

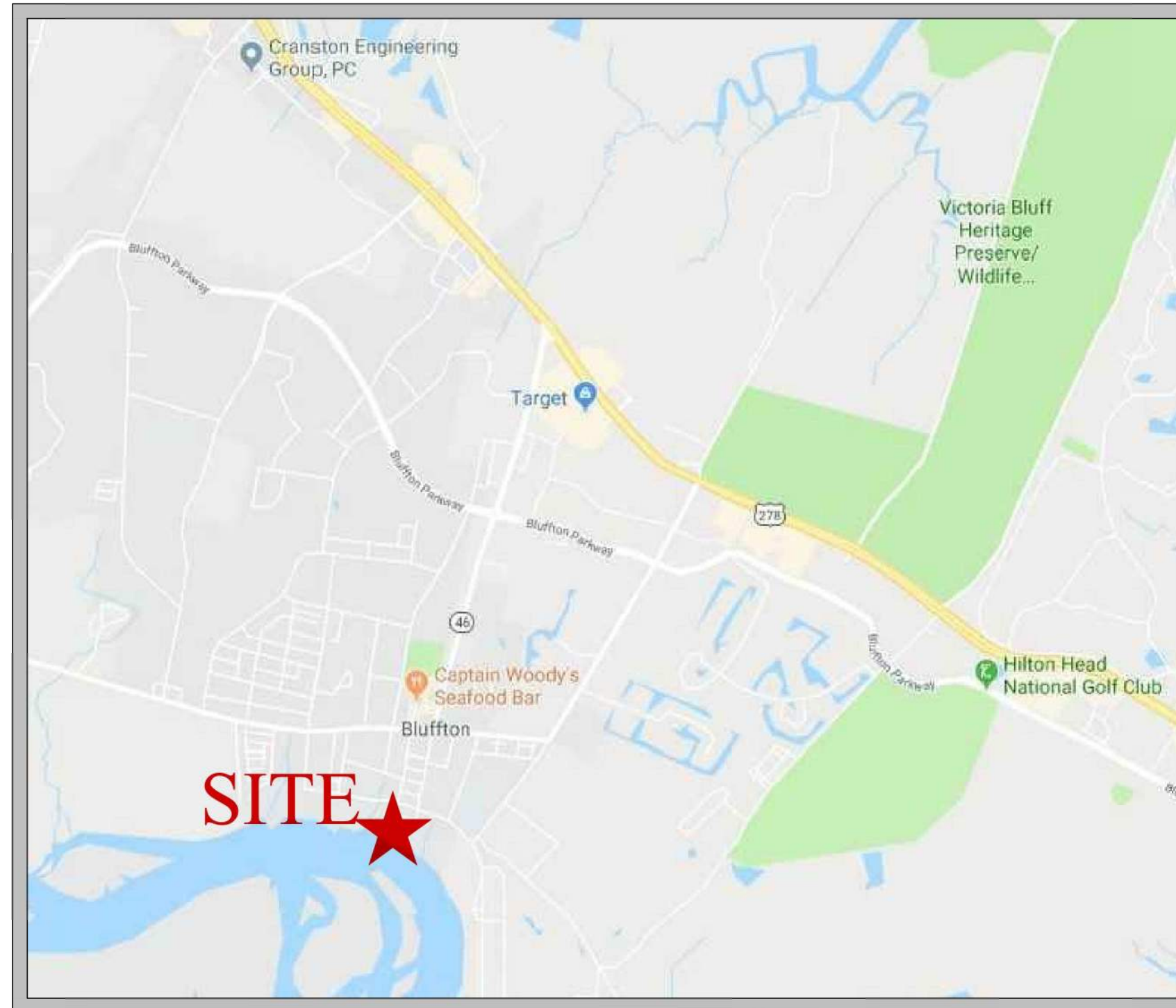
BID AND PERMIT PLANS FOR

WRIGHT FAMILY PARK

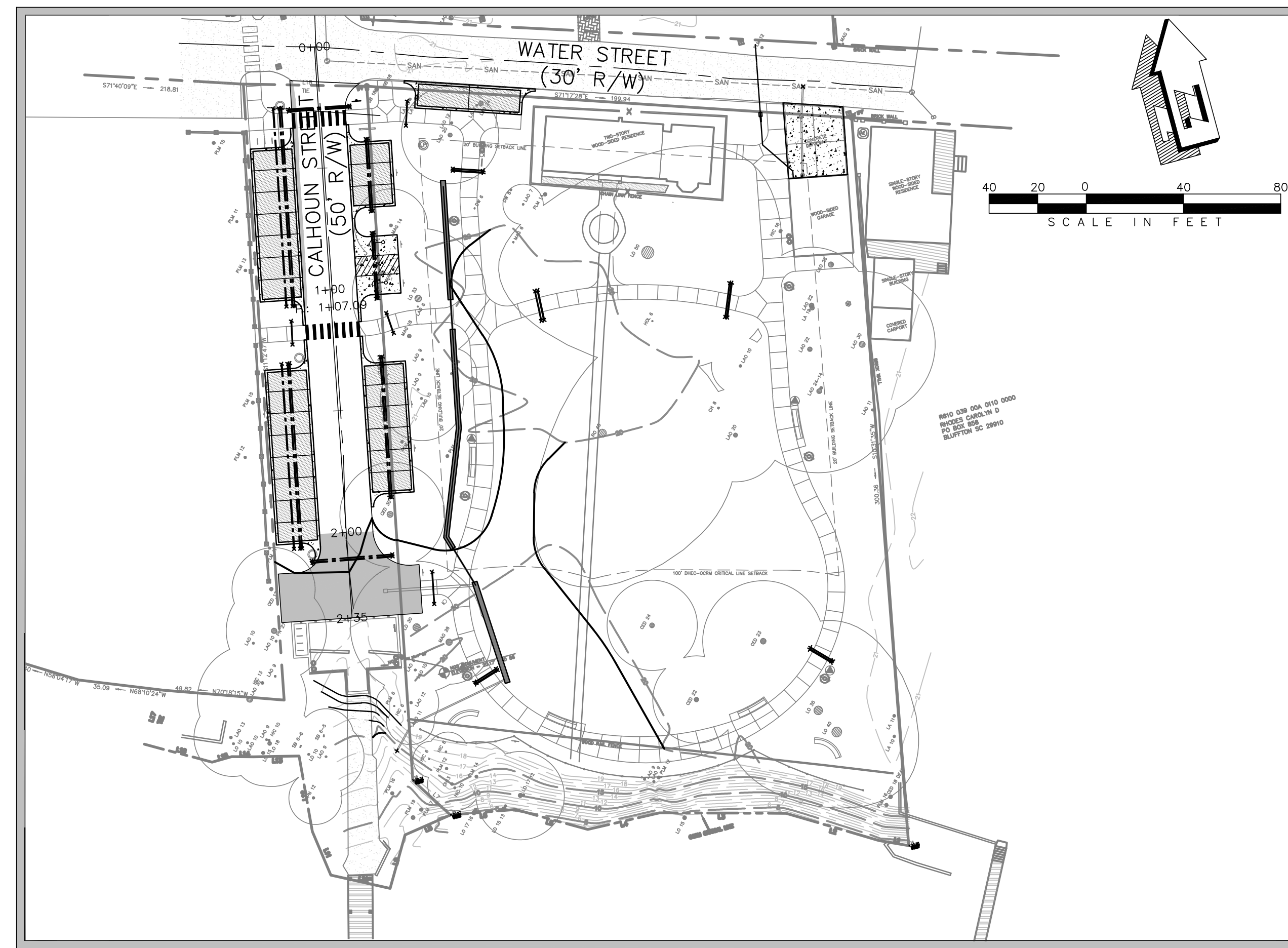
PREPARED FOR

TOWN OF BLUFFTON

20 BRIDGE STREET
BLUFFTON, SC 29910



VICINITY MAP
N.T.S.

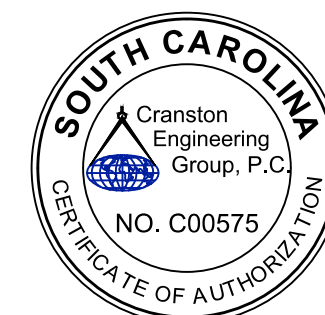


PREPARED BY



ENGINEERS - PLANNERS - SURVEYORS
14 Westbury Park Way, Suite 202, Bluffton, SC 29910
Telephone 843-815-3191
mail@CranstonEngineering.com

3/5/2019



PROJECT DATA:

1. ACREAGE OF PROPERTY: 1.72 ACRES
2. ACREAGE OF DEVELOPMENT: 1.72 ACRES
3. OWNER/DEVELOPER: TOWN OF BLUFFTON
20 BRIDGE STREET
BLUFFTON, SC 29910
PHONE: 843-706-4521
24 HOUR CONTACT:
NAME: PAT ROONEY
PHONE: 843-706-4521
4. TAX MAP NUMBERS: R610 039 00A0111 0000
5. ZONING: RIVERFRONT EDGE - HD
6. STORM WATER OUTFALL: MAY RIVER
7. DRAINAGE AREA THIS PROJECT: 1.72 ACRES
8. IMPERVIOUS AREA:
EXISTING: 0.26 ACRES
PROPOSED: 0.39 ACRES
9. PERVIOUS AREA:
EXISTING: 1.46 ACRES
PROPOSED: 1.33 ACRES
10. RECEIVING STREAM: MAY RIVER
11. ULTIMATE STREAM: MAY RIVER
12. EXISTING LAND USE: RECREATIONAL
13. PROPOSED LAND USE: RECREATIONAL

