

**ADDENDUM NUMBER  
BID NUMBER IFB 22-002**

**WINDOW REPLACEMENT  
AT  
NORTH CENTRAL OFFICE EARLY CHILDHOOD CENTER (NCOECC)  
& WHITTIER ELEMENTARY**

**ISSUED: January 20, 2022**

**PURCHASING DEPARTMENT  
UNIFIED SCHOOL DISTRICT 500  
2010 N. 59<sup>th</sup> STREET, ROOM 370  
KANSAS CITY, KANSAS 66104  
(913) 551-3200**

Note the following changes to the above-mentioned bid. This information is to be taken into consideration when responding to the original bid document.

- 1. Addition of Documents:** Addendum 1, Attachment A – Construction Documents is hereby added, as they were omitted from Attachment B in the solicitation as issued.
- 2. No Other Changes:** No other changes or modification are intended by this Addendum. All other terms and conditions of the solicitation remain in effect.

WE HEREBY ACKNOWLEDGE AND UNDERSTAND THE ABOVE NOTED CHANGES TO THE ORIGINAL BID DOCUMENT AND AGREE TO FURNISH THE ITEMS ON WHICH PRICES ARE QUOTED IN ACCORDANCE WITH ALL TERMS AND CONDITIONS PREVIOUSLY LISTED AND ANY ATTACHED SPECIFICATIONS AND AMENDMENTS.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
TITLE: \_\_\_\_\_ PHONE: \_\_\_\_\_  
FIRM \_\_\_\_\_



# Whittier Elementary School (WES)

# &

# North Central Office Early Childhood Center

Kansas City Kansas Public School District

2010 N 59 St,

Kansas City, KS 66104

## CONSTRUCTION DOCUMENTS

we design the future™

1828 Walnut Street Suite 922  
Kansas City, MO 64108  
1 816.442.7700

115 Wilcox Street Suite 210  
Castle Rock, CO 80104  
1 720.949.1689

HOLLISANDMILLER.COM

Hollis + Miller Architects  
Kansas State Certificate of Authority  
Architecture # 14-138  
Structure # E-1324

hollis + miller architects  
miller

### ABBREVIATIONS

<b>A</b> ACT acoustical ADJ adjustable/adjacent AFF above finish floor ALUM aluminum ALT alternate ANOD anodized APPROX approximate(ly) ARCH architect(ural)	<b>F</b> FA fire alarm FD floor drain FND foundation FE fire extinguisher FEC fire extinguisher cabinet FF finish floor FH fire hose FIN finish(ed) FIXT fixture FLR floor FLEX flexible FOM face of masonry FOPC face of precast FOS face of stud FT (') foot FTG footing FV field verify	<b>M</b> MAS masonry MATL material MAX maximum MB markerboard MECH mechanical MEP mechanical/electrical/plumbing MFR manufacturer MIN minimum MISC miscellaneous MO masonry opening MTD mounted MTG HT mounting height MTL metal MULL mullion	<b>S</b> S south SCHED schedule SECT section SF square foot SHT sheet SHWR shower SIM similar SPEC specification SQ square SSTL stainless steel STC sound transmission coefficient STD standard STL steel STRUCT structure(al) SUSP suspend(ed) SY square yard SYM symmetrical
<b>B</b> BLDG building BLKG blocking BM beam BOT bottom of BRG bearing BRKT bracket BTM bottom BSMT basement BTWN between	<b>G</b> GA gauge GALV galvanized GC general contractor GEN general GL glass GR grade GYP gypsum GYP BD gypsum board	<b>N</b> N north NIC not in contract NO (#) number NOM nominal NRC noise reduction coefficient NTS not to scale	<b>T</b> T&B top & bottom T&G tongue & groove TO top of TOC top of curb TOM top of masonry TOS top of slab/steel TOW top of wall TS tube steel TYP typical
<b>C</b> CAB cabinet CC center to center CEM cement(tious) CG corner guard CJ control joint CLG ceiling CLR clear(ance) CM construction manager CMU concrete masonry unit COL column CONC concrete CONST construction CONT continuous CTR center CY cubic yard(s)	<b>H</b> HC handicapped HD head HDWD hardwood HDWR hardware HM hollow metal HORIZ horizontal HR hour HT height HVAC heating, ventilation & air conditioning	<b>O</b> OC on center OD outside diameter OTS open to structure OPNG opening OPP opposite	<b>U</b> UNO unless noted otherwise
<b>D</b> DF drinking fountain DIA diameter DIM dimension(s) DN down DS downspout DTL detail DWG drawing	<b>I</b> ID inside diameter IN (") inch(es) INDV individual INFO information INSUL insulation INT interior	<b>P</b> PAR parallel PCP portland cement plaster PERP perpendicular PL property line PLBG plumbing PLYWD plywood PNL panel PR pair PREFAB prefabricated PTD painted PVC polyvinyl chloride	<b>V</b> VERT vertical VTR vent thru roof
<b>E</b> EA east EF each face EIFS exterior insulation finish system EJ expansion joint ELEC electrical ELEV elevation EQ equal EQUIP equipment ETR existing to remain EW each way EXIST existing EXP expansion EXT exterior	<b>J</b> JST joist JT joint	<b>R</b> RAD radius RD roof drain RE refer to REINF reinforcing (ed) REV reversed REQ'D required RFG roofing	<b>W</b> W west WD wood WDO window WI with W/O without
<b>J</b> JST joist JT joint	<b>K</b> KIT kitchen	<b>Y</b> YD yard	<b>SYMBOLS</b> / per (or by) & and @ at [ channel ◊ centerline ∅ diameter/round ± plus/minus

### SYMBOL LEGEND

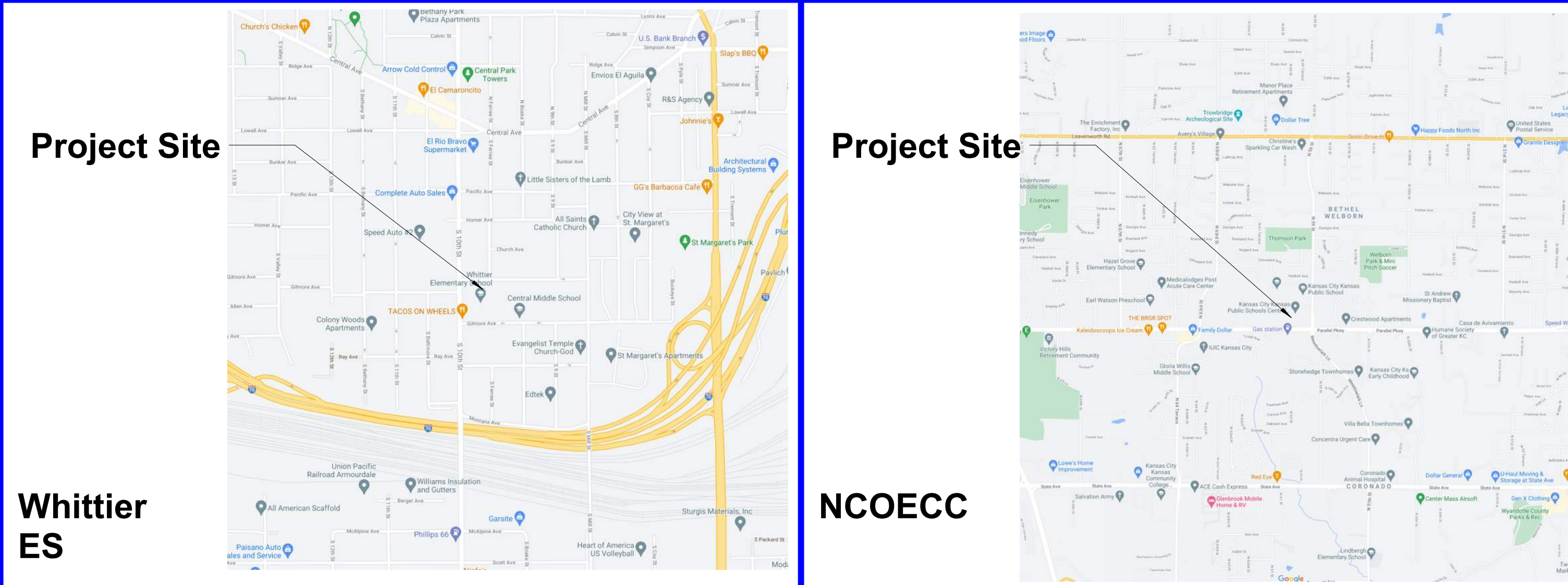
	BRICK (in section)	Classroom A101	RM NAME RM NUMBER
	CONCRETE MASONRY UNIT - CMU (in section)	A123	DOOR NUMBER
	CONCRETE (in section)	A	WALL TYPE
	GYP BD (in section)	A	FRAME TYPE
	PLYWOOD (in section)	1	GLASS TYPE
	RIGID INSUL & EIFS (in section)	A1	SECTION CUT LINE
	BATT INSUL (in section)	A1, A2, A3, A4, A5, A6, A7, A8, A9, A10, A11, A12, A13, A14, A15, A16, A17, A18, A19, A20, A21, A22, A23, A24, A25, A26, A27, A28, A29, A30, A31, A32, A33, A34, A35, A36, A37, A38, A39, A40, A41, A42, A43, A44, A45, A46, A47, A48, A49, A50, A51, A52, A53, A54, A55, A56, A57, A58, A59, A60, A61, A62, A63, A64, A65, A66, A67, A68, A69, A70, A71, A72, A73, A74, A75, A76, A77, A78, A79, A80, A81, A82, A83, A84, A85, A86, A87, A88, A89, A90, A91, A92, A93, A94, A95, A96, A97, A98, A99, A100	ELEVATION SYMBOL
	ACOUSTICAL TILE (in section)	A1, A2, A3, A4, A5, A6, A7, A8, A9, A10, A11, A12, A13, A14, A15, A16, A17, A18, A19, A20, A21, A22, A23, A24, A25, A26, A27, A28, A29, A30, A31, A32, A33, A34, A35, A36, A37, A38, A39, A40, A41, A42, A43, A44, A45, A46, A47, A48, A49, A50, A51, A52, A53, A54, A55, A56, A57, A58, A59, A60, A61, A62, A63, A64, A65, A66, A67, A68, A69, A70, A71, A72, A73, A74, A75, A76, A77, A78, A79, A80, A81, A82, A83, A84, A85, A86, A87, A88, A89, A90, A91, A92, A93, A94, A95, A96, A97, A98, A99, A100	ELEV NUMBER SHEET NUMBER
	STUCCO (in section)	A1, A2, A3, A4, A5, A6, A7, A8, A9, A10, A11, A12, A13, A14, A15, A16, A17, A18, A19, A20, A21, A22, A23, A24, A25, A26, A27, A28, A29, A30, A31, A32, A33, A34, A35, A36, A37, A38, A39, A40, A41, A42, A43, A44, A45, A46, A47, A48, A49, A50, A51, A52, A53, A54, A55, A56, A57, A58, A59, A60, A61, A62, A63, A64, A65, A66, A67, A68, A69, A70, A71, A72, A73, A74, A75, A76, A77, A78, A79, A80, A81, A82, A83, A84, A85, A86, A87, A88, A89, A90, A91, A92, A93, A94, A95, A96, A97, A98, A99, A100	
	SOIL	A1, A2, A3, A4, A5, A6, A7, A8, A9, A10, A11, A12, A13, A14, A15, A16, A17, A18, A19, A20, A21, A22, A23, A24, A25, A26, A27, A28, A29, A30, A31, A32, A33, A34, A35, A36, A37, A38, A39, A40, A41, A42, A43, A44, A45, A46, A47, A48, A49, A50, A51, A52, A53, A54, A55, A56, A57, A58, A59, A60, A61, A62, A63, A64, A65, A66, A67, A68, A69, A70, A71, A72, A73, A74, A75, A76, A77, A78, A79, A80, A81, A82, A83, A84, A85, A86, A87, A88, A89, A90, A91, A92, A93, A94, A95, A96, A97, A98, A99, A100	
	SAND	A1, A2, A3, A4, A5, A6, A7, A8, A9, A10, A11, A12, A13, A14, A15, A16, A17, A18, A19, A20, A21, A22, A23, A24, A25, A26, A27, A28, A29, A30, A31, A32, A33, A34, A35, A36, A37, A38, A39, A40, A41, A42, A43, A44, A45, A46, A47, A48, A49, A50, A51, A52, A53, A54, A55, A56, A57, A58, A59, A60, A61, A62, A63, A64, A65, A66, A67, A68, A69, A70, A71, A72, A73, A74, A75, A76, A77, A78, A79, A80, A81, A82, A83, A84, A85, A86, A87, A88, A89, A90, A91, A92, A93, A94, A95, A96, A97, A98, A99, A100	
	CONTINUOUS LUMBER	A1, A2, A3, A4, A5, A6, A7, A8, A9, A10, A11, A12, A13, A14, A15, A16, A17, A18, A19, A20, A21, A22, A23, A24, A25, A26, A27, A28, A29, A30, A31, A32, A33, A34, A35, A36, A37, A38, A39, A40, A41, A42, A43, A44, A45, A46, A47, A48, A49, A50, A51, A52, A53, A54, A55, A56, A57, A58, A59, A60, A61, A62, A63, A64, A65, A66, A67, A68, A69, A70, A71, A72, A73, A74, A75, A76, A77, A78, A79, A80, A81, A82, A83, A84, A85, A86, A87, A88, A89, A90, A91, A92, A93, A94, A95, A96, A97, A98, A99, A100	
	BLOCKING/SHIM	A1, A2, A3, A4, A5, A6, A7, A8, A9, A10, A11, A12, A13, A14, A15, A16, A17, A18, A19, A20, A21, A22, A23, A24, A25, A26, A27, A28, A29, A30, A31, A32, A33, A34, A35, A36, A37, A38, A39, A40, A41, A42, A43, A44, A45, A46, A47, A48, A49, A50, A51, A52, A53, A54, A55, A56, A57, A58, A59, A60, A61, A62, A63, A64, A65, A66, A67, A68, A69, A70, A71, A72, A73, A74, A75, A76, A77, A78, A79, A80, A81, A82, A83, A84, A85, A86, A87, A88, A89, A90, A91, A92, A93, A94, A95, A96, A97, A98, A99, A100	
	FINISH LUMBER/HARDWOOD	A1, A2, A3, A4, A5, A6, A7, A8, A9, A10, A11, A12, A13, A14, A15, A16, A17, A18, A19, A20, A21, A22, A23, A24, A25, A26, A27, A28, A29, A30, A31, A32, A33, A34, A35, A36, A37, A38, A39, A40, A41, A42, A43, A44, A45, A46, A47, A48, A49, A50, A51, A52, A53, A54, A55, A56, A57, A58, A59, A60, A61, A62, A63, A64, A65, A66, A67, A68, A69, A70, A71, A72, A73, A74, A75, A76, A77, A78, A79, A80, A81, A82, A83, A84, A85, A86, A87, A88, A89, A90, A91, A92, A93, A94, A95, A96, A97, A98, A99, A100	
	STEEL OR METAL	A1, A2, A3, A4, A5, A6, A7, A8, A9, A10, A11, A12, A13, A14, A15, A16, A17, A18, A19, A20, A21, A22, A23, A24, A25, A26, A27, A28, A29, A30, A31, A32, A33, A34, A35, A36, A37, A38, A39, A40, A41, A42, A43, A44, A45, A46, A47, A48, A49, A50, A51, A52, A53, A54, A55, A56, A57, A58, A59, A60, A61, A62, A63, A64, A65, A66, A67, A68, A69, A70, A71, A72, A73, A74, A75, A76, A77, A78, A79, A80, A81, A82, A83, A84, A85, A86, A87, A88, A89, A90, A91, A92, A93, A94, A95, A96, A97, A98, A99, A100	
	MATERIAL JOINT	A1, A2, A3, A4, A5, A6, A7, A8, A9, A10, A11, A12, A13, A14, A15, A16, A17, A18, A19, A20, A21, A22, A23, A24, A25, A26, A27, A28, A29, A30, A31, A32, A33, A34, A35, A36, A37, A38, A39, A40, A41, A42, A43, A44, A45, A46, A47, A48, A49, A50, A51, A52, A53, A54, A55, A56, A57, A58, A59, A60, A61, A62, A63, A64, A65, A66, A67, A68, A69, A70, A71, A72, A73, A74, A75, A76, A77, A78, A79, A80, A81, A82, A83, A84, A85, A86, A87, A88, A89, A90, A91, A92, A93, A94, A95, A96, A97, A98, A99, A100	
	BUILDING EXPANSION JOINT	A1, A2, A3, A4, A5, A6, A7, A8, A9, A10, A11, A12, A13, A14, A15, A16, A17, A18, A19, A20, A21, A22, A23, A24, A25, A26, A27, A28, A29, A30, A31, A32, A33, A34, A35, A36, A37, A38, A39, A40, A41, A42, A43, A44, A45, A46, A47, A48, A49, A50, A51, A52, A53, A54, A55, A56, A57, A58, A59, A60, A61, A62, A63, A64, A65, A66, A67, A68, A69, A70, A71, A72, A73, A74, A75, A76, A77, A78, A79, A80, A81, A82, A83, A84, A85, A86, A87, A88, A89, A90, A91, A92, A93, A94, A95, A96, A97, A98, A99, A100	

### INDEX OF DRAWINGS

GENERAL	G000 COVER SHEET
DEMOLITION - ARCHITECTURE	DA101 DEMOLITION FLOOR PLAN - WHITTIER ES
	DA102 DEMOLITION FLOOR PLAN - NCOECC
ARCHITECTURE	A101 FLOOR PLANS - WHITTIER ES
	A102 FLOOR PLAN - NCOECC
	A500 DOOR SCHEDULE, TYPES, FRAMES
	A501 WINDOW DETAILS

ADD ALTERNATE #1: NCOECC - ADD OPERABLE WINDOW INSERT AT ALL EXISTING LOCATIONS AS SHOWN ON ELEVATIONS A1, D1 AND H1 ON DA102. REFERENCE WINDOW SPEC FOR TYPE.

