

ABBREVIATIONS										SYMBOLS										GENERAL PROJECT NOTES									
A	ABOVE	ENGR	ENGINEER	LOC	LOCATE, LOCATED, LOCATION	SECT	SECTION	DRAWING REFERENCE		COORDINATION		SYSTEMATIC METHODS		REVISION		DATE													
ABV	ABOVE	EQ	EQUAL	LLH	LONG LEG HORIZONTAL	SEP	SEPARATE, SEPARATED, SEPARATION	DRAWING TITLE		A. VERIFY DIMENSIONS, ELEVATIONS AND EXISTING CONDITIONS AT THE SITE BEFORE COMMENCING WORK OR REPORT DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION PRIOR TO THE START OF WORK. DO NOT SCALE DRAWINGS.		A. ALL DIMENSIONS, NOTES, FINISHES AND FIXTURES SHOWN ON TYPICAL FLOOR PLANS, SECTIONS OR DETAILS SHALL APPLY TO ALL SIMILAR, SYMMETRICAL, OR OPPOSITE HAND PLANS, SECTIONS OR DETAILS.																	
AFF	ABOVE FINISHED FLOOR	EQUIP	EQUIPMENT	LLV	LONG LEG VERTICAL	SS	SERVICE SINK	1. DETAIL TITLE DETAIL NUMBER		B. SHOULD THE SPECIFICATIONS FAIL TO PARTICULARLY DESCRIBE THE MATERIAL TO BE USED IN ANY PLACE, THEN IT SHALL BE THE DUTY OF THE CONTRACTOR TO SUBMIT A REQUEST FOR INTERPRETATION.		B. 'TYPICAL' OR 'TYP' SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS NOTED OTHERWISE (UNO). DETAILS ARE USUALLY KEYS AND NOTED 'TYP' ONLY ONE TIME WHEN THEY FIRST OCCUR.																	
AP(R)	ACCESS PANEL (FIRE RATED)	EPDM	ETHYLENE PROPYLENE DIENE MONOMER	LONG	LONGITUDINAL	SHGT	SHEATHING	ENLARGED PLAN / PLAN DETAIL REFERENCE		C. STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, AND LANDSCAPE DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS, BUT TOGETHER WITH THE ARCHITECTURAL DRAWINGS FORM THE COMPLETE SCOPE OF WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTORS TO COMPLY WITH AND COORDINATE THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF STRUCTURAL, MECHANICAL, ELECTRICAL, FIRE PROTECTION, AND PLUMBING WORK. SHOULD THERE BE A DISCREPANCY DISCOVERED BETWEEN THE ARCHITECTURAL DRAWINGS AND THE CONSULTANT ENGINEERS' DRAWINGS, IT SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION PRIOR TO THE INSTALLATION OF SAID WORK. CONTRACTORS SHALL NOT EITHER KNOWINGLY OR IF THEY SHOULD HAVE KNOWN BASED ON INFORMATION CONTAINED IN THE CONTRACT DOCUMENTS, INSTALL WORK IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS. ANY SUCH WORK SHALL BE CORRECTED BY THE CONTRACTOR(S) AT HIS EXPENSE AND AT NO ADDITIONAL COST TO THE OWNER OR ARCHITECT.		D. 'AS REQUIRED' SHALL MEAN THAT THE REQUIRED COMPONENTS TO COMPLETE THE NOTED SYSTEM AS INDICATED IN THE PROJECT DOCUMENTS, SHALL BE PROVIDED.																	
AP(N)	ACCESS PANEL (NOT RATED)	EXH	EXHAUST	LVR	LOUVER	SHT	SHEET	SHEET NUMBER WHERE DETAIL IS SHOWN		D. WHERE A CONFLICT OCCURS BETWEEN ONE SCOPE OF WORK AND ANOTHER, PREPARE A COMPLETE INTERFERENCE DRAWING FOR DISCUSSION WITH THE ARCHITECT. INTERFERENCE DRAWING SHALL SHOW ALL RELATIONSHIPS TO SURROUNDING WORK, DIMENSIONS, CLEARANCES, ANCHORAGES AND OTHER PERTINENT INFORMATION REQUIRED FOR THE CONSULTANT TO RENDER AN INFORMED OPINION.		D. 'ALIGN' SHALL MEAN ACCURATELY PROVIDE FINISH FACES OF THE MATERIALS IN A STRAIGHT, TRUE AND PLUMB RELATION TO ADJACENT MATERIALS.																	
AWC	ACoustic WALL COVERING	EXIST	EXISTING	LOW PT	LOW POINT	SR	SHEET RUBBER FLOORING	DETAIL NUMBER		E. ALL MANUFACTURED MATERIALS USED SHALL BEAR THE APPROPRIATE UNDERWRITERS' LABORATORIES (UL) LABELS.		F. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE SHOWN, WHERE SPECIFIC DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.																	
APC	ACoustICAL PANEL	EXP	EXPANSION	LP	LOW POINT, LIGHT POLE	SV	SHEET VINYL FLOORING	SHEET NUMBER WHERE DETAIL IS SHOWN		F. CONTRACTOR(S) SHALL VERIFY SIZES AND LOCATIONS OF ALL MECHANICAL EQUIPMENT PADS AND BASES AS WELL AS POWER, WATER AND DRAIN INSTALLATIONS WITH EQUIPMENT MANUFACTURERS BEFORE PROCEEDING WITH THE WORK, CHANGES TO ACCOMMODATE FIELD CONDITIONS OR SUBSTITUTIONS SHALL BE MADE WITHOUT ADDITIONAL COST TO OWNER OR ARCHITECT.		G. LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE. DETAILS TAKE PRECEDENCE OVER ALL.																	
ADDL	ADDITIONAL	EJ	EXPANSION JOINT	LVT	LUXURY VINYL TILE	SHWR	SHOWER	ELEVATION REFERENCE - EXTERIOR		G. CONTRACTOR(S) SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACK UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK, TOILET ROOM ACCESSORIES AND PARTITIONS AND ALL WALL MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL, PLUMBING OR MISCELLANEOUS EQUIPMENT.		H. THE PHRASE "MOCK UP" AND "IN PLACE SAMPLES" ARE USED INTERCHANGEABLY.																	
ADJ	ADJACENT	EXP STRUCT	EXPOSED STRUCTURE	LBFT	POUND PER FOOT	SHR	SHOWER	SHEET NUMBER WHERE ELEVATION IS SHOWN		H. CONTRACTOR(S) SHALL VERIFY ALL CONCRETE OPENINGS IN THE FIELD PRIOR TO THE FABRICATION OF DOORS AND FRAMES.																			
ADJ	ADJUSTABLE	EXT	EXTERIOR	M	MACHINE	SGL	SINGLE	ELEVATION NUMBER		I. CONTRACTOR TO COORDINATE THE EXACT DIMENSIONS, SIZES AND POSITION OF OPENINGS IN SLABS AND WALLS AND COORDINATE PLUMBING AND MECHANICAL DRAWINGS FOR STRUCTURAL BEAMS TO BE SLEEVED PRIOR TO COMMENCING STRUCTURAL WORK.																			
AGG	AGGREGATE	EIFS	EXTERIOR INSULATION FINISH SYSTEM	MACH	MACHINE	SPR	SINK CABINET	SHEET NUMBER WHERE ELEVATION IS SHOWN		J. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. PERFORMANCE BY THE CONTRACTOR(S) SHALL BE REQUIRED TO THE EXTENT CONSISTENT WITH THE CONTRACT DOCUMENTS, REASONABLY INFERRABLE FROM THEM AND REASONABLY FORESEEABLE, USING THE MEANS, METHODS AND PROCEDURES NECESSARY TO PRODUCE THE INTENDED RESULTS. SUBCONTRACTORS FOR EACH TRADE ARE ADVISED THAT INFORMATION PERTINENT TO THE SCOPE OF WORK MAY OCCUR IN OTHER PORTIONS OF THE CONTRACT DOCUMENTS. REFER TO CIVIL, STRUCTURAL, MECHANICAL, PLUMBING, FIRE PROTECTION, ELECTRICAL, ETC. FOR ADDITIONAL NOTES. ALL NOTES ARE TO BE REVIEWED AND APPLIED TO RELATED BUILDING COMPONENTS. NOTES ON ANY ONE SHEET ARE TO BE APPLIED TO RELATED DRAWINGS AND DETAILS.																			
AC	AIR CONDITION(ING)	F	FABRIC	MAINT	MAINTENANCE	SW	SLAT WALL	ELEVATION REFERENCE - INTERIOR		K. THE CONTRACTOR(S) SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS, INCLUDING, BUT NOT LIMITED TO, CRITICAL DIMENSIONS FOR CASEWORK AND GLAZING PRIOR TO THE COMMENCEMENT OF THE WORK. SHOULD A DISCREPANCY OCCUR THE CONTRACTOR(S) IS TO NOTIFY THE ARCHITECT PRIOR TO THE COMMENCEMENT OF THE WORK. THE CONTRACTOR(S) SHALL CORRECT ALL DEVIATIONS AND MAKE ANY ADJUSTMENTS TO THE WORK BEFORE HE BEGINS HIS PORTION OF THE WORK.																			
