

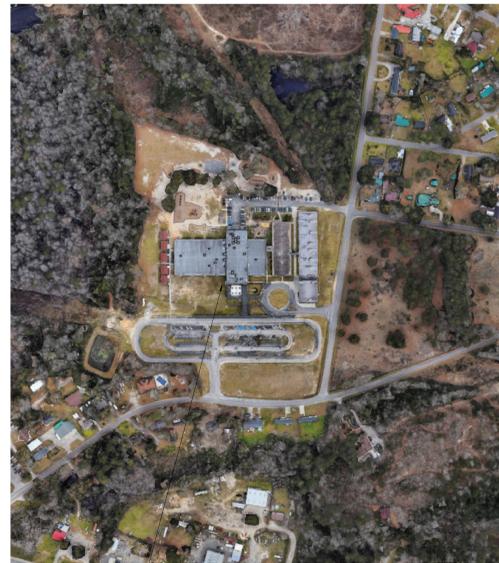
WACCAMAW ELEMENTARY SCHOOL PARTIAL ROOF REPLACEMENT - ESSER II

251 CLARIDY RD | CONWAY, SC
ARCHITECT'S PROJECT NUMBER 21.285.01

NOVEMBER 5, 2021

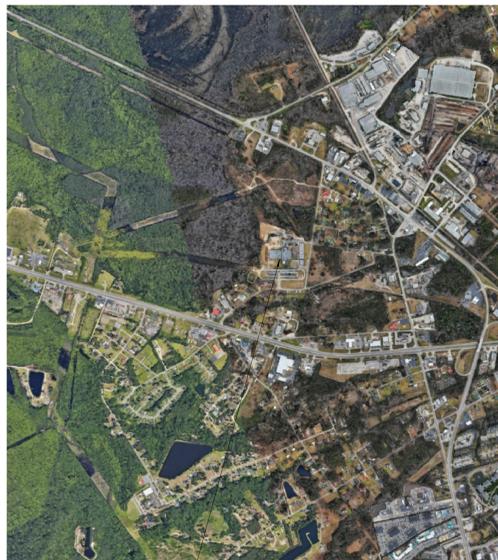
CONSTRUCTION DOCUMENTS

SITE MAP



PROJECT SITE

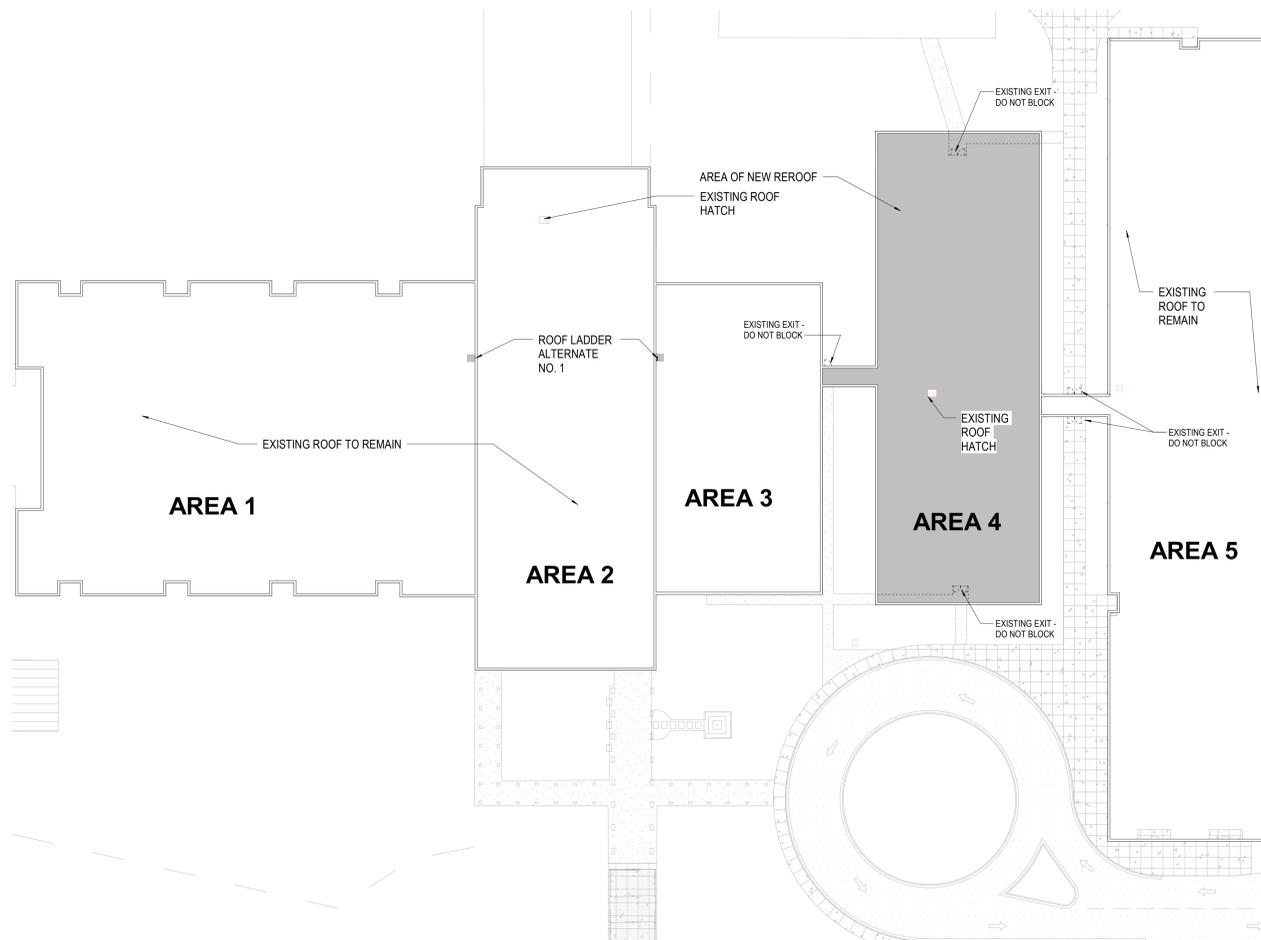
AREA MAP



PROJECT SITE

INDEX OF DRAWINGS

GENERAL	
G-000	COVER SHEET, INDEX OF DRAWINGS
G-100	ABBREVIATIONS, SYMBOLS, PROJECT NOTES
ARCHITECTURAL DEMOLITION	
AD-101	ROOF DEMOLITION PLAN
ARCHITECTURAL	
A-102	ROOF PLAN
A-300	EXTERIOR DETAILS