REVISION LOG:

- REVISION NUMBER: 1
DATE: 3/5/2019
REASON: BID AND PERMIT PLANS ISSUED TO TOWN
SHEETS ISSUED: ALL
- REVISION NUMBER: 2
DATE: 3/15/2019
REASON: BID AND PERMIT PLAN REVISIONS ISSUED TO TOWN
SHEETS ISSUED: ALL
- REVISION NUMBER: 3
DATE: 3/26/2019
REASON: REVISIONS FOR BID ADDENDUM; WATER SERVICE; STOP SIGNS
SHEETS ISSUED: ALL

Sheet Number	Sheet Title
C1.0	TITLE SHEET
C1.1	GENERAL NOTES AND LEGEND
C2.0	EXISTING CONDITIONS
C3.0	SWPP & DEMOLITION PLAN
C3.1	SWPPP DETAILS
C4.0	SITE PLAN
C5.0	GRADING AND DRAINAGE PLAN
C6.0	SITE & DRAINAGE DETAILS
C6.1	SITE & DRAINAGE DETAILS
C7.0	UTILITY PLAN
C7.1	UTILITY DETAILS

G:\AAA-ACTIVE_JOBS\2019-0032_WRIGHT'S FAMILY PARK_VA - DRAWINGS\CIVIL\20190032_DVDWG_3/26/2019 2:54 PM



LEGEND

	210	MAJOR CONTOUR (EXISTING)
	210	MINOR CONTOUR (EXISTING)
	210	MAJOR CONTOUR (PROPOSED)
	210	MINOR CONTOUR (PROPOSED)
		EXISTING BOUNDARY
		EXISTING ADJOINER
		PERMANENT EASEMENT
		TEMPORARY EASEMENT
		25' BUFFER
		ENVIRONMENTALLY SENSITIVE AREA
		EDGE OF WATER
		TREE LINE
	OU	EXISTING OVERHEAD UTILITY (UNSPECIFIED)
	UE	EXISTING UNDERGROUND POWER
	UE	PROPOSED UNDERGROUND POWER
	OE	EXISTING OVERHEAD POWER
	OE	PROPOSED OVERHEAD POWER
	UT	EXISTING UNDERGROUND TELEPHONE
	UT	PROPOSED UNDERGROUND TELEPHONE
	OT	EXISTING OVERHEAD TELEPHONE
	OT	PROPOSED OVERHEAD TELEPHONE
	UC	EXISTING UNDERGROUND CABLE
	UC	PROPOSED UNDERGROUND CABLE
	F	EXISTING FIBEROPTIC
	F	PROPOSED FIBEROPTIC
	G	EXISTING GAS
	G	PROPOSED GAS
	W	EXISTING WATER
	W	PROPOSED WATER
	SAN	EXISTING SANITARY SEWER
	SAN	PROPOSED SANITARY SEWER
	x	FENCE: EXISTING
	x	FENCE: PROPOSED
		FENCE: EXISTING CHAINLINK
		FENCE: PROPOSED CHAINLINK
		FENCE: EXISTING STONE
		FENCE: PROPOSED STONE
		FENCE: EXISTING WIRE
		FENCE: PROPOSED WIRE
		EXISTING GUARDRAIL
		PROPOSED GUARDRAIL
		ORANGE BARRIER FENCE OR C-POP SILT FENCE
		SILT FENCE
		EXISTING BUILDING
		PROPOSED BUILDING
		EXISTING CONCRETE/PAVING
		PROPOSED CONCRETE AND/OR PAVING
		EXISTING ASPHALT PAVING
		PROPOSED ASPHALT PAVING
		EXISTING GRAVEL PAVING OR RIP-RAP
		PROPOSED GRAVEL PAVING OR RIP-RAP
		EXISTING BRICK PAVING
		PROPOSED BRICK PAVING
		EXISTING UTILITY POLE
		PROPOSED UTILITY POLE
		EXISTING STRAIN POLE
		PROPOSED STRAIN POLE
		EXISTING GUY WIRE
		PROPOSED GUY WIRE
		EXISTING ELECTRIC LIGHT
		EXISTING LIGHT POLE
		PROPOSED LIGHT POLE
		EXISTING MANHOLE
		PROPOSED MANHOLE
		EXISTING FIRE HYDRANT
		PROPOSED FIRE HYDRANT
		EXISTING IRRIGATION VALVE
		PROPOSED IRRIGATION VALVE
		EXISTING WATER METER
		PROPOSED WATER METER

TREE LEGEND

	PROPOSED REDUCER	ASH	ASH	JPH	JAPANESE HOLLY
	EXISTING POST INDICATOR	BI	BIRCH	MAG	SOUTHERN MAGNOLIA
	PROPOSED POST INDICATOR	CA	CAMELLIA	MP	MAPLE
	EXISTING SANITARY TAP	CE	CEDAR	MULTI	MULTI-TRUNK
	EXISTING SANITARY CLEAN OUT	CBR	CHINABERRY	OAK	OAK
	EXISTING WATER VALVE	CH	CHERRY	PA	PALMETTO
	PROPOSED WATER GATE VALVE	CHP	CHINESE PISTACHIO	PE	PECAN
	PROPOSED SANITARY GATE VALVE	CR	CRAPE MYRTLE	PERS	PERSIMMON
	PROPOSED SANITARY VALVE	CYP	CYPRESS	PN	PINE
	EXISTING GAS METER	DW	DOGWOOD (FLOWERING)	PO	POPLAR
	PROPOSED GAS METER	ERC	EASTERN RED CEDAR	PR	PEAR
	EXISTING GAS VALVE	FR	FRUIT TREE	SG	SWEETGUM
	PROPOSED GAS VALVE	GBL	GINKO BILOBA	SUB	SUGARBERRY
	BORING	GUM	GUM	SYC	SYCAMORE
	BENCHMARK	HI	HICKORY	TA	TALLOW TREE
	AIR CONDITIONER	HKB	HACKBERRY	TREE	UNKNOWN TREE TYPE
	BACKFLOW PREVENTER	HO	HOLLY	WAX	WAX MYRTLE
	BOLLARD	JAP	JAPANESE MAPLE		
	CONCRETE DUMPSTER PAD				
	CLEAN OUT				
	CONCRETE PAD				
	CORRUGATED METAL PIPE				
	CORRUGATED PLASTIC PIPE				
	CHILLED WATER				
	DROP INLET				
	DUCTILE IRON PIPE				
	DOUBLE WING DRAP				
	ELECTRICAL BOX				
	ELECTRICAL FEED				
	ELECTRICAL OUTLET				
	FOUNTAIN				
	FIBEROPTIC BOX				
	FIBEROPTIC MONUMENT				
	FIBEROPTIC PULLBOX				
	FIRE HYDRANT				
	FLAG POLE				
	GAS METER				
	GUY POLE				
	GUY WIRE				
	GRATE TRAP				
	GAS VALVE				
	GAS VENT PIPE				
	HOOD BACK TRAP				
	IRRIGATION CONTROL VALVE				
	INVERT ELEVATION				
	LIGHT POLE				
	MAIL BOX				
	MONITORING WELL				
	OPEN TOP FOUND				
	POWER METER				
	POWER OUTLET				
	POWER POLE				
	POLYVINYLCHLORIDE PIPE				
	REINFORCED CONCRETE PIPE				
	REDUCED PRESSURE ZONE BACKFLOW PREVENTER				
	SANITARY SEWER				
	STORM DRAIN				
	SPRINKLER HEAD				
	STORM BOX				
	SINGLE WING TRAP				
	TRUNCATED DOME				
	TELEPHONE PEDESTAL				
	TELEPHONE PULLBOX				
	TRAFFIC SIGNAL BOX				
	TRAFFIC SIGNAL CABINET				
	TRAFFIC SIGNAL POLE				
	WATER METER				
	WATER VALVE				
	WATER VALVE BOX				
	WATER VAULT				

PROJECT MANAGER

PAT ROONEY
TOWN OF BLUFFTON
(843) 706-4521

ENGINEER OF RECORD

ANDREW BAJOCZYK, P.E.
CRANSTON ENGINEERING GROUP P.C.
(843) 314-1965

UTILITIES:

WATER AND SEWER
BEAUFORT-JASPER WATER & SEWER AUTHORITY
SERVICE CONTACT: 843-987-9200
REPORT OUTAGE: 843-987-3200

POWER

SCE&G
SERVICE CONTACT: 800-251-7234
REPORT OUTAGE: 888-333-4465

COMMUNICATION

HARGRAY
SERVICE CONTACT: 843-815-1600
REPORT OUTAGE: 843-686-1138

GENERAL NOTES:

- PLANS CONTAINED HEREIN ARE FOR IMPROVEMENTS APPROVED BY THE TOWN OF BLUFFTON (OWNER) AND BEAUFORT JASPER WATER AND SEWER AUTHORITY (BJSWA). ANY VARIATION FROM THE APPROVED PLANS MUST BE APPROVED IN WRITING BY THE OWNER AND/OR ENGINEER.
- A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE OWNER AND ENGINEER PRIOR TO BEGINNING CONSTRUCTION. THIS MEETING SHALL BE SCHEDULED WITH THE OWNER AND ENGINEER AT THE TIME NOTICE TO PROCEED IS GIVEN.
- THE OWNER AND ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE, DURING REGULAR HOURS (8:00 AM TO 5:00 PM, MONDAY THROUGH FRIDAY, EXCLUDING HOLIDAYS), BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY.
- ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION FOR THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION (SCDOT), TOWN OF BLUFFTON SPECIFICATIONS, AND THE PROJECT SPECIFICATIONS.
- THE CONTRACTOR WILL BE REQUIRED TO HAVE ON SITE A COPY OF SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AND STANDARD DRAWINGS, LATEST EDITION.
- NO WORK SHALL COMMENCE WITHIN SCDOT'S RIGHT-OF-WAY UNTIL AN APPROVED SCDOT ENCROACHMENT PERMIT HAS BEEN RECEIVED.
- ANY DISCREPANCIES, ERRORS, OR OMISSIONS DISCOVERED ON THE PLANS OR IN THE SPECIFICATIONS SHOULD BE IMMEDIATELY BROUGHT TO THE ENGINEERS ATTENTION, NOTED ON THE CONTRACTOR'S PROPOSAL, AND DOES NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO CORRECT THE SAME AND CONSTRUCT THE PROJECT AS DESIGNED.