AHU	AIR HANDLING UNIT	FWC	FABRIC WALL COVERING	MH	MANHOLE	SLV	SLEEVE	SHEET NUMBER WHERE SECTION IS SHOWN		L. THE CONTRACTOR(S) SHALL VISIT THE SITE AND BE KNOWLEDGEABLE OF CONDITIONS THEREON. HE SHALL INVESTIGATE, VERIFY AND BE FAMILIAR WITH CONDITIONS OF THE PROJECT. HE SHALL NOTIFY THE OWNER OF ANY CONDITIONS REQUIRING MODIFICATION BEFORE PROCEEDING WITH THE WORK.																			
ALT	ALTERNATE	FAB	FABRICATED	MFR	MANUFACTURER, MANUFACTURED	SLD	SLIDING	SECTION NUMBER		M. THE CUTTING OF EXISTING CONSTRUCTION AND FINISHES SHALL BE REPAIRED WHERE CUT OR DAMAGED BY OTHER PORTIONS OF THE WORK BY TRADES PEOPLE WHO ARE BY TRAINING AND EXPERIENCE QUALIFIED TO MAKE SUCH REPAIRS, SHALL PERFORM THE REPAIRS.																			
ALUM	ALUMINUM	FACE OF CONCRETE / CURB	MF	MANUFACTURERS FINISH	MB	MARKER BOARD	SCD	SOAP DISPENSER	SHEET NUMBER WHERE SECTION IS SHOWN		N. SEAL ALL STAIR STRINGERS AND LANDINGS TO THE WALL WHERE A TIGHT UNIFORM FIT HAS NOT BEEN FURNISHED AT THE WALL AND STAIR STRINGER CONDITION.																		
ALC	ALUMINUM COMPOSITE MATERIAL	FOF	FACE OF FINISH	MCJ	MASONRY	SSM	SOLID CORE WOOD	WALL SECTION / DETAIL SECTION REFERENCE		O. ENSURE THAT WALL FINISH MATERIALS SUCH AS PAINT ARE COMPATIBLE WITH SEALANT MATERIAL UTILIZED IN THE WALL CONSTRUCTION.																			
AMT	AMOUNT	FOM	FACE OF MASONRY	MAS	MASONRY	SS	SOLID SURFACE MATERIAL	SECTION NUMBER		P. ANY DETAILS, SYSTEMS, MATERIALS, (I.E. ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC.) WHICH ARE PROPOSED TO BE CHANGED BY THE CONTRACTOR MUST FIRST BE REVIEWED BY THE OWNER, ARCHITECT AND GENERAL CONTRACTOR PRIOR TO THE PREPARATION OF SHOP DRAWINGS.																			
AB	ANCHOR BOLT(S)	FOS	FACE OF STUDS	MCJ	MASONRY CONTROL JOINT	SS	SOLID SURFACE MATERIAL	SHEET NUMBER WHERE SECTION IS SHOWN		Q. PROVIDE ACCESS PANELS IN CEILINGS WHERE REQUIRED FOR ACCESS TO ALL EQUIPMENT AND OR DEVICES ARCHITECT TO REVIEW PROPOSED LOCATIONS, COORDINATE THE REQUIREMENT WITH WORK OF OTHER TRADES SHOWN ON THE DRAWINGS AND IN THE PROJECT MANUAL.																			
ANOD	ANODIZED	FFIN	FACTORY FINISH	MO	MASONRY OPENING	SAB	SOUND ATTENUATION BLANKET	ROOM TAG SYMBOL		R. WHETHER OR NOT EXPLICITLY INDICATED, ALL GLAZING SHALL BE SAFETY GLAZING WHEN WITHIN 18" OF THE FLOOR OR WITHIN 36" HORIZONTAL DISTANCE FROM ANY DOOR.																			
APL	APPLICATION	FAR SDC	FABRIC GYPSUM BOARD	MATL	MATERIAL	STC	SOUND TRANSMISSION CLASS	ROOM NAME		S. PROVIDE SHOP DRAWINGS AND COORDINATION DRAWINGS TO GUIDE THE FIELD INSTALLATION OF ALL SYSTEMS. THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL NOT USE THESE DIAGRAMMATIC CONTRACT DOCUMENTS AS THEIR SHOP AND COORDINATION DRAWINGS.																			
APPD	APPROVED	FRP	FIBER GYPSUM BOARD	MAX	MAXIMUM	S	SOUTH	ROOM NUMBER		T. IN AREAS INDICATED BY THE FINISH PLANS TO BE PAINTED AND WHERE NO CEILING IS INDICATED, PAINT SHALL EXTEND TO THE BOTTOM OF THE FLOOR OR ROOF STRUCTURE. TYPICAL, REFER TO REFLECTED CEILING PLANS AND FINISH SPECIFICATIONS FOR PAINTING OF EXPOSED STRUCTURE.																			
APPROX	APPROXIMATE(LY)	MECH	MECHANICAL	SPA	SPACE(S)	SPA	SPACE(S)	ROOM NET AREA (WHERE SHOWN)		U. WHEN OUTLETS ARE GRAPHICALLY SHOWN AS OCCURRING BACK-TO-BACK, THEY SHOULD BE SEPARATED BY A STUD. SEE ACoustICAL PENETRATION DETAILS. WHERE DIMENSIONS ARE SHOWN WHICH CONFLICT WITH THIS, OBTAIN DIRECTION FROM ARCHITECT.																			
ARCH	ARCHITECT(URAL)	MEP	MECHANICAL, ELECTRICAL, PLUMBING	SPEC	SPECIFIED	SEP	SEPARATE, SEPARATED, SEPARATION	DOOR TAG SYMBOL		V. MINIMUM DIMENSIONS FOR ACCESSIBILITY CLEARANCES AND BUILDING CODE REQUIREMENTS SHALL BE MAINTAINED.																			
A/E	ARCHITECT/ENGINEER	FF	FILTER FABRIC	MED	MEDIUM	SPEC'D	SPECIFIED	DOOR NUMBER		W. FLOOR ELEVATIONS ARE INDICATED FROM TOP OF SLAB, UNLESS NOTED OTHERWISE.																			
ASPH	ASPHALT	FIN FLR	FINISH FLOOR	MED	MEDIUM DENSITY FIBERBOARD	SPLIT FACE	SPLIT FACE	DIMENSIONS		X. VERTICAL DIMENSIONS ARE INDICATED FROM THE FLOOR ELEVATION TO THE FACE OF FINISHED MATERIAL, UNLESS OTHERWISE NOTED ABOVE FINISH FLOOR (AFF).																			
@	AT	FIN GR	FINISH GRADE	MDO	MEDIUM DENSITY OVERLAY	SPRKR	SPRINKLER	DIMENSION TO FACE OR EDGE OR CENTERLINE		Y. ALL DIMENSIONS INDICATED TO BE CLEAR / CLR SHALL BE PROVIDED AS A MINIMUM CLEAR DIMENSION TO BE MAINTAINED BETWEEN FINISHED PARTITIONS AND MATERIALS (INCLUSIVE OF FINISH MATERIALS).																			
AV	AUDIOVISUAL	FO	FINISH OPENING	MTL	METAL	SC	SPRINKLER CONTRACT(OR)	CLEAR DIMENSION TO FINISH FACE		Z. ALIGNMENT OF PARTITIONS AND FINISHES AS SCHEDULED SHALL BE STRAIGHT, TRUE AND PLUMB.																			
AVC	AUDIOVISUAL CONTRACT(OR)	FIN	FINISHED	MCM	METAL COMPOSITE MATERIAL	SO	SQUARE	MISCELLANEOUS TAGS AND SYMBOLS																					
ADPP	AUTOMATIC DOOR PRESSURE PLATE	FDC	FIRE DEPARTMENT CONNECTION	MP	METAL PANEL	SF	SQUARE FOOT, SQUARE FEET	SECOND FLOOR																					
AUX	AUXILIARY	MEZ	FIRE DEPARTMENT VALVE	MPH	MILES PER HOUR	SQ	SQUARE INCH	ITEM IDENTIFIED																					
AVE	AVERAGE	FEB	FIRE EXTINGUISHER	MIN	MINIMUM	ST	STAIN	ELEVATION ABOVE FLOOR																					
B	BAMBOO	FEC	FIRE EXTINGUISHER W/ BRACKET	MIR	MIRROR	STM	STAIN TO MATCH	RF-SBS-4		ROOF SYSTEM																			
B CAB	BASE CABINET	FHR	FIRE HOSE AND RACK	MISC	MISCELLANEOUS	SST	STAINLESS STEEL	EWS-BR-STUD-4G-FR		EXTERIOR WALL SYSTEM		NOTE: SEE EXTERIOR SUB-SYSTEM TYPES FOR ADDITIONAL INFORMATION																	
B/C	BASE PLATE OR BEARING PLATE	HC	FIRE HOSE CABINET	STD	STANDARD	STO	STORM DRAIN	FL-GRADE-4VB		FLOOR SYSTEM																			
BSMT	BASEMENT	FH	FIRE HYDRANT	MGB	MOISTURE RESISTANT GYPSUM BOARD	SP	STAIR	901-4B		PARTITION TYPE		(SEE PARTITION TYPE LEGEND FOR ADDITIONAL INFORMATION)																	
BM	BEAM	FP	FIRE PROOFING	MDG	MOLDING	STL	STEEL	SF-E-22		WINDOW / STOREFRONT / CURTAIN WALL / LOUVER TYPE																			
BRG	BEARING	FR	FIRE RATED, FIRE RESISTANT, FIRE RETARDANT	MON	MONUMENT	STIFF	STIFFENER	CLG MATL 1/4"		CEILING MATERIAL																			
BFF	BELOW FINISH FLOOR	TREATED		MTD	MOUNTED	STOR	STORAGE	GB-24		TOILET ACCESSORY TAG																			
BNK	BENCH MARK	FIXT	FIXTURE	MUL	MULLION	SD	STORM DRAIN	FEC-SR		FIRE EXTINGUISHER (MULTI-PURPOSE) IN WALL MOUNTED CABINET STYLE																			
BT	BENT	FLASH	FLASHING	STRUCT	STRUCTURAL	ST	STAIN	FEC-B		FIRE EXTINGUISHER (MULTI-PURPOSE) ON WALL BRACKET																			
BTWN	BETWEEN	FLR	FLOOR	NS	NEAR FACE	SBFL	SUB-FLOOR	FB		FB - FLOOR BOX OR POKE-THROUGH, SEE ELEC. VERIFY EXACT LOCATION WITH ARCHITECT PRIOR TO INSTALLATION																			
BTMIN	BITUMINOUS	FCO	FLOOR CLEAN OUT	NF	NEAR SIDE	SUB	SUBSTITUTE	FB																					
BLK	BLOCK	FD	FLOOR DRAIN	NSF	NET SQUARE FEET	SA	SUPPLY AIR																						