1 OVERALL KEY PLAN
SCALE: 1/32" = 1'-0"

SOUTH CAROLINA STATE DEPARTMENT OF EDUCATION
Form F3 - Re-Roofing Analysis

Date: 11.5.21

SUBMITTAL: Schematic Design Development Construction Document

SC CODE EDITION: 2018 ICC CODE EDITION: 2018 ICC A117.1 EDITION: 2017 OSF GUIDE EDITION: 2020
OTHER CODES/STANDARDS & EDITIONS: None

PROJECT DESCRIPTION: (Brief Scope of Work & Include project delivery method (i.e. CMR, etc.)
Re-roofing one wing of an existing elementary school. Alternate to add rails to existing roof ladders. Project will be a Design-Bid-Build

DESIGNATED AREAS OF BUILDING	Building Code	Area 1	Area 2	Area 3	Area 4	Area 5
CONSTRUCTION CLASSIFICATION TYPE	Section 602	EXIST	EXIST	EXIST	IIIB	EXIST
Roof Construction including supporting beams & joist	Table 601	-	-	-	-	-
As Required, Hrs		EXIST	EXIST	EXIST	0	EXIST
As Designed, Hrs		EXIST	EXIST	EXIST	0	EXIST
Testing Agency & Design No. (UL, FM, etc.)		EXIST	EXIST	EXIST	NA	EXIST
Wall/Partition Key Code		EXIST	EXIST	EXIST	NA	EXIST

1 of 2
Version May 2021

SOUTH CAROLINA STATE DEPARTMENT OF EDUCATION
Form F3 - Re-Roofing Analysis

STRUCTURAL DESIGN INFORMATION, BUILDING	CONSTRUCTION DOCUMENTS
WIND LOADS Analysis Procedure (ASCE 7 or SCBC 1609.6) Basic design Wind Speed, MPH (3 sec gust IBC Fig. 1609.3) Exposure Category Wind Importance Factor (ASCE 7 Table 1.5-2) Internal Pressure Coefficient (ASCE 7) External Pressure Coefficient (ASCE 7)	I. Signed, sealed and dated drawings II. Fully coordinated within and with the Project Manual. PROJECT MANUAL I. Signed, sealed and dated II. Fully coordinated within and with the Construction Documents • This information shall be part and within the drawing sheet set.
ADDITIONAL QUESTIONS	
1. Prepare a site plan showing the life safety plan during construction and any additional details on how the contractor will keep the school administration informed about issues that may affect daily operations in the building.	Site plan is provided. Details are provided on access and construction time. Due to the small area being replaced, all work should occur not while school is occupied.
2. Will there be additional weight added to the existing structure?	Negligible
3. What will the insulation values be in areas being reroofed? Confirm the insulation will meet current energy codes.	R-24 (Per 502.2 (1) Prescriptive Climate Zone 3 R20 CI
4. Will the existing roof drainage stay the same and meet current code?	Stay the same. Meets current code - gutters and downspouts.
5. What will the new roof assembly consist of?	SBS 2 ply
6. What type of inspections will be performed?	Attachment of any replaced metal decking.
7. Once the project is complete send a copy of the Warranty Letter to OSF.	ok
8. Is there roof mounted equipment (mechanical and other) and if new equipment curbs or curb adaptors would be needed.	New curb adaptors - minor exhaust fan

2 of 2
Version May 2021

Reviewed for Code Compliance
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Stamped plans and specifications are required to be on site for inspections.
Project: Waccamaw Elem School Partial Roof replacement ESSER II
Plans Examined: SAFEbuild SCY
Date: 12/5/2021
Time: 5:00 PM
SAFEbuild

