAVE BEEN SHOWN BASED ON THE BEST INFORMATION AVAILABLE TO THE OWNER. ALL KNOWN UTILITIES HAVE BEEN SHOWN SCHEMATICALLY ON THE PLANS AND MAY NOT BE SHOWN ACCURATELY HORIZONTALLY OR VERTICALLY. UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH UTILITY COMPANIES TO HAVE THEM RELOCATED EITHER VERTICALLY OR HORIZONTALLY WHEN NECESSARY FOR PROPOSED CONSTRUCTION OR ADAPTED FOR PROPOSED CONNECTIONS. CONTRACTOR SHALL CALL THE UTILITIES PROTECTION CENTER (UPC) AT LEAST 72 HOURS (THREE BUSINESS DAYS) PRIOR TO CONSTRUCTION.

SEE SHEET C-000 FOR GENERAL NOTES AND DRAWING LEGEND

**SCOPE OF WORK CLARIFICATION:**

LUMPKIN COUNTY RESPONSIBLE FOR STORM PIPE INSTALLATION OF STORM LINE A1-A3  
GENERAL CONTRACTOR SHALL PROVIDE ALL OTHER IMPROVEMENTS SHOWN



2985 Gordy Parkway, Suite 119  
Marietta, Georgia 30066  
www.cornerstone.com

**LUMPKIN COUNTY SENIOR CENTER EXPANSION**  
**LUMPKIN COUNTY BOARD OF COMMISSIONERS**  
266 Mechanicville Road  
Dahlonega, Georgia 30533

**PRINT RECORD**

No.	DATE	DESCRIPTION
10/29/2018		PERMIT DOCUMENT
11/07/2018		PERMIT DOCUMENT
12/06/2018		ADDENDUM #3

Drawn By: CHC  
Checked By: AMH

Date: 10/29/2018  
Job No.: 17001DG

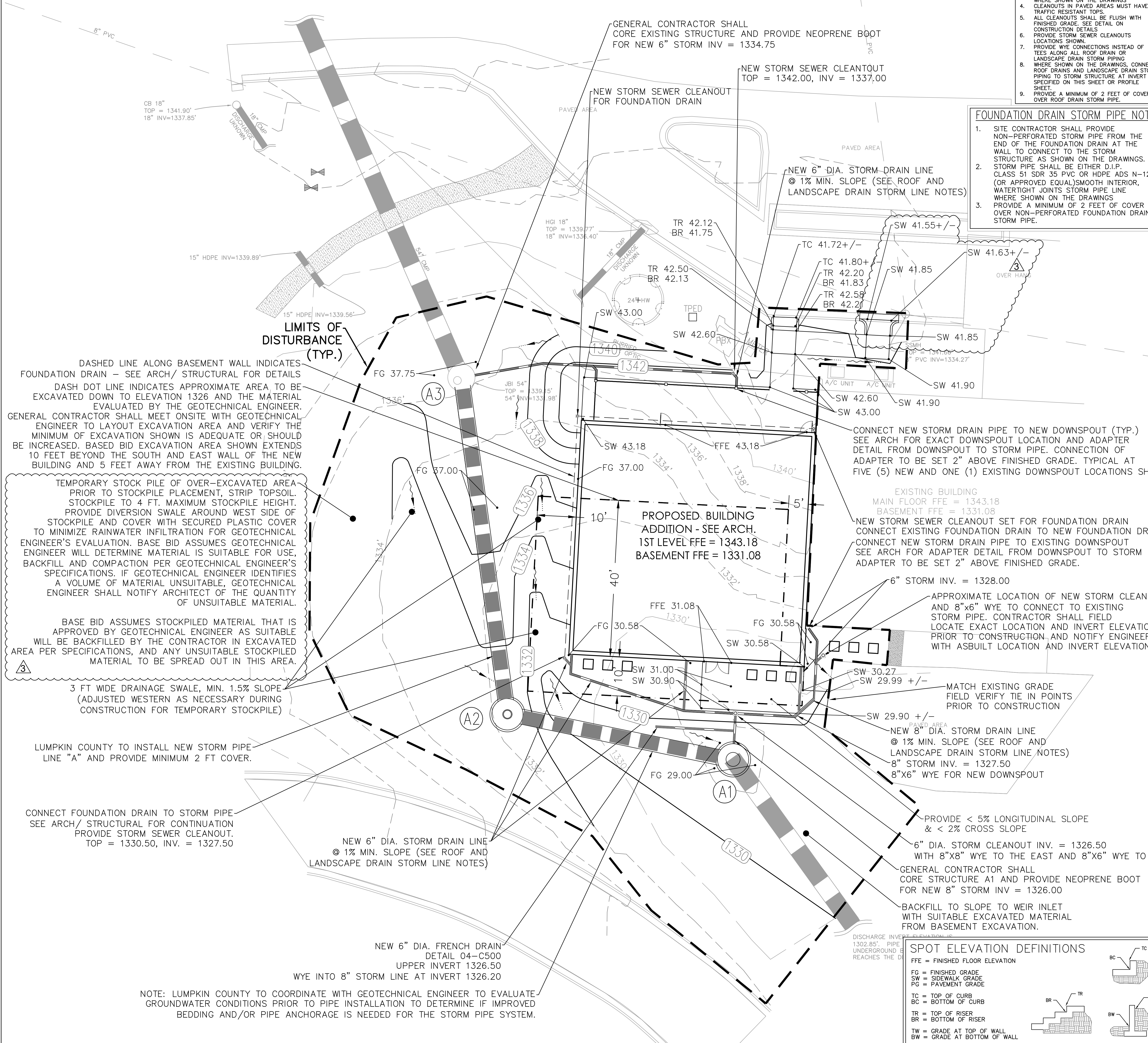
Sheet Title

**GRADING, DRAINAGE & UTILITY PLAN**

Sheet No.