BLKG	BLOCKING	FE	FLOOR TO FLOOR	HRC	FLOOR REDUCTION COEFFICIENT	SURF	SURFACE																						
BO	BOARD	FSE	FLOOR SERVICE EQUIPMENT	NOM	NOMINAL	SM	SURFACE MOUNTED																						
BW	BOTH WAYS	FSEC	FOOD SERVICE EQUIPMENT CONTRACT(OR)	NS	NON SHRINK	SUSP	(SUSPENDED)																						
BT	BOTTOM	FT	FOOT OR FEET	N	NORTH	SYM	SYMMETRY/SYMMETRICAL																						
BOS	BOTTOM OF STEEL	FTG	FOOTING	NA	NOT APPLICABLE	T	TACK BOARD																						
BV	BOTTOM OF WALL	FTN	FOUNDATION	NC	NOT IN CONTRACT	TS	TACK SURFACE / TACK STRIP																						
BR	BRICK	FS	FULL SIZE	O (#)	NUMBER	TF	TACKABLE FABRIC																						
BRP	BRICK PAVERS	FT	FULLY TEMPERED (GLASS)	O		TCAB	TALL CABINET																						
BTU	BRITISH THERMAL UNIT	FURN	FURNITURE, FURNISH (ED)	OFF	OFFICE	TAP	TAPERED																						
BRZ	BRONZE	FURR	FURRING	OC	ON CENTER	TEL COM	TELECOMMUNICATIONS																						
BLDG	BUILDING	G	GALVANIZED	OPNG	OPENING	TEL COM	TELECOMMUNICATIONS CONTRACT(OR)																						
BEJ	BUILDING EXPANSION JOINT	GALV	GALVANIZED	OPR	OPERABLE	TEL	TELEPHONE																						
BU	BUILT-UP	GAGE	GAGE/GAGE	OPP	OPPOSITE	TV	TELEVISION																						
BUR	BUILT-UP ROOFING	GEN	GENERAL	OH	OPPOSITE HAND	TEMP	TEMPERATURE																						
BLVD	BUILDING VARIATION	CC	GENERAL CONTRACT(OR)	ORIG	ORIGINAL	T & S	TEMPERATURE & SHRINKAGE																						
BLVD	BUILDING VARIATION	GDR	GENERAL CONTRACT(OR)	ORN	ORNAMENTAL	TMP CL	TEMPERED GLASS																						
C	CABINET	GLC	GLASS BLOCK	OZ	OUNCE	TEMP	TEMPORARY																						
CAB	CABINET	GLCB	GLASS BLOCK REINFORCED CONCRETE	OVO	OUT TO OUT	TZ	TERRAZZO																						
CH	CABINET HEATER	GL	GLASS OR GLAZING	OO	OUTSIDE DIAMETER	TT	TERRAZZO TILE																						
CHPT	CARPET TILE	GT	GLASS TILE	OF	OUTSIDE FACE, OVERFLOW	TH	THRESHOLD																						
CPTT	CARPET TILE	GLZD	GLAZED	OA	OVERALL	TH	THRESHOLD																						
CI	CAST IRON	GT	GLAZED TILE	OAL	OVERALL LENGTH	THRU	THROUGH																						
CIP	CAST IRON PIPE	GWT	GLAZED WALL TILE	ORD	OVERFLOW ROOF DRAIN	TLT	TOILET																						
CIP	CAST-IN-PLACE	GB	GRAB BAR, GRADE BEAM	OS	OVERFLOW SCUPPER	TA	TOILET ACCESSORY																						
CIB	CATCH BASIN	GR	GRADE	OR	OVERFLOW	TPD	TOILET PAPER DISPENSER																						
CLG	CEILING	GRD	GRADE	OFI	OWNER FURNISHED CONTRACTOR INSTALLED	TPN	TOILET PARTITION																						
CEN	CEMENT	GROM	GROMMET	COFI	OWNER FURNISHED OWNER INSTALLED	TGN	TONGUE AND GROOVE																						
CBM	CEMENTITIOUS BACKER BOARD	GND	GROUND	PTB	PARTICLE BOARD	TAB	TOP & BOTTOM																						
CTR	CENTER	GR	GROUT	P	PAINT	T/	TOP OF																						
CL	CENTERLINE	GR	GUARDRAIL	PTM	PAINT TO MATCH	T/CONC	TOP OF CONCRETE																						
CL	CENTER OF GRAVITY	GYP	GYPSUM	PTD	PAINTED	TFTG	TOP OF FOOTING																						
CC	CENTER TO CENTER	GYP BD	GYPSUM BOARD	PR	PAIR	TJST	TOP OF JOIST																						
CER	CERAMIC	GB	GYPSUM BOARD	PNL	PANEL	TIMAS	TOP OF MASONRY																						
CMT	CERAMIC MOSAIC TILE	GRG	GYPSUM FIBER REINFORCED GYPSUM	PJ	PANEL JOINT	T/S	TOP OF STEEL, STRUCTURE OR SLAB																						
CT	CEILING	CSB	GYPSUM SHEATHING BOARD	PNGS	PANELING	TPW	TOP OF WALL																						
CTB	CEILING	GVB	GYPSUM WALL BOARD	PTD	PAPER TOWEL DISPENSER	TR	TRASH RECEPTACLE																						
CWT	CERAMIC WALL TILE	H		PART BD	PARTICLE BOARD	T	TREAD																						
CR	CHAIR RAIL	HCP	HANDICAPPED	PTN	PARTITION	TPN	TYPICAL																						
CHBD	CHALK BOARD	HDRAL	HANDRAIL	PTN	PARTITION	TYP	TYPICAL																						
CHAM	CHAMBER	HDBD	HARDBOARD	PR	PERFORATED	UB	UNDER-CUT																						
CL	CLAY PAVERS	HWDR	HARDWARE	PERF	PERFORATED	US	UNDERSIDE OF																						
CO	CLEAN OUT	HDWD	HARDWOOD	PERIM	PERIMETER	UL	UNDERWIRE'S LABORATORY																						
CLR	CLEAR(ANCE)	HW	HARDWOOD FLOORING	PLAS	PLASTER	UNFIN	UNFINISHED																						
CL	CLOSET	HD	HEAD	PLAM	PLASTIC LAMINATE	UPH	UPHOLSTERED																						
CL	CLOSET	HTG	HEATING	PL	PLATE, PROPERTY LINE	UPH	UPHOLSTERED																						
CMF	COLD FORMED METAL FRAMING	HC	HEATING CONTRACT(OR)	PLUMB	PLUMBING	UNO	UNLESS NOTED OTHERWISE																						
CW	COLD WATER	HVAC	HEATING, VENTING, AIR CONDITIONING	PC	PLUMBING CONTRACT(OR)	UTL	UTILITY																						
COL	COLUMN	HT	HEIGHT	PLYWD	PLYWOOD	V	VALVE																						
CWP	COMPOSITE WALL PANEL	Hr H	HIGH	PT	POINT	VAC	VACUUM																						
CONC	CONCRETE	H	HIGH POINT	POL	POLISHED	VB	VALVE BOX																						
CS	CONCRETE MASONRY UNIT	HS	HIGH STRENGTH	POLY	POLYVINYL CHLORIDE	VB	VAPOR BARRIER																						
CONN	CONNECTION	HMB	HIGH STRENGTH BOLT	PORC	PORCELAIN	VAR	VARIABLE AIR VOLUME																						
CONST	CONSTRUCTION	HSB	HOLLOW METAL	PVC	PVC	VARS	VARIABLES																						
CJ	CONSTRUCTION / CONTROL JOINT	HK	HOOK	PCI	POUNDS PER CUBIC INCH	VARN	VARNISH																						
CONT	CONTINUOUS	HORIZ	HORIZONTAL	PLF	POUNDS PER LINEAR FOOT	VTR	VENT THROUGH ROOF																						
CONTR(S)	CONTRACTOR(S)	HB	HOLE BIB	PSF	POUNDS PER SQUARE FOOT	VENT	VENTILATION (OR VENTILATOR)																						
CK	CORK	HW	HOT WATER	PSI	POUNDS PER SQUARE INCH	VERT	VERTICAL																						
CNGD	CORNER GUARD	HHW	HOT WATER HEATER	PP	POWER POLE	VEST	VESTIBULE																						
CG	CORNER GUARD	H	HOUR	PC	PRECAST	VAT	VINYL ASBESTOS TILE																						
CMP	CORRUGATED METAL PIPE	HR		PCST	PRECAST	VB	VINYL BASE																						
CNT	COUNTER	ILLUM	ILLUMINATED	PREFAB	PREFABRICATED	VCT	VINYL COMPOSITION TILE																						
CSK	COUNTERSUNK	IN	INCH(ES)	PREFIN	PREFINISHED	VP	VINYL PLANK FLOORING																						
CRSE	COURSE(S)	INCL	INCLUDE(S)	PT	PRESSURE TREATED	VT	VINYL TILE																						
CF	CUBIC FOOT	INFO	INFORMATION	PROP	PROPOSED	VWC	VINYL WALLCOVERING																						
CY	CUBIC YARD	ID	INSIDE DIAMETER	PA	PUBLIC ADDRESS	VIT	VITREOUS																						
DL	DEAD LOAD	O	INSIDE FACE	Q	QUANTITY	VL	VOLUME																						
DK	DECK	QTY	QUANTITY	QTY	QUANTITY	WH	HOT WATER HEATER																						
DP	DEEP	INST	INSTALL, INSTALLED, INSTALLATION	QTY	QUANTITY	WL	WALL																						
DEFL	DEFLECTION	IG	INSULATED GLASS	R	RADIATOR	WAB	WALL CABINET																						
DEGR	DEGRADE	INSUL	INSULATION	RP	RADIATOR	WTR	WATER																						
DMSG	DEMISING	INT	INTERIOR	RAD	RADIATOR	WC	WATER CLOSET																						
DEMO	DEMOLITION	INV	INVERT	RAD	RADIATOR	WR	WATER RESISTANT																						
DINT	DEMOUNTABLE	I.J.	ISOLATION JOINT	RVC	RAIN WATER CONDUCTOR	WS	WATER STOP																						