SCOPE / SCHEDULE / CONSTRUCTION NOTES

- THE SCOPE OF THE PROJECT INCLUDES RE-ROOFING THE INDICATED AREA WITH AN ALTERNATE TO PROVIDE ADDITIONAL RAILS ON THE EXISTING ROOF LADDERS. THE SCOPE INCLUDES REMOVAL OF ALL ROOFING, INSULATION AND SHEATHING MATERIALS DOWN TO THE EXISTING METAL ROOF DECKING.
- DEMOLITION IS NOT PERMITTED TO BEGIN UNTIL ALL MATERIALS ARE ON SITE.
- PROVIDE 6'-0" HIGH CONSTRUCTION FENCE CONTINUOUS AROUND CONSTRUCTION ACCESS AREAS TO MAINTAIN SEPARATION BETWEEN CONSTRUCTION ACCESS AND SCHOOL ENTRANCES AND EXITS.
- COORDINATE ACTUAL LOCATION / EXTENTS OF CONSTRUCTION LAY-DOWN AREA, STORAGE AND STAGING AREAS LOCATIONS WITH OWNER PRIOR TO INSTALLING. RETURN TO EXISTING CONDITION AFTER COMPLETION OF PROJECT. INSTALL 6'-0" HIGH FENCE WITH SCREEN MATERIAL AROUND AREAS.
- MAINTAIN 6'-0" WIDE WALKWAY AT EXISTING EGRESS DOORS AND EGRESS PATHS. MAINTAIN 8'-0" WIDE OPEN AREA FOR EGRESS WINDOWS.
- COVERED WALKWAY: ERECT TEMPORARY PROTECTIVE, COVERED WALKWAY FOR PASSAGE OF INDIVIDUALS THROUGH OR ADJACENT TO PROJECT SITE. COORDINATE WITH ENTRANCE GATES, OTHER FACILITIES, AND OBSTRUCTIONS. COMPLY WITH REGULATIONS OF AUTHORITIES HAVING JURISDICTION. CONSTRUCT COVERED WALKWAYS USING SCAFFOLD OR SHORING FRAMING. PROVIDE NON-SLIP LEVEL WALKING SURFACE, OVERHEAD DECKING WITH A MINIMUM CLEAR-HEIGHT OF 8'-0". PROTECTIVE ENCLOSURE WALLS WITH PERIODIC OPENINGS FOR NATURAL LIGHT AND VENTILATION, HANDRAILS, BARRICADES, WARNING SIGNS, EXIT SIGNS, TEMPORARY LIGHTS, AND SIMILAR PROVISIONS TO MAINTAIN CONTINUOUS UNOBSTRUCTED AND PROTECTED COVERED WALKWAY. DO NOT EXCEED SLOPES GREATER THAN 1:20, OR PROVIDE ACCESSIBLE RAMPS WHERE REQUIRED AT CHANGES IN ELEVATION. PROVIDE ADEQUATE DRAINAGE TO PREVENT ACCUMULATION OR STANDING WATER ON WALKWAY SURFACES. REMOVE TRASH OR DEBRIS ON A DAILY BASIS. PAINT AND MAINTAIN APPEARANCE OF WALKWAY FOR DURATION OF THE WORK. **NOTE THIS WOULD ONLY BE REQUIRED IF BUILDING IS OCCUPIED AND PROTECTION AT EXIT DOORS IS REQUIRED BASED ON ACCESS TO ROOF!**
- CONTRACTOR IS RESPONSIBLE TO MAINTAIN FIRE TRUCK ACCESS CLEAR AND FREE THROUGHOUT PROJECT.
- CONTRACTOR IS RESPONSIBLE TO PATCH AND REPAIR OR REPLACE DAMAGE TO ADJACENT ROAD(S), PARKING LOTS, CURBS, SIDEWALKS, LANDSCAPING AND OTHER SITE APPURTENANCES TO MATCH EXISTING.
- EMERGENCY EXITS FROM ALL CAMPUS AREAS MUST BE MAINTAINED WITH APPROPRIATE SIGNAGE. EMERGENCY EXITS MUST NEVER BE BLOCKED. A CLEAR EXIT PATHWAY MUST BE MAINTAINED AT ALL TIMES FROM EVERY EXISTING DOOR (AND EXIT WINDOW) DURING DEMOLITION / CONSTRUCTION WHILE BUILDING IS OCCUPIED.
- UTILITY SERVICES SHALL NOT BE INTERRUPTED WHILE EXISTING BUILDING IS OCCUPIED.
- ALL BUILDING SYSTEMS INCLUDING BUT NOT LIMITED TO EXISTING FIRE ALARM SYSTEMS, SECURITY SYSTEMS, WATER, SEWER, FIRE PROTECTION, IRRIGATION, STEAM PIPING, SPEAKERS, ELECTRICAL CABLE AND DATA WIRING MUST BE MAINTAINED AT ALL TIMES. IF DAMAGED, THE SYSTEM MUST BE REPAIRED AND MADE OPERATIONAL BEFORE LEAVING FOR THE DAY. INFORM OWNERS REPRESENTATIVE A MINIMUM OF 5 DAYS IN ADVANCE OF ANY KNOWN PERIODS WHERE SYSTEMS WILL BE INOPERABLE. ALL KNOWN DISRUPTIONS ARE TO BE SCHEDULED FOR TIMES BEFORE OR AFTER NORMAL WORKING HOURS.
- TO THE EXTENT POSSIBLE, SCHEDULE NOISY ACTIVITIES TO TAKE PLACE AFTER HOURS, ON WEEKENDS, OR OVER WINTER / SUMMER BREAKS. COORDINATE ALL NOISY ACTIVITIES WITH OWNER.
- DELIVERIES TO SITE SHALL NOT OCCUR DURING SCHOOL DROP-OFF OR PICK-UP TIMES. COORDINATE EXACT TIMES WITH OWNER.

QUACKENBUSH ARCHITECTS + PLANNERS
1217 HAMPTON | COLUMBIA, SC | 803.771.2999 | quackenbusharchitects.com

AE SEAL
CORPORATE SEAL
PROJECT TITLE
WACCAMAW ELEMENTARY SCHOOL
PARTIAL ROOF REPLACEMENT - ESSER II
HORRY COUNTY SCHOOL DISTRICT
251 CLARIDY RD, CONWAY, SC

NOT FOR CONSTRUCTION
SOUTH CAROLINA REGISTERED ARCHITECT
DAVID B. HALLER
COLUMBIA, SC 29208
6198

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PHASE
CONSTRUCTION DOCUMENTS
ISSUE DATE 11.5.21
PROJECT NO. 21.285.01
REVISION DATE

