



ADDENDUM NO. 1

Issue Date: May 7, 2019

Project Name: Jones Pier Residences Repairs for PO-04-FL-4283-PW-00796(0)

Bid Number: 2019058

Bid Opening Date: May 29, 2019

This addendum is being released to provide minutes to the pre-bid meeting, modify the bid documents, and answer questions received to date. The information and documents contained in this addendum are hereby incorporated in the invitation to bid. **This addendum must be acknowledged where indicated on the bid form, or the bid will be declared non-responsive.**

Attachments:

Bid Form – Addendum 1

Jones' Pier Conservation Area Master Site Planning & Design Summary of Project Scope
Structural Inspection for 7770 Jungle Trail

MODIFICATION TO BID DOCUMENTS

The following changes are made to the bid documents:

1. **Replace** the Bid Form with attached Bid Form – Addendum 1
2. For 7770 Jungle Trail Scope, under **Master Bedroom...** scope, **modify** item 6:
6. Safe-off and replace all electrical wiring, connections, receptacles, and switches. Ceiling fan in living room does not require replacement.
3. For 7790 Jungle Trail Scope, under Living Room **modify** item 6:
6. Clean, prepare and paint all newly installed surfaces and existing surfaces where applicable. County to approve paint color prior to application. Mark high water line from Hurricane Matthew in a location to be agreed upon with Project Manager for future illustrative use.

The following were discussed in the pre-bid meeting:

Both structures are of historic significance. The scope of this work is to restore the residences to their condition prior to Hurricane Matthew. No structural, engineering or asbestos surveys have been completed.

Addendum 1

The buildings are located in unincorporated Indian River County, so any permitting will be through the County. Floor plans with scope will be acceptable for permitting purposes. Permit fees will be paid directly by the County. FP&L is the electrical provider at the site.

During work, access to the site can be blocked off and storage of materials on site will be permitted (at Contractor's risk). Work is expected to progress continuously from start to completion.

Questions and Answers

1. Is there a listed budget for this project: Jones Pier Residences Repairs for PA-04-FL-4283-PW-00796(0)?
No engineer's estimate is available, but staff estimates the work to be under \$100,000.

2. How can we obtain access for to take measurements and bring our subs in so we can start getting the bid together?
Please call the Project Manager, Kevin Kirwin, at 772-226-1874 to arrange an appointment. Please note County staff will not be able to answer any questions and the Cone of Silence will remain in effect.

Indian River County Purchasing Division

1800 27th Street
Vero Beach, FL 32960
Phone (772) 226-1416



Bid Form – Addendum 1

Jones Pier Residences Repairs for PA-04-FL-4283-PW-00796(0)

Bid #: 2019058
Bid Opening Date and Time: May 29, 2019 2:00 P.M.
Bid Opening Location: Purchasing Division
1800 27th Street
Vero Beach, FL 32960

Firm Qualifications

1. Licensing and Corporate Status:
 - a. Bidder’s State of Florida License Number(s): _____
 - b. Bidder’s Indian River County Competency Card Number(s): _____
 - c. Attach documentation from the State of Florida Division of Corporations that indicates the business entity’s status is active and that lists the names and titles of all officers.

2. Number of years the firm has performed business as a Contractor in construction work of the type involved in this contract: _____

3. What is the last project OF THIS NATURE that the firm has completed?

4. Has the firm ever failed to complete work awarded to you? _____
[If your answer is “yes”, then attach a separate page to this questionnaire that explains the circumstances and list the project name, Owner, and the Owner’s telephone number for each project in which the firm failed to complete the work.]

5. Has the firm ever been assessed liquidated damages? _____
[If your answer is “yes”, then attach a separate page to this questionnaire that explains the circumstances and list the project name, Owner, and the Owner’s telephone number for each project in which liquidated damages have been assessed.]

6. Has the firm ever been charged by OSHA for violating any OSHA regulations? _____
 [If your answer is “yes”, then attach a separate page to this questionnaire that explains the circumstances and list the project name, Owner, and the Owner’s telephone number for each project in which OSHA violations were alleged.]

7. Has the firm ever been charged with noncompliance of any public policy or rules? _____
 [If your answer is “yes”, then attach a separate page to this questionnaire that explains the circumstances and list the project name, Owner, and the Owner’s telephone number for each project.]