GENERAL EXISTING CONDITIONS & SURVEY NOTES:

- DATE OF SURVEY - 09/10/2018 BY SEA ISLAND LAND SURVEY, LLC
- THE DATA, TOGETHER WITH ALL OTHER INFORMATION SHOWN ON THESE PLANS, OR INDICATED IN ANY WAY THEREBY, WHETHER BY DRAWINGS OR NOTES OR ANY OTHER MANNER, ARE BASED UPON FIELD INVESTIGATIONS AND ARE BELIEVED TO BE INDICATIVE OF ACTUAL CONDITIONS. HOWEVER, THE SAME ARE SHOWN AS INFORMATION ONLY AND ARE NOT GUARANTEED.
- ACCORDING TO THE FEMA FIRM PANEL NO. 0001A COMMUNITY NO. 450251, DATED 09/29/86, THIS PROJECT IS LOCATED WITHIN FLOOD ZONES 'A1' & 'C' WITH A BASE FLOOD ELEVATION OF 14.0' AND N/A.
- THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE OWNER IN THE EVENT THAT PREVIOUSLY UNKNOWN HISTORICAL OR ARCHEOLOGICAL SITES ARE DISCOVERED DURING CONSTRUCTION. NO ADDITIONAL WORK IN SUCH AREAS WILL BE ALLOWED UNTIL AUTHORIZED IN WRITING.
- PROPERTY LINES SHOWN HEREIN HAVE BEEN DERIVED BY PLAT INFORMATION AND GIS DATA OBTAINED FROM THE TOWN OF BLUFFTON.
- DISTURBANCES TO ANY SURVEY MARKERS OR MONUMENTS REQUIRES RE-ESTABLISHMENT BY A LICENSED SURVEYOR AT THE CONTRACTOR'S EXPENSE.

GENERAL EROSION CONTROL NOTES:

- ALL SILT BARRIERS MUST BE PLACED PRIOR TO LAND DISTURBING ACTIVITIES.
- ALL DRAINAGE EASEMENTS & DISTURBED AREAS MUST BE GRASSED AND/OR RIP-RAPPED AS REQUIRED TO CONTROL EROSION.

GENERAL UTILITIES NOTES:

- THE EXISTENCE, ABSENCE, LOCATION AND ELEVATION OF UNDERGROUND UTILITIES ON THE PLANS ARE NOT BASED ON FIELD MARKS, ARE NOT GUARANTEED, AND SHALL BE INVESTIGATED, UNEARTHED IF NECESSARY, AND VERIFIED BY CONTRACTOR BEFORE BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL CONTACT SOUTH CAROLINA 811, "CALL BEFORE YOU DIG" SERVICE IN ORDER TO LOCATE UTILITIES PRIOR TO STARTING ANY EXCAVATION OR CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES, ABOVE GROUND OR BELOW GROUND.
- CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH APPROPRIATE UTILITIES PRIOR TO AND/OR DURING CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY BEFORE DIGGING NEAR WATER AND SANITARY SEWER LINES.
- NO EXTRA PAYMENT WILL BE MADE FOR REPAIRS TO DAMAGE OF EXISTING UTILITIES.
- THE CONTRACTOR WILL NOT BE PAID FOR DELAYS OR EXTRA EXPENSE CAUSED BY UTILITY FACILITIES, OBSTRUCTIONS, OR ANY OTHER ITEMS NOT REMOVED OR RELOCATED TO CLEAR CONSTRUCTION IN ADVANCE OF HIS WORK.

GENERAL TRAFFIC CONTROL NOTES:

- THE CONTRACTOR WILL BE RESPONSIBLE FOR SUBMITTING A TRAFFIC CONTROL PLAN FOR APPROVAL AND THE INSTALLATION OF ALL TRAFFIC CONTROL SIGNAGE, SIGNALS, AND/OR DEVICES IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR INITIAL INSTALLATION OF ALL TRAFFIC CONTROL SIGNAGE REQUIRED FOR CONSTRUCTION.
- ROAD CLOSURES AND DETOURS, SHOULD THEY BE NEEDED, SHALL BE COORDINATED AND APPROVED WITH THE OWNER A MINIMUM OF TWO (2) CALENDAR WEEKS PRIOR TO PLANNED CLOSURE AND/OR DETOUR.
- CERTIFIED FLAGGERS AND/OR ARROW BOARDS WILL BE REQUIRED TO MAINTAIN TRAFFIC CONTROL WHILE WORKING WITHIN THE LIMITS OF PUBLIC OR PRIVATE ROADWAYS.
- CONTRACTOR SHALL MAINTAIN ONE (1) LANE OF TRAVEL OPEN AT ALL TIMES IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST ADDITION.

GENERAL CONSTRUCTION NOTES:

- ALL STRUCTURES, TREES AND SHRUBS WHICH ARE WITHIN THE DESIGNATED CONSTRUCTION EASEMENT, BUT OUTSIDE THE LIMITS OF CONSTRUCTION SHALL NOT BE DISTURBED UNLESS OTHERWISE INSTRUCTED BY THE ENGINEER.
- UNSATURABLE AND SURPLUS EXCAVATION MATERIAL NOT REQUIRED FOR FILL SHALL BE DISPOSED OF OFFSITE.
- CONTRACTOR IS TO CLEAN ALL STORM WATER INLETS AND PIPE AT THE COMPLETION OF CONSTRUCTION TO REMOVE ANY SILT AND DEBRIS. THE CLEANING OF DROP INLETS, CULVERTS, AND PIPES (EXISTING AND PROPOSED) SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. NO ADDITIONAL PAYMENT WILL BE MADE THEREFOR.
- ANY DAMAGE TO THE SIDE STREETS DUE TO CONSTRUCTION ACTIVITY SHALL BE REPAIRED IN AN EXPEDIENT MANNER AT THE CONTRACTOR'S EXPENSE.

CRANSTON
ENGINEERING



ENGINEERS - PLANNERS - SURVEYORS
14 Westbury Park Way, Suite 202, Bluffton, SC 29910
Telephone 843-815-3191
mail@CranstonEngineering.com



REV #	DATE	DESCRIPTION
3	3/26/2019	REVISIONS FOR BID ADDENDUM
2	3/15/2019	BID AND PERMIT PLAN REVISIONS
1	3/9/2019	BID AND PERMIT PLANS

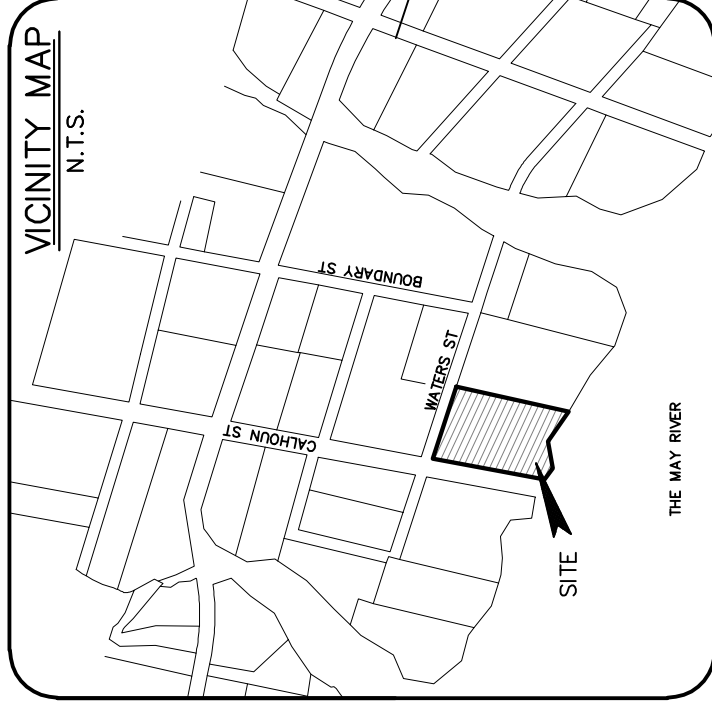
WRIGHT FAMILY PARK

GENERAL NOTES AND LEGEND

DRAWN BY:	AEA
CHECKED BY:	MER
APPROVED BY:	AJB
DATE:	3/5/2019
SCALE:	AS SHOWN
JOB No.	2019-0032
DRAWING No.	