TITLE
COVER SHEET,
INDEX OF
DRAWINGS
SHEET NO. G-000

11/5/2021 3:28:53 PM
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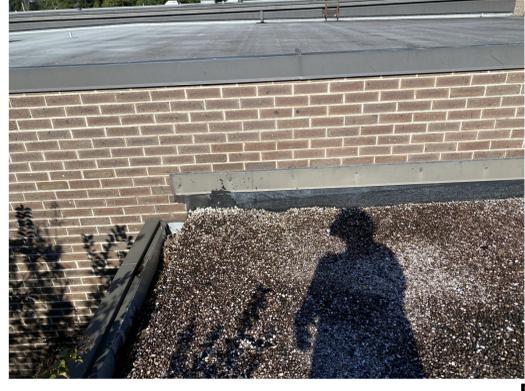
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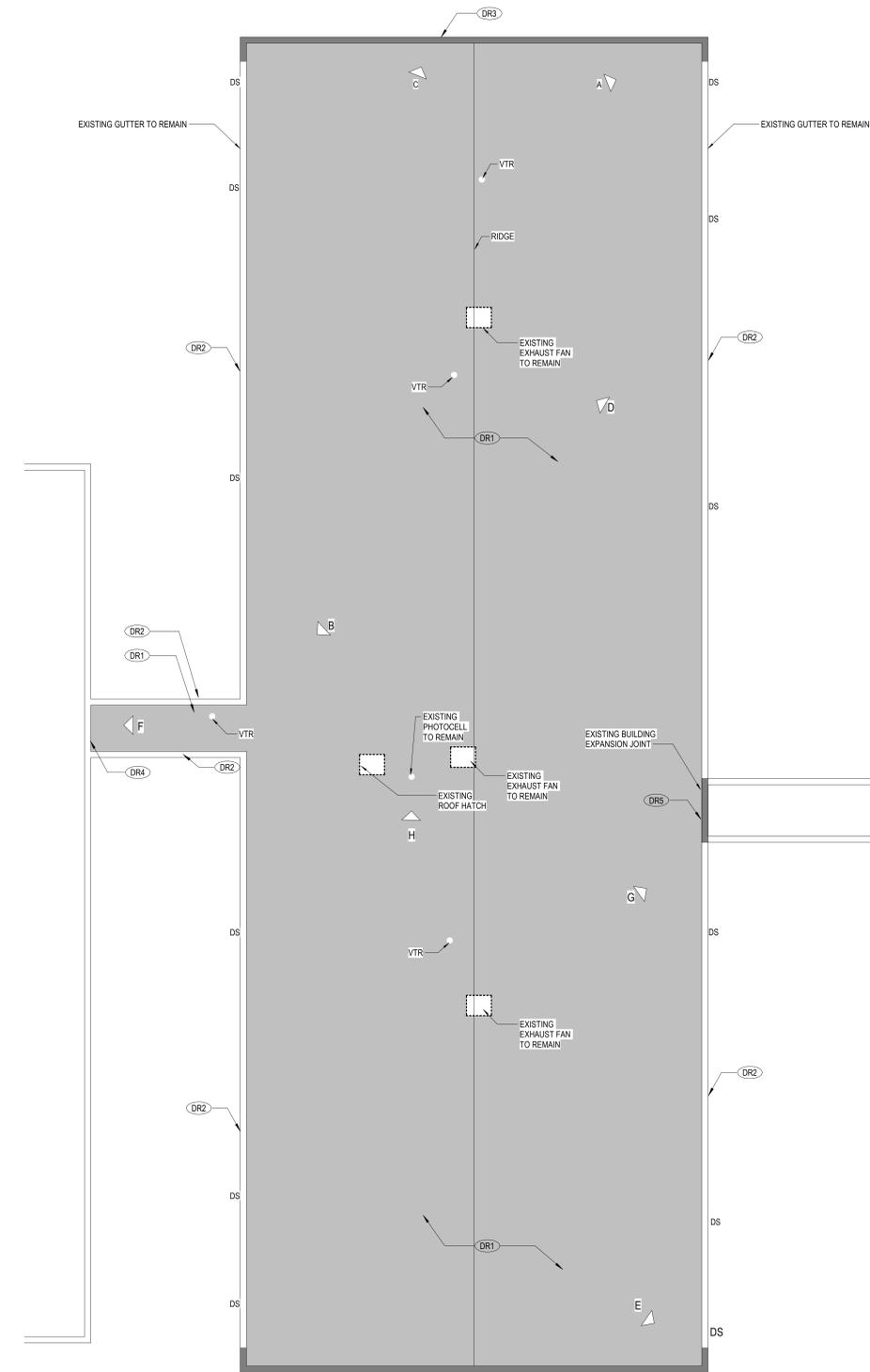
F



G



H



ROOF DEMOLITION PLAN

SCALE: 3/32" = 1'-0"

GENERAL DEMOLITION NOTES

- A. EXISTING CONDITIONS ILLUSTRATED AS OF OCTOBER 2021 AFTER SURVEY AND PRIOR TO CONSTRUCTION. OWNER MAY REMOVE SOME ITEMS NOTED TO BE REMOVED AS A PART OF THIS CONTRACT.
- B. PRIOR TO PREPARING THE BID, THE CONTRACTOR AND SUBCONTRACTORS SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS. MAKE ALL NECESSARY INVESTIGATIONS AS TO LOCATIONS OF UTILITIES AND ALL OTHER MATTERS WHICH CAN AFFECT THE WORK. NO ADDITIONAL COMPENSATION WILL BE MADE TO THE CONTRACTOR AS A RESULT OF HIS FAILURE TO FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS UNDER WHICH THE WORK MUST BE PERFORMED.
- C. VERIFY DIMENSIONS, ELEVATIONS AND EXISTING CONDITIONS AT THE SITE BEFORE COMMENCING WORK AND REPORT DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION PRIOR TO THE START OF WORK.
- D. ALL ITEMS INDICATED TO REMAIN SHALL BE PROTECTED DURING DEMOLITION AND NEW CONSTRUCTION.
- E. PROVIDE WEATHER TIGHT BARRIERS AT EXISTING EXTERIOR WALLS, ROOFS AND DOORS TO BE REMOVED TO PROTECT ALL INTERIOR FINISHES, MATERIALS, AND EQUIPMENT TO REMAIN.
- F. SHOULD THE CONTRACTOR ENCOUNTER ANY MATERIALS IDENTIFIED AS HAZARDOUS MATERIALS HE SHALL IMMEDIATELY REFER TO THE GENERAL CONDITIONS AND NOTIFY THE OWNER AND THE ARCHITECT.
- G. CONTRACTORS' MATERIALS AND ACTIVITIES SHALL NOT BLOCK ANY EXIT OR IMPAIR FLOOR TO FLOOR FIRE SEPARATION WHILE THE BUILDING IS OCCUPIED.
- H. DIMENSIONS ARE TO FACE OF EXISTING WALLS / COLUMNS.
- I. ALL NEW WORK ADJOINING EXISTING CONSTRUCTION SHALL ALIGN WITH AND MATCH EXISTING CONSTRUCTION UNLESS OTHERWISE DIMENSIONED OR DETAILED.

DEMOLITION & COORDINATION NOTES

- A. COORDINATE EXACT SEQUENCE AND SCHEDULE OF DEMOLITION W/ OWNER AND ARCHITECT PRIOR TO BEGINNING. DO NOT REMOVE ENVELOPE SYSTEMS UNTIL TEMPORARY WATER TIGHT BARRIERS ARE IN PLACE OR NEW SYSTEMS ARE ON SITE READY FOR INSTALLATION. TEMPORARY CONSTRUCTION BARRIERS SHALL REMAIN IN PLACE BETWEEN THE BUILDINGS DURING ENTIRE CONSTRUCTION SCHEDULE. WHEN TEMPORARY BARRIERS IMPED NEW WORK, CONTRACTOR SHALL RECEIVE PERMISSION FROM OWNER & ARCHITECT TO TEMPORARILY REMOVE BARRIER. DUE TO CONSTRUCTION SEQUENCING, CONTRACTOR MAY NEED TO REMOVE BARRIER AND REINSTALL BARRIER(S) MULTIPLE TIMES.
- B. NOTIFY OWNER & ARCHITECT A MINIMUM OF 72 HOURS PRIOR TO UTILITY DISRUPTIONS.
- C. THE MAJORITY OF DEMOLITION AND RENOVATION WORK SHALL OCCUR DURING LIMITED OR NO OCCUPANCY. COORDINATE EXACT SCHEDULE WITH OWNER TO MINIMIZE DISRUPTION.