### VICINITY MAP



### DESIGN TEAM

**ARCHITECT:**  
Hollis + Miller Architects  
1828 Walnut Street Ste 922  
Kansas City, MO 64108  
CONTACT: Kate Waynick  
PHONE: 816.442.7700  
FAX: 816.599.2545

Whittier ES & NCOECC Window Replacement  
Kansas City Kansas Public School District  
2010 N 59 St,  
Kansas City, KS 66104

CONSTRUCTION DOCUMENTS

### REVISIONS:

#	Description	Date



Keegan Jackson  
4127

JOB NO: 21029  
DRAWN BY: VP  
CHECKED BY: SB  
DATE: 10/21/2021

# G000



**DIVISION 2: DEMOLITION / EXISTING CONDITIONS**

- Refer to drawings for demolition requirements. Scope includes, but is not limited to: removing and replacing existing windows, trim, flashing and metal panels.
  - Coordinate demolition of any mechanical, electrical and plumbing items with the Owner. Disconnect existing utilities, as necessary, and remove or relocate portions interfering with new work. Note that the existing building must remain in operation during the time of construction; except for scheduled shut-downs.
    - Provide minimum of 72 hours advance notice to Owner of demolition activities that will affect Owner's normal operations.
    - Provide protective measures as required to provide free and safe passage of Owner's personnel and general public to occupied portions of building.
  - Submit a schedule indicating proposed sequence of operations for selective demolition work to Architect for review prior to start of work. Include coordination for shutoff, capping, and continuation of utility services as required, together with details for dust and noise control protection.
  - Salvage of existing items to be reused and items to be turned over to the Owner.
  - Unless otherwise indicated, demolition waste becomes property of Contractor.
    - Owner will retain "first right of refusal" for demolished items.
  - Damages: Promptly repair damages to existing construction to remain caused by demolition work.

**DIVISION 6: CARPENTRY**

- GENERAL:** Lumber shall comply with DOC PS 20 "American Softwood Lumber Standard". All dimension and framing lumber shall be Douglas fir or southern pine. All lumber shall be kiln dried to 19% maximum moisture content and each piece shall be factory marked with grade stamp. Wood shall be free from loose or unsound knots, shakes or other damaging imperfections.
  - All lumber except as noted (2" to 4" thick, 2" and wider): S4S, No. 2 or better.
  - Miscellaneous boards: standard or better.
- WOOD PANEL PRODUCTS:** All wood panel products shall be appropriately graded to comply with DOC PS 1 "US Product Standard for construction and industrial plywood; products not manufactured under DOC PS-1 provisions shall comply with APA PRP-108. Factory mark each panel with the APA "The Engineered Wood Association" trademark indicating compliance with panel grade requirements specified.
- Comply with AF&PA's WCD 1, "Details for Conventional Wood Frame Construction". All work shall be accurately laid out, cut and fitted, level and true. Work shall be adequately braced and shall be secured with sufficient nails, screws, bolts and adhesives to assure its structural integrity. For further reference, see table II "recommended nailing schedule" of the 2018 International Building Code for recommended nailing schedule.
- Provide and install all necessary items of wood furring, nailers, blocking, etc., as indicated and required sound construction. Provide and install all necessary bolts, hangers, nails, screws, and other items classed as rough hardware as required for the complete anchoring of wood members.
- Blocking and Nailers:** All lumber and plywood shall be preservative treated according to AWPA U1 requirements for use category UC2, minimum. Provide wood nailers, cants, blocking, framing members, etc., in connections with roofing, flashing, vapor barriers and waterproofing, wood sills, sleepers blocking, furring, striping on similar concealed members in contact with masonry or concrete. Provide treated lumber and plywood with at least 0.25 retention and kiln dry after treatment to KDAT 19. Treated lumber and plywood shall be separated from adjacent metal with a #30 asphalt felt insulation strip and shall be fastened with stainless steel or double-dipped, hot-dip galvanized fasteners.
  - Preservative-treated blocking, grounds and nailers (061000.A12): S4S, No. 2 or better.
  - Preservative-treated plywood blocking non-fire-retardant treated (061000.A22): Provide 1/2" or 5/8" thick, minimum CDX APA rated preservative treated plywood.
- Flexible Flashing (061000.A24):** Provide self-adhering, polyethylene-sheet-backed rubberized asphalt membrane, not less than 40 mils thick.
- INTERIOR FINISH CARPENTRY:** General. Comply with AWI Sections 300 and 500 for "Premium Grade requirements."
  - Transparent trim (062023.A01): Standing and running trim shall match existing. Trim shall match wood species, cut, profiles, stain color and finish, to best extent possible.
  - Fasteners: Provide nails, screws and other anchoring devices of type, size, material and finish required for application indicated to provide secure attachment, concealed where possible and to match existing.
  - Back out or kerf backs of standing and running trim, except those with ends exposed in finished work.

PAGE 1

- Cut and fit thresholds to door frame profiles. Prepare thresholds for the attachment of strikes and clearance for sprints as required. Set thresholds in a continuously laid bed of polyisobutylene mastic sealant to completely fill voids and exclude moisture from every source.
- GLASS:**
  - General: Intent is to match tint of existing glass. Glass Type shall be Type 43 as indicated.
  - Glass and Glazing Requirements - General:
    - Primary glass of each (ASTM C 1036), Type 1, Class 1, Quality 1.
    - Heat-treated glass of each (ASTM C 1048) condition indicated.
    - Safety Glass: Products complying with ANSI Z97.1 and testing requirements of 16 CFR Part 1201 for Category II materials.
      - Subject to compliance with requirements, provide safety glass permanently marked with certification label of Safety Glazing Certification Council (SGCC) or other certification agency acceptable to authorities having jurisdiction.
  - Insulating Glass Certification Program: Provide insulating glass units permanently marked either on spacers or at least one component lite of units with appropriate certification label of inspecting and testing agency.
  - Glass Type 43 - Tinted low-E Insulated Fully Tempered Glass (088000.A43): Provide 1 inch thick unit constructed of 1/4" clear fully tempered exterior lite conforming to ASTM C 1048, Condition A, Kind FT, Type 1, Class 2 (tinted), Quality 1, 1/2" air space and 1/4" clear fully tempered interior lite conforming to ASTM C 1048, Condition A, Kind FT, Type 1, Class 1 and Quality 1. Winter U-value shall not exceed 0.31.

**DIVISION 9: FINISHES**

- GYPSUM BOARD - General:** Gypsum installation shall comply with USG "Gypsum Construction Handbook", latest edition and the Gypsum Association most stringent requirements shall govern. Fire rated gypsum drywall systems shall comply with U.L. design indicated.
  - Mold and Moisture Resistant Gypsum Board (092900.A06): Provide 5/8" thick mold and moisture resistant, Type "X" gypsum board. Board shall have a mold and mildew resistance average panel score of 8 per ASTM D 3273. Install board in wet areas and in restrooms unless indicated otherwise.
  - All accessories as required for a complete installation per U.S.G., recommended guidelines.
  - Gypsum Board Trim (092900.A11): Provide zinc-coated steel corner beads, edge trim and control joints which comply with ASTM C 1047.
    - Control joints within gypsum board assemblies shall be spaced at 28'-0" on center, unless specifically indicated otherwise.
    - Reveal Trim (092900.A13): Provide reveal trim fabricated from 6063-T5 aluminum alloy extruded to shapes indicated. Basic of specification for reveal trim types are products from Fry Reglet Corporation. Reveal trim profiles include: DRMF, DRM 50-50 and DRM 625-50.
  - Provide tape, self tapping screws, adhesive, sealant, joint compounds, etc.
  - There shall be no installation of gypsum board until the building is closed in, weather tight and the interior relative humidity within the last 24 hours period ranges from 40 to 60 percent. All gypsum board shall be dry and shall be cleaned of dirt and debris before it is installed. All boards shall be installed vertically.
  - Finish drywall to a Level 4 finish, unless specifically indicated to receive a Level 5 finish. Finish levels shall be in accordance with Gypsum Associates GA-214-10e requirements.
    - Contractor whose work will be applied to drywall shall inspect the drywall finish to confirm the finish is acceptable to receive his/her work.
  - Patching and repair shall be flush with adjacent surfaces and feathered to create a non-visible transition.
- PAINTING:** Paint shall be delivered, stored and handled in sealed containers from one of the approved paint manufacturers. Care should be taken to prevent danger of fire or noxious odors. Paint to match existing adjacent surfaces and to repair damage due to demolition and new construction.
  - All paint shall be "low VOC" type to best extent possible.
  - Paint shall be applied when weather, temperature and humidity are acceptable to the manufacturer.
  - Paint shall be applied in the minimum number of coats required, and in the minimum square footage recommended by manufacturer in order to achieve complete and even coverage, and proper mil thickness. Paint shall be applied by brush and roller or spray.
  - All surfaces shall be properly prepared, dirt removed, holes filled, surfaces sanded, in order to achieve a first class look.
  - Basis-of-Design Manufacturers: Sherwin-Williams.
  - Colors: Match existing adjacent color. Colors not specifically indicated will be selected by Architect.
  - Paint schedule:
    - CMU (Latex): Latex primer first coat or Loxon primer and two topcoats of ProMar 200 Zero VOC Interior Latex, sheen shall be eggshell.
    - Gypsum Board (Latex): Latex primer first coat and two topcoats of ProMar 200 Zero VOC Interior Latex, sheen shall be eggshell.

PAGE 4

- Install interior finished carpentry level, plumb, true and aligned with adjacent materials. Use concealed shims where necessary for alignment. Scribe and cut to fit adjoining work. Any exposed fasteners shall be countersunk, filled and sanded flush. Standing and running trim shall be installed using full length pieces from maximum lengths to minimize number of joints. Pre-drill pilot holes to avoid splitting.

**DIVISION 7: MOISTURE CONTROL AND INSULATION**

- INSULATION:**
    - Unfaced Fiberglass Batt Insulation (072100.A08): Provide fiberglass insulation as necessary and where indicated to fill miscellaneous voids between windows and adjacent wall construction. Insulation shall conform to ASTM C 665, Type 1 Class A rated.
  - INSULATED METAL SPANDREL PANELS (084113.A27):** Provide "Mapes-R panel" as manufactured by Mapes Architectural Panels. Panels shall be 1 inch thick, smooth-textured aluminum sandwich panels consisting of: 0.032 inch thick aluminum exterior skin, 1/8 inch tempered hardboard backing sheet, a rigid closed cell #2 density polyisocyanurate insulation core, another 1/8 inch tempered hardboard backing sheet and an interior skin of 0.032 inch thick aluminum. Finishes shall be dark bronze color. Install panels securely anchored in place and seal water tight.
  - SHEET METAL FLASHING AND TRIM:** Provide all materials, accessories, detailing, and installation for each item which conforms to the recommendations shown in the "Architectural Sheet Metal Manual" published by the Sheet Metal and Air Conditioning Contractors National Association, Inc., (SMACNA), latest edition and as follows:
    - Pre-finished Metal Materials: Fabricate sheet metal flashing and trim from prefinished aluminum or coil coated galvanized steel. Aluminum shall comply with ASTM B 209 for sheet and plate and ASTM B 221 for bars, profiles and tubes. Prefinished aluminum shall not be less than 0.030" thick. Coil coated galvanized steel sheet shall comply with the following: Zinc coated, commercial quality steel sheet conforming to ASTM A 755, G 90 (ASTM A 755M, Z 275) coating designation, coil coated with 70 percent high-performance fluoropolymer coating. Coil coated galvanized steel shall not be less than 0.0239" thick (24 ga), unless otherwise indicated.
      - Stainless Steel: AISI Type 302/304, complying with ASTM A 167, 2D annealed finish, soft, except where harder temper required for forming or performance; minimum thickness of 0.0188" (20 ga).
    - Metal Finish: Aluminum shall be dark bronze anodized or coil coated to match existing adjacent windows. Galvanized steel shall receive a full strength (70%), factory-applied baked fluoropolymer (Kynar). Color shall be dark bronze to match adjacent windows.
  - Underlayment (076200.A01): Self-adhering, high-temperature, cold-applied, sheet underlayment, 30 mils thick minimum, consisting of slip-resistant, polyethylene-film top surface laminated to a layer of butyl or SBS-modified asphalt adhesive, with release-paper backing. Provide primer when recommended by underlayment manufacturer.
  - Counter Flashing (076200.A18): Fabricate and install counterflashings as shown in SMACNA Manual, Figure 4-3A with receiver or Figure 4-3B (spring locked).
    - Counter flashing receiver (076200.A19): 0.0156" thick stainless steel.
  - Pre-finished Miscellaneous Metal Flashing (076200.A35): Fabricate to configurations indicated.
  - Cleats (076200.A36): Provide 20 gauge galvanized steel. Fabricate as recommended by SMACNA manual.
  - Accessories: Provide all prefinished sheet metal trim, fasteners, sealants, etc., for a complete watertight installation.
- SEALANTS (079200.A01):** Prior to installation of sealants, field-test their adhesion to joint substrates for each type of sealant as recommended by sealant manufacturer.
  - General: All sealants applied against glazing/window framing systems shall be the responsibility of the Glazing Contractor.
  - Exterior sealant shall be Tremco "Spectrum 4-TS", GE Silicone Silpruf or Dow Corning Silicone. Sealant in contact with exterior masonry shall be non-staining type.
  - Interior sealant shall be multi-part non-sag urethane sealant. Type M, Grade NS, Class 25; use NT (nontraffic), M, G, A, and as applicable to nonporous joint substrates indicated. Provide Dynatrol II" by Pecora Corporation, Dymeric 240/240FC" by Tremco, Inc. or equivalent.
- BACKER ROD:** Closed cell polyethylene foam.
  - Install sealants and backers as recommended by sealant manufacturer to meet conditions involved.
  - Sealant with backer rod system (079200.A02).
    - Interior Stained Wood: Sanding sealer first coat, second coat stain, third & fourth coat varnish.
    - Epoxy Paint (099000.A01): In restrooms and other locations where scheduled provide one coat primer and two topcoats of waterbased pre-catalyzed epoxy. Semi-gloss sheen.
    - Dryfall Paint (099123.A07): 2 coats Waterborne Acrylic Dryfall, sheen as selected by Architect.
    - Exterior ferrous metal: Red primer first coat, water base enamel, second & third coats.
    - Exterior galvanized metal: Galvanized steel primer first coat alkyd enamel second and third coats.
    - Interior ferrous metal: Primer first coat, Alkyd enamel, second & third coats.

**DIVISION 12: FURNISHINGS**

- HORIZONTAL LOUVER BLINDS (122113.A01):** Provide Springs Window Fashions LLC (SWF); Ball Classics 1" Mini Blind. Louver blinds shall have a lifetime warranty. Louver blinds shall have the following minimum features:
  - Slats shall be 1 inch wide by 0.006 inch thick aluminum and antistatic and antimicrobial paint finish. Slats shall have a with crowned profile and radiused corners. Colors to be selected from manufacturer's standard range.
  - Headrail shall be 1 by 1-1/2 inches by 0.025 inch thick, U-shaped steel.
  - Bottom Rail: Formed-steel or extruded-aluminum tube, with plastic or metal capped ends top contoured to match crowned shape of slat; with enclosed ladders and tapes to prevent contact with wall.
  - Ladders: Evenly spaced to prevent long-term slat sag. Braided string ladders shall be dyed to match slat color or be a complementary color acceptable to Architect.
  - Provide with top-lock cord and ring pulps.
  - Installation shall be in accordance with louver blind manufacturer's written instructions.

PAGE 5

**DIVISION 8: DOORS, WINDOWS, GLASS, HARDWARE**

- GENERAL:** Existing door hardware shall be salvaged and reused. Existing frames shall be reused, except where indicated. Provide new doors, weatherstripping, sweeps, gaskets and drip heads for a weatherlight installation.
- ALUMINUM ENTRANCE DOORS (084113.A12):** Aluminum and glass entrance doors shall be of size as shown in the drawings and shall be of a Wide Style Design similar to Kawneer "Series 500." Head rail shall be 6" high, midrail shall be 8" high, and bottom rail shall be 10" high. Door construction shall be as follows:
  - Doors shall be made extruded aluminum sills and rails with a minimum thickness of .125".
  - Glazing moulding shall be .050" thick, snap-in type square stops.
  - Finish shall be Class 1, clear anodized, minimum 0.7 mils thickness.
- Hardware and accessories:**
  - Reuse existing hardware to best extent possible.
  - Weatherstripping (sealair).
  - Weather sweeps (#-#38-167).
  - Drip heads similar to Pemko 346D.
- All exterior doors shall have minimum 4" wide aluminum thresholds set in full and continuous beads of sealant and tightly secured with matching screws. Note: threshold shall always match finish color of entry doors unless doors have a painted finish then the threshold shall be clear anodized.
- Glazing shall be as indicated and specified.
- Standards:
  - Aluminum Association, Class 1
  - Architectural Aluminum Manufacturer's Association guidelines.
  - Manufacturer's specification for installation.
- ENTRANCE, STOREFRONT FRAMING AND WINDOW SYSTEM:** Aluminum entrances and storefront framing (084113.A01) shall be of design as shown in the drawings and shall be similar to Kawneer TriFab 450/451 VG 451T Series. Frame construction shall be of extruded aluminum tubes 2" x 4-1/2" thermally broken system. Aluminum framing (084113.A03) at Whittier Elementary shall match Kawneer TR-7100 and frame construction shall be 3-1/4" deep. Framing systems shall be as follows:
  - Finish shall be Class 1, dark bronze anodized, minimum 0.7 mil thickness to match existing.
  - Storefront framing system and glazing shall achieve a U-value of 0.47, minimum.
  - Subsills (084113.A21): Provide high performance subsill with internal water collection trough, weep system and full-height end dams.
  - Aluminum Closure Flashing (084113.A22): Provide 0.040" thick aluminum finished to match adjacent storefront framing. Fabricate closure flashing to configurations indicated.
  - Jamb Closure Membrane (084113.A25): Use same product as 076200.A01 Adhere to interior substrate, extend over air cavity/joint between exterior finish and interior wall construction to seal gaps. Membrane shall overlap end dams to direct water into subsills.
  - Provide preformed channel stiffeners at all door jambs.
  - Aluminum frame and head shall be reinforced with steel to receive door closers and hinges.
  - Glazing shall be set in neoprene glazing strips.
  - Isolate all aluminum in direct contact with incompatible materials with zinc chromate paint.
- OPERABLE WINDOWS:** Operable insert windows indicated for NCOECC shall be an alternate. Windows shall match existing function, style and shall be equipped with screens.
  - Basis-of-Design: Provide Kawneer: 8225 TLF Series operable windows or approved comparable product.
  - Windows shall be 2-1/4 to 2-1/2 inches deep.
  - Windows shall meet AW-100-FW for Class and Grade.
  - Windows shall be capable of installing into storefront framing and match finish of adjacent storefront.
- HARDWARE:** Contractor shall provide all necessary hardware for a complete operation. Reuse existing door hardware. Any new hardware shall match existing. New hardware to include but not limited to:
  - Weatherstripping as required, including drip heads on exterior doors.
  - Silencers and gaskets. Provide listed smoke gasketing at all labeled doors.
  - Note: All hardware to be medium grade-commercial. Finish to match door.
- HARDWARE INSTALLATION**
  - Carefully inspect doors, frames, and conditions under which hardware will be installed. Do not proceed until unsatisfactory conditions are corrected.
  - Mount Hardware units at heights indicated in respective DHI Standards, except as specifically indicated or required to comply with governing regulations, and except as may be otherwise directed by Architect. Install each hardware item in compliance with the manufacturer's instructions and written recommendations.