A



B



C



D



E



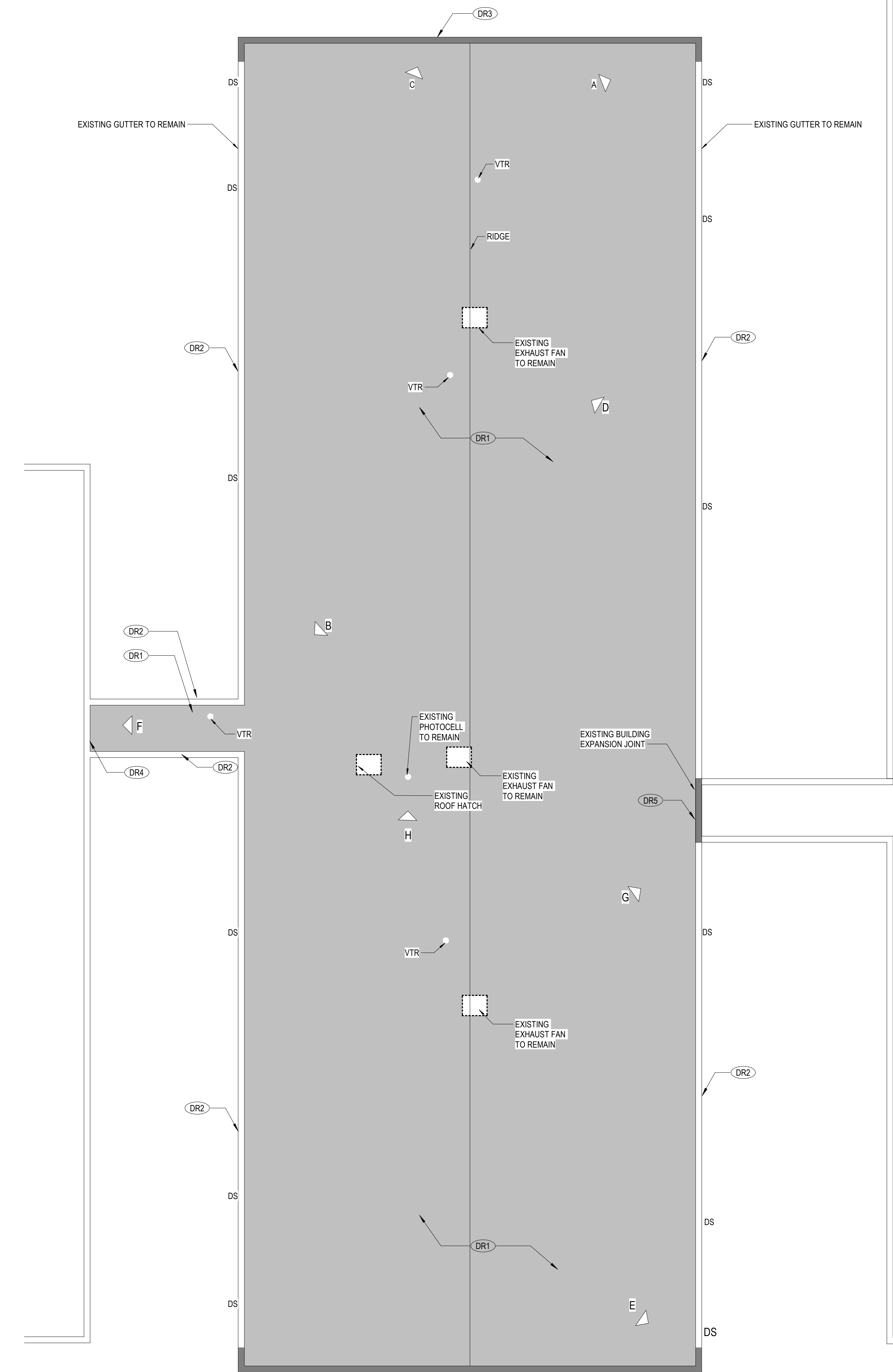
F



G



H



ROOF DEMOLITION PLAN

GENERAL DEMOLITION NOTES

- EXISTING CONDITIONS ILLUSTRATED AS OF **OCTOBER 2021**. AFTER SURVEY AND PRIOR TO CONSTRUCTION, OWNER MAY REMOVE SOME ITEMS NOTED TO BE REMOVED AS A PART OF THIS CONTRACT.
- PRIOR TO PREPARING THE BID, THE CONTRACTOR AND SUBCONTRACTORS SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS, MAKE ALL NECESSARY INVESTIGATIONS AS TO LOCATIONS OF UTILITIES AND ALL OTHER MATTERS WHICH CAN AFFECT THE WORK. NO ADDITIONAL COMPENSATION WILL BE MADE TO THE CONTRACTOR AS A RESULT OF HIS FAILURE TO FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS UNDER WHICH THE WORK MUST BE PERFORMED.
- VERIFY DIMENSIONS, ELEVATIONS AND EXISTING CONDITIONS AT THE SITE BEFORE COMMENCING WORK AND REPORT DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION PRIOR TO THE START OF WORK.
- ALL ITEMS INDICATED TO REMAIN SHALL BE PROTECTED DURING DEMOLITION AND NEW CONSTRUCTION.
- PROVIDE WEATHER TIGHT BARRIERS AT EXISTING EXTERIOR WALLS, ROOFS AND DOORS TO BE REMOVED TO PROTECT ALL INTERIOR FINISHES, MATERIALS, AND EQUIPMENT TO REMAIN.
- SHOULD THE CONTRACTOR ENCOUNTER ANY MATERIALS IDENTIFIED AS HAZARDOUS MATERIALS HE SHALL IMMEDIATELY REFER TO THE GENERAL CONDITIONS AND NOTIFY THE OWNER AND THE ARCHITECT.
- CONTRACTORS MATERIALS AND ACTIVITIES SHALL NOT BLOCK ANY EXIT OR IMPAIR FLOOR TO FLOOR FIRE SEPARATION WHILE THE BUILDING IS OCCUPIED.
- DIMENSIONS ARE TO FACE OF EXISTING WALLS / COLUMNS.
- ALL NEW WORK ADJOINING EXISTING CONSTRUCTION SHALL ALIGN WITH AND MATCH EXISTING CONSTRUCTION UNLESS OTHERWISE DIMENSIONED OR DETAILED.

DEMOLITION & COORDINATION NOTES

- COORDINATE EXACT SEQUENCE AND SCHEDULE OF DEMOLITION W/ OWNER AND ARCHITECT PRIOR TO BEGINNING. DO NOT REMOVE ENVELOPE SYSTEMS UNTIL TEMPORARY WATER TIGHT BARRIERS ARE IN PLACE OR NEW SYSTEMS ARE ON SITE READY FOR INSTALLATION. TEMPORARY CONSTRUCTION BARRIERS SHALL REMAIN IN PLACE BETWEEN THE BUILDINGS DURING ENTIRE CONSTRUCTION SCHEDULE. WHEN TEMPORARY BARRIERS IMPED NEW WORK, CONTRACTOR SHALL RECEIVE PERMISSION FROM OWNER & ARCHITECT TO TEMPORARILY REMOVE BARRIER. DUE TO CONSTRUCTION SEQUENCING, CONTRACTOR MAY NEED TO REMOVE BARRIER AND REINSTALL BARRIER(S) MULTIPLE TIMES.
- NOTIFY OWNER & ARCHITECT A MINIMUM OF 72 HOURS PRIOR TO UTILITY DISRUPTIONS.
- THE MAJORITY OF DEMOLITION AND RENOVATION WORK SHALL OCCUR DURING LIMITED OR NO OCCUPANCY. COORDINATE EXACT SCHEDULE WITH OWNER TO MINIMIZE DISRUPTION.

DEMOLITION PLAN NOTES TO SHEET

- DR1 REMOVE EXISTING ROOFING MATERIAL (INCLUDING GRAVEL, INSULATION, SHEATHING IN ITS ENTIRETY TO THE METAL DECKING. REMOVE ANY RUSTED METAL DECKING AND REPLACE WITH DECKING TO MATCH EXISTING. SEE SPECIFICATIONS FOR STRUCTURAL DRAWING ON METAL DECKING REQUIREMENTS. ALLOW IN BID TO REPLACE 10% OF DECKING AREA. PREPARE AREA TO RECEIVE NEW INSULATION AND ROOFING.
- DR2 REMOVE EXISTING GRAVEL STOP AT EXISTING GUTTER (EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN). REMOVE ALL ROTTED AND DAMAGED WOOD. REPLACE WOOD WITH PRESSURE TREATED WOOD, SECURED TO STRUCTURE. CLEAN OUT GUTTERS OF ALL LEAVES, GRAVEL, AND DEBRIS. PREPARE SURFACES TO RECEIVE NEW FLASHING AND ROOFING.
- DR3 REMOVE EXISTING COPING AND WALL FLASHING. REMOVE ALL ROTTED AND DAMAGED WOOD. REPLACE WOOD WITH PRESSURE TREATED WOOD, SECURED TO STRUCTURE. PARGE COAT EXISTING CMU SMOOTH AND FLUSH FOR NEW FLASHING. PREPARE SURFACES TO RECEIVE NEW FLASHINGS AND ROOFING.
- DR4 REMOVE EXISTING METAL FLASHING AND WALL FLASHING IN THEIR ENTIRETY. PREPARE SURFACES TO RECEIVE NEW ROOFING AND FLASHING.
- DR5 REMOVE EXISTING COPING, WALL FLASHING AND METAL WALL PANELS (ON RE-ROOF SIDE). REMOVE ALL ROTTED WOOD. REMOVE WOOD BLOCKING AT EXPANSION JOINT COVER. REPLACE ROTTED WOOD WITH PRESSURE TREATED WOOD, SECURED TO STRUCTURE. PREPARE SURFACES TO RECEIVE NEW FLASHING AND ROOFING.

DEMOLITION LEGEND

- ROOF AREA INCLUDED IN SCOPE
- DS EXISTING DOWNSPOUT TO REMAIN
- VTR EXISTING VENT THRU ROOF TO REMAIN - REMOVE EXISTING FLASHING AND PREPARE FOR NEW FLASHING
- ROOF COPING TO BE REPLACED

Noted for Code Compliance

This review for code compliance does not release the owner, design professional, contractor or their representatives from the responsibility to comply with all applicable codes, laws and regulations and shall not be used as a basis for any other action. This plan review does not prevent the effect from existing conditions during construction. Any changes or alterations to these documents shall be reported to the building official. Please do not build on this.