DEMOLITION PLAN NOTES TO SHEET

- DR1 REMOVE EXISTING ROOFING MATERIAL (INCLUDING GRAVEL), INSULATION, SHEATHING IN ITS ENTIRETY TO THE METAL DECKING. REMOVE ANY RUSTED METAL DECKING AND REPLACE WITH DECKING TO MATCH EXISTING. SEE SPECIFICATIONS FOR STRUCTURAL DRAWING ON METAL DECKING REQUIREMENTS. ALLOW IN BID TO REPLACE 10% OF DECKING AREA. PREPARE AREA TO RECEIVE NEW INSULATION AND ROOFING.
- DR2 REMOVE EXISTING GRAVEL STOP AT EXISTING GUTTER (EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN). REMOVE ALL ROTTED AND DAMAGED WOOD. REPLACE WOOD WITH PRESSURE TREATED WOOD, SECURED TO STRUCTURE. CLEAN OUT GUTTERS OF ALL LEAVES, GRAVEL, AND DEBRIS. PREPARE SURFACES TO RECEIVE NEW FLASHING AND ROOFING.
- DR3 REMOVE EXISTING COPING AND WALL FLASHING. REMOVE ALL ROTTED AND DAMAGED WOOD. REPLACE WOOD WITH PRESSURE TREATED WOOD, SECURED TO STRUCTURE. PARGE COAT EXISTING CMU SMOOTH AND FLUSH FOR NEW FLASHING. PREPARE SURFACES TO RECEIVE NEW FLASHINGS AND ROOFING.
- DR4 REMOVE EXISTING METAL FLASHING AND WALL FLASHING IN THEIR ENTIRETY. PREPARE SURFACES TO RECEIVE NEW ROOFING AND FLASHING.
- DR5 REMOVE EXISTING COPING, WALL FLASHING AND METAL WALL PANELS (ON RE-ROOF SIDE). REMOVE ALL ROTTED WOOD. REMOVE WOOD BLOCKING AT EXPANSION JOINT COVER. REPLACE ROTTED WOOD WITH PRESSURE TREATED WOOD, SECURED TO STRUCTURE. PREPARE SURFACES TO RECEIVE NEW FLASHING AND ROOFING.

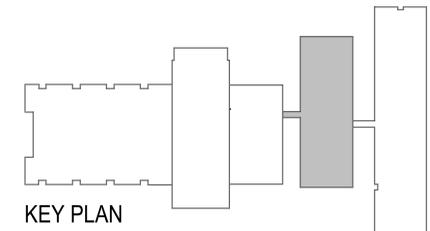
DEMOLITION LEGEND

- ROOF AREA INCLUDED IN SCOPE
- DS EXISTING DOWNSPOUT TO REMAIN
- VTR EXISTING VENT THRU ROOF TO REMAIN - REMOVE EXISTING FLASHING AND PREPARE FOR NEW FLASHING
- ROOF COPING TO BE REPLACED

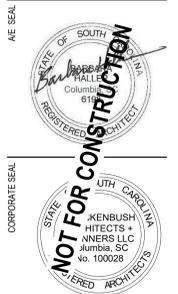
Not for Construction

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Project: Waccamaw Elem. School Partial Roof Replacement ESSER I
 Plans Number: 247204-001
 Date: 08/02/2024
 Time: 5:00 PM
 247204

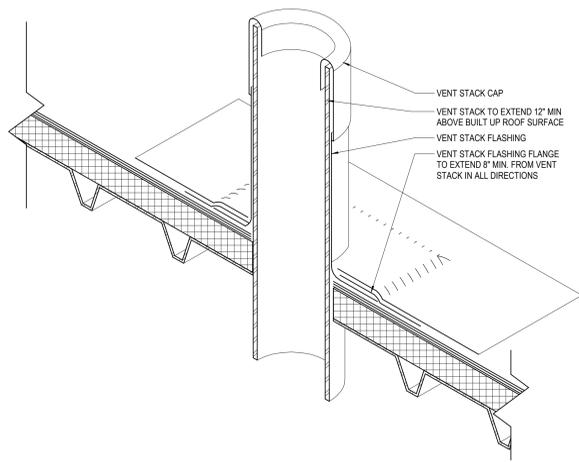


KEY PLAN



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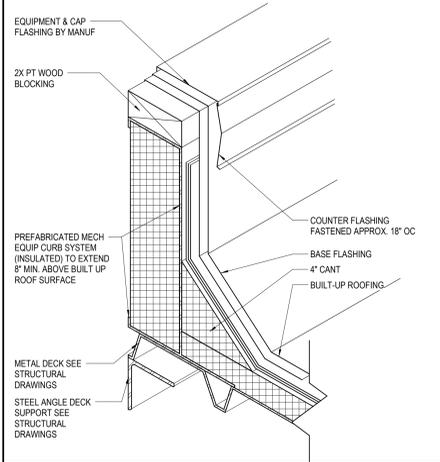
PHASE	CONSTRUCTION DOCUMENTS
ISSUE DATE	11.5.21
PROJECT NO.	21.286.01
REVISION	DATE