C1.1



R610 039 00A 0106 0000
BLUFFTON UNITED METHODIST CHURCH INC
PO BOX 368
BLUFFTON SC 29910

R610 039 00A 0109 0000
OWENS CHARLES EDWARD III REBECCA EDE
BLUFFTON SC 29910

R610 039 00A 0110 0000
RHODES CAROLYN D
BLUFFTON SC 29910

- LEGEND & SYMBOLS:**
TREE SIZES ARE INCHES IN DIAMETER
- SPOT ELEVATION
 - CMF 3" CONCRETE MONUMENT FOUND
 - IPFF 3/4" IRON PIPE FOUND
 - BM BENCHMARK
 - IEM INVERT ELEVATION MARK
 - PVC POLYVINYL CHLORIDE
 - LO LIVE OAK
 - MAG MAGNOLIA
 - PIN PINE
 - WY YEW
 - WO WATER OAK
 - SB SUGAR BERRY
 - WY WYCKSTRASSE
 - CH CEDAR
 - CH WILD CHERRY
 - ELS ELECTRIC SERVICE
 - TTS TELEPHONE SERVICE
 - WM WATER METER
 - VB VALVE BOX
 - UP UTILITY POLE
 - S SIGN
 - F FIRE HYDRANT
 - L UP TANK (UNDERGROUND)

REFERENCE PLATS

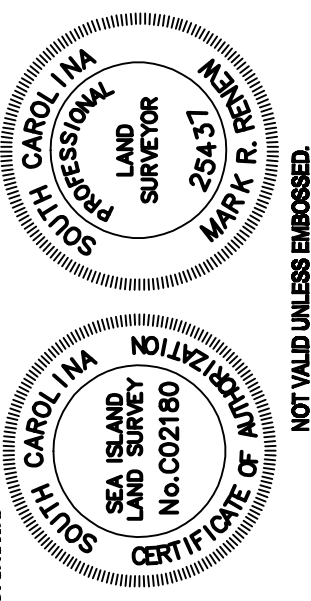
1) BOUNDARY, ASBUILT, TREE & TOPOGRAPHIC SURVEY OF THE SQUIRE POPE CARRIAGE HOUSE, TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.
RD. BEAUFORT COUNTY, SC
BY: TERRY G. HATCHELL S.C.R.L.S. # 11059

2) AN ASBUILT SURVEY OF PARCEL 112 & 115, DISTRICT 610, MAP 39-A, TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.
DRAWN: 6/19/01
RECORDED IN BOOK 87, PAGE 174, DATED 6/25/02
RD. BEAUFORT COUNTY, SC
BY: FORREST F. BRUGHMAN S.C.R.L.S. # 4922

DISTRICT: 610, MAP: 39A, PARCEL: 111
PROPERTY AREA: 1.36 AC. 59,242 S.F.
ADDRESS: 111 CALHOUN STREET
THIS PROPERTY LIES IN FEMA ZONE A6 & C
BASE FLOOD ELEVATION = 14.07 & N/A
COMMUNITY NO. 460251, PANEL 0001A, DATED: 9/29/86

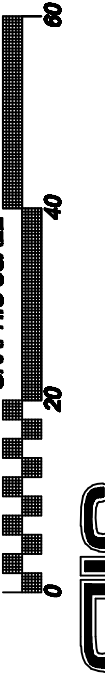
LINE	LENGTH	BEARING
L1	12.40	N. 65°11'13" W.
L2	39.76	N. 58°51'14" W.
L3	52.22	N. 72°48'59" W.
L4	30.65	N. 52°42'29" W.
L5	30.65	N. 52°42'29" W.
L6	26.90	N. 79°51'02" W.
L7	21.04	S. 32°18'26" W.
L8	20.40	S. 81°24'18" W.
L9	22.84	S. 30°29'43" W.
L10	19.49	N. 62°23'70" W.
L11	19.49	N. 62°23'70" W.
L12	31.56	N. 05°04'25" E.
L13	18.73	N. 76°02'05" W.
L14	9.03	N. 74°19'42" W.
L15	8.36	S. 89°12'17" W.
L16	28.86	N. 60°14'04" W.
L17	25.97	N. 38°50'07" E.
L18	50.84	S. 13°58'10" E.

THESE PLATS ARE THE PROPERTY OF SEA ISLAND LAND SURVEY, LLC. ANY REVISIONS OR ADDITIONS MADE HEREON ARE THE PROPERTY OF SEA ISLAND LAND SURVEY, LLC. THESE PLATS ARE NOT VALID UNLESS ENDORSED BY SEA ISLAND LAND SURVEY, LLC.



**ASBUILT, TREE AND TOPOGRAPHIC SURVEY OF:
SQUIRE POPE CARRIAGE HOUSE
CALHOUN STREET TOWN OF BLUFFTON,
BEAUFORT COUNTY, SOUTH CAROLINA
PREPARED FOR: THE TOWN OF BLUFFTON**

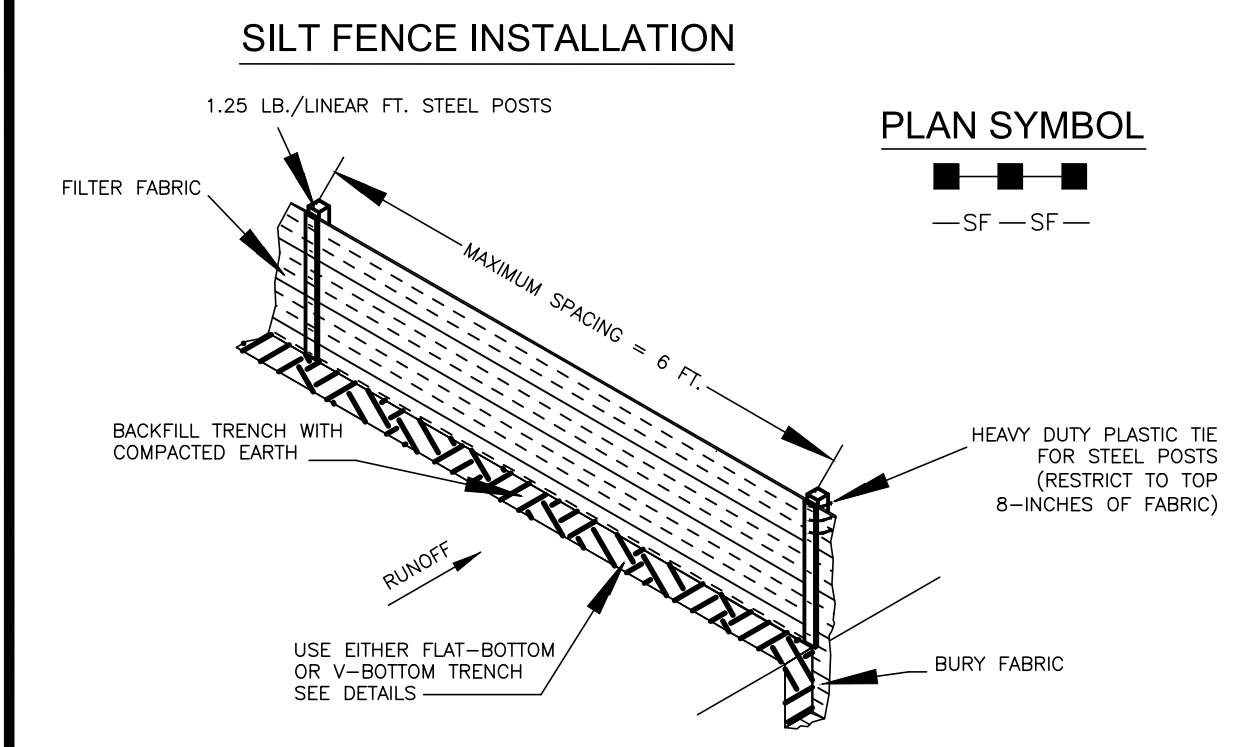
DATE: 9/10/18 SCALE: 1" = 20'



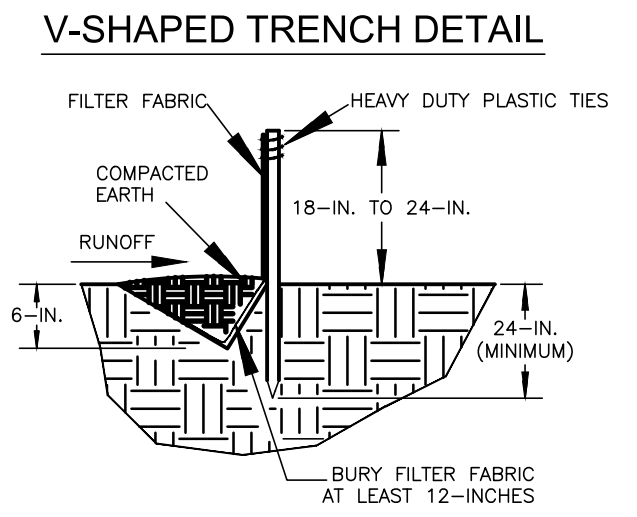
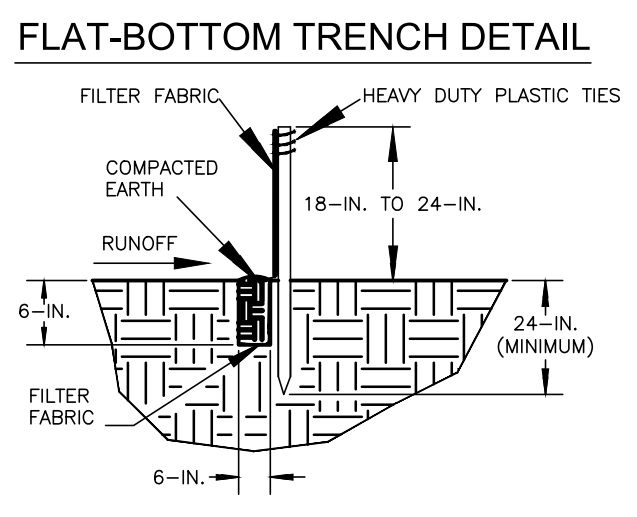
SLIS Sea Island Land Survey, LLC.
4D Matthews Court,
Hilton Head Island,
SC 29928
Tel: (843) 681-3248
Fax: (843) 688-3871
E-mail: sis@slispre.com
DWG No.: 9-1737