PAGE 3

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Structure # E-134

Whittier ES & NCOECC Window Replacement  
Kansas City Kansas Public School District

2010 N 59 St,  
Kansas City, KS 66104

**REVISIONS:**

#	Description	Date
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Keegan Jackson  
4127

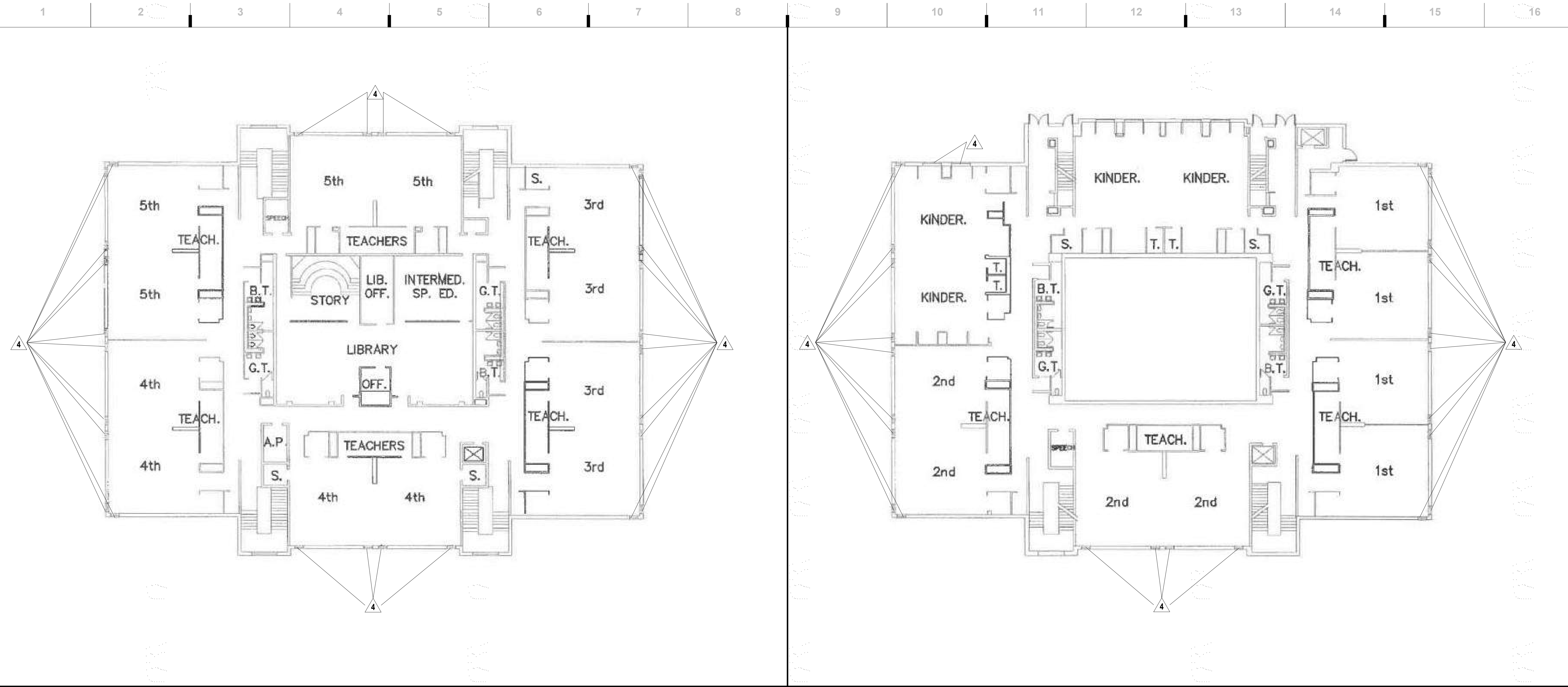
The Professional Architects and Architects-in-Charge shall be responsible for the content and accuracy of the work. All drawings, specifications and schedules are subject to the approval and signature of the architect. The architect assumes no responsibility for the construction of the work.

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CHECKED BY: KP  
DATE: 10/21/2021

**G100**

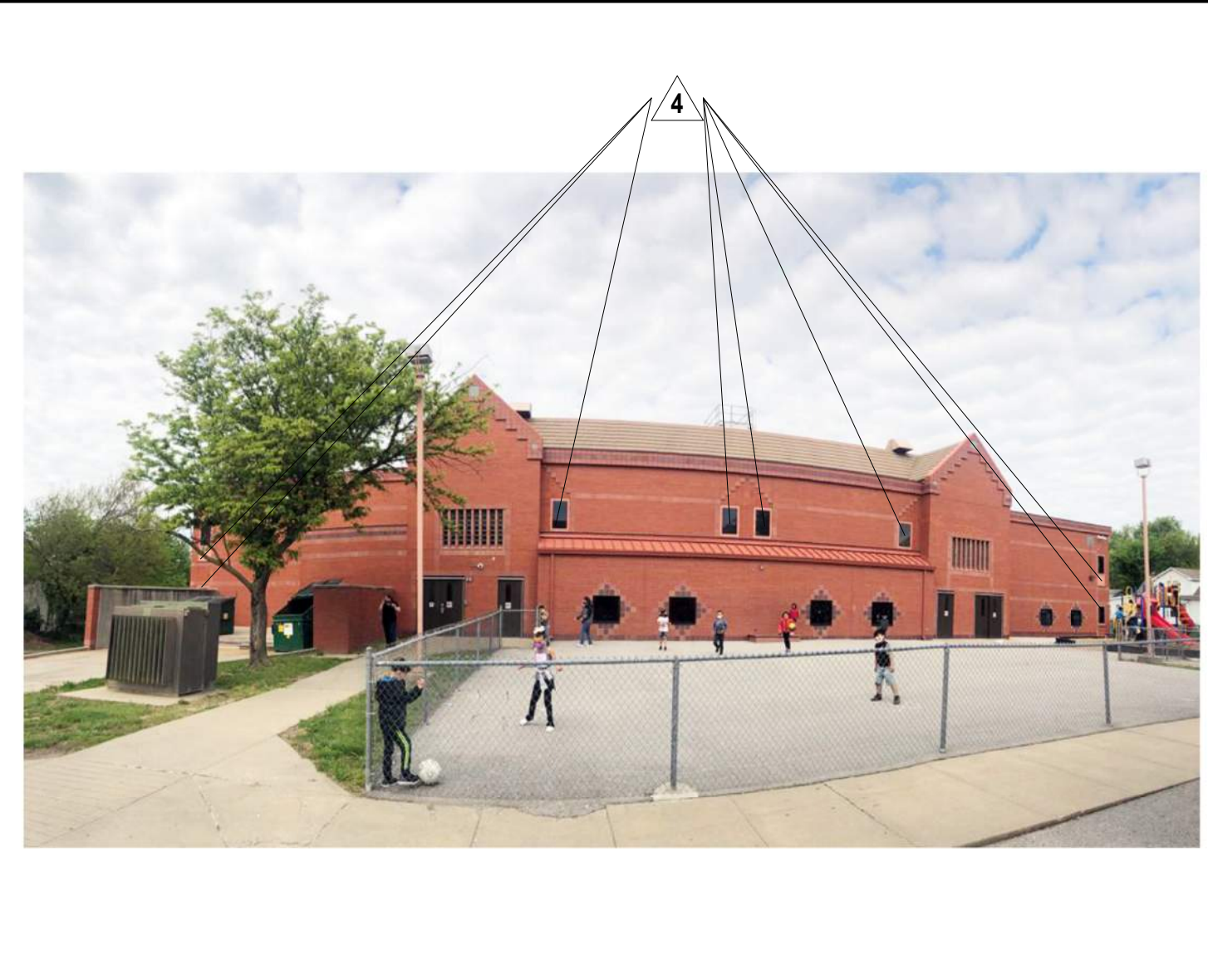
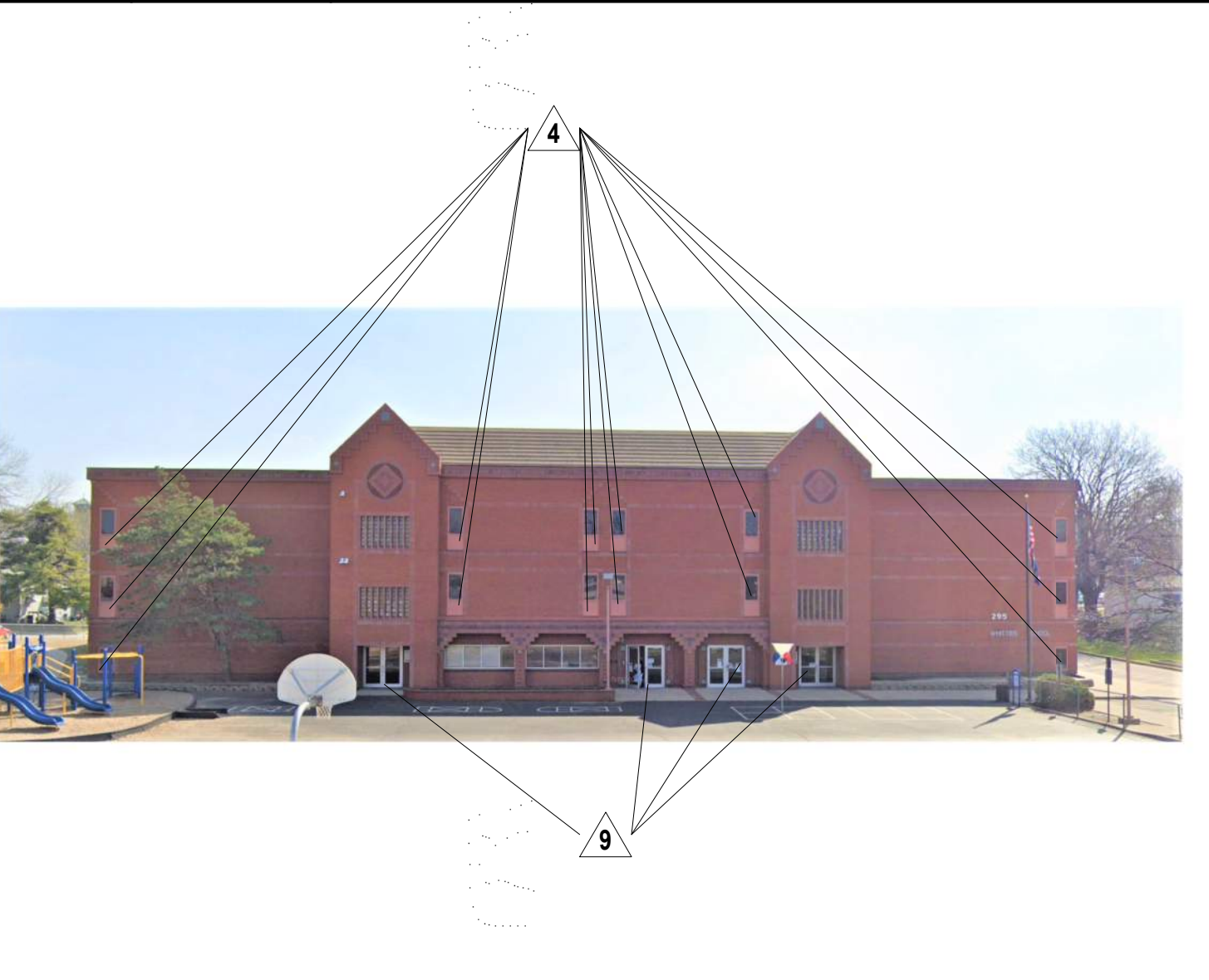
**SPECIFICATIONS**  
Page 6 of 6





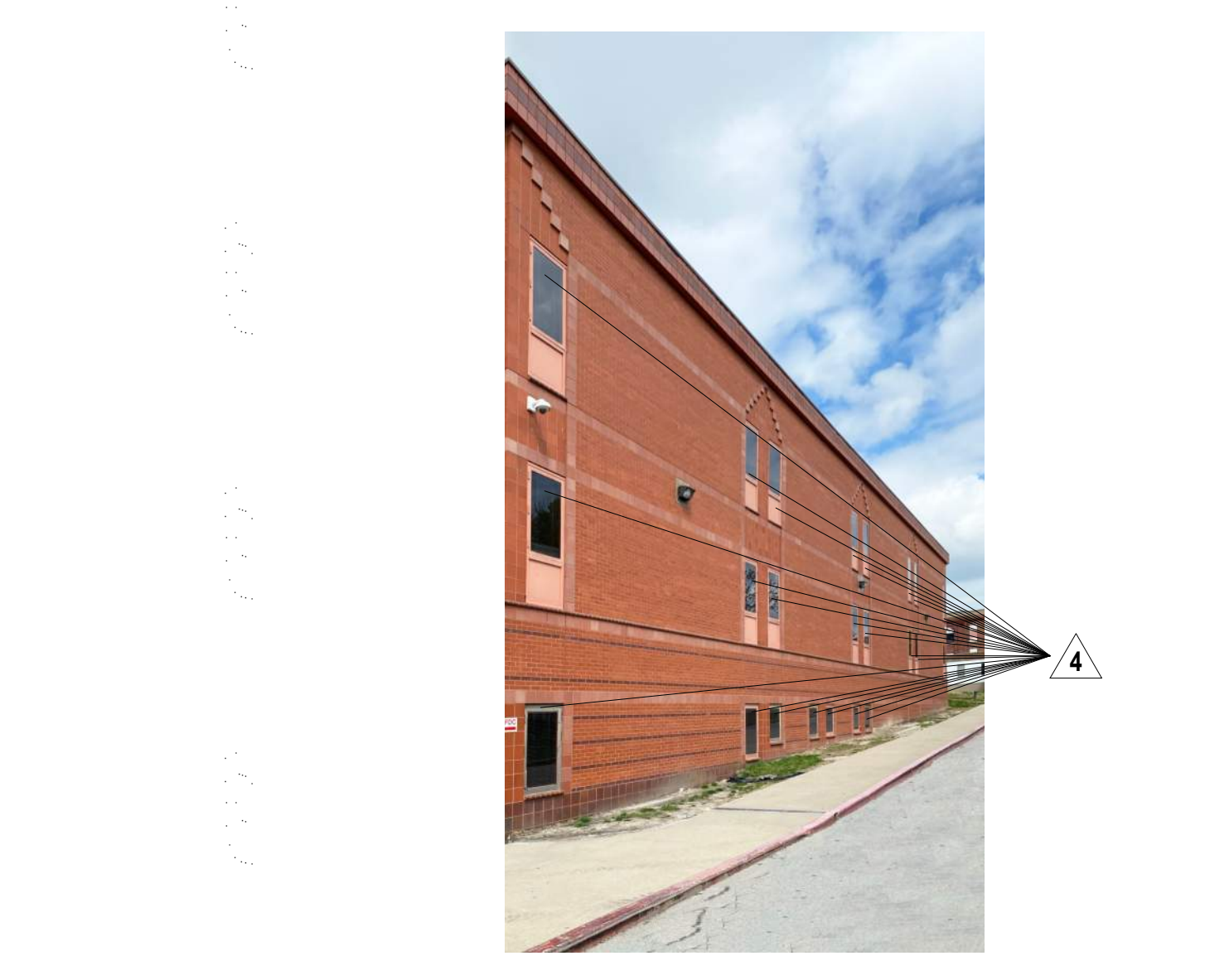
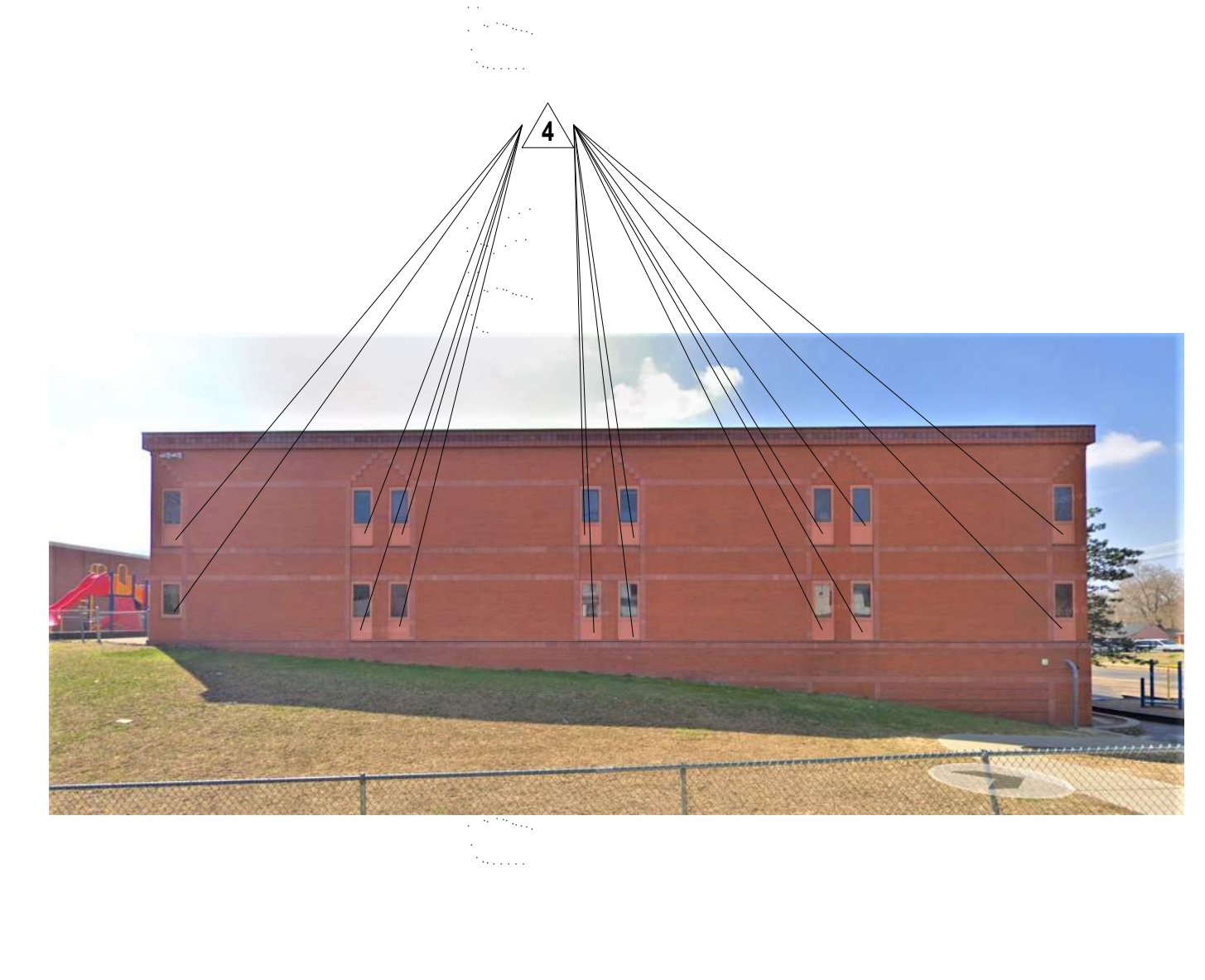
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**J9** Scale 1/16" = 1'-0" Demo Floor Plan Level 2 - Whittier ES