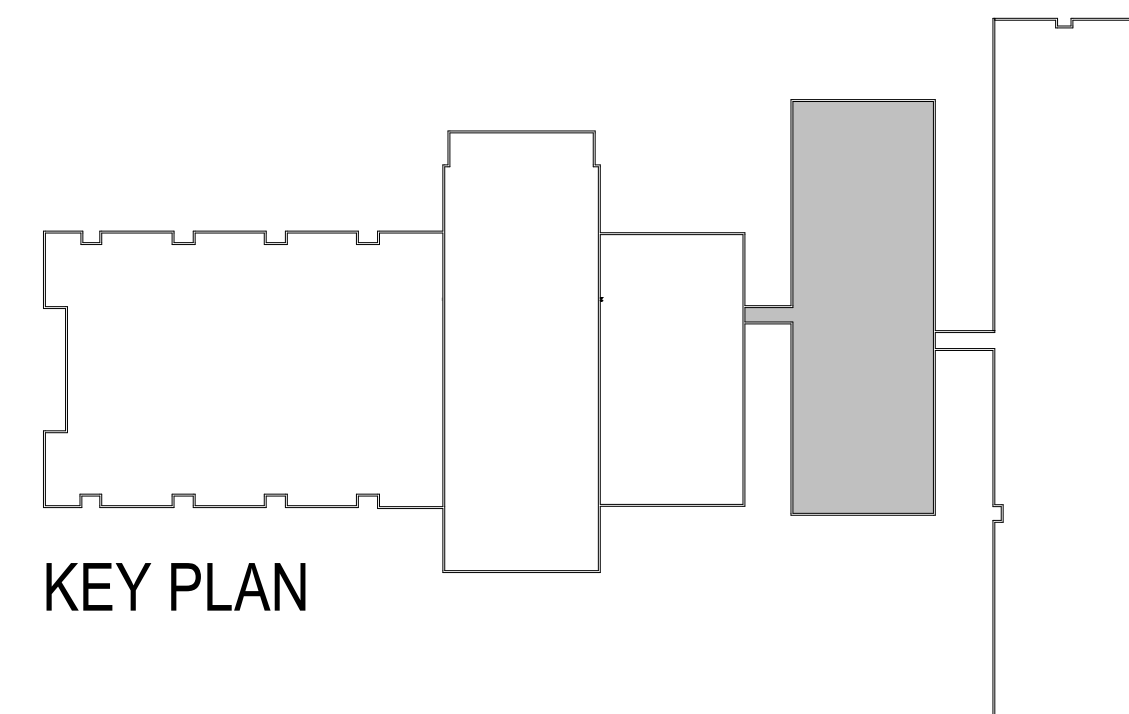
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Plan Number: **347248-001**

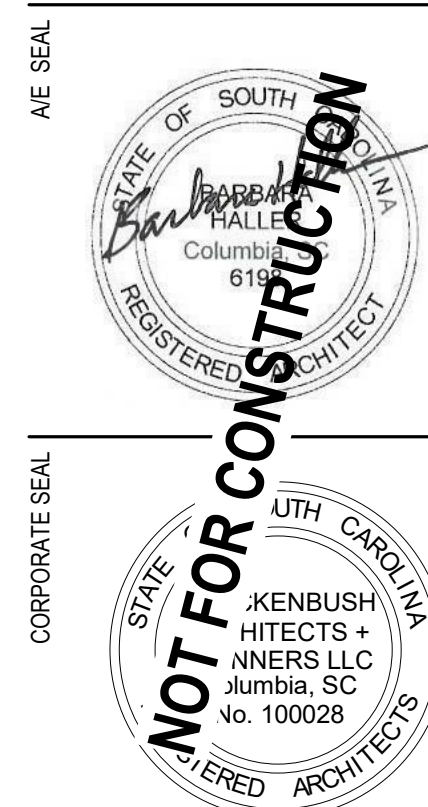
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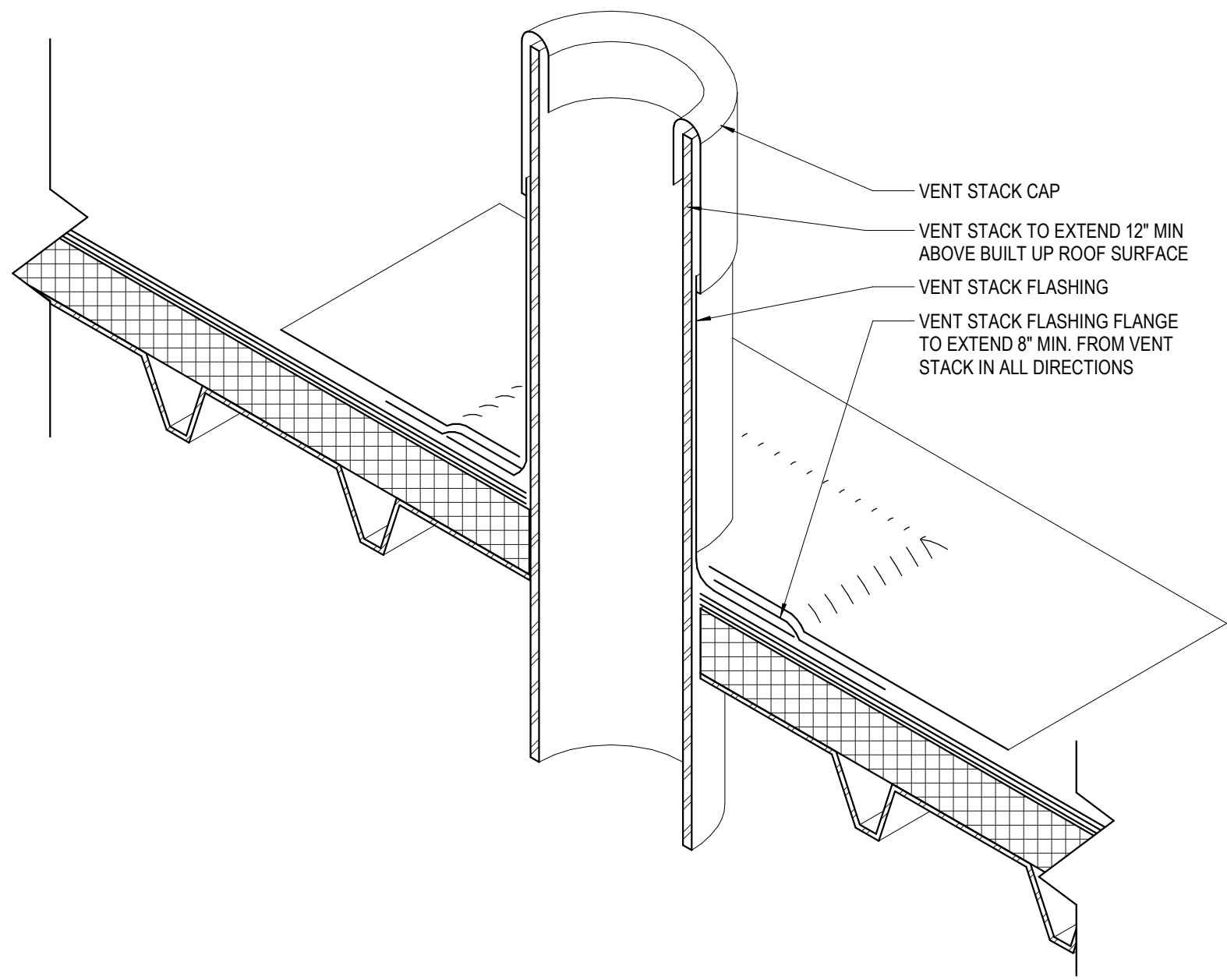
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By: **WJH/AB**