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- NOTES:**
- 1) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
 - 2) SEA ISLAND LAND SURVEY, LLC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREON ARE THE PROPERTY OF SEA ISLAND LAND SURVEY, LLC. THESE PLATS ARE NOT VALID UNLESS ENDORSED BY SEA ISLAND LAND SURVEY, LLC. THESE PLATS ARE NOT VALID UNLESS ENDORSED BY SEA ISLAND LAND SURVEY, LLC. THESE PLATS ARE NOT VALID UNLESS ENDORSED BY SEA ISLAND LAND SURVEY, LLC.
 - 3) HORIZONTAL DATUM IS S.C. STATE PLANE NAD 83.
 - 4) VERTICAL DATUM IS NAVD83.
 - 5) CONTOUR INTERVAL IS 1'.
 - 6) THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
 - 7) IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.



- SILT FENCE - GENERAL NOTES**
- Do not place silt fence across channels or in other areas subject to concentrated flows. Silt fence should not be used as a velocity control BMP. Concentrated flows are any flows greater than 0.5 cfs.
 - Maximum sheet or overland flow path length to the silt fence shall be 100-feet.
 - Maximum slope steepness (normal [perpendicular] to the fence line) shall be 2:1.
 - Silt fence joints, when necessary, shall be completed by one of the following options:
 - Wrap each fabric together at a support post with both ends fastened to the post, with a 1-foot minimum overlap;
 - Overlap silt fence by installing 3-feet passed the support post to which the new silt fence roll is attached. Attach end roll to new roll with heavy-duty plastic ties; or,
 - Overlap entire width of each silt fence roll from one support post to the next support post.
 - Attach filter fabric to the steel posts using heavy-duty plastic ties that are evenly spaced within the top 8-inches of the fabric.
 - Install the silt fence perpendicular to the direction of the stormwater flow and place the silt fence the proper distance from the toe of steep slopes to provide sediment storage and access for maintenance and cleanout.
 - Install Silt Fence Checks (Tie-Backs) every 50-100 feet, dependent on slope, along silt fence that is installed with slope and where concentrated flows are expected or are documented along the proposed/installed silt fence.



South Carolina Department of Health and Environmental Control

SILT FENCE

STANDARD DRAWING NO. SC-03 PAGE 1 of 2

NOT TO SCALE

FEBRUARY 2014 DATE

- SILT FENCE - POST REQUIREMENTS**
- Silt fence posts must be 48-inch long steel posts that meet, at a minimum, the following physical characteristics:
 - Composed of a high strength steel with a minimum yield strength of 50,000 psi;
 - Include a standard "T" section with a nominal face width of 1.38-inches and a nominal "T" length of 1.48-inches;
 - Weight 1.25 pounds per foot (± 8%).
 - Posts shall be equipped with projections to aid in fastening of filter fabric.
 - Steel posts may need to have a metal soil stabilization plate welded near the bottom when installed along steep slopes or installed in loose soils. The plate should have a minimum cross section of 17-square inches and be composed of 15 gauge steel, at a minimum. The metal soil stabilization plate should be completely buried.
 - Install posts to a minimum of 24-inches. A minimum height of 1- to 2-inches above the fabric shall be maintained, and a maximum height of 3 feet shall be maintained above the ground.
 - Post spacing shall be at a maximum of 6-feet on center.

- SILT FENCE - FABRIC REQUIREMENTS**
- Silt fence must be composed of woven geotextile filter fabric that consists of the following requirements:
 - Composed of fibers consisting of long chain synthetic polymers of at least 85% by weight of polyolefins, polyesters, or polyamides that are formed into a network such that the filaments or yarns retain dimensional stability relative to each other;
 - Free of any treatment or coating which might adversely alter its physical properties after installation;
 - Free of any defects or flaws that significantly affect its physical and/or filtering properties; and,
 - Have a minimum width of 36-inches.
 - Use only fabric appearing on SC DOT's Qualified Products Listing (QPL), Approval Sheet #34, meeting the requirements of the most current edition of the SC DOT Standard Specifications for Highway Construction.
 - 12-inches of the fabric should be placed within excavated trench and toed in when the trench is backfilled.
 - Filter Fabric shall be purchased in continuous rolls and cut to the length of the barrier to avoid joints.
 - Filter Fabric shall be installed at a minimum of 24-inches above the ground.

- SILT FENCE - INSPECTION & MAINTENANCE**
- The key to functional silt fence is weekly inspections, routine maintenance, and regular sediment removal.
 - Regular inspections of silt fence shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
 - Attention to sediment accumulations along the silt fence is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
 - Remove accumulated sediment when it reaches 1/3 the height of the silt fence.
 - Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
 - Check for areas where stormwater runoff has eroded a channel beneath the silt fence, or where the fence has sagged or collapsed due to runoff overtopping the silt fence. Install checks/tie-backs and/or reinstall silt fence, as necessary.
 - Check for tears within the silt fence, areas where silt fence has begun to decompose, and for any other circumstance that may render the silt fence ineffective. Removed damaged silt fence and reinstall new silt fence immediately.
 - Silt fence should be removed within 30 days after final stabilization is achieved and once it is removed, the resulting disturbed area shall be permanently stabilized.