FOR ADDITIONAL INFORMATION SEE SMACNA PLATE NO. 66

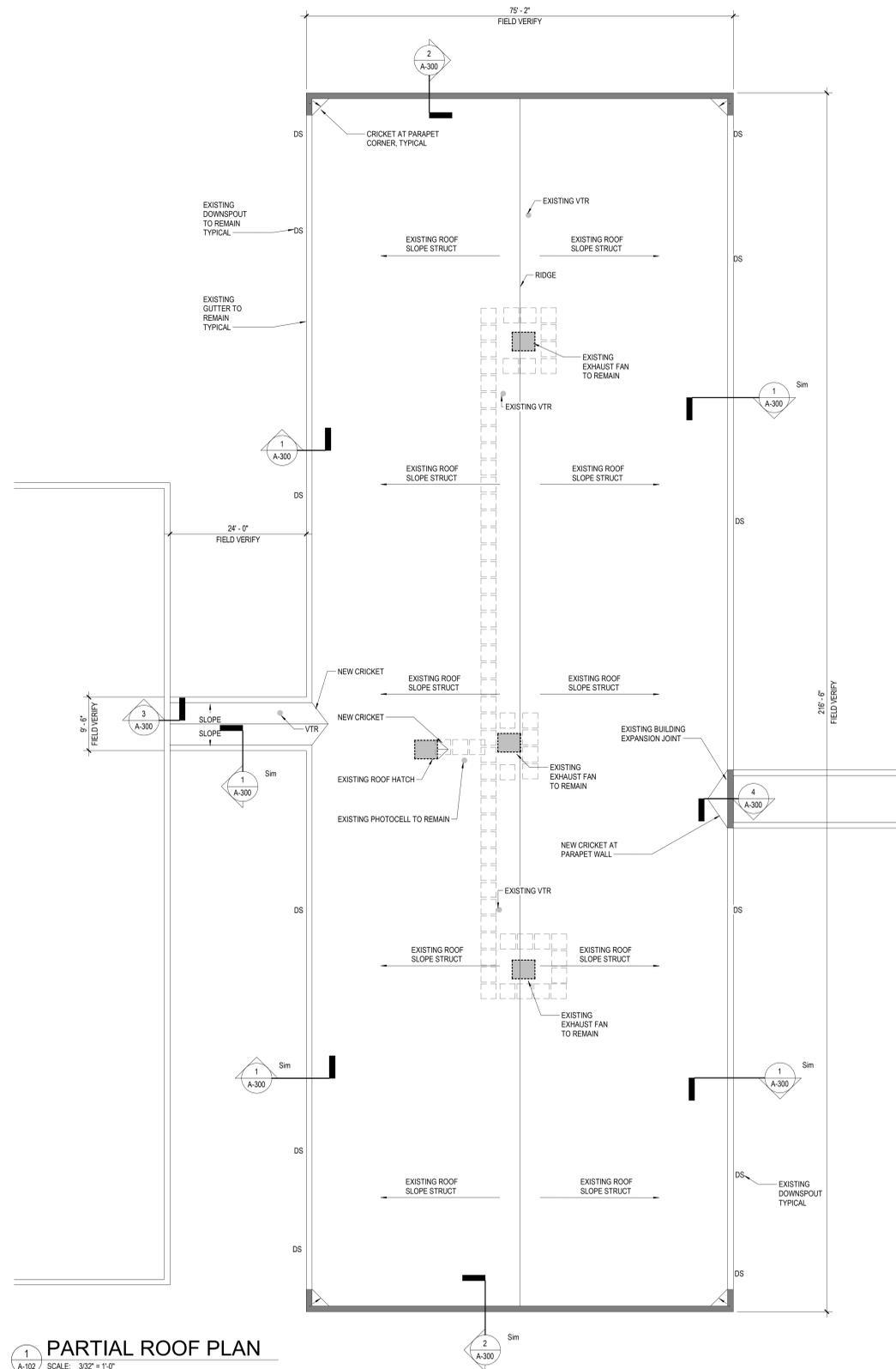
SCALE
1-1/2" = 1'-0"

TYPICAL VENT THRU ROOF DETAIL



SCALE
1-1/2" = 1'-0"

TYPICAL MECH CURB DETAIL



PARTIAL ROOF PLAN
SCALE: 3/32" = 1'-0"

GENERAL ROOF NOTES

- A. ALL ROOF ITEMS REQUIRED MAY NOT BE SHOWN GRAPHICALLY ON ROOF PLANS. REVIEW EXISTING CONDITIONS FOR ADDITIONAL ROOF PENETRATIONS AND EQUIPMENT.
- B. ALL BLOCKING AT ROOF SHALL BE PRESSURE TREATED. ALL PLYWOOD USED AT ROOF SHALL BE MARINE GRADE.
- C. AT ALL ROOF CURBS, ROOF HATCHES, EXHAUST FANS, MECHANICAL UNITS, ETC., PROVIDE METAL COUNTERFLASHINGS AT ROOF TERMINATION.
- D. AT ALL ROOF CURBS AND PENETRATIONS, PROVIDE 16 GA SHEET METAL SLEEVE FROM TOP OF PENETRATION TO BOTTOM OF METAL DECK. ALL WOOD BLOCKING SHALL BE CONCEALED.

LOW SLOPE ROOF SYSTEM

- A. 2-PLY SBS-BUILT UP ROOF UNLESS NOTED OTHERWISE.
- B. 4" FIBER CANTS ALONG PARAPET WALL PERIMETER TYPICAL.
- C. MINIMUM 4" THICK (2 LAYERS OF 2-INCH) RIGID INSULATION WITH COVER BOARD OVER SLOPING ROOF DECKS. R-24 MINIMUM.
- D. PROVIDE WALKPADS AROUND ALL EQUIPMENT AND FROM ROOF HATCHES AND ROOF ACCESS LOCATIONS TO ALL EQUIPMENT.

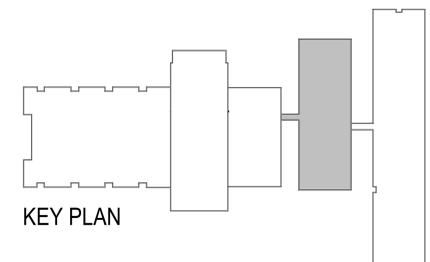
ROOF LEGEND

- DS EXISTING DOWNSPOUT TO REMAIN
- AREA OF NEW WALL AND COPING
- ROOF WALK PADS
- EXISTING VTR (VENT THRU ROOF) - REMOVE EXISTING FLASHING AND INSTALL NEW FLASHING AS PART OF ROOF SYSTEM. EXTEND HEIGHT OF VTR IF REQUIRED FOR WARRANTY.