8. Has the firm ever defaulted on any of its projects? _____
 [If your answer is “yes”, then attach a separate page to this questionnaire that explains the circumstances and list the project name, Owner, and the Owner’s telephone number for each project in which a default occurred.]

9. Attach a separate page to this questionnaire that summarizes the firm’s current workload and that demonstrates its ability to meet the project schedule.

10. Name of person who inspected the site of the proposed work for the firm:
 Name: _____ Date of Inspections: _____

11. Name of on-site Project Foreman: _____
 Number of years of experience with similar projects as a Project Foreman: _____

12. Name of Project Manager: _____
 Number of years of experience with similar projects as a Project Manager: _____

13. List of proposed Subcontractors (cannot be changed after award without written approval of County):

Firm Name	Work to be Performed	State of FL License #	IRCO Registration #

14. References for similar projects

Entity/Client		
Location of Service		Year Started:
Client Contact Name		Year Ended:
Email		Phone:
Description of facility		
Entity/Client		
Location of Service		Year Started:
Client Contact Name		Year Ended:
Email		Phone:
Description of facility		

Entity/Client		
Location of Service		Year Started:
Client Contact Name		Year Ended:
Email		Phone:
Description of facility		

Entity/Client		
Location of Service		Year Started:
Client Contact Name		Year Ended:
Email		Phone:
Description of facility		

The following addenda are hereby acknowledged:

Addendum Number	Date
_____	_____
_____	_____
_____	_____
_____	_____

In accordance with all terms, conditions, specifications, and requirements, the Bidder offers the following:

Item of Work – 7770 Jungle Trail - Interior	Price
1. Lump sum: Removal of existing wood paneling, ceiling mould, baseboards, doors and window casings and inside corner trims	\$
2. Lump Sum: Installation of new wood paneling, ceiling mould, baseboards, doors and window casings and inside corner trims	\$
3. Lump Sum: Cleaning, preparation and painting of all surfaces	\$
4. Lump Sum: Replace all electrical wiring, connections, receptacles and switches	\$
5. Lump Sum: Replace all plumbing and fixtures	\$
Total Bid Price - 7770 Jungle Trail - Interior	\$

Item of Work – 7770 Jungle Trail - Exterior	Price
1. Lump sum: Removal of baseboards and corner trims on wood paneling	\$
2. Lump Sum: Removal of wood paneling under windows on north, south and west walls	\$
3. Lump Sum: Installation of new wood paneling under windows on north, south and west walls	\$
4. Lump Sum: Installation of new baseboard and corner trim	\$
5. Lump Sum: Cleaning, preparation and painting of all surfaces	\$
Total Bid Price – 7770 Jungle Trail - Exterior	\$

Item of Work – 7790 Jungle Trail – Master/South Bedrooms	Price
1. Lump sum: Removal of existing wood paneling, ceiling mould, baseboards, doors and window casings and inside corner trims	\$
2. Lump Sum: Removal of all existing wood paneling	\$
3. Lump Sum: Installation of new prefinished wood paneling	\$
4. Lump Sum: Installation of new cove ceiling mould, baseboards, doors, window casing and inside corner trims	\$
5. Lump Sum: Cleaning, preparation and painting of all surfaces	\$
Total Bid Price – 7790 Jungle Trail – Master/South Bedrooms	\$

Item of Work – 7790 Jungle Trail – Remainder of Interior	Price
1. Lump sum: Patching existing cracks in walls	\$
2. Lump Sum: Removal of all wood ceiling battens and two water damaged wood ceiling panels	\$
3. Lump Sum: Installation of new wood ceiling battens and two water damaged wood ceiling panels	\$
4. Lump Sum: Replace and reset toilet	\$
5. Lump Sum: Replacement of water heater	\$
6. Lump Sum: Replace all electrical wiring, connections, receptacles and switches	\$
7. Lump Sum: Cleaning, preparation and painting of all surfaces	\$
Total Bid Price – 7790 Jungle Trail – Remainder of Interior	\$

Additional work that may become required will be provided as follows:

Unforeseen conditions that may prevent the scope of work to be completed	Unit	Price
1.		\$
2.		\$
3.		\$
4.		\$
5.		\$
6.		\$

