		ROOM FINISH SCHEDULE					
$\blacklozenge$	FLOOR	$\mathbf{\Phi}$	BASE	$\Rightarrow$	WALLS	(	CEILING
1	CARPET MOWHAWK GROUP OR EQUAL, 24"x24" TILES, QUALITY, COLOR & PATTERN TO MATCH EXISTING IN ADJACENT AREAS	A	4" HIGH RUBBER COVE BASE ROPPE 700 SERIES COLOR TO MATCH EXISTING IN ADJACENT AREAS	1	NEW 5/8" TYPE "X" DRYWALL PAINTED 3 COATS (1 COAT PRIMER & 2 COATS FINISH) LATEX PAINT, EGGSHELL SHEEN COLOR BY OWNER	A	2' x 2' ACOUSTICAL TILE STYLE & HEIGHT TO MATC EXISTING, CEILING HGT. @ +/-9'-0" SEE SHEET "E-1" FOR PROJECTED AREAS FOR N REQUIRED CEILING FINISH
2	12"x12" VINYL COMPOSITE TILE (VCT) EXISTING TO REMAIN WHERE POSSIBLE.	В	4" HIGH RUBBER COVE BASE EXISTING TO REMAIN WHERE POSSIBLE.	2	EXISTING DRYWALL PAINTED 2 COATS (2 COATS FINISH) LATEX PAINT, EGGSHELL SHEEN COLOR BY OWNER		
				3	EXISTING CMU PAINTED 2 COATS (2 COATS FINISH) LATEX PAINT, EGGSHELL SHEEN COLOR BY OWNER		

1.ALL FINISHES TO BE AS SPECIFIED, UNLESS OTHERWISE NOTED.2.FOR CLARITY, THE LETTERS "I, O, S, & Z" ARE NOT USED.

SAMPLES OF ALL COLORS & PATTERNS FOR FINISHES TO BE SUBMITTED BY G.C. TO OWNER FOR FINAL SELECTION.

WALL LEGEND					
SYMBOL	DESCRIPTION				
	EXISTING FRAMED WALLS - TO REMAIN. SEE FLOOR PLAN FOR LOCATIONS.				
	EXISTING CMU WALLS - TO REMAIN. SEE FLOOR PLAN FOR LOCATIONS.				
	DEMOLISHED: EXISTING METAL STUD FRAMED WALLS, OTHER STRUCTURES & FIXTURES TO BE DEMOLISHED.				
	INTERIOR LOW HEIGHT WALL: LIGHT GAUGE METAL STUD FRAMED WALLS 10'-0" HIGH, w/ R-11 BATTS BETWEEN STUDS. 362S162-33 [33] STUDS SPACED @ 16" O.C. 362T125-33 TOP & BOTTOM TRACKS BRACING @ MID-POINT ALONG SPAN TYPICAL HEADER: (2) 362S162-43 [33] BOX HEADER 362T125-33 TOP & BOTTOM TRACK (1) 362S162-33 JACK STUD EACH END (1) 362S162-33 KING STUD EACH END (1) 362S162-33 KING STUD EACH END MAX. CLEAR SPAN 3'-6" SEE FLOOR PLAN FOR LOCATIONS.				
<ol> <li>ALL NEW INTERIOR M WALL TO EXISTING BI</li> <li>EXISTING WALL LOCA</li> </ol>	ETAL FRAMED WALLS TO HAVE SOUND BATT INSULATION. ETAL FRAMED WALLS TO BE BRACED SECURLY ALONG TOP OF JILDING STRUCTURE FRAME ABOVE AS REQUIRED. TION & ASSEMBLY TYPE INFORMATION SHOWN OBTAINED FROM A LDING SURVEY AND ORIGINAL CONSTRUCTION DRAWINGS				

## **DEMOLITION NOTES**

- $\begin{array}{|c|c|c|c|} \hline 1 & \text{REMOVE EXISTING ACOUSTICAL CEILING CEILING TILE AND GRID SYSTEM AS REQUIRED.} \\ \hline A.C.T. MATERIALS THAT ARE SUITABLE FOR RE-USE ARE TO BE STORED ON SITE. \end{array}$
- 2 REMOVE EXISTING DOOR, FRAME AND ALL RELATED HARDWARE. PREPARE REMAINING WALL TO RECIEVE INFILL FRAMING.
- $\langle 3 \rangle$  REMOVE PORTION EXISTING METAL STUD FRAMED WALL AS SHOWN.
- $\langle 4 \rangle$  REMOVE ENTIRE OF EXISTING METAL STUD FRAMED WALL AS SHOWN.
- $\overline{(5)}$  CUT NEW OPENING IN EXISTING METAL STUD FRAMED WALL AS SHOWN.
- (6) REMOVE EXISTING FLOOR FINISH IN ROOM SHOWN ONLY UP TO DOOR OPENING. PREPARE REMAINING CONCRETE SLAB TO RECEIVE NEW FLOOR FINISH PER FINISH SCHEDULE.

TYPICAL DEMOLITION NOTES:

PROVIDED BY CLIENT.

- 1. ALL MATERIALS RESULTING FROM DEMOLITION WORK TO BE DISPOSED OF PROPERLY.
- 2. BEFORE DEMOLISHING WALLS SEE PROPOSED FLOOR PLAN DRAWINGS FOR DIMENSIONS TO DETERMINE PORTIONS OF WALL REQUIRED TO BE REMOVED.
- 3. REPAIR OR REPLACE ALL STRUCTURAL MEMBERS THAT ARE DISCOVERED TO BE DAMAGED FROM WATER EXPOSURE, INSECT INFESTATION, ETC.
- 4. ALL STRUCTURAL FRAMING OF ROOFS AND FLOORS THAT ARE POSSIBLY SUPPORTED BY LOAD BEARING WALLS BENEATH THEM ARE TO BE SHORED UP WITH "TEMPORARY BRACING WALL" BEFORE REMOVING ANY FRAMING MEMBERS OF WALLS.
- 5. "TEMPORARY BRACING WALL" TO BE OF SIMILAR CONSTRUCTION OF LOAD BEARING WALL THAT IS BEING DEMOLISHED, AND IS TO BE LOCATED IN A MANNER TO PROVIDE AN ADEQUATE LOAD PATH DOWN TO FOUNDATION BELOW.
- 6. ALL EXISTING PIPING OF PLUMBING SYSTEMS BELOW CONCRETE SLAB AFFECTED BY DEMOLITION WORK TO BE PROPERLY CAPPED OFF BELOW FINISH FLOOR LEVEL.
- 7. ALL ELECTRICAL AND MECHANICAL SYSTEMS AFFECTED BY DEMOLITION WORK TO BE PROPERLY REMOVED. ABANDONMENT OF EXISTING ROUGH-IN WORK IS NOT ALLOWED.
- 8. REPORT ALL DISCREPANCIES TO DESIGNER IMMEDIATELY.