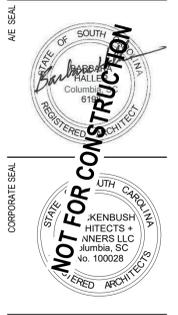
RE-ROOFING NOTES

- A. ALL EXISTING EQUIPMENT AND MATERIALS TO REMAIN, SHALL BE PROTECTED.
- B. ALL EXISTING SURFACES SHALL BE PREPARED FOR NEW ROOFING AND FLASHING.
- C. EXTEND EXISTING VTRS IF REQUIRED FOR ROOF WARRANTY.
- D. INSTALL NEW EXHAUST FAN CURB EXTENSIONS IF REQUIRED FOR ROOF WARRANTY AND FLASHING HEIGHT WITH ADDED INSULATION.
- E. REMOVE EXISTING ROOF HATCH, INSTALL ADDITIONAL TREATED WOOD BLOCKING AND REINSTALL HATCH TO ACCOMMODATE NEW INSULATION THICKNESS AND ROOF CRICKET.
- F. NEW METAL FLASHING SHALL MATCH EXISTING IN COLOR. SUBMIT SAMPLES FOR REVIEW.
- G. AT ALL CMU AND BRICK PARAPETS, PARGE COAT MASONRY TO PROVIDE SMOOTH AND FLUSH SURFACE FOR NEW FLASHING.
- H. AT PARAPET ENDS, PROVIDE ROOF FLASHING AND STAINLESS STEEL TERMINATION STRIP ALIGNED WITH EDGE OF PARAPET.
- I. ALL FLASHING AND FLASHING HEIGHTS TO MEET ROOF MANUFACTURER'S REQUIREMENTS FOR 20 YEAR ROOF WARRANTY.
- J. REPLACE RUSTED METAL DECKING TO MATCH EXISTING. SEE SPECIFICATIONS FOR STRUCTURAL REQUIREMENTS RELATED TO METAL DECKING. INCLUDE IN BID REPLACEMENT OF 10% IN AREA OF METAL DECKING.
- K. RE-SEAL ALL JOINTS IN EXISTING GUTTER / FASCIA. SOME JOINTS ARE SEALED AND SOME ARE NOT - REMOVE ALL EXISTING SEALANT AND PREPARE METAL TO RECEIVE NEW SEALANT.

Reviewed for Code Compliance
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Stamped plans and specifications are required to be on site for inspections.
Project: Waccamaw Elem School Parapet Roof replacement ESSER II
Plans Number: SAFEBuilt SCY
Date: 12/28/2022
Time: 5:00 PM
SM/ibut