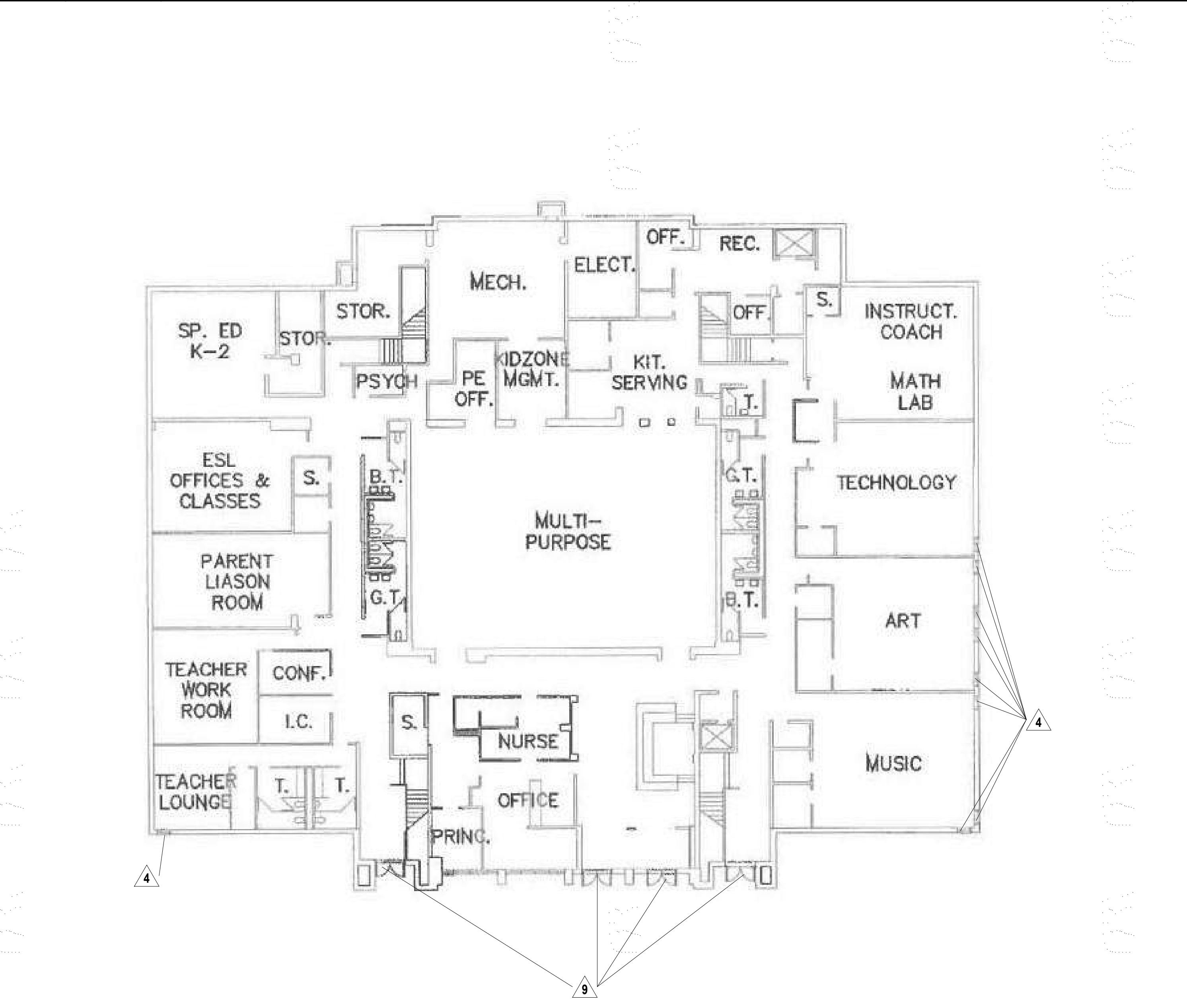
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**E5** Scale No Scale Ref Photo - Existing East Elevation - Whittier ES



**A1** Scale No Scale Ref Photo - Existing North Elevation - Whittier ES

**A5** Scale No Scale Ref Photo - Existing South Elevation - Whittier ES



**A9** Scale 1/16" = 1'-0" Demo Floor Plan Level 1 - Whittier ES

**DEMOLITION NOTES**

- WALLS**
- 1 NOT USED
  - 2 NOT USED
  - 3 NOT USED
  - 4 REMOVE EXISTING ALUMINUM OR HOLLOW METAL FRAMED GLAZING SYSTEM. CLEAN ALL EXISTING SEALANT FROM MASONRY AND WALLS.
  - 5 REMOVE EXISTING HOLLOW METAL FRAME, DOOR AND ALL RELATED HARDWARE.
  - 6 REMOVE EXISTING DOOR, SALVAGE HARDWARE FOR NEW DOOR - EXISTING FRAME TO REMAIN.
  - 7 REMOVE EXISTING WOOD TRIM AND SAVE FOR REINSTALLATION.
  - 8 REMOVE METAL PANELS AT COLUMNS AND DOOR.
  - 9 REMOVE EXISTING ALUMINUM DOOR AND HARDWARE. SAVE HARDWARE FOR REINSTALLATION.

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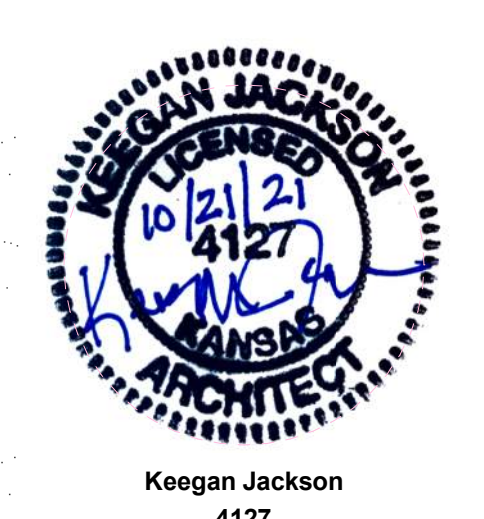
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 Kansas City Kansas Public School District  
 2010 N 59 St,  
 Kansas City, KS 66104

**GENERAL DEMOLITION NOTES**

1. DEMOLITION INCLUDES THE REMOVAL OF EXISTING CONSTRUCTION WHICH CONFLICTS WITH WORK TO BE BUILT/INSTALLED IN NEW CONSTRUCTION. TRANSITIONS BETWEEN DEMOLITION AND EXISTING TO REMAIN TO BE CAREFULLY COORDINATED
2. DASHED LINES INDICATE EXISTING CONSTRUCTION TO BE DEMOLISHED/REMOVED
3. EVERY DETAIL OF THE DEMOLITION WORK MAY NOT BE COVERED ON THESE DRAWINGS, BUT THE DEMOLITION CONTRACTOR SHALL COORDINATE WITH THE GC/CM TO ENSURE ALL REQUIRED ITEMS ARE REMOVED IN ORDER FOR NEW WORK TO BE COMPLETED
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5. THE OWNER WILL IDENTIFY ALL ITEMS TO BE SALVAGED PRIOR DEMOLITION STARTING. CONTRACTOR SHALL SALVAGE AND TURN OVER TO THE OWNER ALL EQUIPMENT IDENTIFIED. ALL REMAINING ITEMS SHALL BE REMOVED BY THE DEMOLITION CONTRACTOR
6. COORDINATE THE REMOVAL OF ALL PORTIONS OF LOAD BEARING ELEMENTS WITH THE STRUCTURAL ENGINEER PRIOR TO REMOVAL. PROVIDE TEMPORARY SHORING AS REQUIRED

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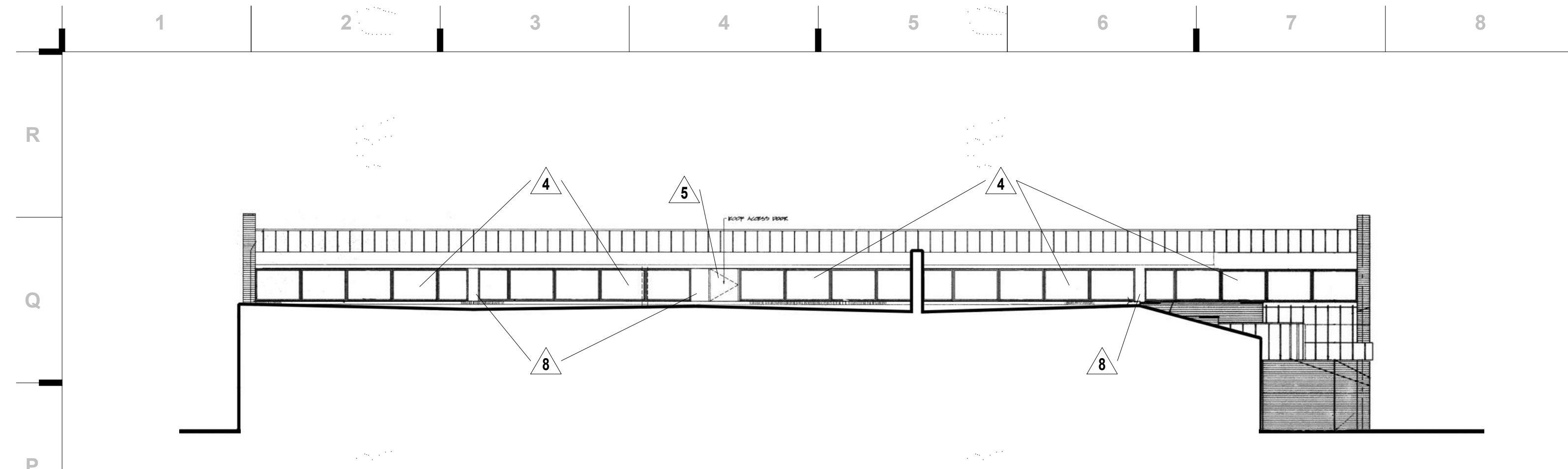
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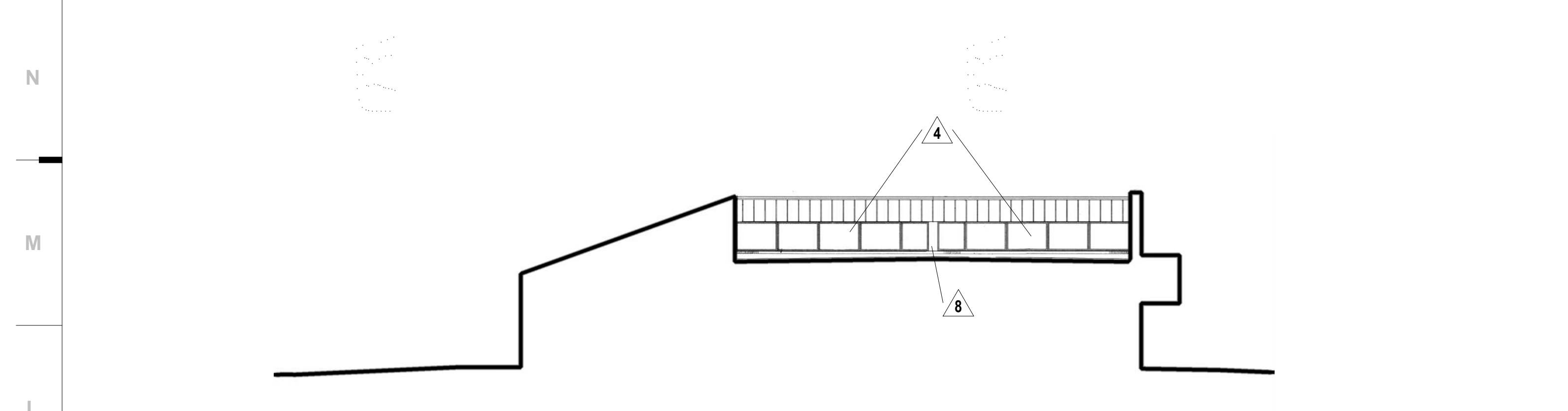
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 DATE: 10/21/2021