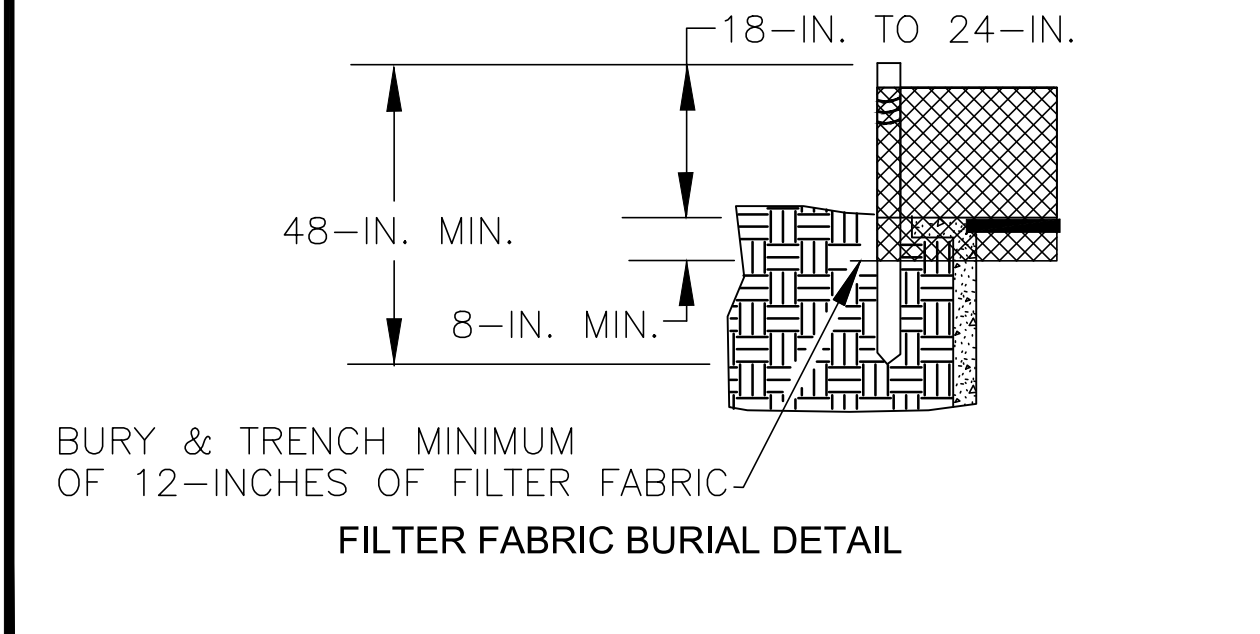
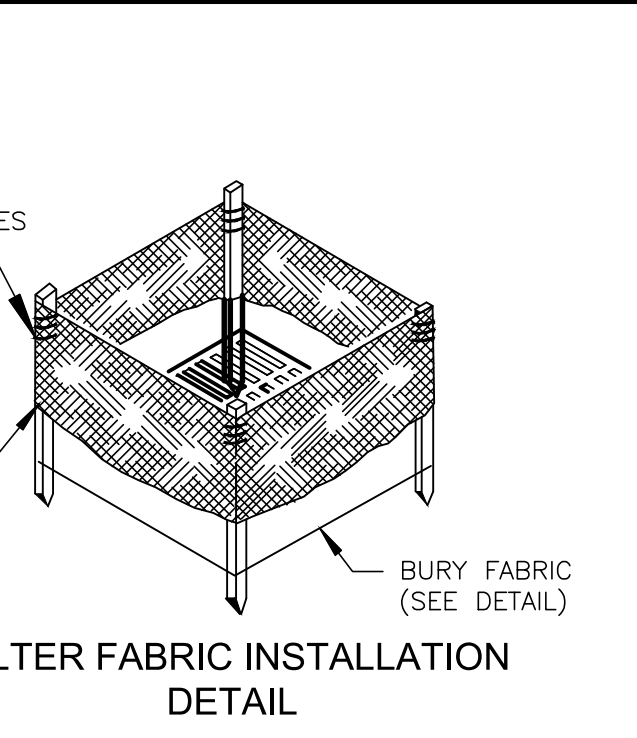
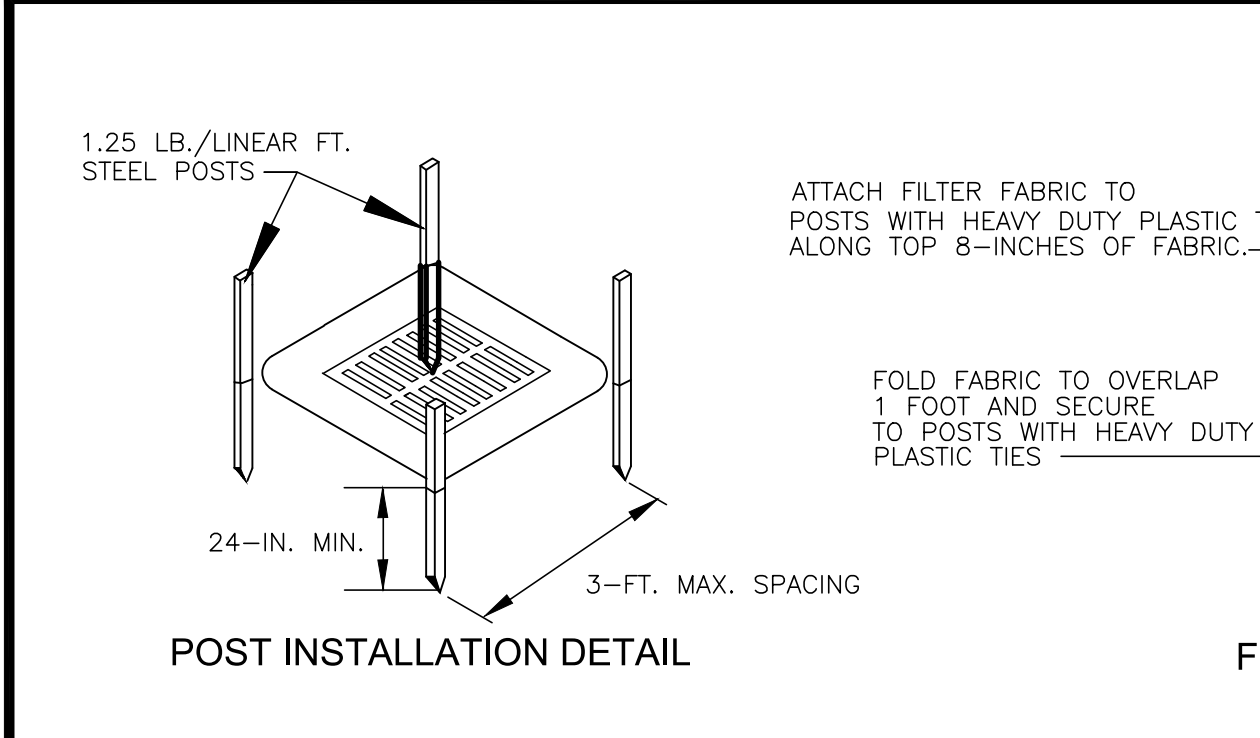
South Carolina Department of Health and Environmental Control

SILT FENCE

STANDARD DRAWING NO. SC-03 PAGE 2 of 2

GENERAL NOTES

FEBRUARY 2014 DATE



South Carolina Department of Health and Environmental Control

Type A

FILTER FABRIC INLET PROTECTION

STANDARD DRAWING NO. SC-07 PAGE 1 of 2

NOT TO SCALE

FEBRUARY 2014 DATE

- TYPE A - FILTER FABRIC REQUIREMENTS**
- Silt fence must be composed of woven geotextile filter fabric that consists of the following requirements:
 - Composed of fibers consisting of long chain synthetic polymers of at least 85% by weight of polyolefins, polyesters, or polyamides that are formed into a network such that the filaments or yarns retain dimensional stability relative to each other;
 - Free of any treatment or coating which might adversely alter its physical properties after installation;
 - Free of any defects or flaws that significantly affect its physical and/or filtering properties; and,
 - Have a minimum width of 36-inches.
 - Use only fabric appearing on SC DOT's Qualified Products Listing (QPL), Approval Sheet #34, meeting the requirements of the most current edition of the SC DOT Standard Specifications for Highway Construction.
 - 12-inches of the fabric should be placed within excavated trench and toed in when the trench is backfilled.
 - Filter Fabric shall be purchased in continuous rolls and cut to the length of the barrier to avoid joints.
 - Filter Fabric shall be installed at a minimum of 24-inches above the ground.

- TYPE A - POST REQUIREMENTS**
- Silt Fence posts must be 48-inch long steel posts that meet, at a minimum, the following physical characteristics:
 - Composed of a high strength steel with a minimum yield strength of 50,000 psi;
 - Include a standard "T" section with a nominal face width of 1.38-inches and a nominal "T" length of 1.48-inches;
 - Weight 1.25 pounds per foot (± 8%).
 - Posts shall be equipped with projections to aid in fastening of filter fabric.
 - Install posts to a minimum of 24-inches. A minimum height of 1- to 2-inches above the fabric shall be maintained, and a maximum height of 3 feet shall be maintained above the ground.
 - Post spacing shall be at a maximum of 3-feet on center.

- TYPE A - INSPECTION & MAINTENANCE**
- The key to functional inlet protection is weekly inspections, routine maintenance, and regular sediment removal.
 - Regular inspections of inlet protection shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
 - Attention to sediment accumulations along the filter fabric is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
 - Remove accumulated sediment when it reaches 1/3 the height of the filter fabric. When a sump is installed in front of the fabric, sediment should be removed when it fills approximately 1/3 the depth of the sump.
 - Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
 - Check for areas where stormwater runoff has eroded a channel beneath the filter fabric, or where the fabric has sagged or collapsed due to runoff overtopping the inlet protection.
 - Check for tears within the filter fabric, areas where fabric has begun to decompose, and for any other circumstance that may render the inlet protection ineffective. Removed damaged fabric and reinstall new filter fabric immediately.
 - Inlet protection structures should be removed after all the disturbed areas are permanently stabilized. Remove all construction material and sediment, and dispose of them properly. Grade the disturbed area to the elevation of the drop inlet structure crest. Stabilize all bare areas immediately.

South Carolina Department of Health and Environmental Control

Type A

FILTER FABRIC INLET PROTECTION

STANDARD DRAWING NO. SC-07 PAGE 2 of 2

GENERAL NOTES

FEBRUARY 2014 DATE

- STANDARD NOTES:**
- PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER & TEMPORARY SEEDING AT THE END OF THE DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE ANY SEDIMENTS BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
 - STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE WORK HAS CEASED, EXCEPT AS NOTED.
 - WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
 - WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, & EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
 - THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO THE PAVED ROADWAY FROM THE CONSTRUCTION AREA & THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
 - ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
 - RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS OR OBTAIN APPROVAL FOR AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-300 & SCR100000.
 - LITTER, CONSTRUCTION DEBRIS, OILS, FUELS & BUILDING PRODUCTS WITH THE SIGNIFICANT POTENTIAL IMPACT (SUCH AS STOCK-PILES OF FRESHLY TREATED LUMBER) & CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
 - ALL SEDIMENT & EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY OR INCORRECTLY INSTALLED, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.
 - INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND DISTURBING ACTIVITIES HAVE CEASED, AND WILL NOT RETURN FOR A PERIOD OF 7 CALENDAR DAYS.
 - MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.
 - MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT & VEHICLE WASHING, WHEEL WASH WATER, & OTHER WASH WATER. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT TREATMENT PRIOR TO DISCHARGE.
 - MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES & EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMP'S (SEDIMENT BASIN, FILTER BAG, ETC.)
 - THE FOLLOWING DISCHARGES FROM THE SITE ARE PROHIBITED:
 - WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL
 - WASTEWATER FROM WASHOUT & CLEANOUT OF STUCCO, PAINT, FROM RELEASE OILS, CURING COMPOUNDS & OTHER CONSTRUCTION MATERIALS
 - FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE & EQUIPMENT OPERATION & MAINTENANCE
 - SOAPS OR DETERGENTS USED IN VEHICLE & EQUIPMENT WASHING
 - AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK & MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.
 - IF EXISTING BMP'S NEED TO BE MODIFIED OR IF ADDITIONAL BMP'S ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE NEXT STORM IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP & ALTERNATIVE BMP'S MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.
 - TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
 - ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CAN'T BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
 - IF CABLE, ELECTRIC, AND NATURAL GAS UTILITIES ARE INSTALLED, THE INSTALLATION OF THESE IS TO BE WITHIN THE PERMITTED LIMITS OF DISTURBANCE AND INSTALLATION OUTSIDE OF THESE AREAS WILL REQUIRE A MODIFICATION TO THE PERMIT.
 - INLET PROTECTION SHALL BE PROVIDED AT ALL EXISTING INLETS THAT RECEIVE FLOWS FROM THE DISTURBED AREAS.
 - CONSTRUCTION ENTRANCES SHALL BE PROVIDED AT ALL LOCATIONS WHERE CONSTRUCTION TRAFFIC ACCESSES A PAVED ROADWAY.