**C-110**

RELEASED FOR CONSTRUCTION



DASHED LINE ALONG BASEMENT WALL INDICATES FOUNDATION DRAIN - SEE ARCH/ STRUCTURAL FOR DETAILS  
DASH DOT LINE INDICATES APPROXIMATE AREA TO BE EXCAVATED DOWN TO ELEVATION 1326 AND THE MATERIAL EVALUATED BY THE GEOTECHNICAL ENGINEER.  
GENERAL CONTRACTOR SHALL MEET ON SITE WITH GEOTECHNICAL ENGINEER TO LAYOUT EXCAVATION AREA AND VERIFY THE MINIMUM OF EXCAVATION SHOWN IS ADEQUATE OR SHOULD BE INCREASED. BASED BID EXCAVATION AREA SHOWN EXTENDS 10 FEET BEYOND THE SOUTH AND EAST WALL OF THE NEW BUILDING AND 5 FEET AWAY FROM THE EXISTING BUILDING.

TEMPORARY STOCK PILE OF OVER-EXCAVATED AREA PRIOR TO STOCKPILE PLACEMENT, STRIP TOPSOIL. STOCKPILE TO 4 FT. MAXIMUM STOCKPILE HEIGHT. PROVIDE DIVERSION SWALE AROUND WEST SIDE OF STOCKPILE AND COVER WITH SECURED PLASTIC COVER TO MINIMIZE RAINWATER INFILTRATION FOR GEOTECHNICAL ENGINEER'S EVALUATION. BASE BID ASSUMES GEOTECHNICAL ENGINEER WILL DETERMINE MATERIAL IS SUITABLE FOR USE, BACKFILL AND COMPACTION PER GEOTECHNICAL ENGINEER'S SPECIFICATIONS. IF GEOTECHNICAL ENGINEER IDENTIFIES A VOLUME OF MATERIAL UNSUITABLE, GEOTECHNICAL ENGINEER SHALL NOTIFY ARCHITECT OF THE QUANTITY OF UNSUITABLE MATERIAL.

BASE BID ASSUMES STOCKPILED MATERIAL THAT IS APPROVED BY GEOTECHNICAL ENGINEER AS SUITABLE WILL BE BACKFILLED BY THE CONTRACTOR IN EXCAVATED AREA PER SPECIFICATIONS, AND ANY UNSUITABLE STOCKPILED MATERIAL TO BE SPREAD OUT IN THIS AREA.

3 FT WIDE DRAINAGE SWALE, MIN. 1.5% SLOPE (ADJUSTED WESTERN AS NECESSARY DURING CONSTRUCTION FOR TEMPORARY STOCKPILE)

LUMPKIN COUNTY TO INSTALL NEW STORM PIPE LINE "A" AND PROVIDE MINIMUM 2 FT COVER.

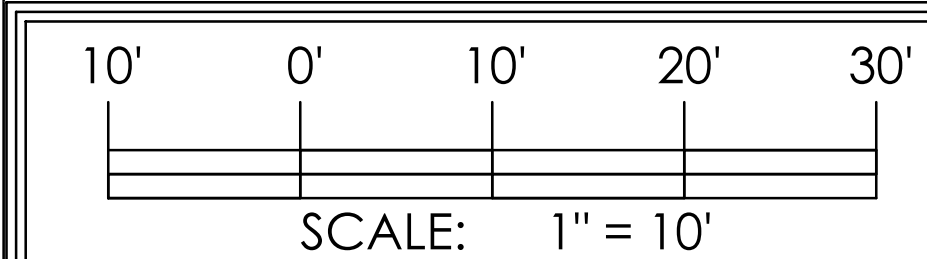
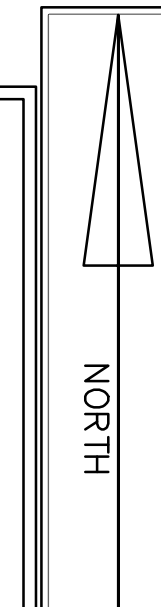
CONNECT FOUNDATION DRAIN TO STORM PIPE SEE ARCH/ STRUCTURAL FOR CONTINUATION PROVIDE STORM SEWER CLEANOUT. TOP = 1330.50, INV. = 1327.50