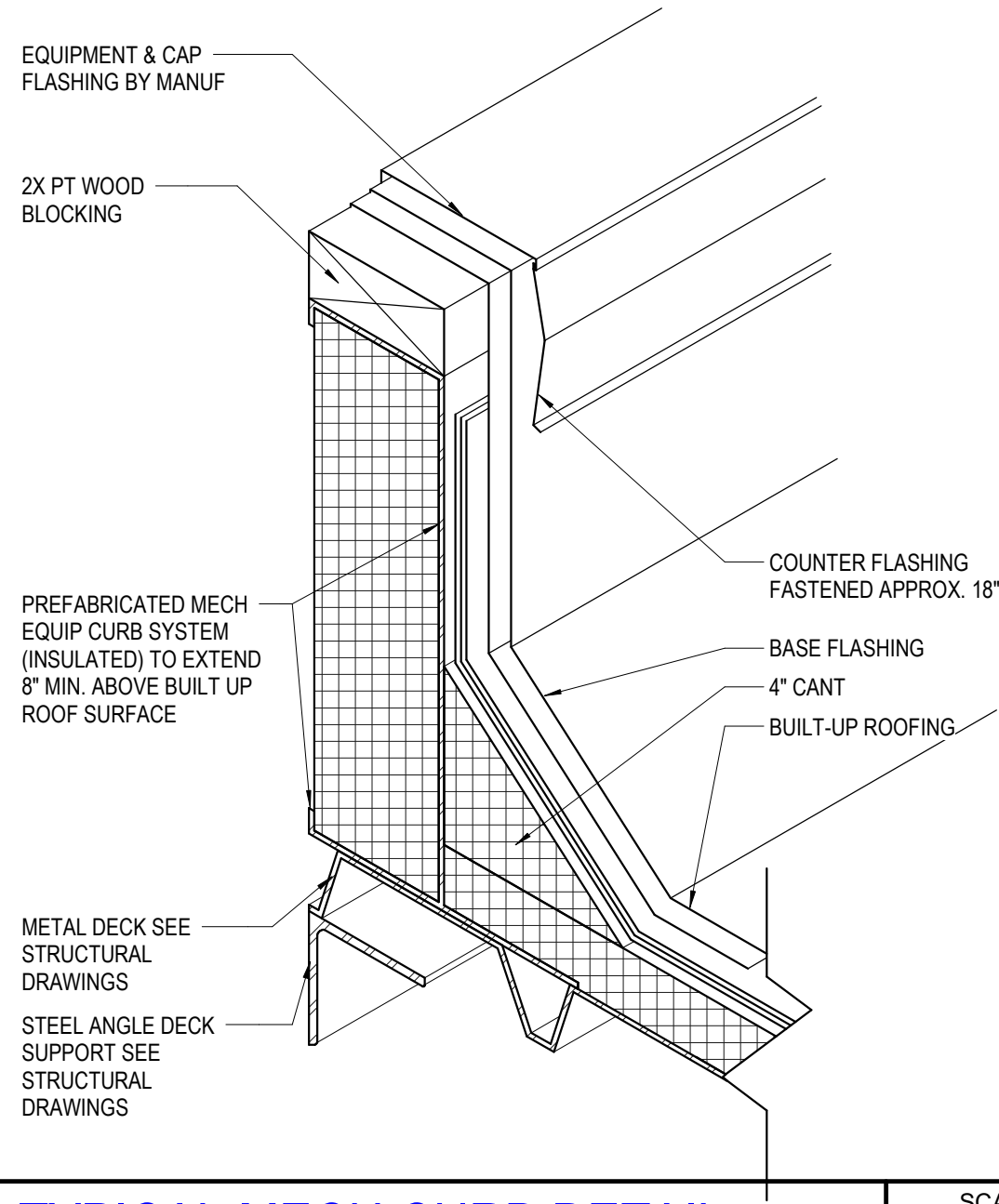
KEY PLAN





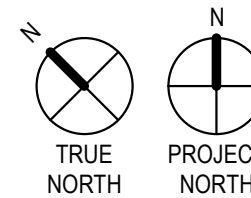
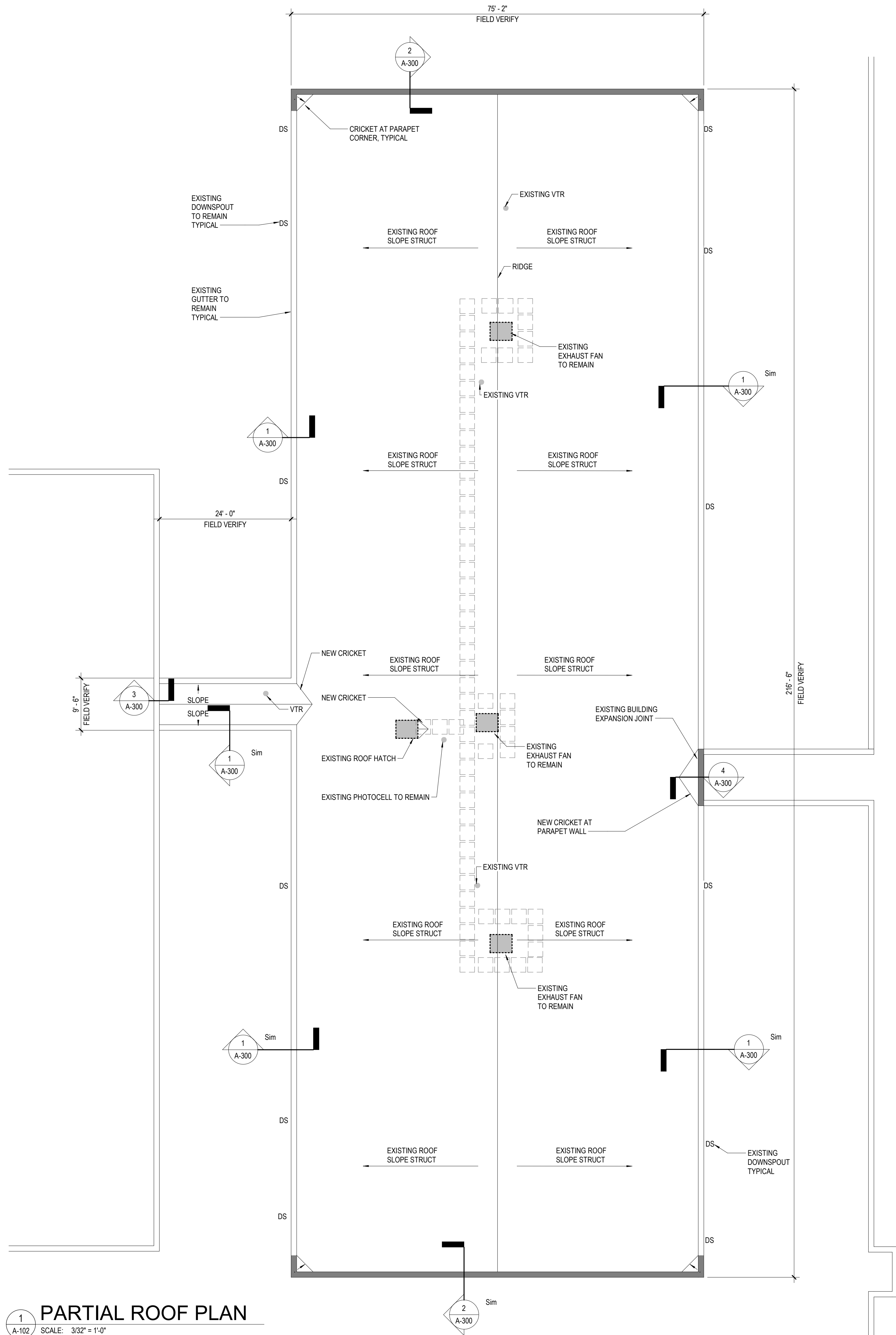
SCALE
1-1/2" = 1'-0"

TYPICAL VENT THRU ROOF DETAIL



SCALE
1-1/2" = 1'-0"

TYPICAL MECH CURB DETAIL



PARTIAL ROOF PLAN

SCALE: 3/32" = 1'-0"

GENERAL ROOF NOTES

- ALL ROOF ITEMS REQUIRED MAY NOT BE SHOWN GRAPHICALLY ON ROOF PLANS. REVIEW EXISTING CONDITIONS FOR ADDITIONAL ROOF PENETRATIONS AND EQUIPMENT.
- ALL BLOCKING AT ROOF SHALL BE PRESSURE TREATED. ALL PLYWOOD USED AT ROOF SHALL BE MARINE GRADE.
- AT ALL ROOF CURBS (ROOF HATCHES, EXHAUST FANS, MECHANICAL UNITS, ETC.), PROVIDE METAL COUNTERFLASHING AT ROOF TERMINATION.
- AT ALL ROOF CURBS AND PENETRATIONS, PROVIDE 16 GA SHEET METAL SLEEVE FROM TOP OF PENETRATION TO BOTTOM OF METAL DECK. ALL WOOD BLOCKING SHALL BE CONCEALED.

LOW SLOPE ROOF SYSTEM

- 2-PLY SBS-BUILT UP ROOF UNLESS NOTED OTHERWISE.
- 4" FIBER CANTS ALONG PARAPET WALL PERIMETER TYPICAL.
- MINIMUM 4" THICK (2 LAYERS OF 2-INCH) RIGID INSULATION WITH COVER BOARD OVER SLOPING ROOF DECKS. R-24 MINIMUM.
- PROVIDE WALKPADS AROUND ALL EQUIPMENT AND FROM ROOF HATCHES AND ROOF ACCESS LOCATIONS TO ALL EQUIPMENT.

ROOF LEGEND

- DS EXISTING DOWNSPOUT TO REMAIN
- AREA OF NEW WALL AND COPING
- ROOF WALK PADS
- EXISTING VTR (VENT THRU ROOF) - REMOVE EXISTING FLASHING AND INSTALL NEW FLASHING AS PART OF ROOF SYSTEM. EXTEND HEIGHT OF VTR IF REQUIRED FOR WARRANTY.

RE-ROOFING NOTES

- ALL EXISTING EQUIPMENT AND MATERIALS TO REMAIN, SHALL BE PROTECTED.
- ALL EXISTING SURFACES SHALL BE PREPARED FOR NEW ROOFING AND FLASHING.
- EXTEND EXISTING VTRS IF REQUIRED FOR ROOF WARRANTY.
- INSTALL NEW EXHAUST FAN CURB EXTENSIONS IF REQUIRED FOR ROOF WARRANTY AND FLASHING HEIGHT WITH ADDED INSULATION.
- REMOVE EXISTING ROOF HATCH, INSTALL ADDITIONAL TREATED WOOD BLOCKING AND REINSTALL HATCH TO ACCOMMODATE NEW INSULATION THICKNESS AND ROOF CRICKET.
- NEW METAL FLASHING SHALL MATCH EXISTING IN COLOR. SUBMIT SAMPLES FOR REVIEW.
- AT ALL CMU AND BRICK PARAPETS, PARGE COAT MASONRY TO PROVIDE SMOOTH AND FLUSH SURFACE FOR NEW FLASHING.
- AT PARAPET ENDS, PROVIDE ROOF FLASHING AND STAINLESS STEEL TERMINATION STRIP ALIGNED WITH EDGE OF PARAPET.
- ALL FLASHING AND FLASHING HEIGHTS TO MEET ROOF MANUFACTURER'S REQUIREMENTS FOR 20 YEAR ROOF WARRANTY.
- REPLACE RUSTED METAL DECKING TO MATCH EXISTING. SEE SPECIFICATIONS FOR STRUCTURAL REQUIREMENTS RELATED TO METAL DECKING. INCLUDE IN BID REPLACEMENT OF 10% IN AREA OF METAL DECKING.
- RE-SEAL ALL JOINTS IN EXISTING GUTTER / FASCIA. SOME JOINTS ARE SEALED AND SOME ARE NOT - REMOVE ALL EXISTING SEALANT AND PREPARE METAL TO RECEIVE NEW SEALANT.

Reviewed for Code Compliance

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Stamped plans and specifications are required to be on file for inspections.

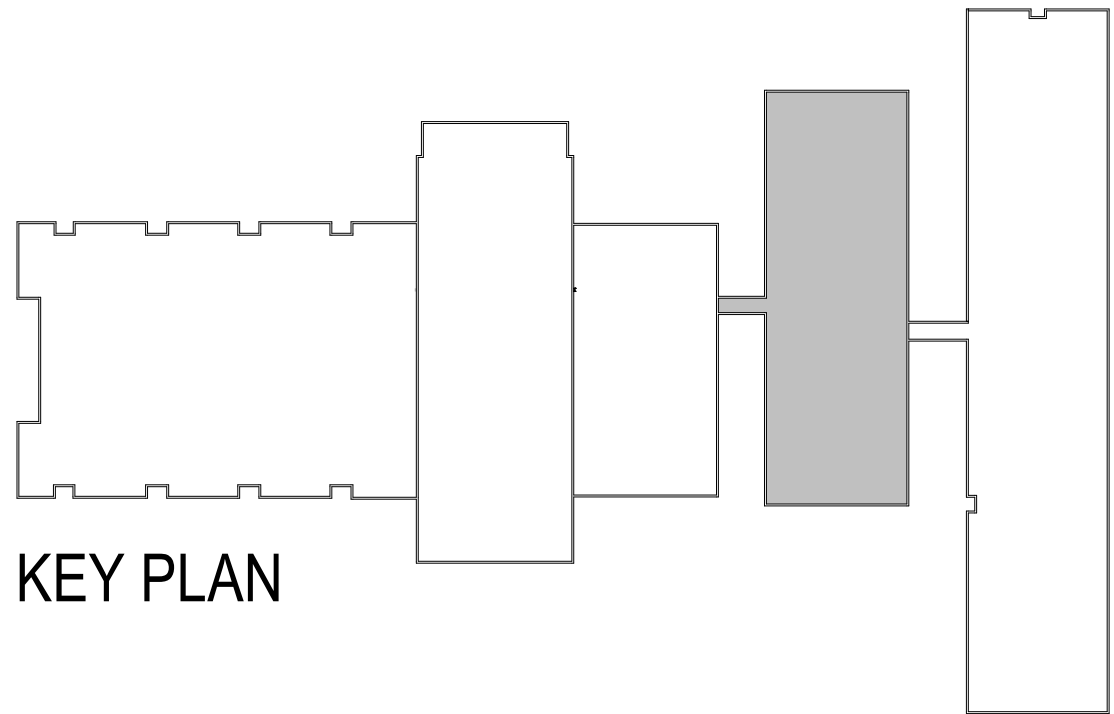
Project: Waccamaw Elem School Partial Roof replacement ESSER II