Additional work that may be necessary to prevent further damage to each building		Unit	Price
1.			\$
2.			\$
3.			\$
4.			\$
5.			\$
6.			\$

Additional work you they recommend to be completed to make the buildings usable		Unit	Price
1.			\$
2.			\$
3.			\$
4.			\$
5.			\$
6.			\$

Project completion time after receipt of "Notice to Proceed" or PO: _____ DAYS

The undersigned hereby certifies that they have read and understand the contents of this solicitation and agree to furnish at the prices shown any or all of the items above, subject to all instructions, conditions, specifications, and attachments hereto. Failure to have read all the provisions of this solicitation shall not be cause to alter any resulting contract or request additional compensation.

Company Name: _____

Company Address: _____

City, State _____ Zip Code _____

Telephone: _____ Fax: _____

E-mail: _____

Business Tax Receipt Number: _____ FEIN Number: _____

Authorized Signature: _____ **Date:** _____

Name: _____ Title: _____
(Type / Printed)

Jones' Pier Conservation Area Planning & Design

Summary of Project Scope

I. INTRODUCTION

The Jones Pier Conservation Area (JPCA) is part of the rich history of late 19th century/early 20th century settlement in Indian River County. In 1889, Seaborn Jones and his family homesteaded 160 acres on Orchid Island. Mr. Jones and his neighbors built the "Orchid-Narrows Road" which is now known as Jungle Trail (listed in 2003 on the National Register of Historic Places). The Jones family tendered crops of beans and tomatoes on the property while their citrus groves were developing. The now famous Indian River Citrus originated from the labors of these early settlers. In 1907, Mr. Jones built a dock to aid in commerce along the Indian River. The Indian River and Jones' dock was featured in the movie "There Goes the Bride," and have become picturesque reminders of "Old Florida" in numerous magazines. The 16-acre JPCA that was purchased by the County in 2011 (including the dock) is part of this original homestead.

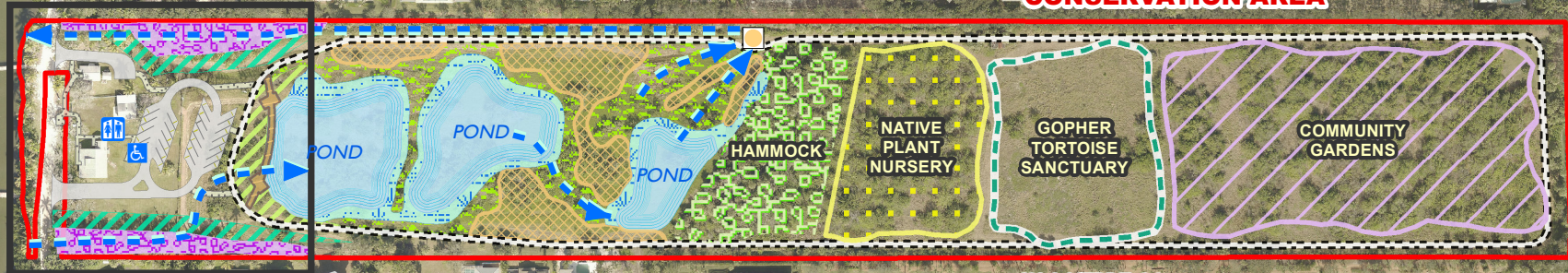
The County acquired the site from the Jones' family with assistance from the Florida Communities Trust. As part of the purchase, the County committed to implementing a management plan for the site that restores ecological value, while at the same time utilizes the site for public access and display of educational and historical exhibits. The project objectives are summarized as follows:

- To provide for passive recreation for the public including walking trails and wetland viewing;
- To restore and create wetlands and uplands on the site to provide ecological benefits;
- To convert the existing land use to provide additional treatment of stormwater runoff prior to discharge into the Indian River Lagoon;
- To use Lagoon waters for base flow through the created wetlands. This aspect of the project allows for creation of saltmarsh habitat which is unique to the area;
- To provide refuge for wildlife, including protected species;
- To design and implement the long-term management of the site to address resiliency and sustainability issues;
- To convert the existing land use to remove a source of exotic vegetative species; and,
- To provide a comprehensive public education program that emphasizes conservation and sustainability, as well as the importance of public participation.