NEW 6" DIA. FRENCH DRAIN  
DETAIL 04-C500  
UPPER INVERT 1326.50  
WYE INTO 8" STORM LINE AT INVERT 1326.20

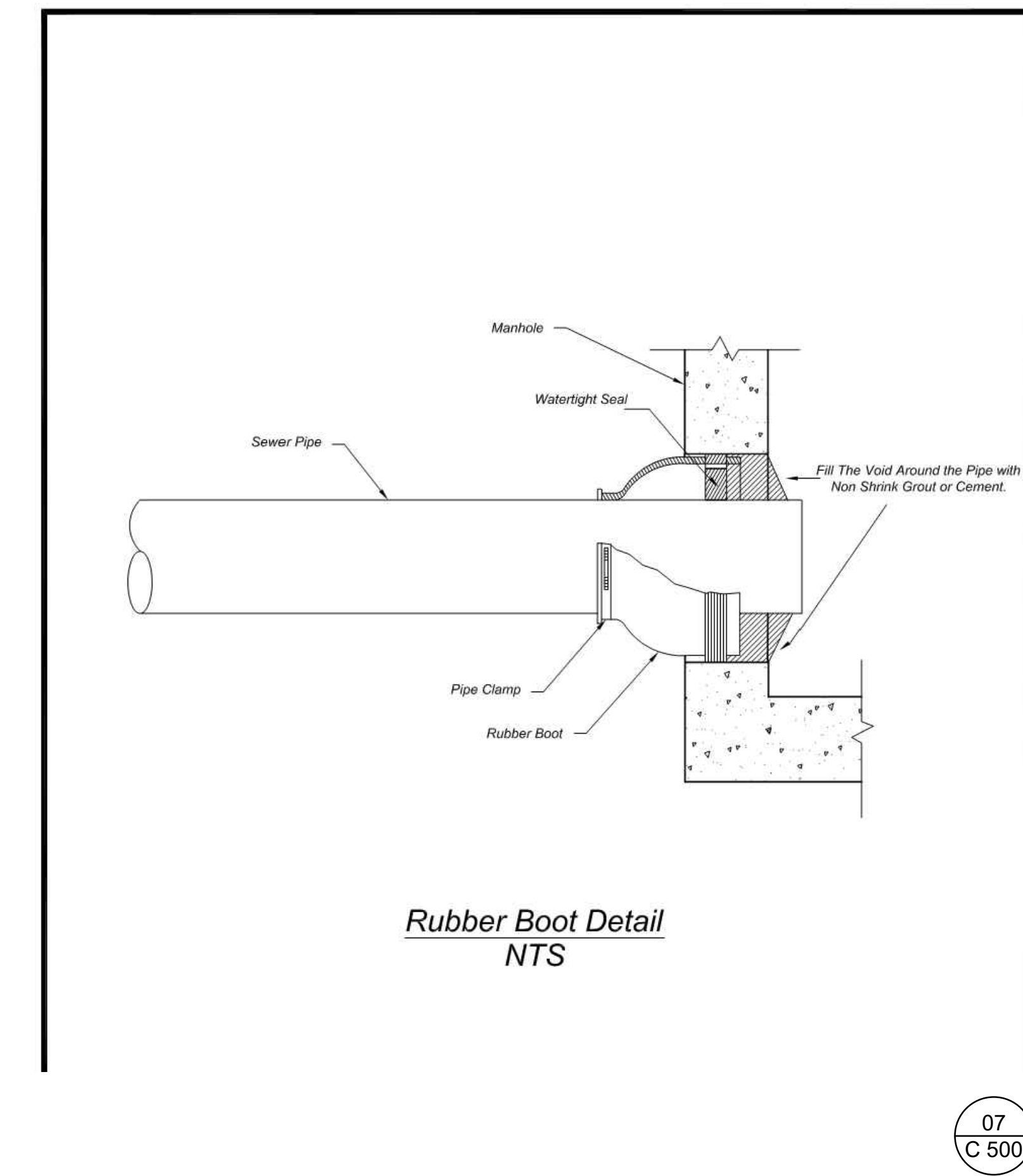
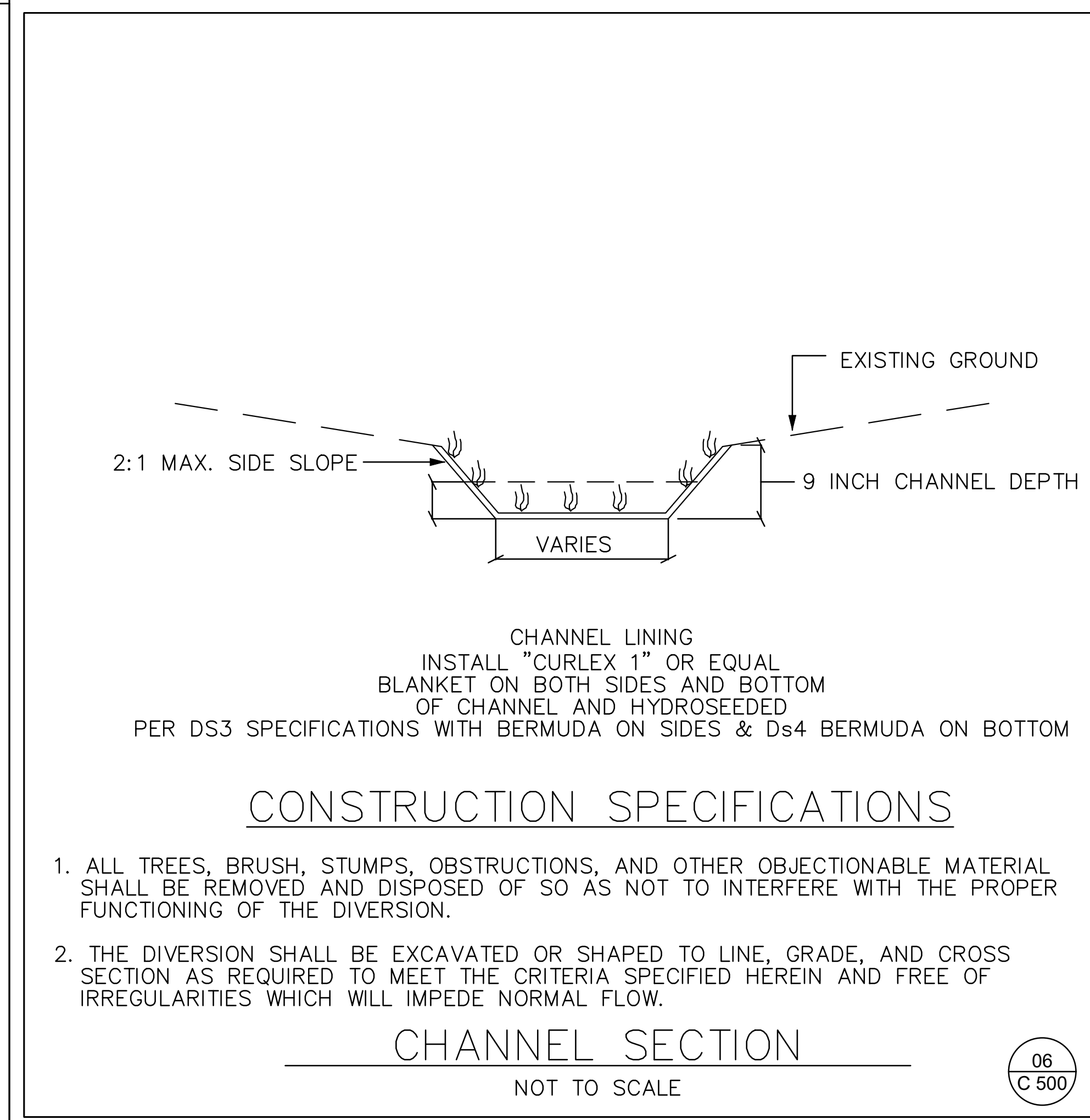
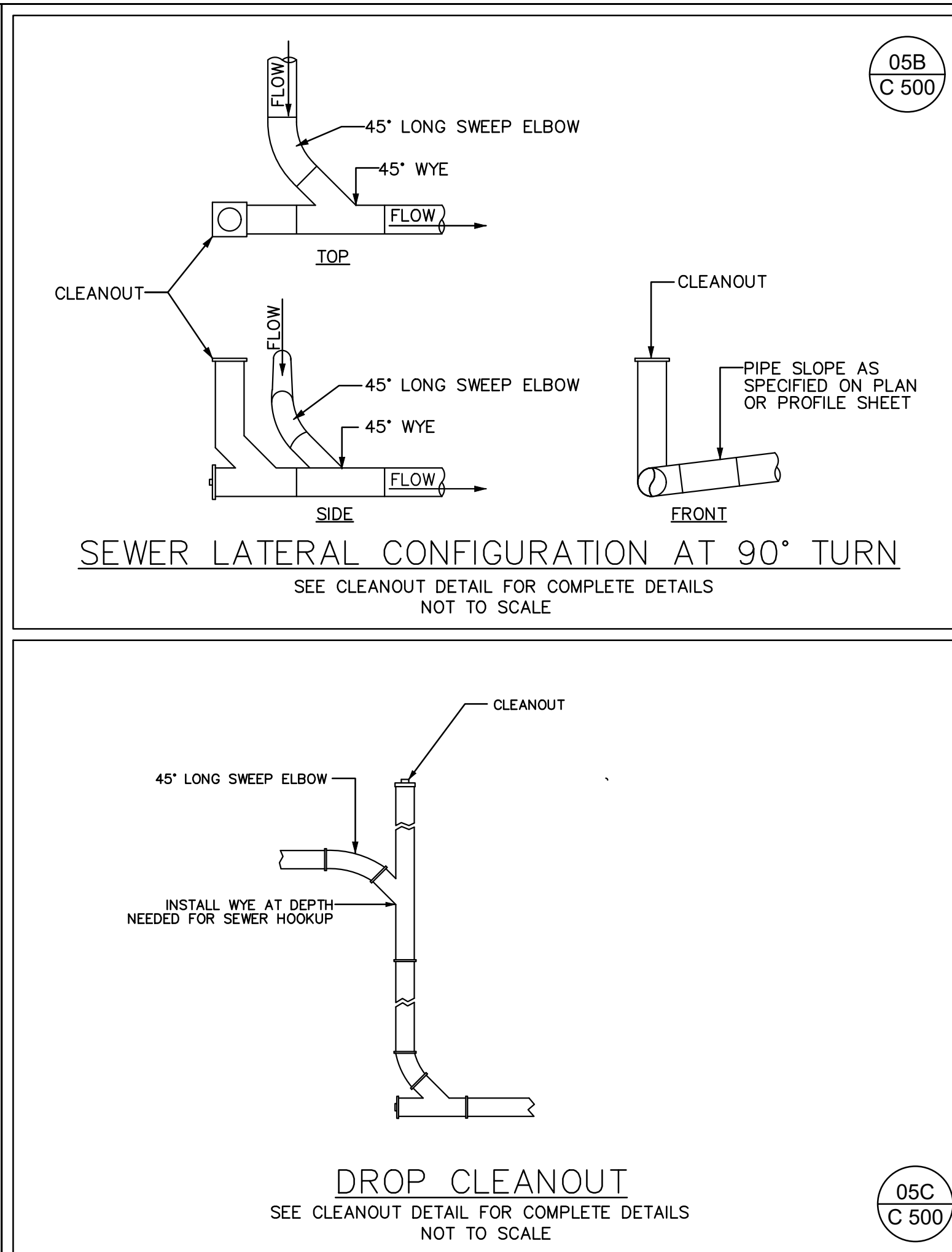