**DA101**

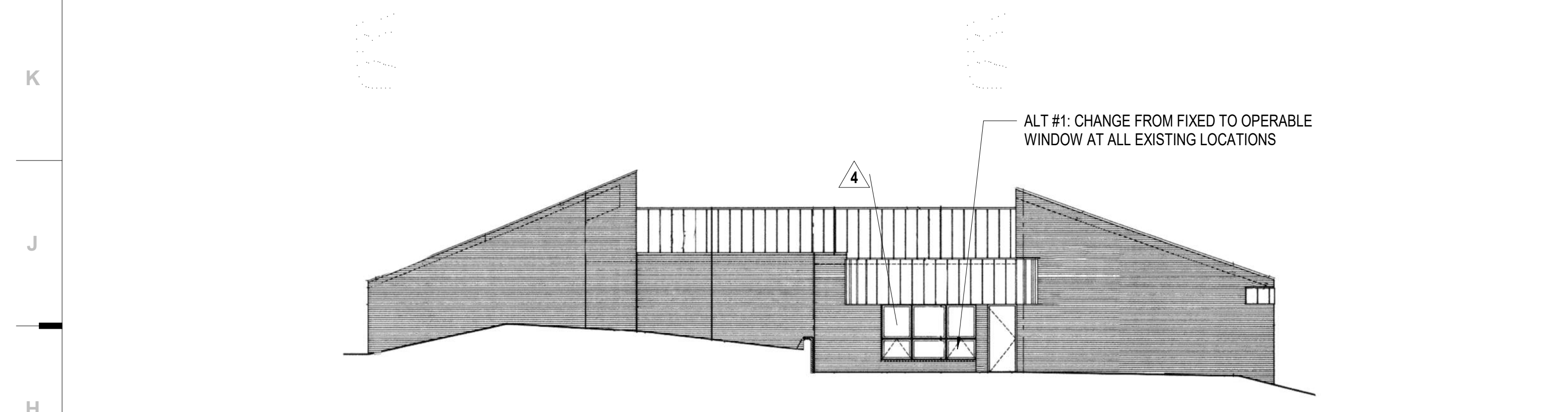




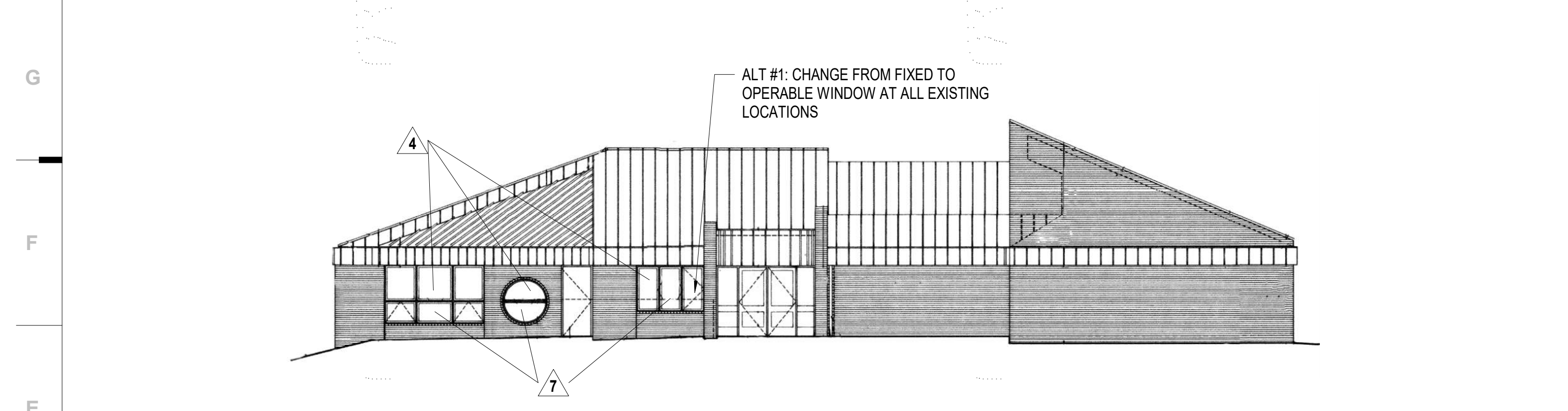
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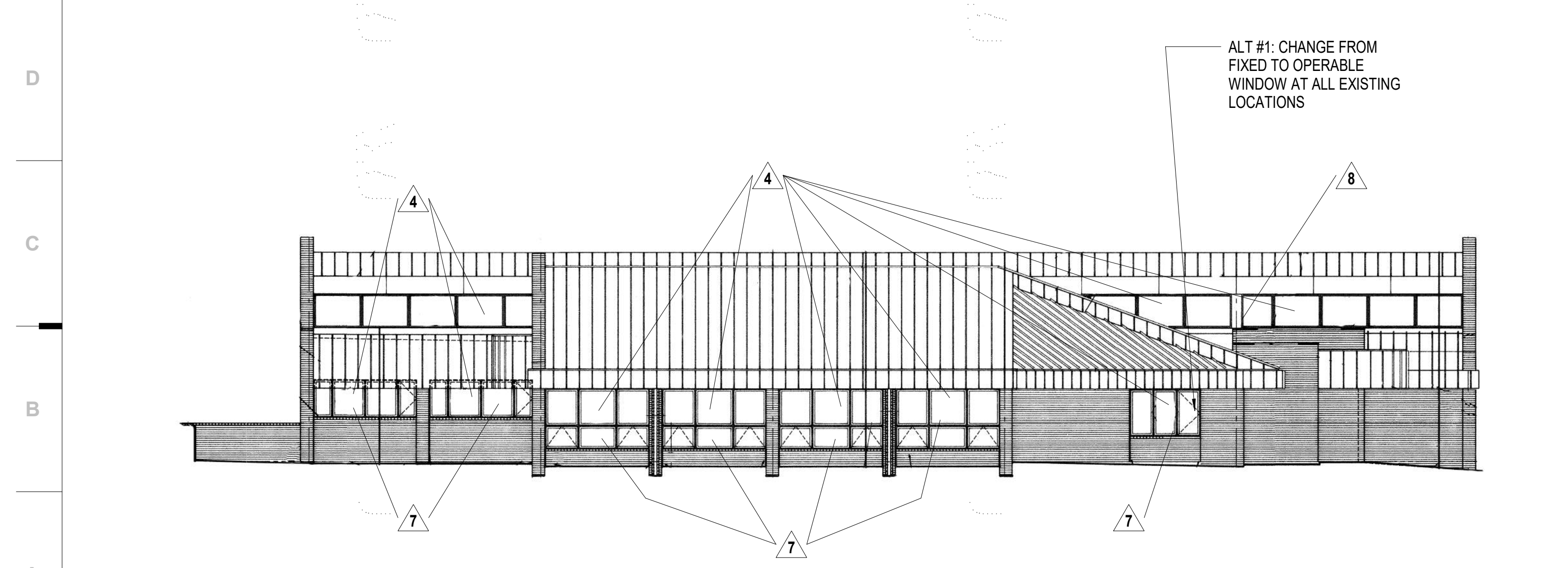
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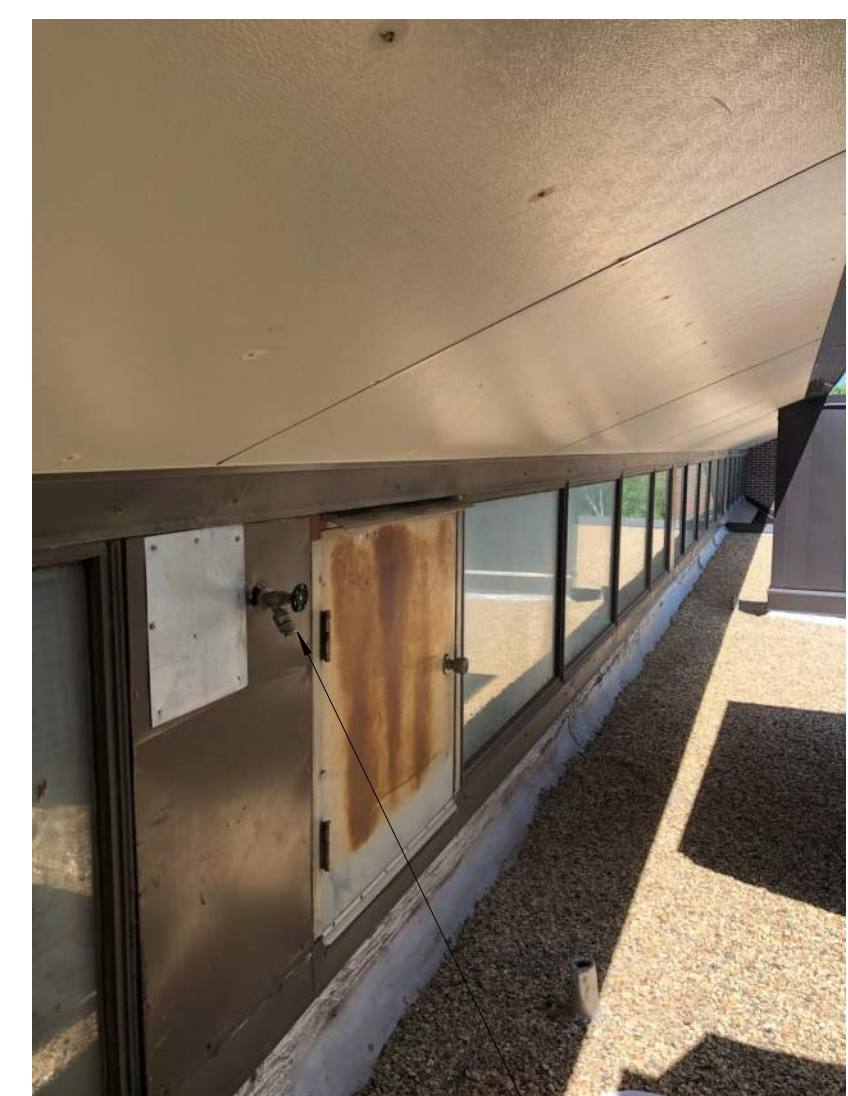
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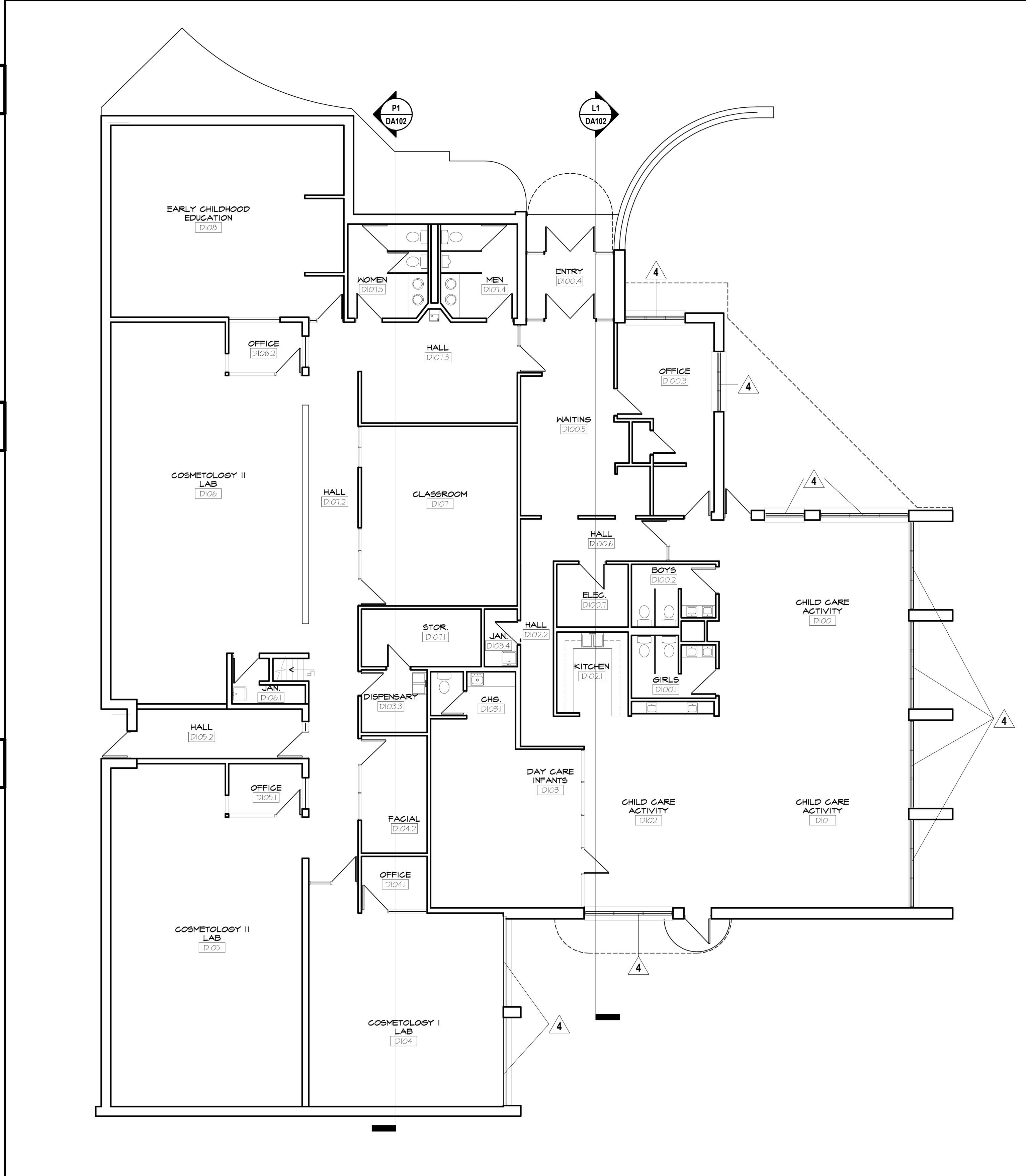
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Ref Only - Existing East Elevation - NCOECC



**A1** Scale: No Scale  
Ref Only - Existing South Elevation - NCOECC



**M9** Scale: No Scale  
Ref Photo - Existing Clerestory - NCOECC



**A9** Scale: 1/8" = 1'-0"  
Demo Floor Plan Level 1 - NCOECC

**DEMOLITION NOTES**

- WALLS**
- 1 NOT USED
  - 2 NOT USED
  - 3 NOT USED
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6. COORDINATE THE REMOVAL OF ALL PORTIONS OF LOAD BEARING ELEMENTS WITH THE STRUCTURAL ENGINEER PRIOR TO REMOVAL. PROVIDE TEMPORARY SHORING AS REQUIRED.

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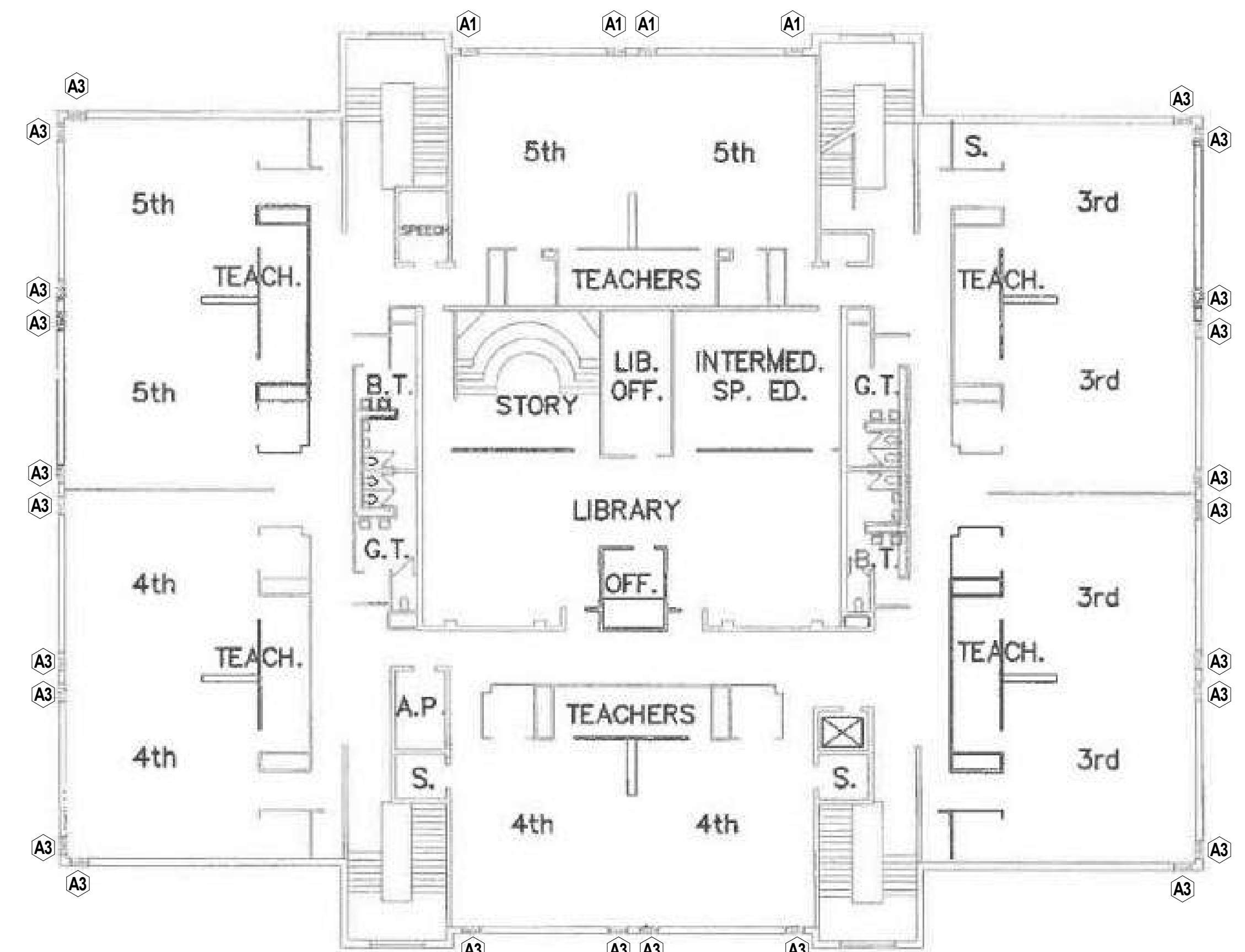
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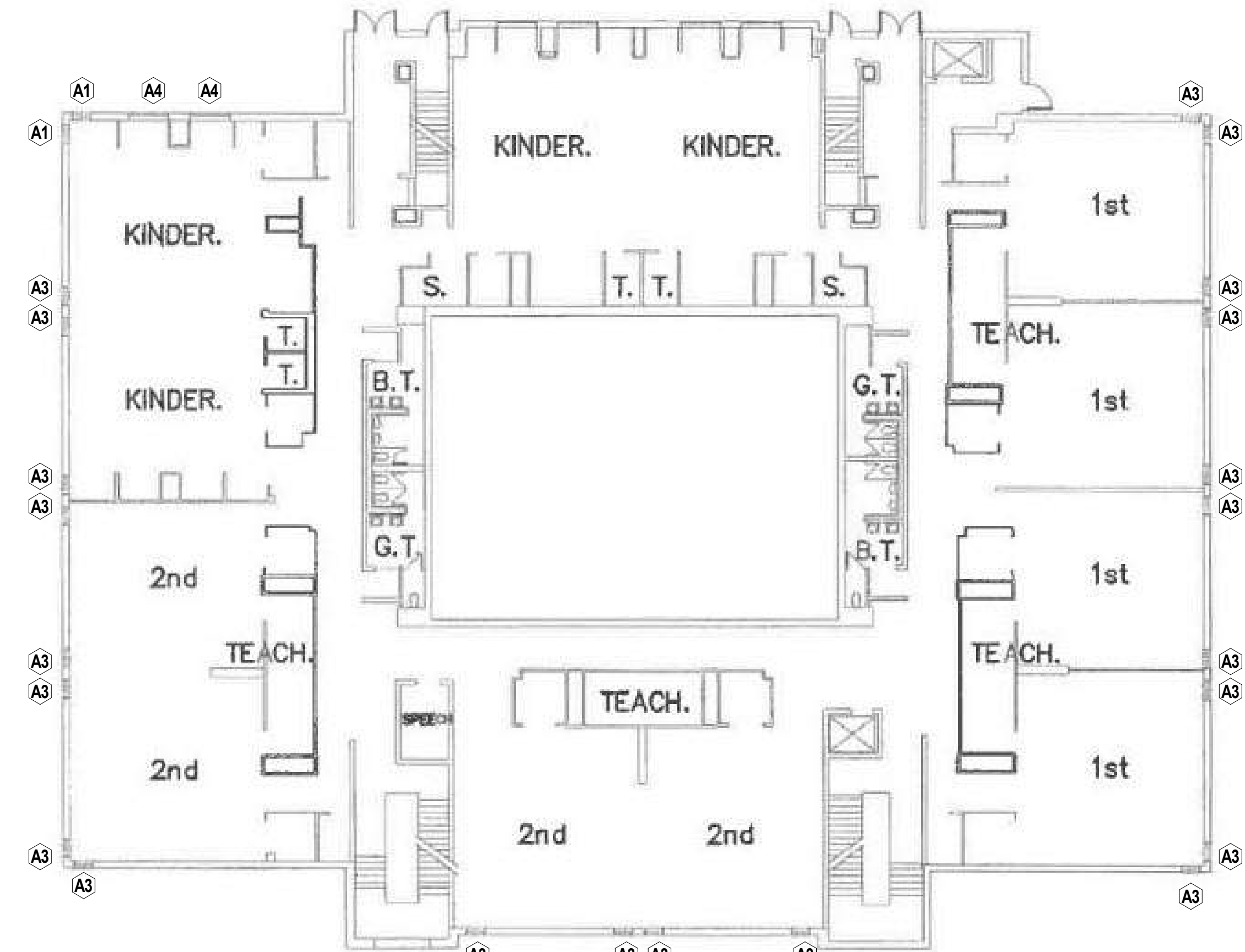
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4127

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**J1** Scale 1/16" = 1'-0" Floor Plan Level 3 - Whittier ES



**J9** Scale 1/16" = 1'-0" Floor Plan Level 2 - Whittier ES



**A9** Scale 1/16" = 1'-0" Floor Plan Level 1 - Whittier ES

**SHEET KEYNOTE LEGEND**

**SHEET NOTES**

1. REFER TO SHEET G000 FOR SHEET INDEX
2. DO NOT SCALE THIS DRAWING
3. COORDINATE WALL REPAIR AND INSTALLATION OF NEW DOORS AND WINDOWS WITH DEMOLITION SHEETS
4. COORDINATE FINISHES TO REMAIN WITH DEMOLITION SHEET