To this end, the County is in the process of finalizing a Master Plan for the site that includes elements such as: (1) design of amenities including buildings, restrooms, trails and parking; (2) restoration of wetlands and native uplands; (3) development of an outdoor classroom for use by local schools and other organizations; (4) conservation and habitat enhancement of an existing Florida gopher tortoise population; (5) establishment of community gardens to promote environmentally sensitive & sustainable practices; (6) establishment of native planting corridors along the trails, and possible development of a native plant nursery (where feasible). The initial conceptual plan for the site has been attached as the "Jones' Pier Wetland Restoration Conceptual Project Plan." This plan has been modified through time as detailed site planning and engineering has been undertaken for various phases of the project. A summary of each of these elements of the project is presented in the following sections.

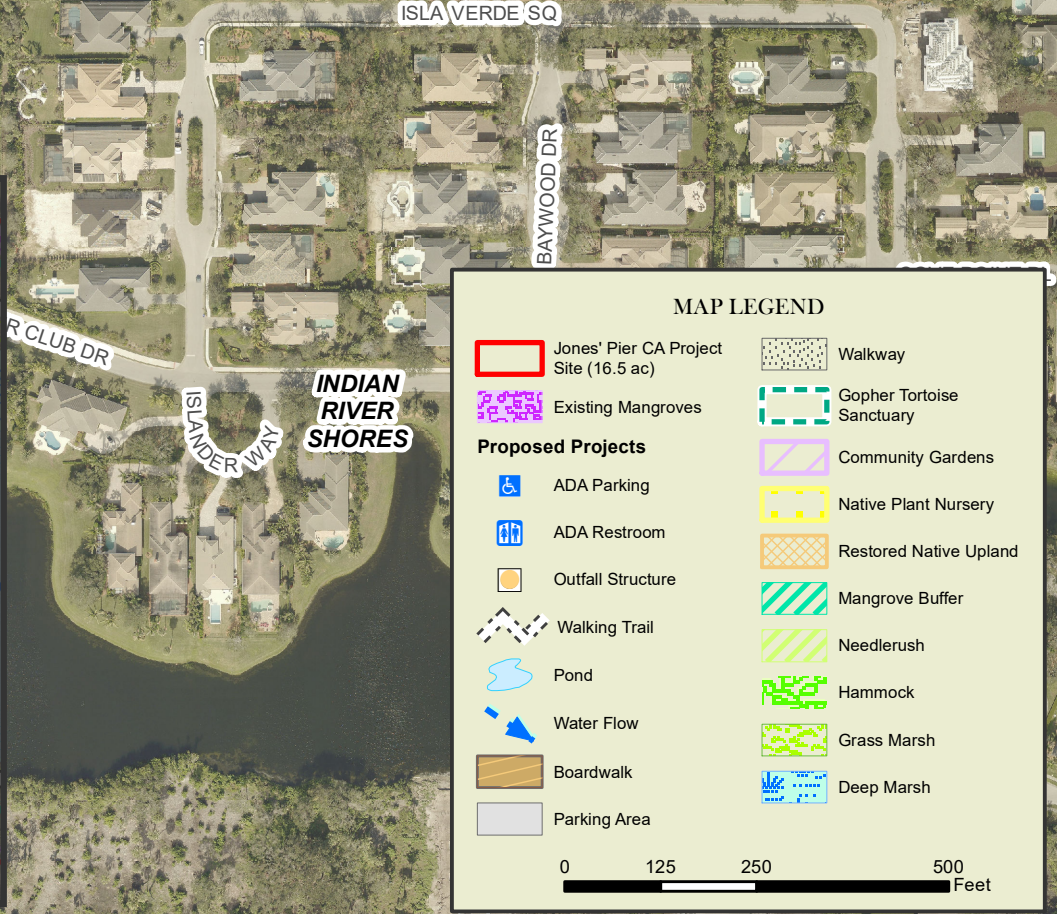
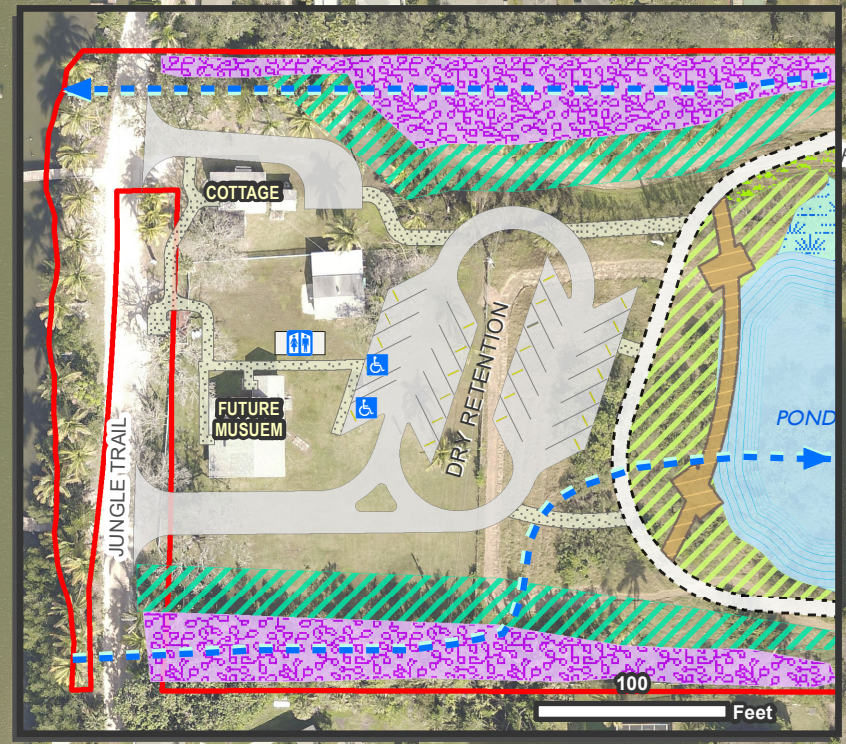
Jones' Pier Wetland Restoration Conceptual Project Plan