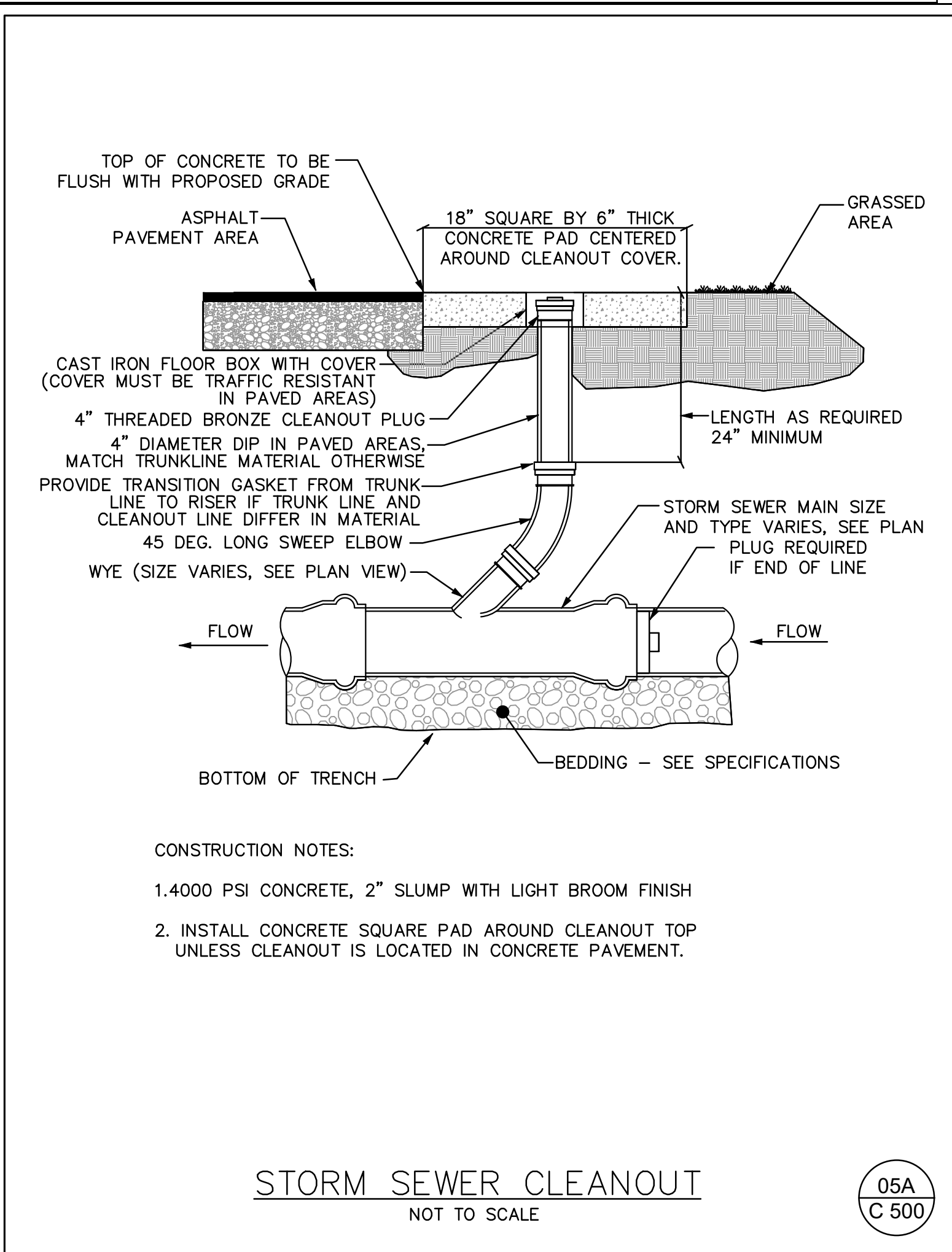
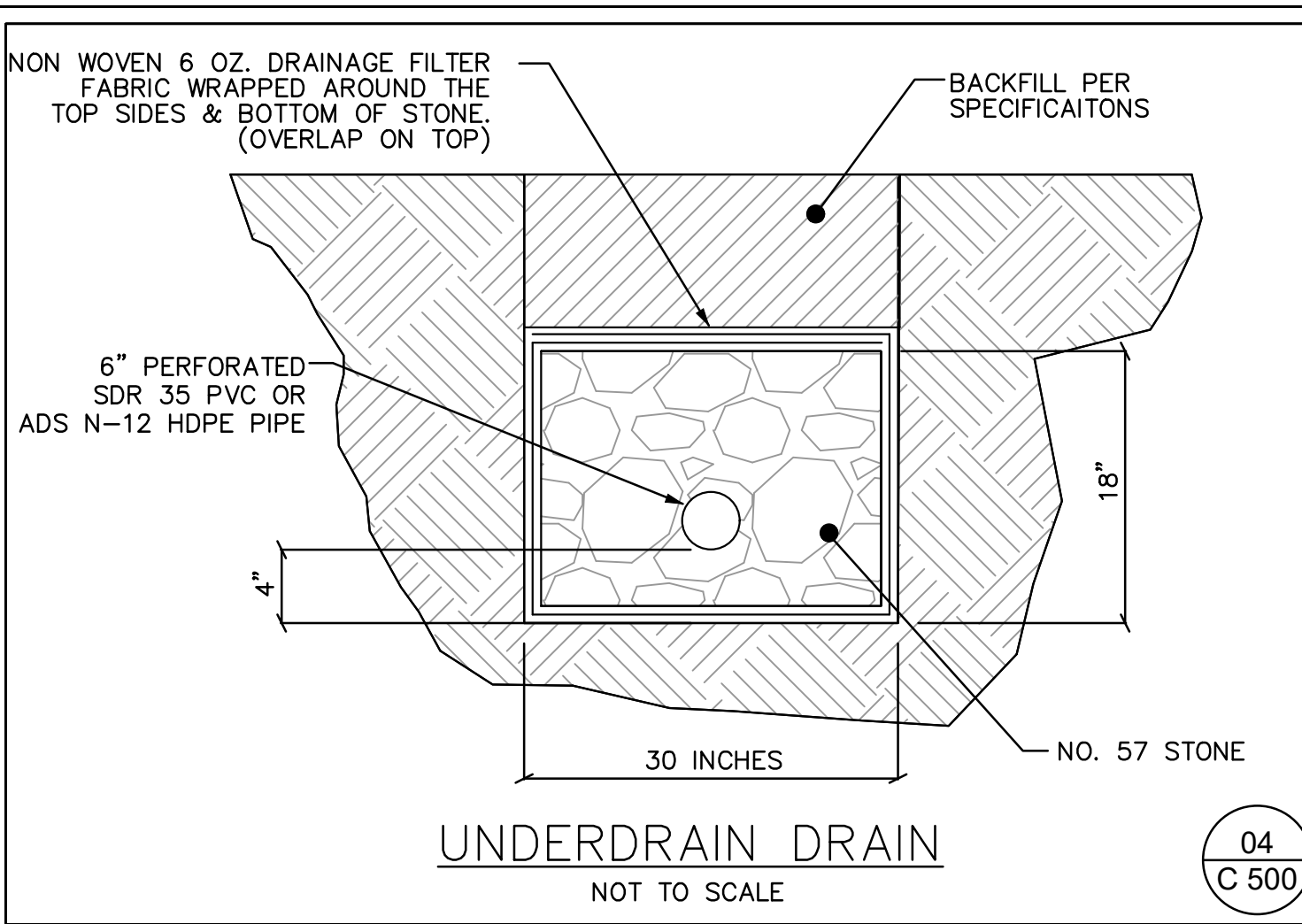
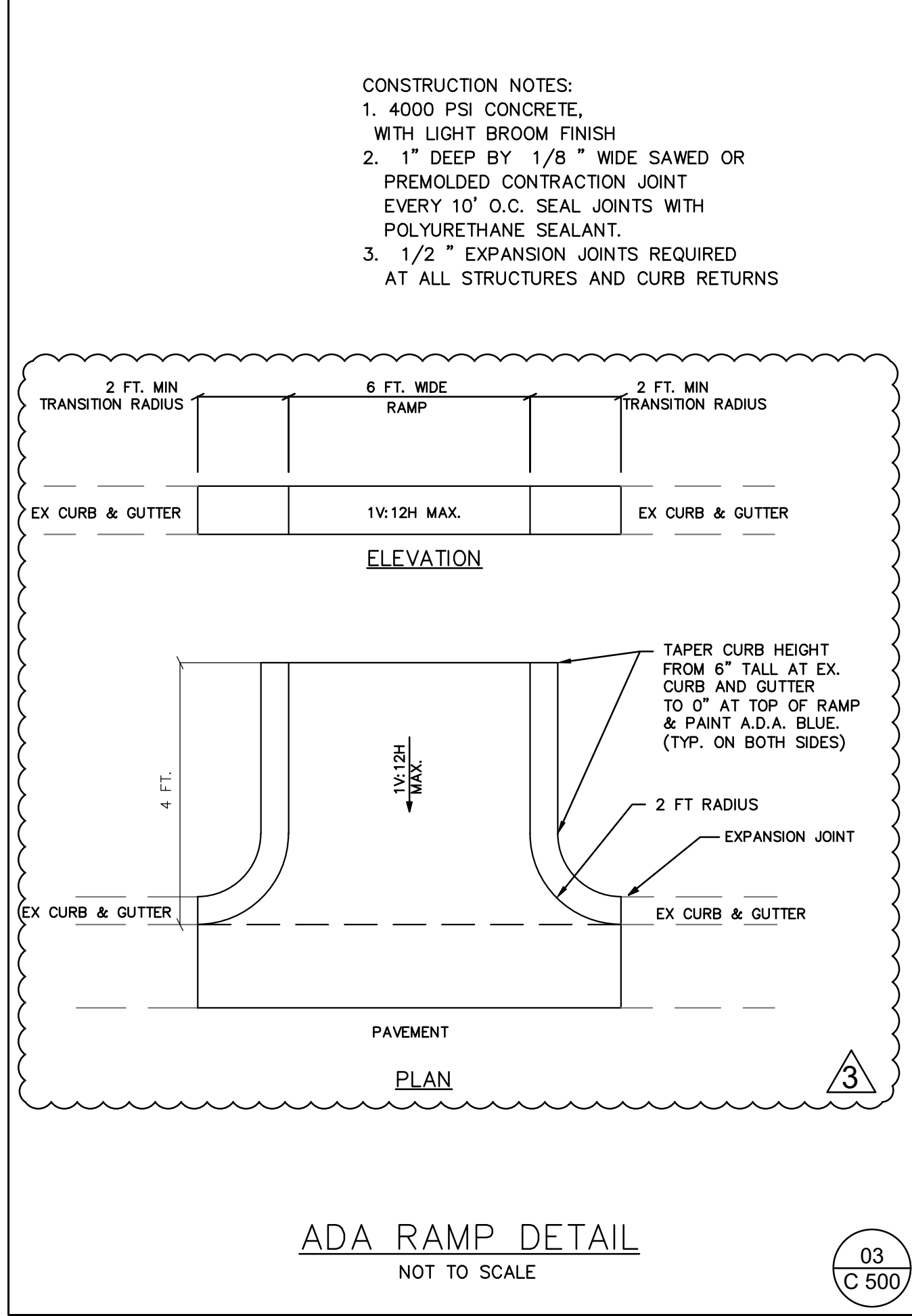
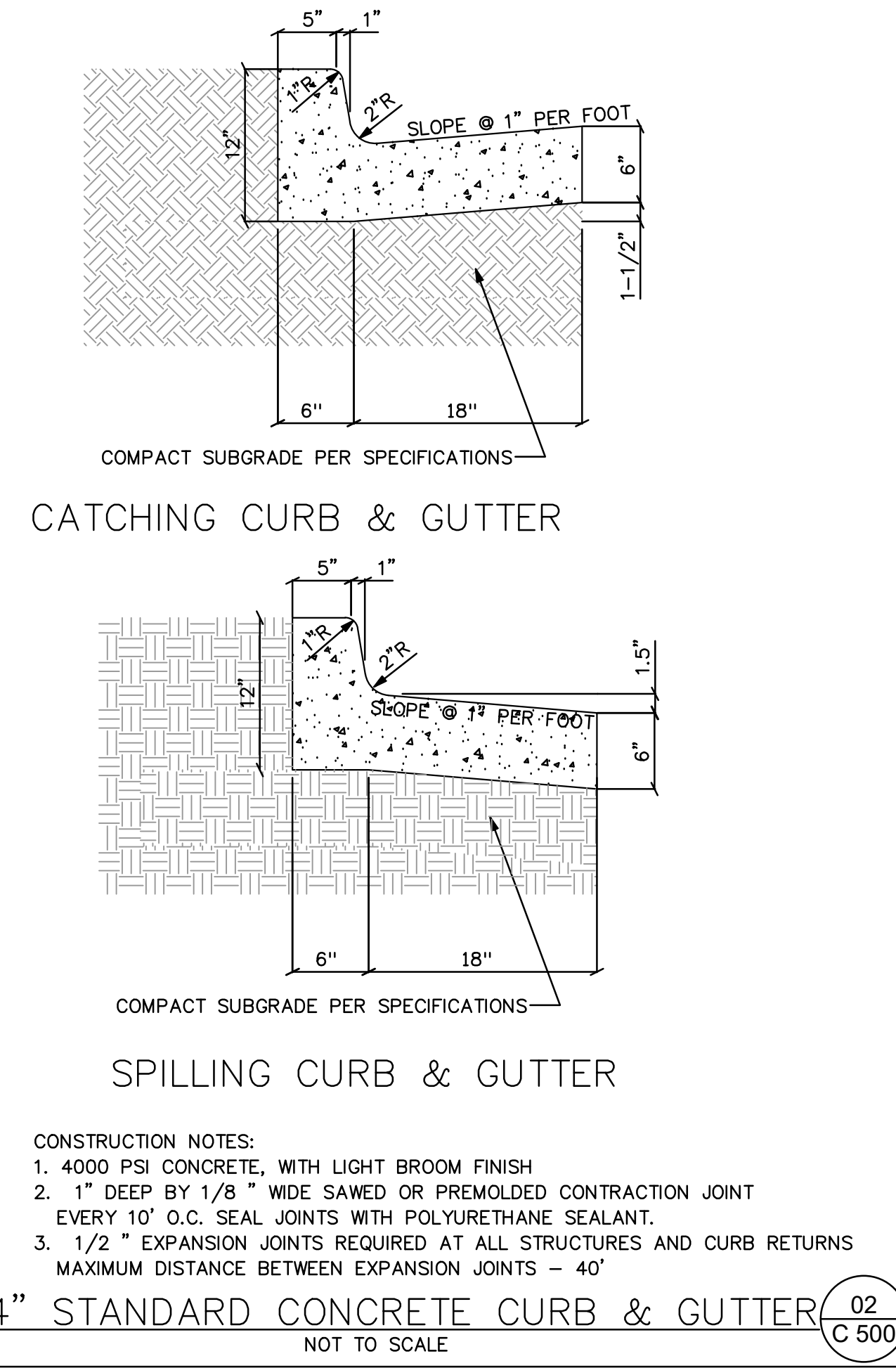
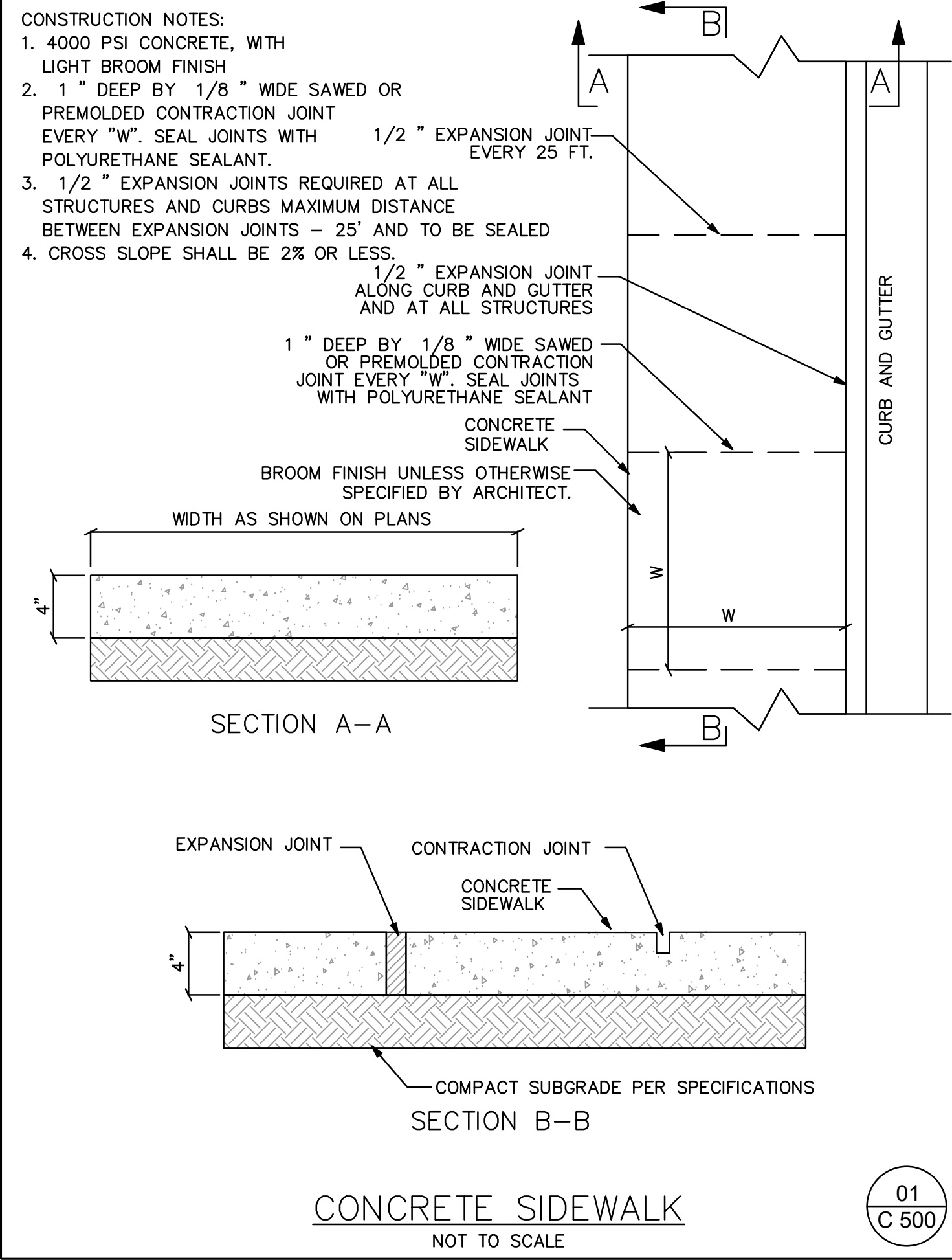