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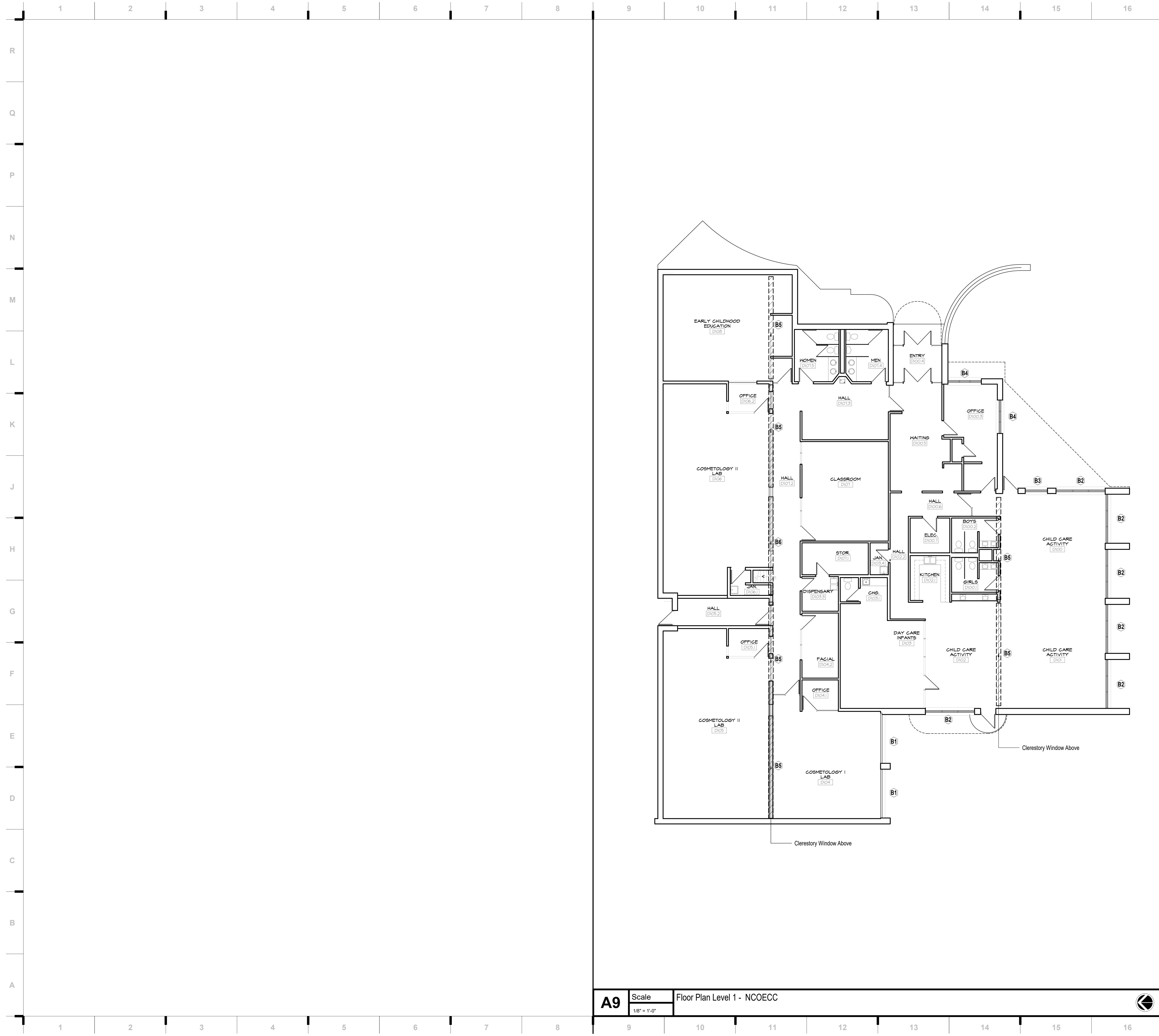
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 DATE: 10/21/2021

**A101**

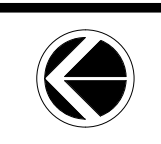


**SHEET KEYNOTE LEGEND**

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1. REFER TO SHEET G000 FOR SHEET INDEX
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**A9** Scale Floor Plan Level 1 - NCOECC  
1/8" = 1'-0"



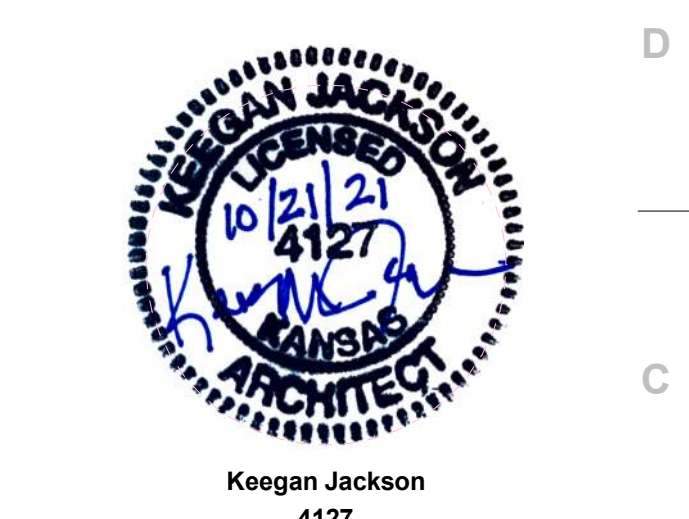
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Structure # E-134

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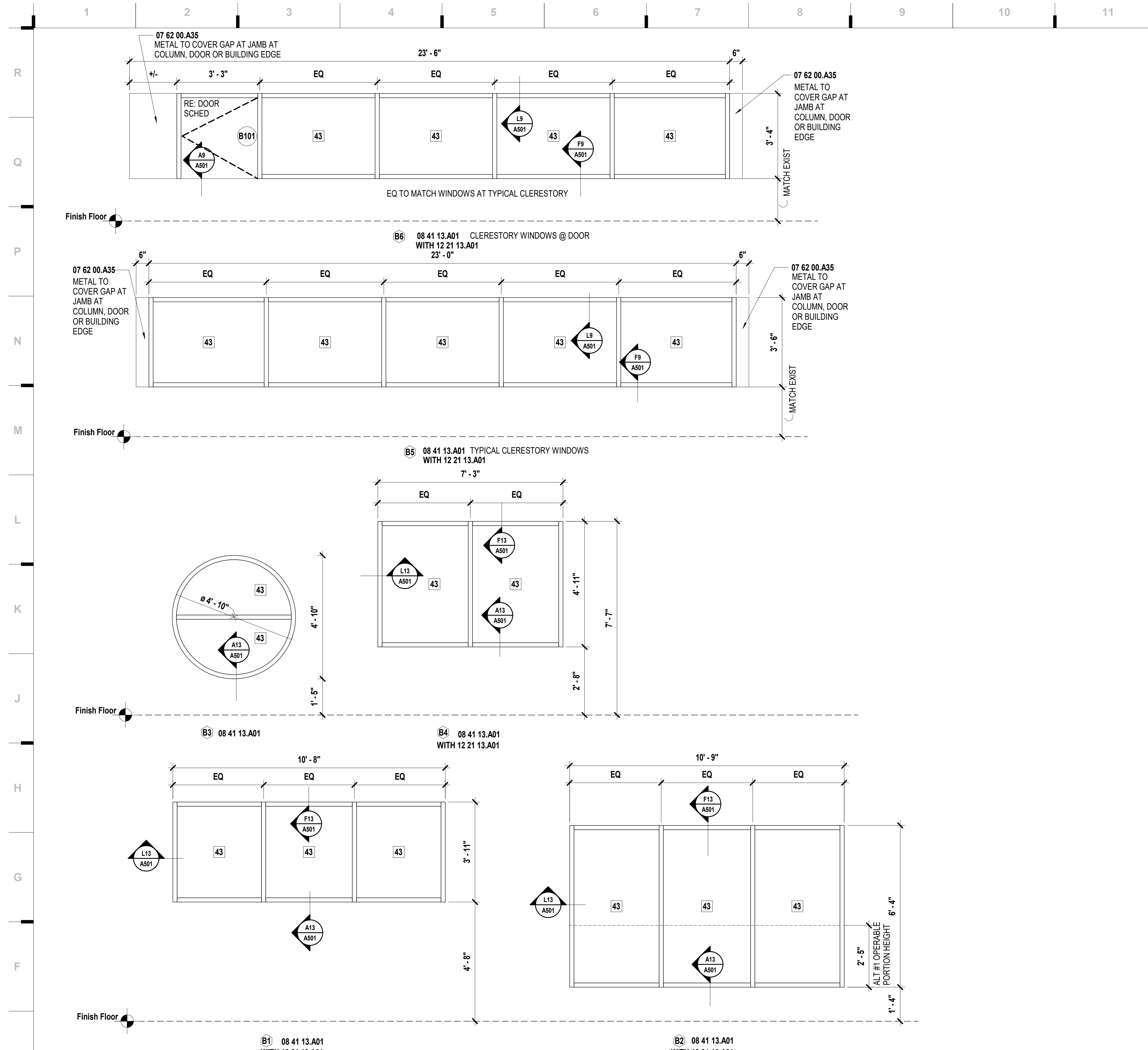
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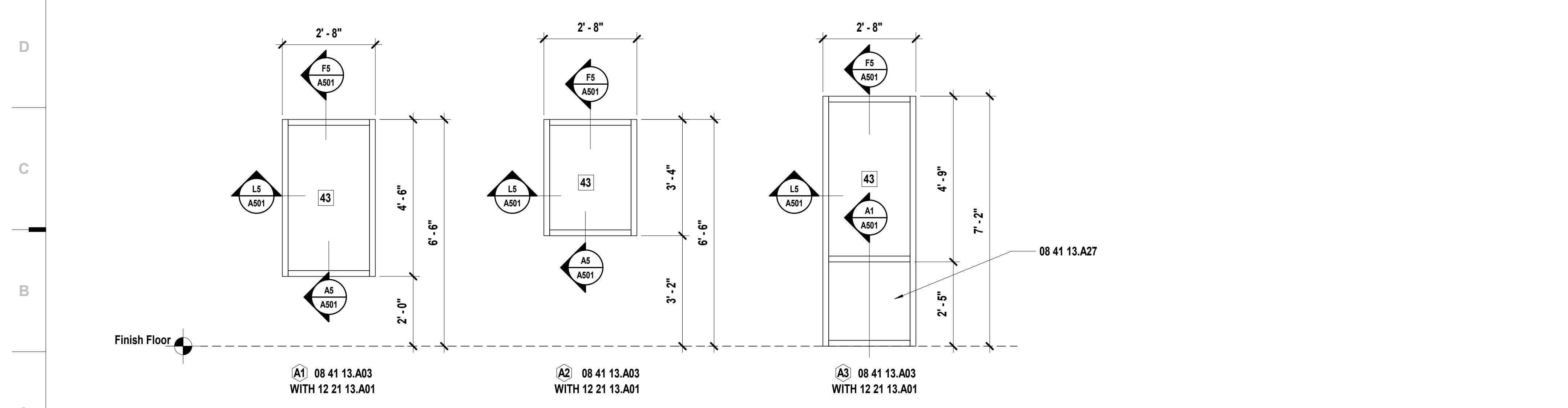
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DATE: 10/21/2021

**A102**  
FLOOR PLAN - NCOECC  
Page#7/2619





<b>E1</b>	Scale	Frame Types - Aluminum - NCOECC
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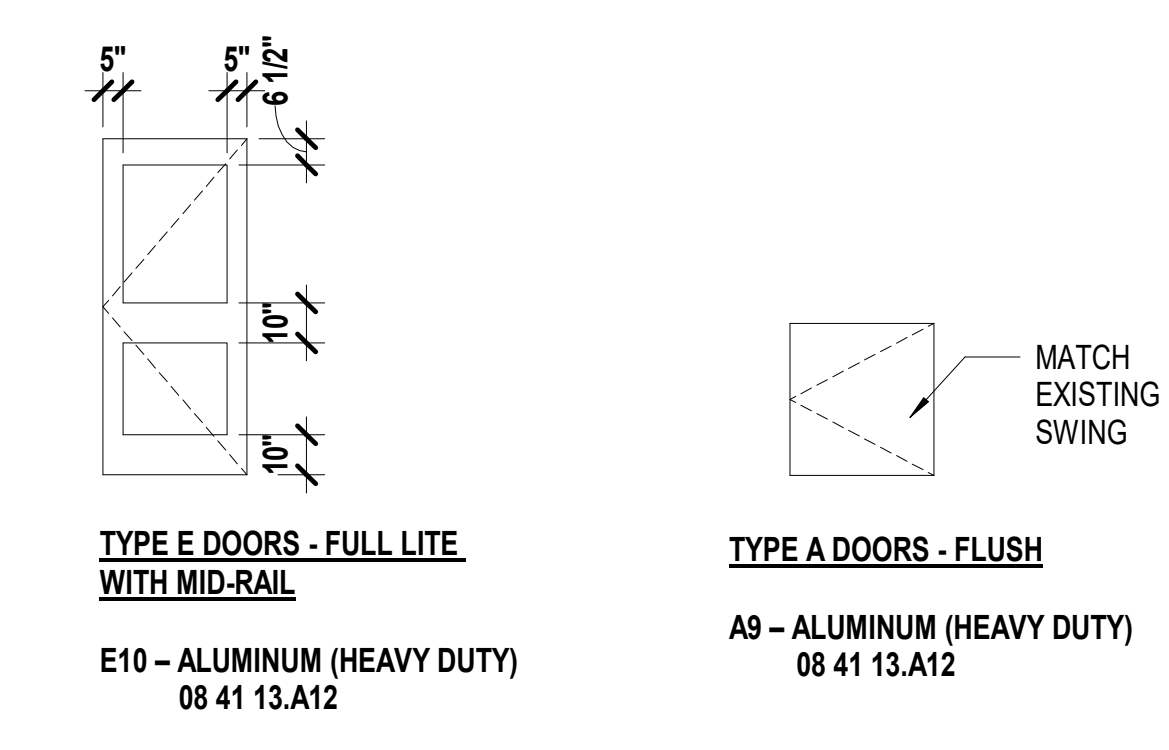


<b>A1</b>	Scale	Frame Types - Aluminum - Whittier ES
	1/2" = 1'-0"	

### DOOR SCHEDULE

No.	Size	Type	Glass	Frame Type	Material	All DETAILS on A501 UNO				Fire Rating	Remarks
						Head	Strike	Hinge	Thresh		
A101	PR 3'-0" x 7'-0" x 1 3/4"	E10	43	ETR	--	N/A	N/A	N/A	N/A	--	USE EXISTING DOOR FRAME & HARDWARE
A102	PR 3'-0" x 7'-0" x 1 3/4"	E10	43	ETR	--	N/A	N/A	N/A	N/A	--	USE EXISTING DOOR FRAME & HARDWARE
A103	PR 3'-0" x 7'-0" x 1 3/4"	E10	43	ETR	--	N/A	N/A	N/A	N/A	--	USE EXISTING DOOR FRAME & HARDWARE
A104	PR 3'-0" x 7'-0" x 1 3/4"	E10	43	ETR	--	N/A	N/A	N/A	N/A	--	USE EXISTING DOOR FRAME & HARDWARE
B101	3'-0" x 3'-2" x 1 3/4"	A9	--	B6	ALUM	N9	--	--	N12	--	

### DOOR TYPES



### SHEET KEYNOTE LEGEND

07 62 00.A35	PRE-FINISHED MISC METAL FLASHING
08 41 13.A01	THERMAL BROKEN STOREFRONT FRAMING (4.5")
08 41 13.A03	THERMAL BROKEN STOREFRONT FRAMING (PROJECT SPECIFIC)
08 41 13.A12	ALUMINUM DOOR (HEAVY DUTY)
08 41 13.A27	INSULATED SPANDREL PANELS
12 21 13.A01	HORIZONTAL LOUVER BLINDS (MANUAL)

### GENERAL SHEET NOTES

- ALL ALUMINUM FRAMING TO BE DARK BRONZE COLOR / FINISH @ WHITTIER ES UNO
- ALL ALUMINUM FRAMING TO BE DARK BRONZE COLOR / FINISH @ NCOECC UNO
- HALF-TONE SHADING INDICATES EXISTING CONSTRUCTION TO REMAIN
- SUB-CONTRACTOR TO FIELD VERIFY ALL DOORS AND WINDOWS BEFORE ORDERING

### DOOR TYPE NOTES

- REFER TO DOOR SCHEDULE FOR OVERALL DOOR DIMENSIONS
- DIMENSIONS ASSOCIATED WITH VISION LITES ARE TO THE OUTSIDE OF THE VISION LITE FRAME UNLESS NOTED OTHERWISE
- REFER TO DOOR SCHEDULE TO DETERMINE WHICH DOORS ARE REQUIRED TO BE FIRE RATED
- REFER TO DOOR SCHEDULE FOR GLASS TYPES IN DOORS

### GLASS LEGEND

GLASS TYPE = 1  
**INSULATING FULL-TEMPERED GLASS**  
 43 08 80 00.A43 LOW-E TINTED INSULATED FULLY-TEMPERED GLASS

**hollis + miller architects**  
 we design the future™  
 1828 Walnut Street Suite 922  
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 1 816.442.7700  
 115 Wilcox Street Suite 210  
 Castle Rock, CO 80104  
 1 720.949.1689  
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 Hollis + Miller Architects  
 Kansas State Certificate of Authority  
 Architecture # 16-156  
 Structure # E-1334

**Whittier ES & NCOECC Window Replacement**  
 Kansas City Kansas Public School District  
 2010 N 59 St,  
 Kansas City, KS 66104