Indian River County, Florida



**JONES' PIER
CONSERVATION AREA**

INDIAN RIVER LAGOON



MAP LEGEND

Jones' Pier CA Project Site (16.5 ac)	Walkway
Existing Mangroves	Gopher Tortoise Sanctuary
Proposed Projects	Community Gardens
ADA Parking	Native Plant Nursery
ADA Restroom	Restored Native Upland
Outfall Structure	Mangrove Buffer
Walking Trail	Needlerush
Pond	Hammock
Water Flow	Grass Marsh
Boardwalk	Deep Marsh
Parking Area	

0 125 250 500
Feet

II. PUBLIC ACCESS FACILITIES

As part of the permitting for the project, the County was required to complete a comprehensive archaeological and cultural resource assessment of the site. The Department of Historical Resources (DHR) has reviewed and approved the findings of this assessment. While there were no archaeological issues with the undeveloped portions of the site, the report recommends that the entire site be re-classified as a Historic District. This classification will require that the County coordinate with the DHR on any planned modifications to the structures on site.

The County intends to convert the existing home and associated structures into facilities useful to the public. Structures on site were damaged during Hurricane Matthew, and the County is working with FEMA to complete repairs. This coordination with FEMA includes funding to elevate the main house on pilings to prevent future damage from storm surges and flooding. Post-construction, the site will include the following amenities:

- The **main house** will be elevated, repaired and re-purposed into a museum/nature center for display of educational materials. The interior of the house will be designed to provide display areas as well as space for project partners and County staff to coordinate activities. The plan is for the porch to be re-opened, and used to provide ADA accessible access to the building.
- The concrete **cottage** will be repaired and re-purposed as a utility building for County staff, project partners, and volunteers to use for mobilization, storage and meetings.
- The existing garage was constructed sometime during the late 1970's and is not considered a historic structure. This building is planned to be demolished and replaced with a multi-purpose **picnic pavilion/restroom**. The existing home and cottage are on septic systems – the County intends to connect the new restroom to sewer, which will be a more environmentally sensitive approach for wastewater disposal on the property.
- The County plans to construct a **parking area** behind the main house.
- The County received a grant from the DHR to re-construct the **historic fruit stand** on site. This fruit stand is depicted in photos from the late 1920's/early 1930's, and will serve as an educational “hub” linking all of the County's historic conservation lands.
- The **observation pier** was damaged during Hurricane Matthew but has since been repaired. There were no damages to the **historic dock**.
- A 1-mile **pedestrian loop trail** will be constructed along the perimeter of the site. A shorter loop trail will be created on the eastern side of the created wetland for visitors not wanting to walk around the entire site. **Observation boardwalks** may be constructed along the trail that will provide scenic views of the created wetland.