Plans Examiner: SAFEbuilt SCY

Date: 12/8/2021

Time: 5:00 PM

SM/ibh



KEY PLAN

WACCAMAW ELEMENTARY SCHOOL
PARTIAL ROOF REPLACEMENT - ESSER II
Horry County School District

PHASE
CONSTRUCTION
DOCUMENTS

ISSUE DATE 11.5.21
PROJECT NO. 21.286.01

REVISION DATE

TITLE
ROOF PLAN

SHEET NO

A-102

AE SEAL

CORPORATE SEAL

PROJECT TITLE

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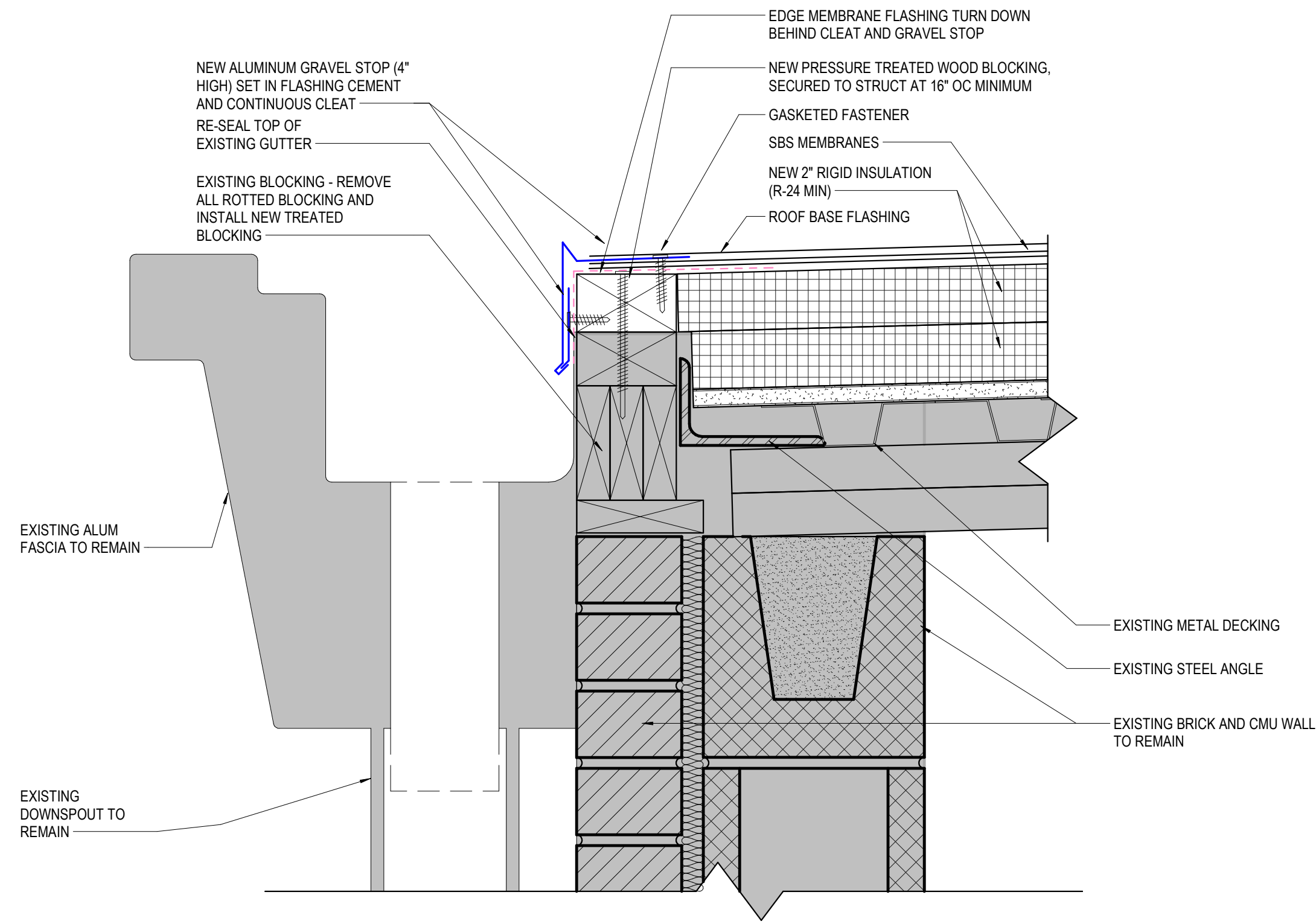
ISSUE DATE 11.5.21
PROJECT NO. 21.286.01

REVISION DATE

TITLE
ROOF PLAN

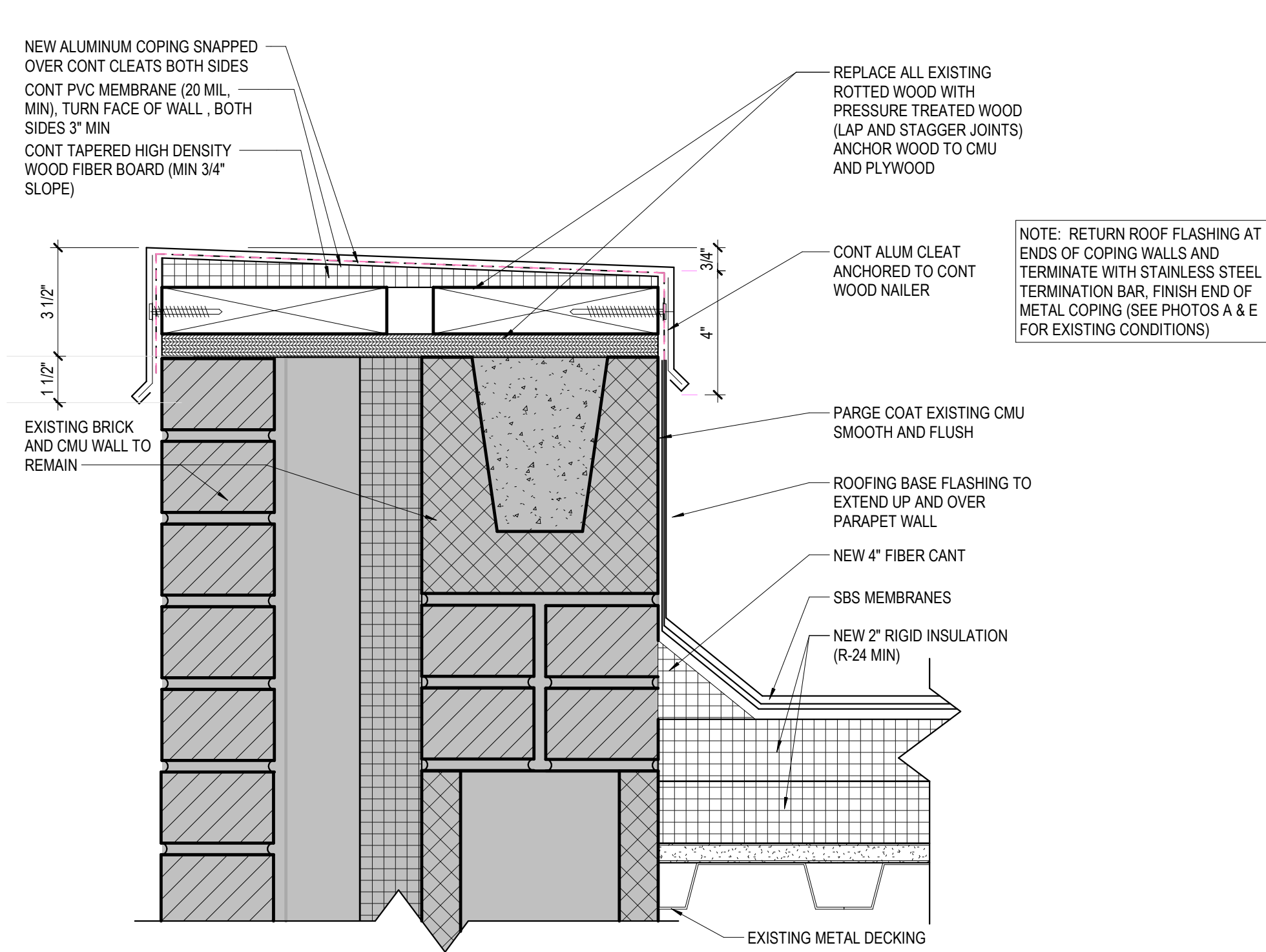
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A-102



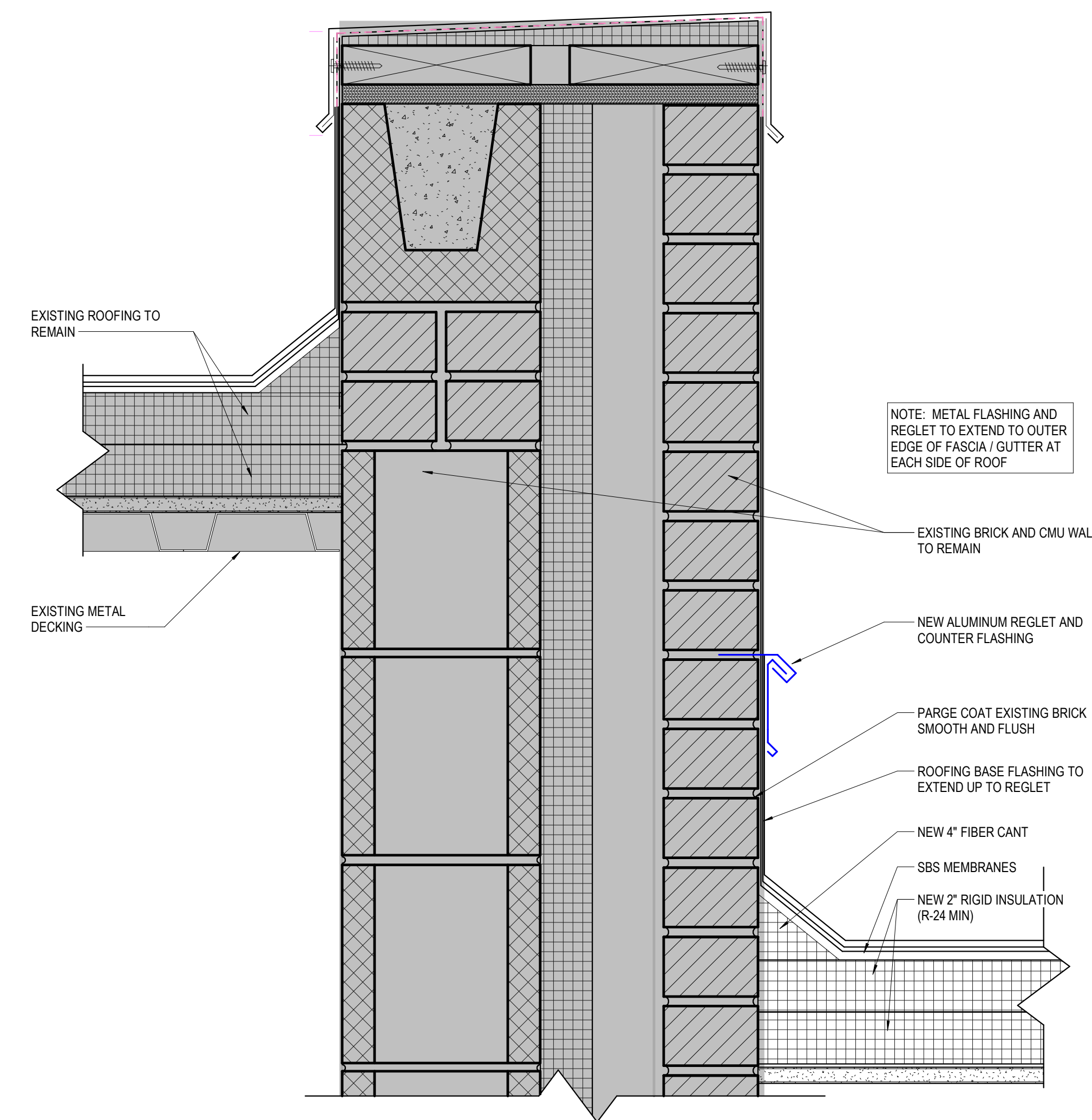
1
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SECTION AT GUTTER