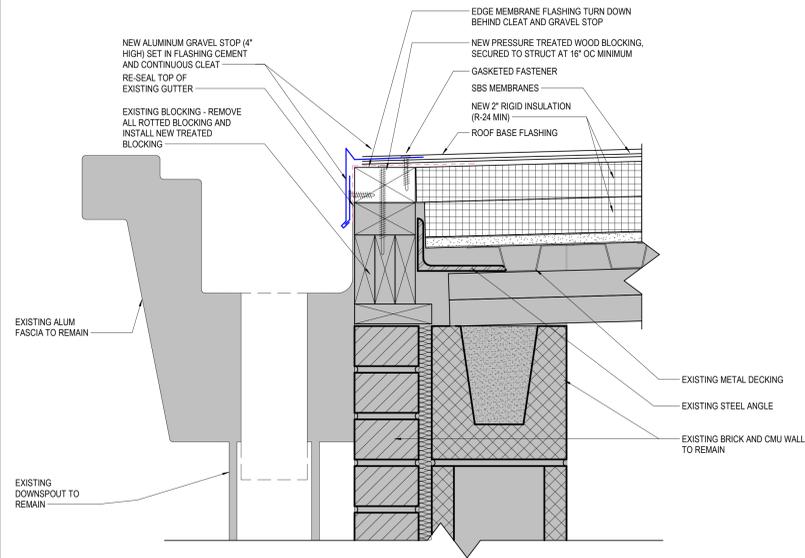


KEY PLAN

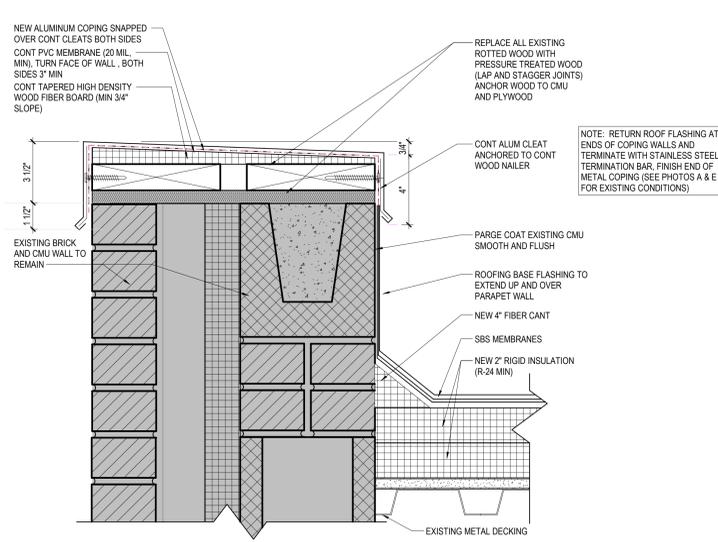


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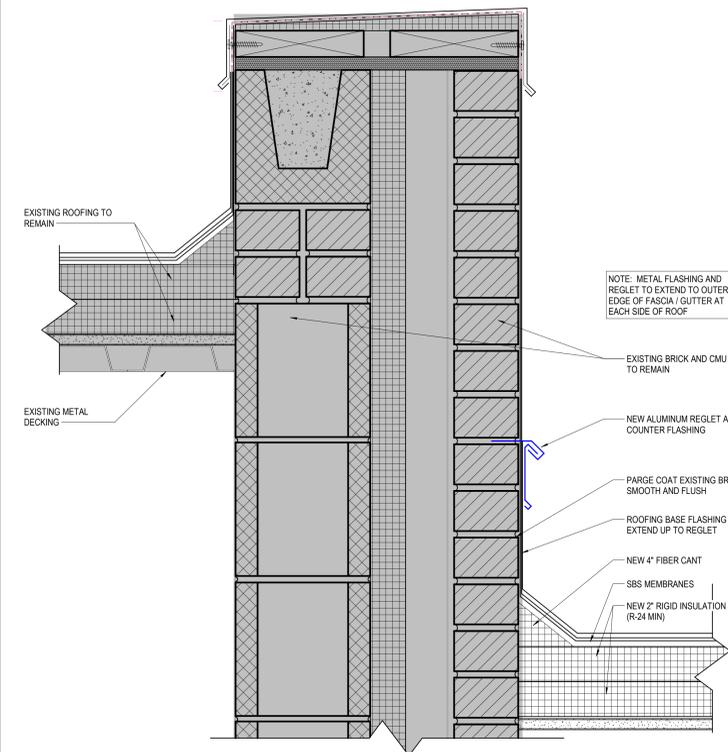
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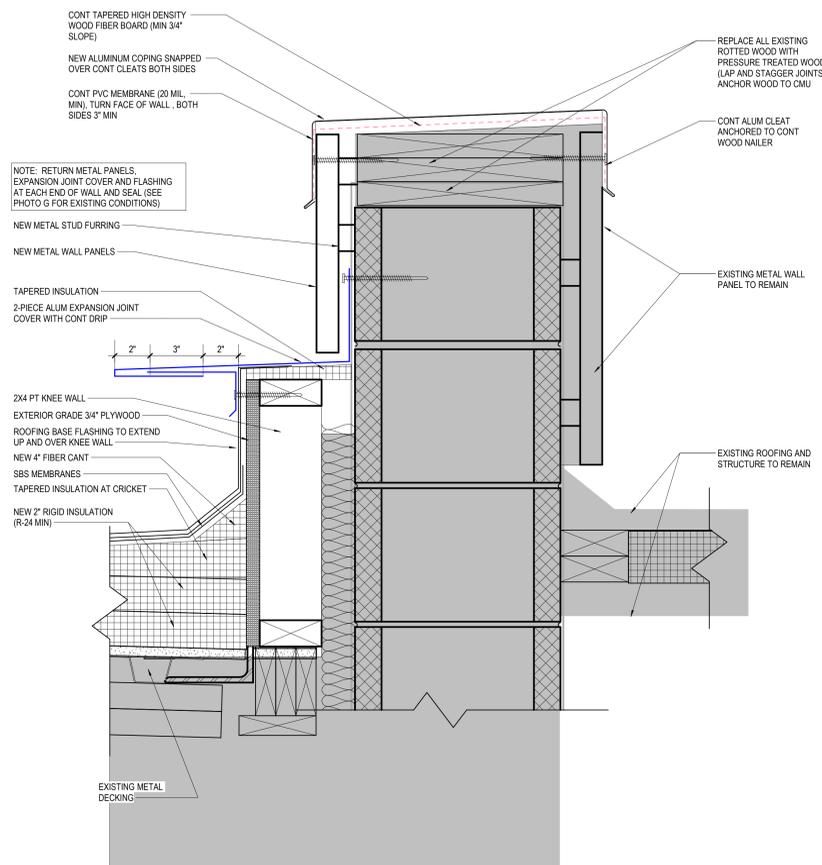
1 SECTION AT GUTTER
A-300 SCALE: 3" = 1'-0"



2 SECTION AT COPING
A-300 SCALE: 3" = 1'-0"



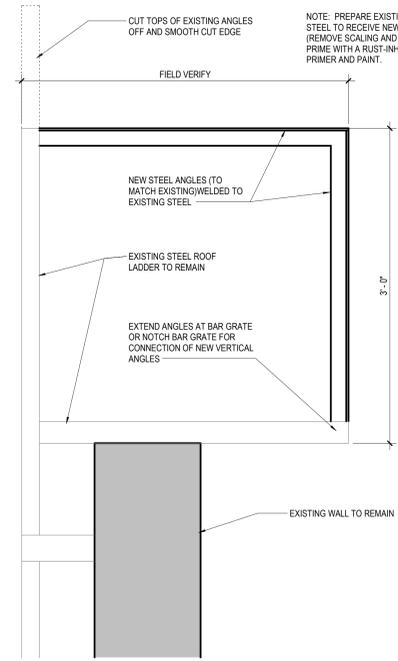
3 SECTION AT WEST CONNECTOR
A-300 SCALE: 3" = 1'-0"



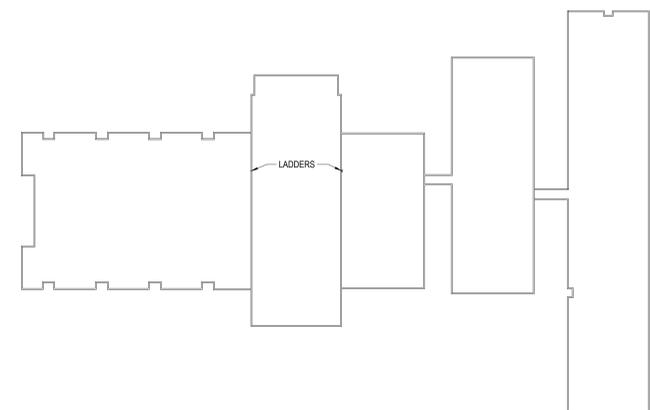
4 SECTION AT EAST CONNECTOR
A-300 SCALE: 3" = 1'-0"



ALTERNATE NO. 1



5 SECTION AT ROOF LADDER
A-300 SCALE: 1 1/2" = 1'-0"



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Revised plans and specifications are required to be on site for inspection.
Project: Waccamaw Elementary School Partial Roof Replacement - ESSER II
Plan Examiner: SAJ/ETH/SCY
Date: 12/8/2021
Time: 5:00 PM
SEB/DR

AVE SEAL



CORPORATE SEAL



PROJECT TITLE

WACCAMAW ELEMENTARY SCHOOL
PARTIAL ROOF REPLACEMENT - ESSER II
Horry County School District
251 CLARKEY RD. CONWAY, SC

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TITLE
EXTERIOR DETAILS

SHEET NO.
A-300