The County has received a Florida Inland Navigation District (FIND) grant in the amount of \$130,000 towards the construction of some of these proposed facilities.

III. ECOLOGICAL RESTORATION AND ENHANCEMENT

A review of historic imagery (c.1940's) does not provide much detail about past natural resources on the site (the majority of the land had been cleared by that point). Recent extreme weather events have resulted in significant alteration of the natural communities along Jungle Trail. In 2016, the storm surge from Hurricane Matthew and resulting persistent inundation of the un-

developed lands resulted in loss of maritime hammock along the Trail. The original management plan for the Jones' site outlined plans to "restore" hammock to the site; it is apparent that hammock restoration would be a poor choice given the changing conditions along Jungle Trail. Revised site planning has changes the focus from the original plan to create a mosaic of estuarine wetlands and uplands that will be constructed to withstand anticipated extreme weather events and the long-term effects of climate change.

Mangroves are the most dominant estuarine community along the Indian River County portion of the Lagoon. This project proposes to create herbaceous estuarine wetlands (high marsh) which are a rapidly diminishing resource within Indian River County due to replacement by groves and other development, or impounded for mosquito control. In consideration of this concern, a portion of the old grove on the Jones site is planned to be converted into a 4-acre saltmarsh. The wetland will provide many ecological and public benefits including: creation of potential habitat not common to the area; the removal of exotic species; circulating Lagoon waters through the site to provide water quality enhancement; re-grading altered areas of the site to improve connectivity between natural areas; re-directing runoff through the wetlands to aid in improving discharges to the Lagoon; re-vegetating with native upland species; perpetual site maintenance & monitoring; and extensive public educational opportunities.

The construction of this wetland will be partially funded through a grant received from the Indian River Lagoon National Estuary Program (IRLNEP). Permitting for the wetland construction is underway, and will include a detailed monitoring and maintenance plan to ensure the long-term viability of the system.

IV. EDUCATIONAL OPPORTUNITIES & PROJECT PARTNERS

The County has enlisted the help of local organizations for various aspects of the project: the **St John's River Water Management District (SJRWMD)** has indicated that they will provide input to maximize the treatment of stormwater associated with the project, as well as assistance with design of educational displays outlining water quality benefits to the Lagoon; **Harbor Branch** has indicated that they would like to include information on their marine mammal program; the **Smithsonian Institute** has indicated that they will assist the County with development of an oyster demonstration project, and may use the site for part of the Lagoon monitoring efforts; **Keep Indian River Beautiful (KIRB)** would like to provide educational materials on responsible disposal of materials and recycling efforts; the **IRC Historical Society** is willing to fund design and production of exhibits describing the working waterfront; the **IRC Mosquito Control District** will assist with management strategies to minimize production of mosquito larvae; the **Environmental Learning Center (ELC)** has indicated that they will participate in programming events; and the **UF Institute of Food and Agricultural Sciences (IFAS)** has stated that they would like to participate in the public outreach related to sustainability and resource conservation.

The County will develop an extensive educational program for the site that will focus on:

- Educational signage focusing on water quality in the IRL, with emphasis on the benefits of wetland restoration and BMP's that the public can adopt;

- Educational signage and other exhibits describing the need for proper management of stormwater entering the IRL;
- Educational signage and exhibits describing safe boating practices with respect to wildlife conservation and resource protection;
- Monthly educational programs on-site lead by staff or other project partners – these events will include both students and the general public;
- Educational exhibits detailing the history of the Jones’ site and its contribution to the IRL; and
- Coordination with the local public and private schools to incorporate visits to the property as part of their science curriculum.