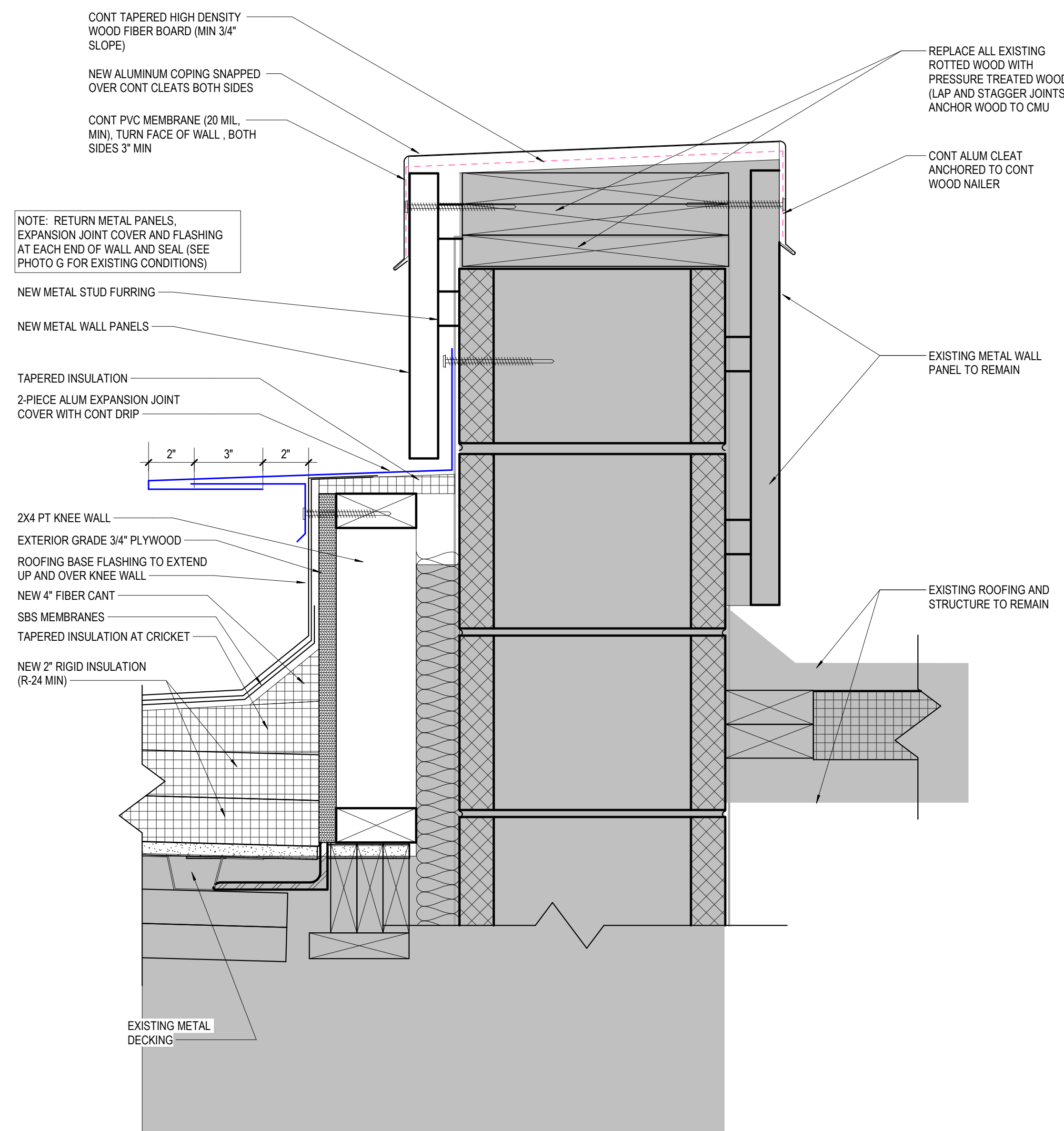
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SECTION AT COPING



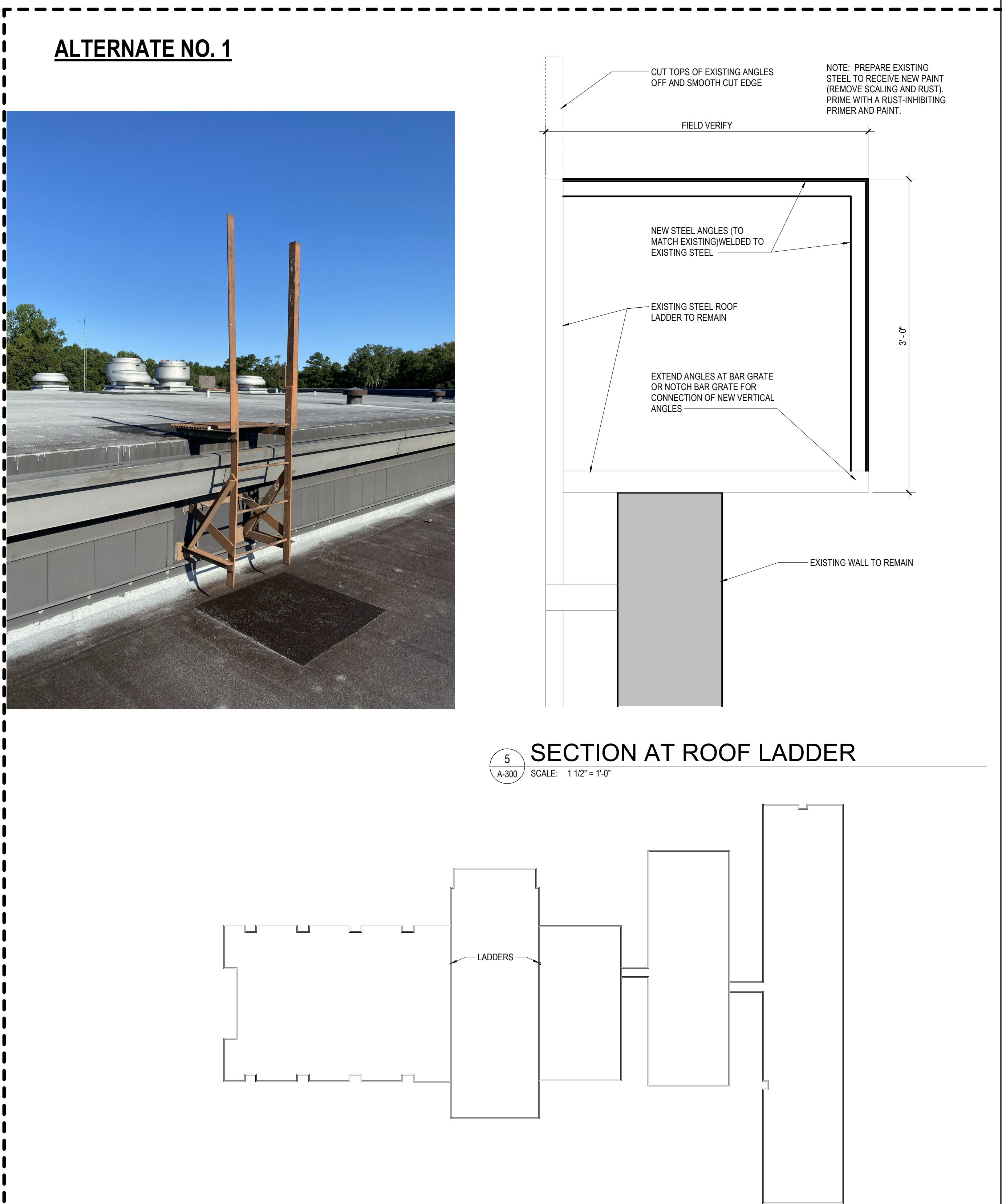
3
A-300
SCALE: 3" = 1'-0"

SECTION AT WEST CONNECTOR



4
A-300
SCALE: 3" = 1'-0"

SECTION AT EAST CONNECTOR



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Project: Waccamaw Elem. School Partial Roof replacement ESSER II

Plans Examined: SAF/Edith/SCY

Date: 12/8/2021

Time: 5:00 PM

SAF/Edith

AE SEAL

CORPORATE SEAL

PROJECT TITLE

WACCAMAW ELEMENTARY SCHOOL
PARTIAL ROOF REPLACEMENT - ESSER II
HORRY COUNTY SCHOOL DISTRICT
251 CLAUDY RD. CONWAY, SC

NOT FOR CONSTRUCTION

STATE OF SOUTH CAROLINA
REGISTERED PROFESSIONAL ARCHITECT
KIMBERLY A. KENBUSH
Columbia, SC
No. 100028

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PHASE
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ISSUE DATE 11.5.21
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REVISION DATE

TITLE
EXTERIOR DETAILS

SHEET NO.

QUACKENBUSH ARCHITECTS + PLANNERS
1217 HAMPTON | COLUMBIA, SC | 803.771.2899 | quackenbusharchitects.com

A-300