- GRASSING REQUIREMENTS**
- SEEDING SCHEDULE: TEMPORARY SEEDING: APRIL 15 - AUGUST 31, BROWNTOP MILLET @ 40 LBS./ACRE. SEPTEMBER 1 - DECEMBER 15, RYE GRAIN @ 56 LBS./ACRE. PERMANENT SEEDING: APRIL 1 - OCTOBER 15, A MIXTURE OF KENTUCKY 31 FESCUE @ 20 LBS./ACRE AND CREEPING RED FESCUE @ 20 LBS./ACRE. SEPTEMBER 1 TO OCTOBER 15, ADD A NURSE CROP OF ABRUZZI RYE @ 75 LBS./ACRE. OCTOBER 15 TO MARCH 30 SEED ABRUZZI RYE AT 100 LBS./ACRE. DOLOMITIC LIME WILL BE INCORPORATED AT THE RATE OF 3000 POUNDS/ACRE.
 - FERTILIZER WILL BE A COMMERCIAL GRADE 10-10-10 INCORPORATED INTO THE SOIL AT A RATE OF 1500 POUNDS/ACRE.
 - FROM JUNE THROUGH AUGUST AND NOT LESS THAN 30 DAYS AFTER SEEDING, APPLY AMMONIUM NITRATE (NOT LESS THAN 20% NITRATE) AT A RATE EQUAL TO 60 POUNDS OF AVAILABLE NITROGEN/ACRE.
 - ALL SEEDED AREAS WILL BE MULCHED WITH HAY OR STRAW AT A RATE OF 1500 POUNDS/ACRE.
 - SEEDING AND MULCHING MAY BE ACCOMPLISHED IN A SINGLE OPERATION. SEEDED AREAS WILL BE MULCHED WITH HAY, STRAW OR WOOD CELLULOSE AT A RATE OF 1500 LBS./ACRE.
- TEMPORARY GRASSING:
- MARCH 1-AUGUST 14 SHALL BE PEARL MILLET 50 LBS./ACRE COVERED WITH HEAVY MULCH. AUGUST 15-FEBRUARY 28 SHALL BE RYE GRASS 40 LBS./ACRE AND RYE GRAIN SIMULTANEOUSLY.

MONTHS OF CONSTRUCTION ACTIVITIES

	1	2	3	4
INSTALL SILT FENCE & TREE PROTECTION FENCE				
INSTALL INLET PROTECTION & PERFORM SITE DEMOLITION				
TREE REMOVAL				
GRADING				
PAVING				
MAINTENANCE OF EROSION CONTROL BMP'S				
TEMPORARY GRASSING				
FINAL GRASSING				
BUILDING CONSTRUCTION				
REMOVAL OF SEDIMENT CONTROL STRUCTURES				

- THE TIME AND PERIODS ABOVE ARE NOT EXACT OR READILY DETERMINABLE BUT IN ALL CASES SOIL EROSION AND SEDIMENT CONTROL STRUCTURES WILL BE INCORPORATED INTO THE CONSTRUCTION IN THE SEQUENCE AS SHOWN ABOVE AND/OR AS DIRECTED BY TOWN OF HILTON HEAD ISLAND OR SCHEMATIC.
- GRASSING WILL BE ACCEPTED WHEN A 95% COVER BY PERMANENT GRASSES IS OBTAINED AND WEEDS ARE NOT DOMINANT.
- GRASSING OF CONSTRUCTION AREAS WILL COMMENCE AT COMPLETION OF EACH PHASE OF CONSTRUCTION OR IN THE SEQUENCE AS SHOWN ABOVE. IN ANY CASE, GRASSING OF ANY CONSTRUCTION AREA WILL BEGIN AT THE EARLIEST POSSIBLE DATE.

"I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENTS SUBMITTED SIGNIFYING THAT I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM. I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS OF TITLE 48, CHAPTER 14 OF THE CODE OF LAWS OF SC, 1976 AS AMENDED, PURSUANT TO REGULATION 72-300 ET SEQ. (IF APPLICABLE), AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF SCR100000."

CRANSTON
ENGINEERING

ENGINEERS - PLANNERS - SURVEYORS

14 Westbury Park Way, Suite 202, Bluffton, SC 29910
Telephone 843-815-3191
mail@CranstonEngineering.com



REV #	DATE	DESCRIPTION
3	3/26/2019	REVISIONS FOR BID ADDENDUM
2	3/15/2019	BID AND PERMIT PLAN REVISIONS
1	3/5/2019	BID AND PERMIT PLANS

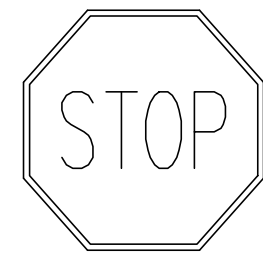
WRIGHT FAMILY PARK

SWPPP DETAILS

DRAWN BY:	AEA
CHECKED BY:	MER
APPROVED BY:	AJB
DATE:	3/5/2019
SCALE:	AS SHOWN
JOB No.	2019-0032
DRAWING No.	

C3.1





R1-1

NEW STOP SIGN, R1-1

1.5" ASPHALT OVERLAY FOR FULL EXTENT OF ROADWAY BEGINNING AT STA 0+14.40 SEE DETAIL SHEET C6.1

NEW CROSSWALK, TYP. SEE DETAIL SHEET C6.1

12" CONCRETE RIBBON CURB, TYP. SEE DETAIL SHEET C6.1

PERVIOUS PARKING, TYP. SEE DETAIL SHEET C6.1

SOLID HATCH DENOTES AREA FOR FULL DEPTH PAVEMENT WIDENING SEE PAVEMENT SECTION DETAIL SHEET C6.1

NEW CROSSWALK, TYP. SEE DETAIL SHEET C6.1

PERVIOUS PARKING, TYP. SEE DETAIL SHEET C6.1

SOLID HATCH DENOTES AREA FOR FULL DEPTH PAVEMENT WIDENING SEE PAVEMENT SECTION DETAIL SHEET C6.1

WATER STREET 30' R/W

CALHOUN STREET 50' R/W

RECONSTRUCT EXISTING CONCRETE DRIVEWAY SEE SHEET C6.1 FOR CONCRETE PAVING SECTION DETAIL

VAN ACCESSIBLE HANDICAPPED PARKING SEE SHEET C6.1 FOR CONCRETE PAVING SECTION DETAIL SEE LANDSCAPE PLANS FOR SIGN DETAILS

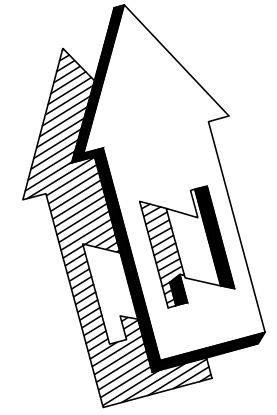
INFILTRATION TRENCH (SEE DRAINAGE PLAN)

APPROXIMATE LOCATION OF FEMA FLOOD HAZARD LINE AS SCALED FROM FIRMETS

FORM ORIGINAL LINE

R610 038 00A 0109 0000 OWENS CHARLES EDWARD III REBL... PO BOX 1038 BLUFFTON SC 29910

R610 039 00A 0110 0000 RHODES CAROLYN D PO BOX 858 BLUFFTON SC 29910



PLAN

HORIZONTAL SCALE 1"=20'