NOTE: LUMPKIN COUNTY TO COORDINATE WITH GEOTECHNICAL ENGINEER TO EVALUATE GROUNDWATER CONDITIONS PRIOR TO PIPE INSTALLATION TO DETERMINE IF IMPROVED BEDDING AND/OR PIPE ANCHORAGE IS NEEDED FOR THE STORM PIPE SYSTEM.

**SPOT ELEVATION DEFINITIONS**

- FFE = FINISHED FLOOR ELEVATION
- FG = FINISHED GRADE
- SW = SIDEWALK GRADE
- PG = PAVEMENT GRADE
- TC = TOP OF CURB
- BC = BOTTOM OF CURB
- TR = TOP OF RISER
- BR = BOTTOM OF RISER
- TW = GRADE AT TOP OF WALL
- BW = GRADE AT BOTTOM OF WALL







**LUMPKIN COUNTY SENIOR CENTER EXPANSION**  
**LUMPKIN COUNTY BOARD OF COMMISSIONERS**

286 Mechanicsville Road  
Dahlonega, Georgia 30533

**PRINT RECORD**

No.	DATE	DESCRIPTION
10/29/2018	PERMIT DOCUMENT	
11/07/2018	PERMIT DOCUMENT	
12/06/2018	ADDENDUM #3	

No.	DATE	DESCRIPTION

Drawn By: CHC  
Checked By: AMH

Date: 10/29/2018  
Job No.: 17001DG

Sheet Title:

**CONSTRUCTION DETAILS**

Sheet No.:

**C-500**