V. WILDLIFE

Saltmarsh habitat is a rare resource within Indian River County. Protected species known to utilize saltmarsh habitat include: Reddish egret (*Egretta rufescens*), Roseate spoonbill (*Platalea ajaja*), Tricolored heron (*Egretta tricolor*), Wood stork (*Mycteria americana*), Atlantic salt marsh snake (*Nerodia clarkii taeniata*), and Little blue herons (*Egretta caerulea*). In addition, a wide variety of non-listed wading birds, songbirds, raptors, small mammals, fish and aquatic invertebrates would be expected to utilize the created habitat on site. The proposed wetland monitoring plan will include assessment of wildlife usage on site. This data will be evaluated as part of the operation of the wetland to ensure that foraging, roosting and nesting habitat is maximized.

In addition to wetland habitat, the site contains a small area inhabited by Florida gopher tortoises (*Gopherus polyphemus*). The County plans to improve the sustainability and resiliency of this area by increasing the elevations and re-vegetating with a mixture of desirable tortoise forage. The County has been collaborating with the Florida Fish and Wildlife Conservation Commission (FWC) on this effort, and will obtain required permitting for temporary relocation of the individuals on site. County environmental staff feel that although this population is small, the conservation of the tortoises on site will add to species diversity and will provide an educational opportunity for visitors to the site to learn about life history information and conservation efforts in place for Florida gopher tortoises.

VI. COMMUNITY GARDENS

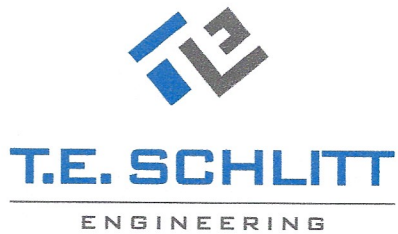
Future planning of the eastern portion of the site is underway. One of the options available includes establishing a community garden for use by the public. Community gardens can be a beneficial addition to many communities by increasing the availability of nutritious foods, strengthening community ties, and reducing environmental hazards. Community gardens also can help reduce negative environmental impacts by promoting sustainable agriculture and promoting best management practices for water conservation, soil conservation, fertilizer application, composting, and control of exotic species.

Working with IFAS and the local HOA’s and other groups, the County may pursue the establishment of a community garden on the Jones property. It is envisioned that that some of the fruits, vegetables and/or flowers from this garden may be periodically available for display and purchase at the newly renovated fruit stand during community events or other scheduled times.

VII. NATIVE PLANTINGS & NURSERY OPPORTUNITIES

All of the plant material installed as part of the restoration and enhancement of the site will consist of native species. The County plans to provide plantings along the proposed perimeter trail to replace non-native species, as well as to provide a buffer for adjacent residents. Markers may be placed in strategic locations along the trail to promote the use of native planting, and to provide species identification in the event that visitors want to incorporate specific plants in their landscaping.

A final component of the proposed site plan may include the establishment of a native plant nursery as part of the community garden. This nursery would be used to cultivate materials that may be planted on various public lands in the County, and may also be used to cultivate plants that can be displayed and/or sold at the renovated fruit stand during community events or other scheduled activities.



February 16, 2018

Mr. Steven Hitt
Indian River County Community Development Department
1801 27th St.
Vero Beach, FL 32960

Subject: Structural Inspection – Historical Jones Pier Residence
7770 Jungle Trail
Vero Beach, Florida 32963
Engineer's Project Number: 18J021
IRC PO# 80385-00

Dear Mr. Hitt:

As requested, we have completed our inspection of the subject property.

Description of Structure

The property is a one-story Historical residence that is approximately 1,368 square feet in Vero Beach, Florida located off Jungle Trail. The building was constructed in 1921 and consist of a wood frame rafter roof system, wood framed walls and a wood floor joist system with a crawlspace. The foundation is composed of 8x16 masonry piers, spaced approximately 6' to 8' on center.

Scope of Investigation

The purpose of our inspection was to evaluate the structural integrity and stability of the residence to raise the structure off it's existing foundation system and install a new foundation system. The lifting plan for the work was not included in the scope of this report. Our scope of work did not include engineering or designing any repairs or verifying for code compliance. Our inspection consisted of a visual survey of the exterior walls and soil probes along the exterior of the building where accessible. Please note we did not access the entire foundation system to verify every component, due to the difficulties of removing components for access and the limited crawlspace height. We removed four access panels around the perimeter to confirm construction methods and materials. We also visually confirmed the roof system through the attic access. The front porch roof framing and the wall framing was inaccessible due to finishes.