#	Description	Date
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Keegan Jackson  
4127

JOB NO: 21029  
 DRAWN BY: VP  
 CHECKED BY: SB  
 DATE: 10/21/2021

# A500



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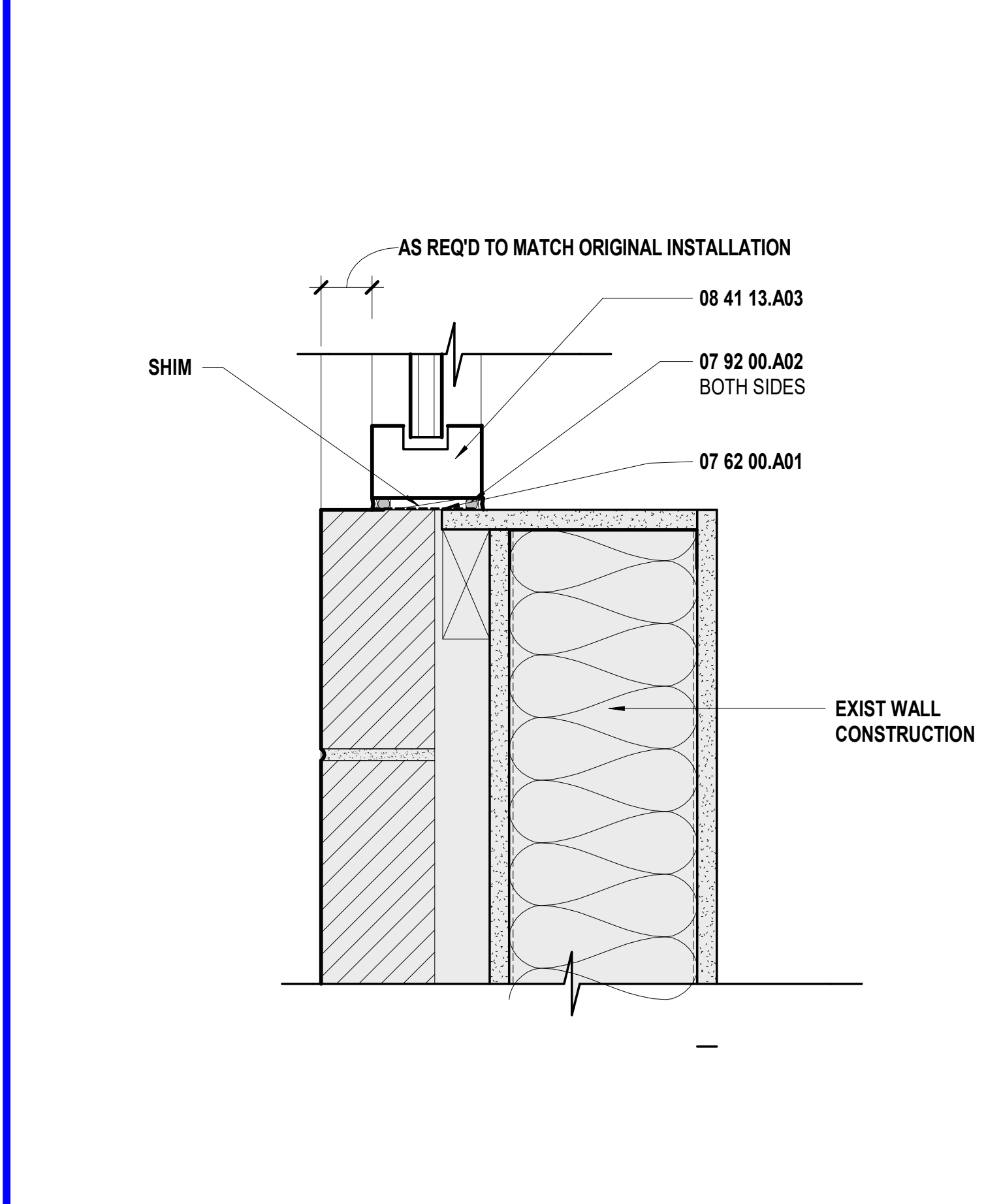
**SHEET KEYNOTE LEGEND**

06 10 00.A12	PRESERVATIVE TREATED WOOD BLOCKING/NAILERS
06 20 23.A01	TRIM - TRANSPARENT
07 62 00.A01	UNDERLAYMENT
07 62 00.A35	PRE-FINISHED MSC METAL FLASHING
07 92 00.A01	SEALANT
07 92 00.A02	SEALANT W/BACKER ROD
08 41 13.A01	THERMAL BROKEN STOREFRONT FRAMING (4.5")
08 41 13.A03	THERMAL BROKEN STOREFRONT FRAMING (PROJECT SPECIFIC)
08 41 13.A11	ALUMINUM DOOR (STANDARD)
08 41 13.A26	ALUMINUM RECEPTOR
08 41 13.A27	INSULATED SPANDREL PANELS
08 71 00.A01	THRESHOLDS
09 29 00.A06	MOLD AND MOISTURE RESISTANT GYPSUM BOARD

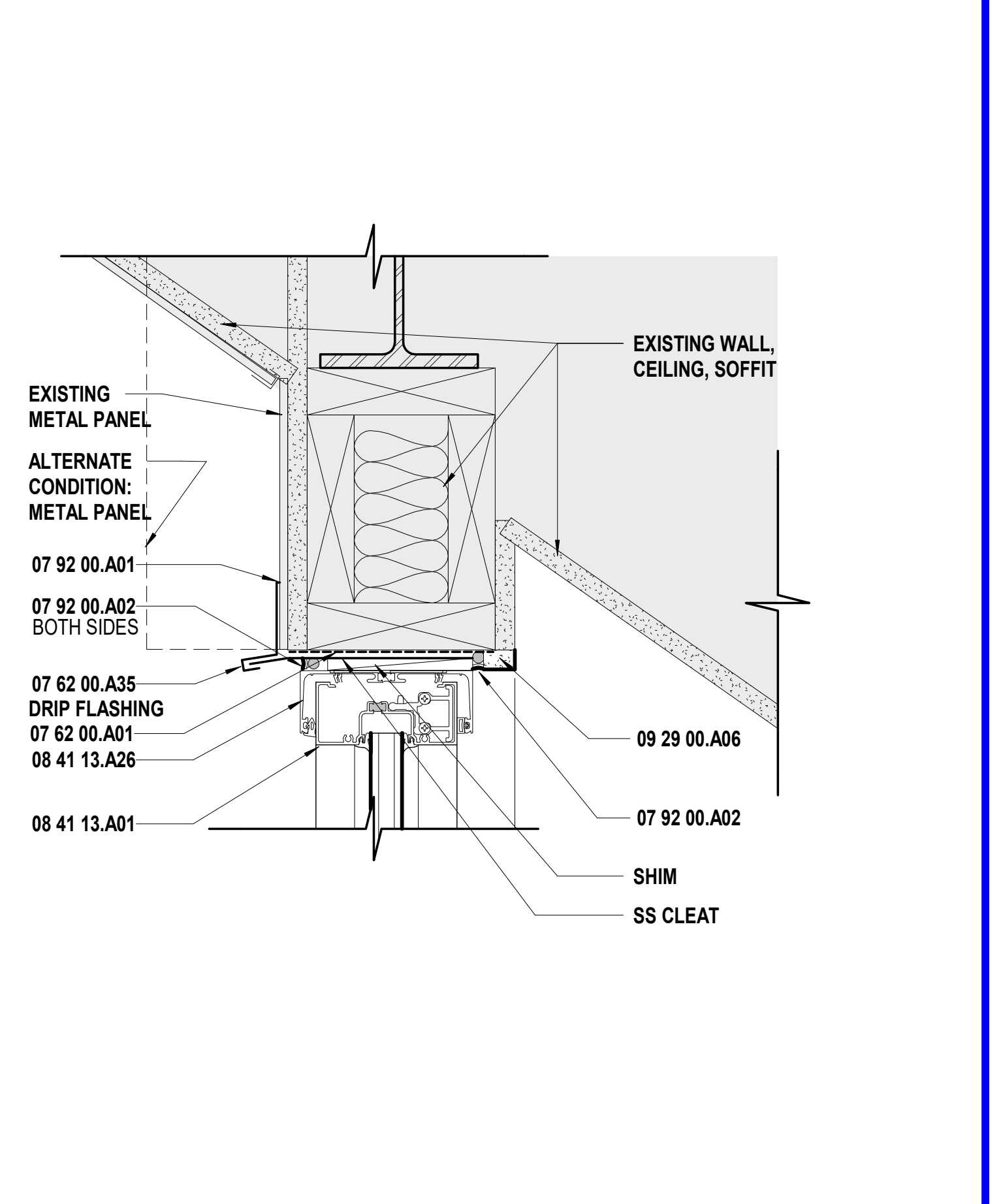
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Architecture # 16-159  
Structure # E-134

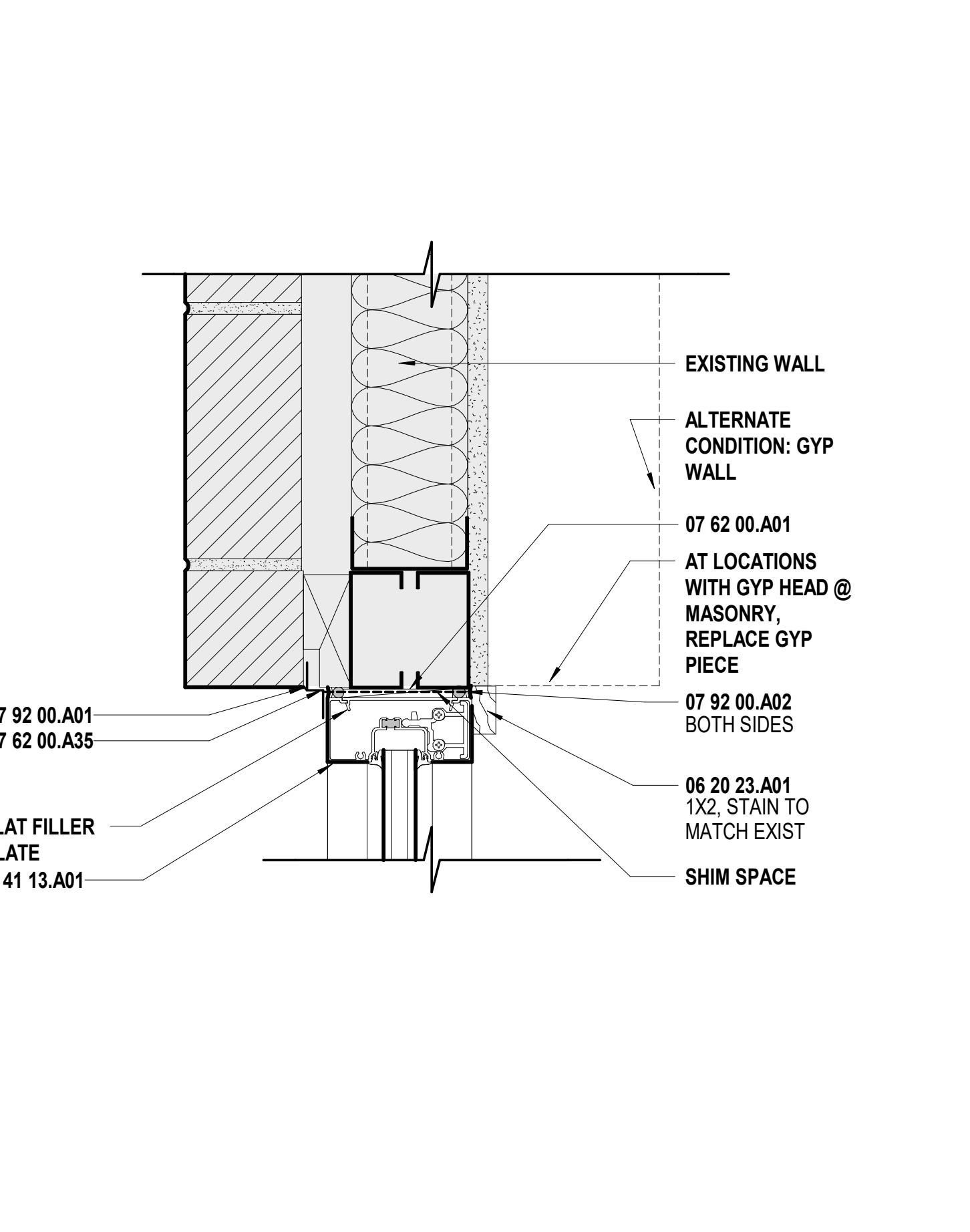
hollis + miller architects<sup>®</sup>



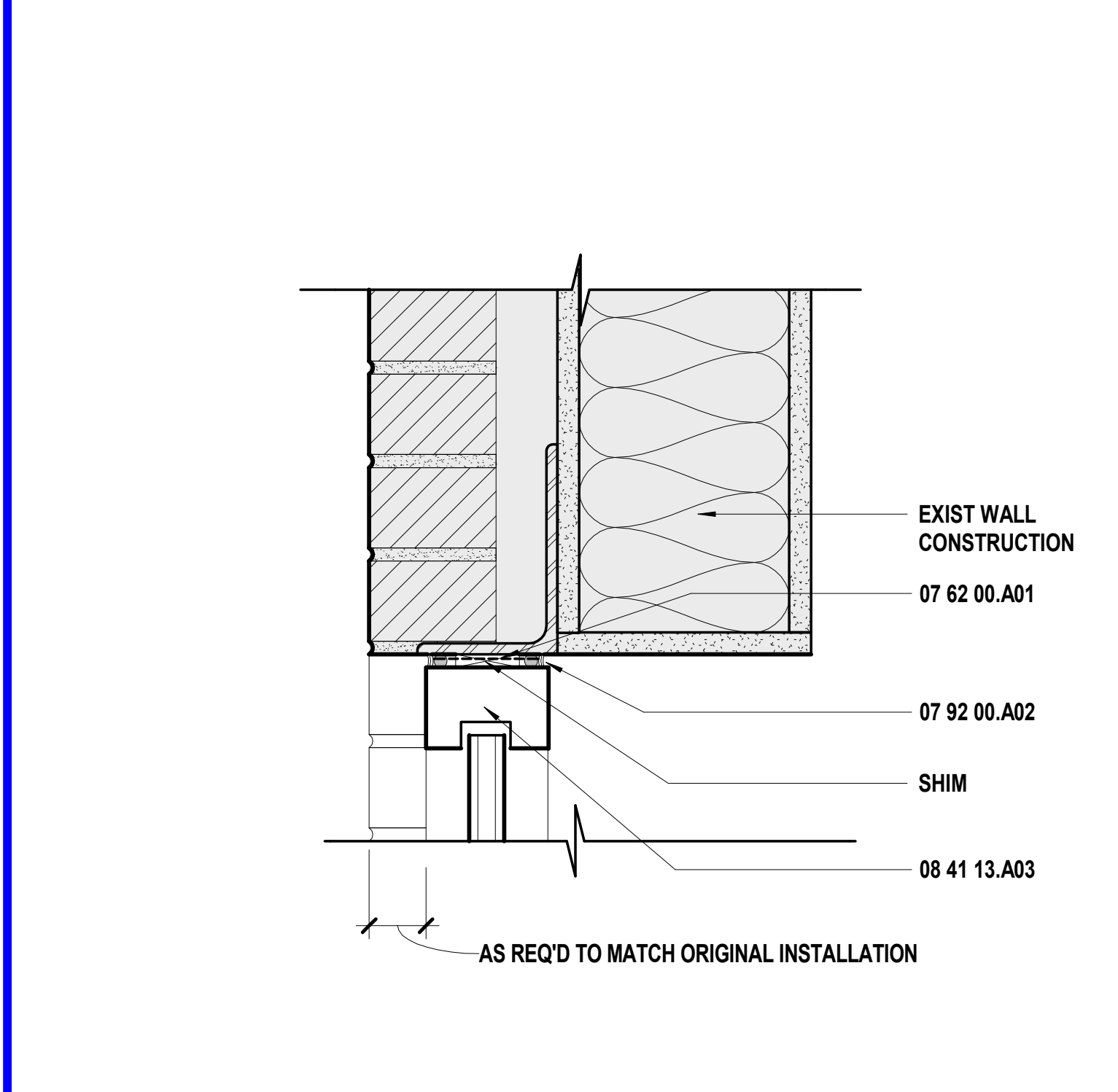
**L5** Scale 3" = 1'-0" Whittier ES - Window Jamb



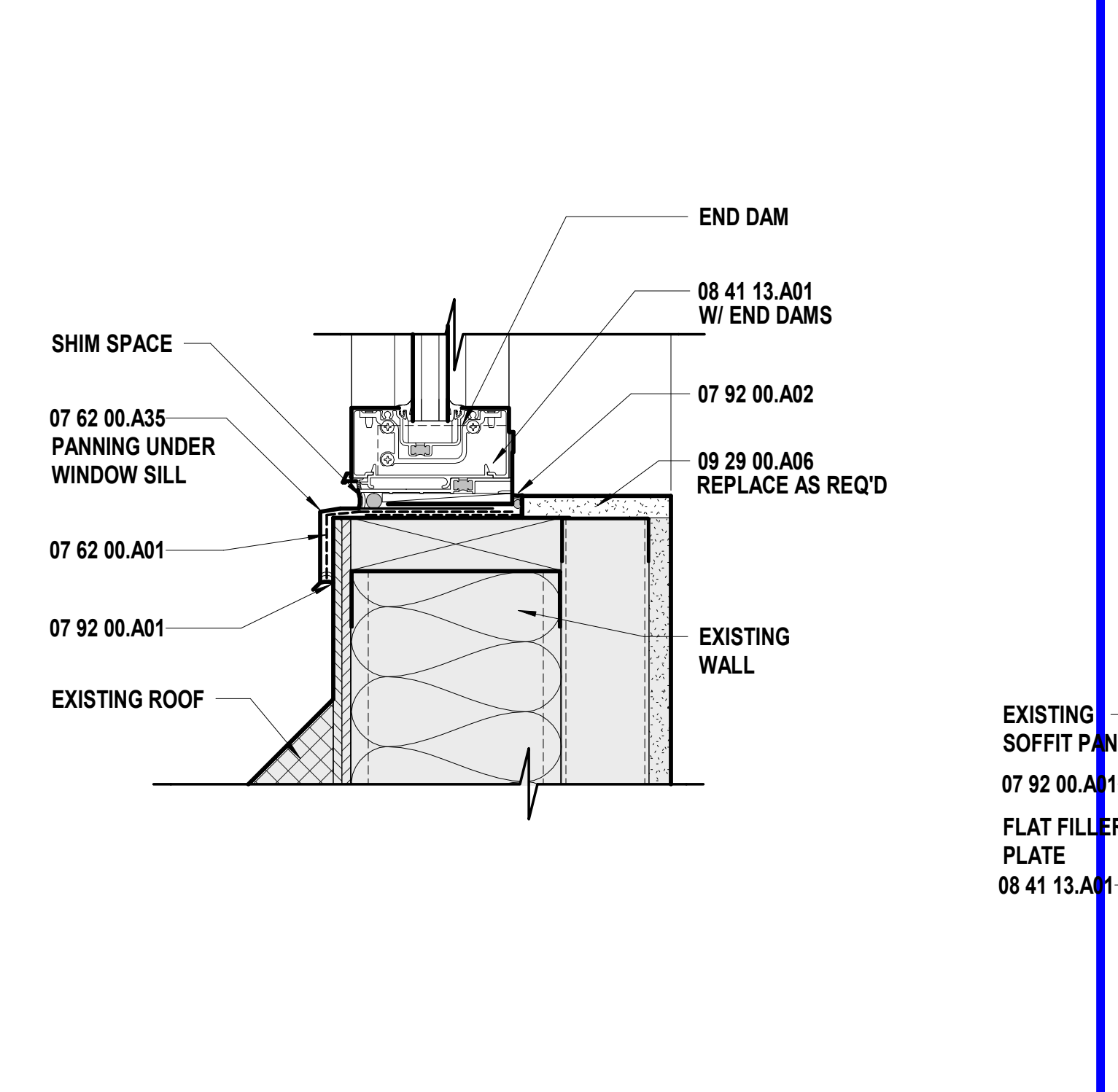
**L9** Scale 3" = 1'-0" NCOECC - Storefront Head @ Clerestory