Our visual inspection was not expected to reveal elaborate defects, which are not evident by deterioration exposed to view or evident to the trained eye as the structure now stands. The certification contained in this report is based upon the limits of the structural inspection performed.

Discussion of structure

The following is a description of our findings based on our inspection of the property:

- Roof System
 - The 2x4 roof rafters are connected to a 1x6 ridge beam with toenails, but the rafters are not continuous to each side of the ridge beam.
 - The rafters have a diagonal and/or vertical chord near the middle of the span that connects to two interior walls that run north to south.
 - The bottom chord of the roof system was connected to the ceiling rafters with 2x4 blocks.
 - Gable end braces were not found.
 - The air handler in the attic was suspended from the roof system.
- Floor System
 - The floor decking is tongue and groove plank decking
 - The joists are 2x6's spaced approximately 24" on center and run north to south.
 - The joists bear directly on top of the interior beams.
 - The joists abut to the side of the perimeter rib board with toenail attachments
 - The interior beams are 3 ½" x 6 ¼" spaced approximately 6' on center and run east to west. They bear on 8x16 CMU piers spaced approximately 6' to 8' on center. A concrete pad is visible under some of the piers.
 - The perimeter beams are single 2x8's with 8x16 CMU piers located approximately 6' to 8' on center.

Discussion of findings

The following is a list of notable items for the Owner and Contractor to consider during lifting and repair operations. The lifting contractor should address or verify these items prior to commencing work.

- Roof System
 - Two load bearing walls appear to bear over the joists that run north to south. The joists then bear on the beams, which bear on the CMU piers.
- Floor System
 - One joist was found notched at the bottom. This joist was located at the south west corner of the building. A reduced capacity can be expected where this occurs, but this does not appear to jeopardize the structural performance at this time. The Engineer of Record for the building repairs shall determine if the expected future load case scenarios will affect this component.
 - The difference in bearing height between the interior beams and perimeter beams will most likely require a combination of blocking and shims to accommodate the difference in bearing heights during the lifting operations.
 - The beam to beam connection over the CMU piers does not have a plate or splice connection. This may encourage movement if they are not braced and lifted properly.

- OSHA standards shall be used during all operations
- Additional items to note prior to lifting the structure
 - Verify the power is off and disconnected
 - Disconnect the A/C system
 - Disconnect the two septic systems
 - Disconnect the plumbing systems
 - Window glazing may crack
 - Incidental utilities shall be braced appropriately. These include but are not limited to the following items:
 - Air handler, electrical fixtures, plumbing fixtures, cabinets, components and finishes inside the building

Conclusions and Recommendations

Based on our inspection, to the best of our knowledge and belief, the engineer certifies that the building is structurally sound at this time. Buildings of this construction type and age typically experience movement during lifting operations. These affects are normal, but care must be taken to minimize any potential damage. These affects tend to be minimized by lifting with hydraulic means.


Once all the lifting work is complete. The contractor shall make the attachments to the new foundation and repairs to the building per the approved plan from the Engineer of Record. The Engineer of Record for the building modifications shall determine if the expected future load case scenarios will affect any components to meet the appropriate code provisions.

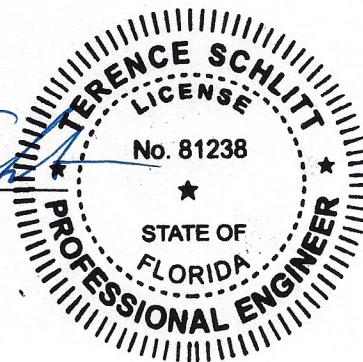
The findings and recommendations referenced in this report are the professional opinion of this firm based on information available at this time. If additional information is provided, we reserve the right to update our report accordingly.

Should you have any questions regarding the above subject, please call.

Very truly yours,

Terence Schlitt, P.E.
FL P.E. # 81238
CA #32295


February 16, 2018





Picture showing difference in bearing height for joists and beams



Picture showing rafters in attic with diagonal to wall below



Picture showing joists to beam connection and beam to beam scenario over CMU pier