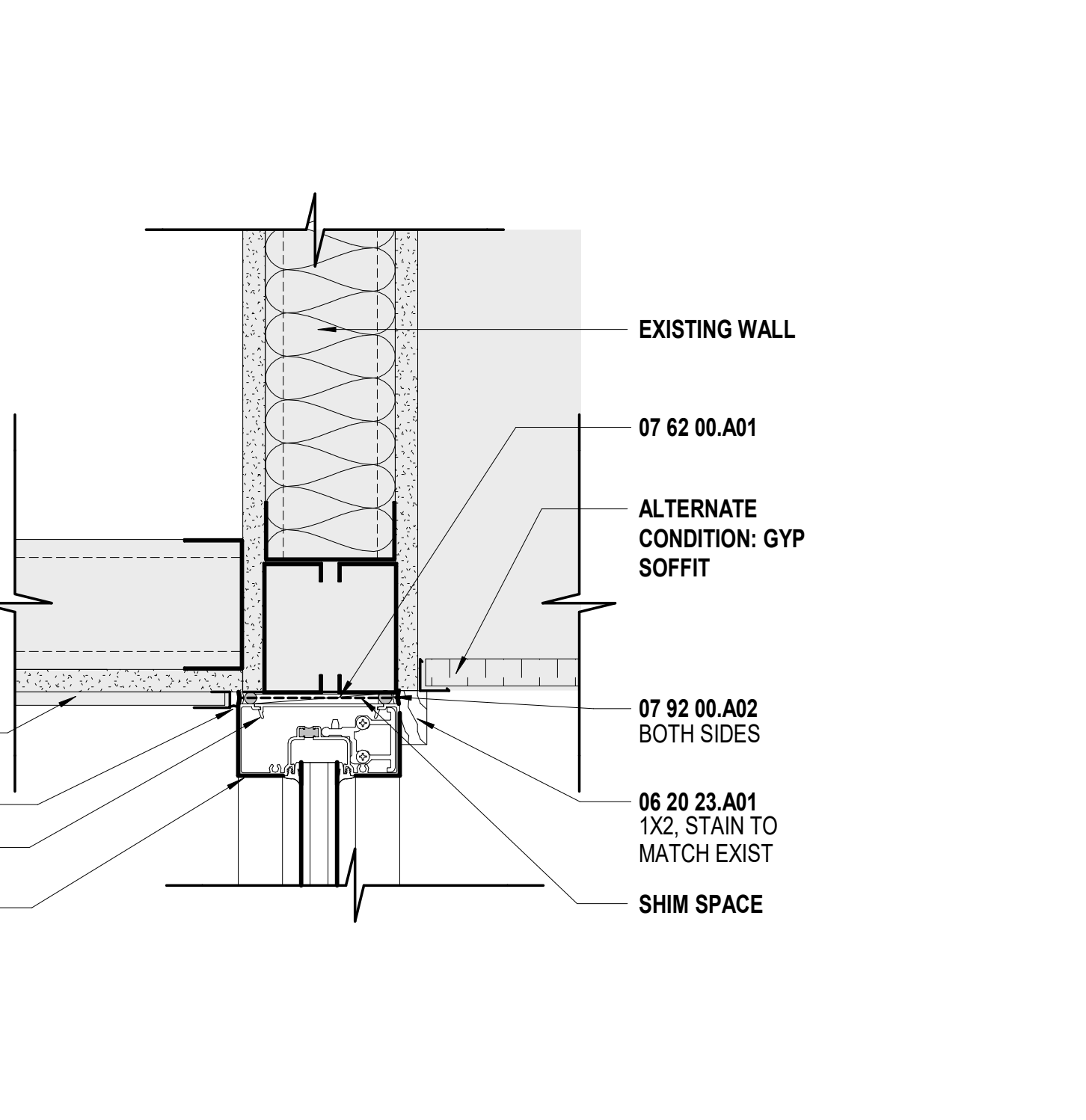
**L13** Scale 3" = 1'-0" NCOECC - Storefront Jamb



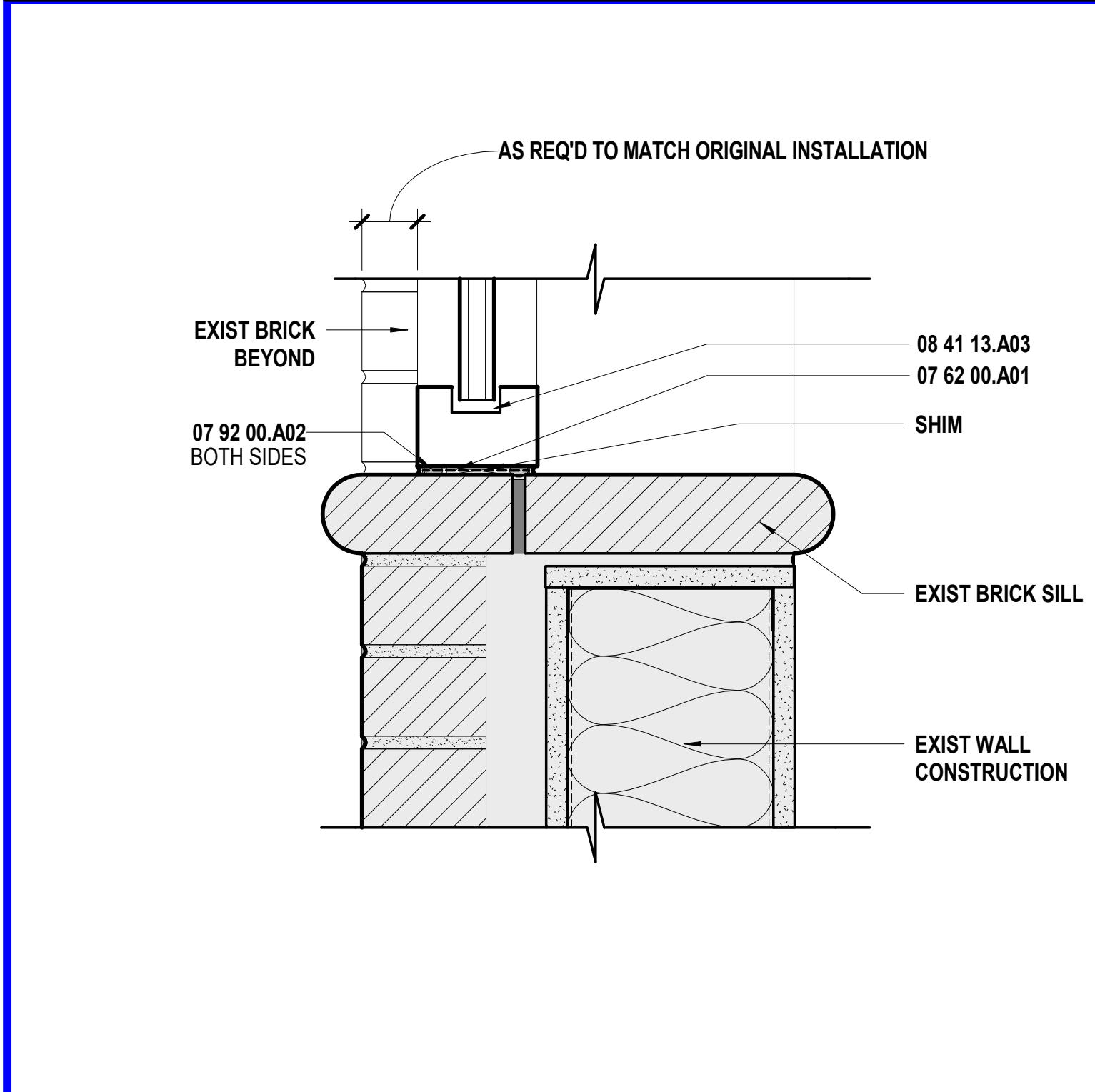
**F5** Scale 3" = 1'-0" Whittier ES - Window Head



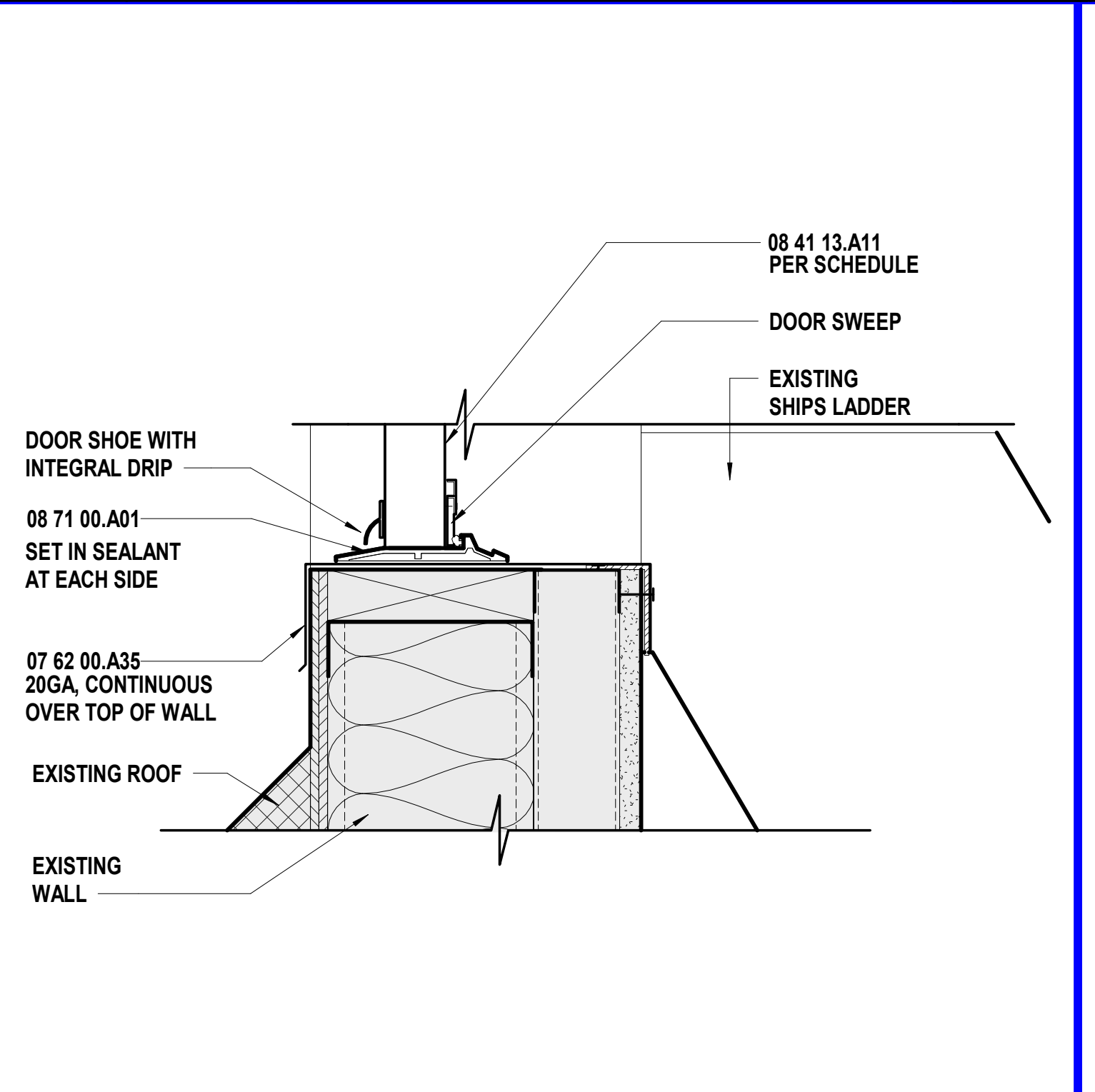
**F9** Scale 3" = 1'-0" NCOECC - Storefront Sill @ Clerestory



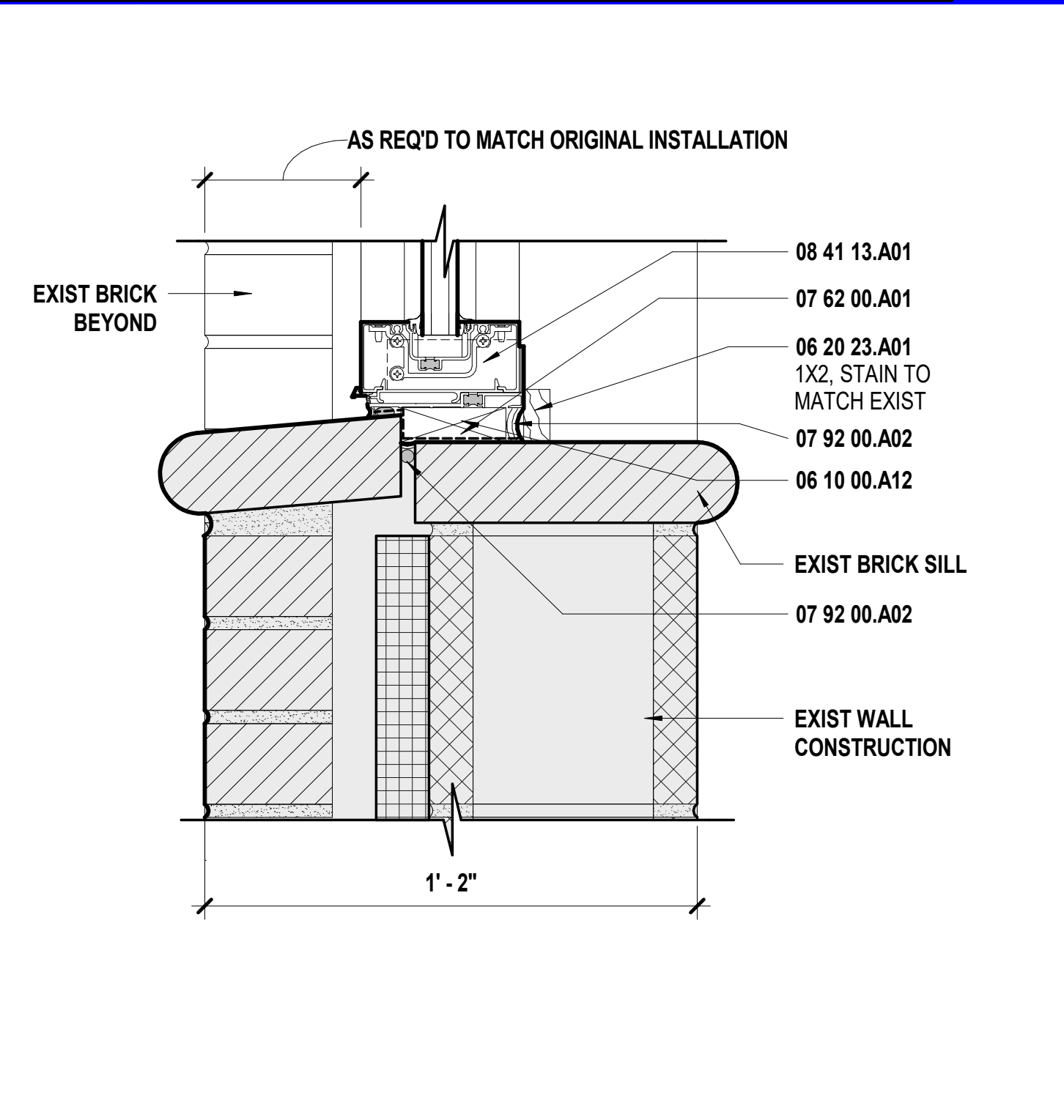
**F13** Scale 3" = 1'-0" NCOECC - Storefront Head



**A5** Scale 3" = 1'-0" Whittier ES - Window Sill



**A9** Scale 3" = 1'-0" NCOECC - Door Threshold @ Clerestory



**A13** Scale 3" = 1'-0" NCOECC - Storefront Sill

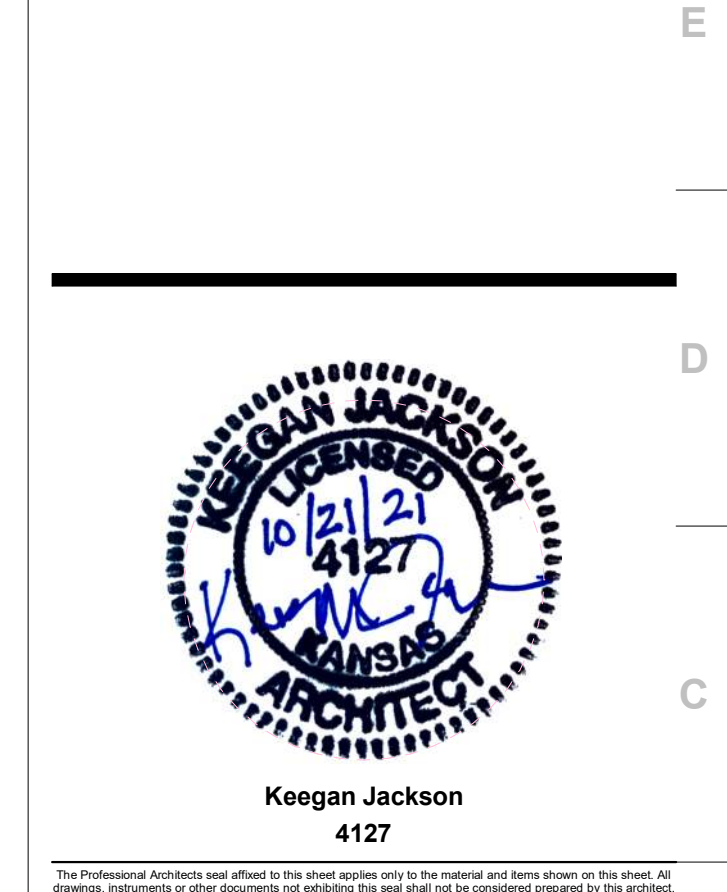
**A1** Scale 3" = 1'-0" Whittier ES - Window Sill - Tall

**A13** Scale 3" = 1'-0" NCOECC - Storefront Sill

**Whittier ES & NCOECC Window Replacement**  
Kansas City Kansas Public School District  
2010 N 59 St,  
Kansas City, KS 66104

REVISIONS:

#	Description	Date



JOB NO: 21029  
DRAWN BY: KW  
CHECKED BY: SB  
DATE: 10/21/2021

**A501**