SCALE IN FEET

G:\AAI-ACTIVE_JOBS\2019-0032_WRIGHT'S FAMILY PARK\LA - DRAWINGS\CVL\20190032_CVLDWG_3/26/2019_2:54 PM

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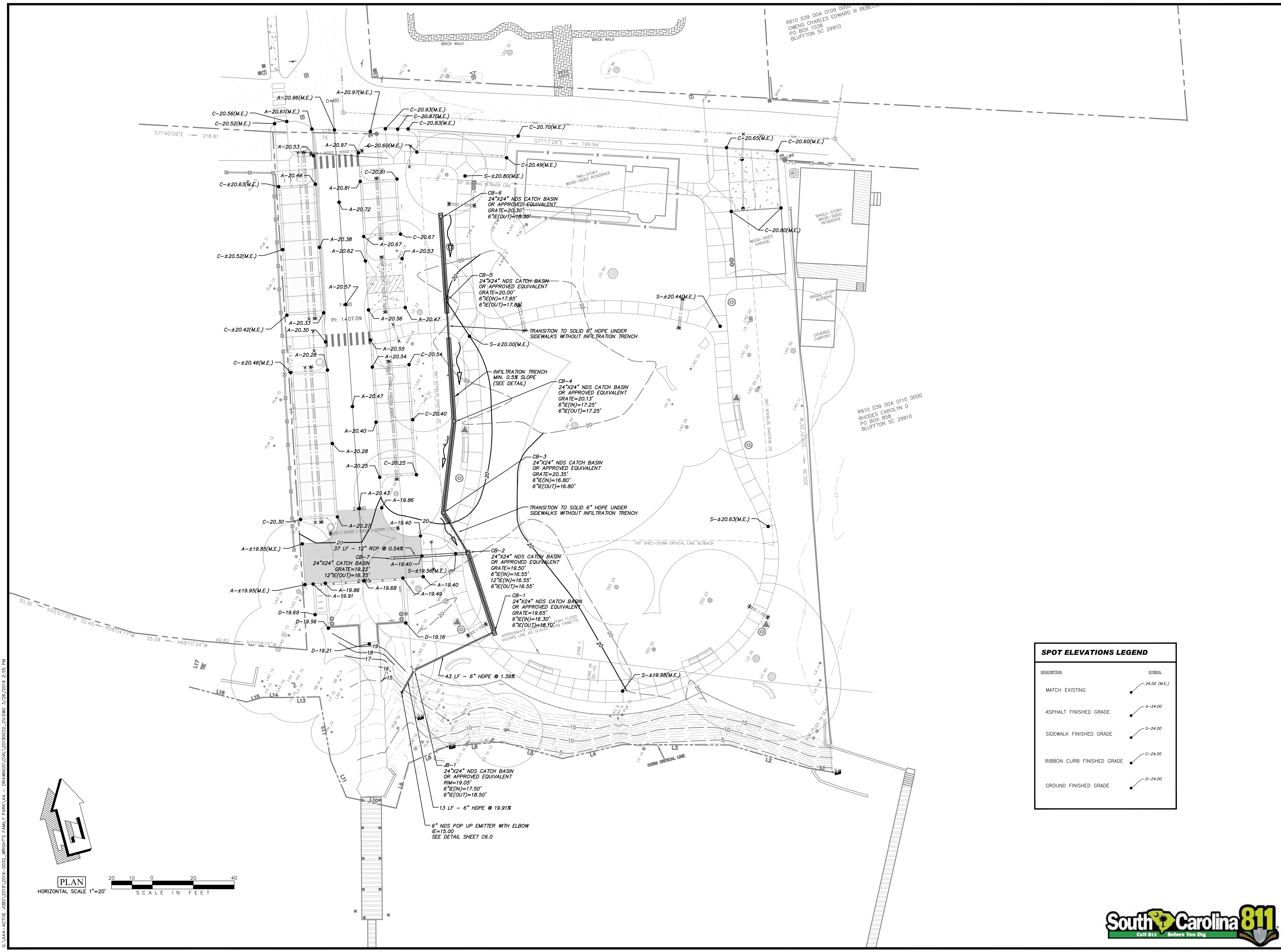
REV #	DATE	DESCRIPTION
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WRIGHT FAMILY PARK

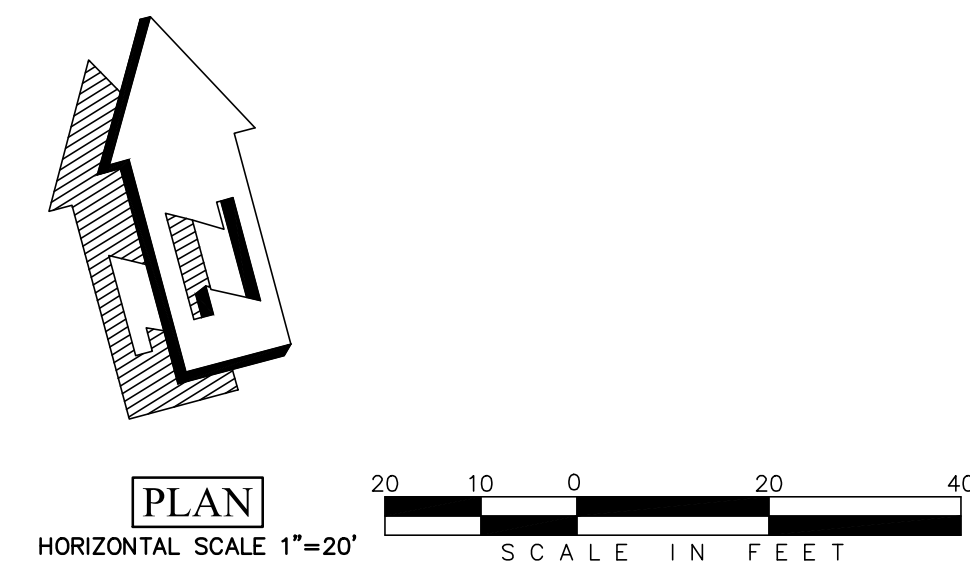
SITE PLAN

DRAWN BY:	AEA
CHECKED BY:	MER
APPROVED BY:	AJB
DATE:	3/5/2019
SCALE:	AS SHOWN
JOB No.	2019-0032
DRAWING No.	C4.0





SPOT ELEVATIONS LEGEND	
DESCRIPTION	SYMBOL
MATCH EXISTING	● 24.00 (M.E.)
ASPHALT FINISHED GRADE	● A-24.00
SIDEWALK FINISHED GRADE	● S-24.00
RIBBON CURB FINISHED GRADE	● C-24.00
GROUND FINISHED GRADE	● D-24.00



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2	3/15/2019	BID AND PERMIT PLAN REVISIONS
1	3/5/2019	BID AND PERMIT PLANS

WRIGHT FAMILY PARK

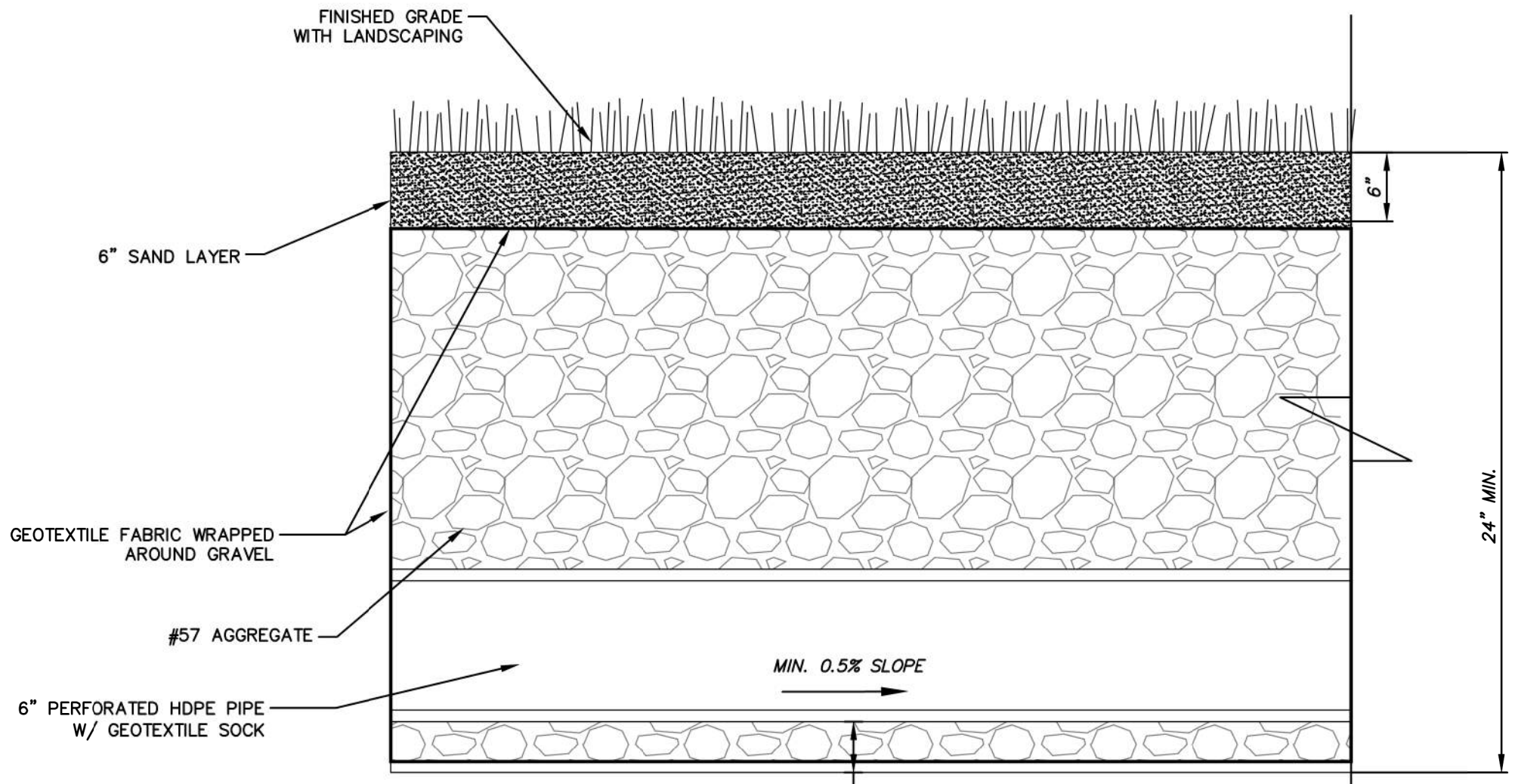
GRADING AND DRAINAGE PLAN

DRAWN BY:	AEA
CHECKED BY:	MER
APPROVED BY:	AJB
DATE:	3/5/2019
SCALE:	AS SHOWN
JOB No.	2019-0032
DRAWING No.	

C5.0

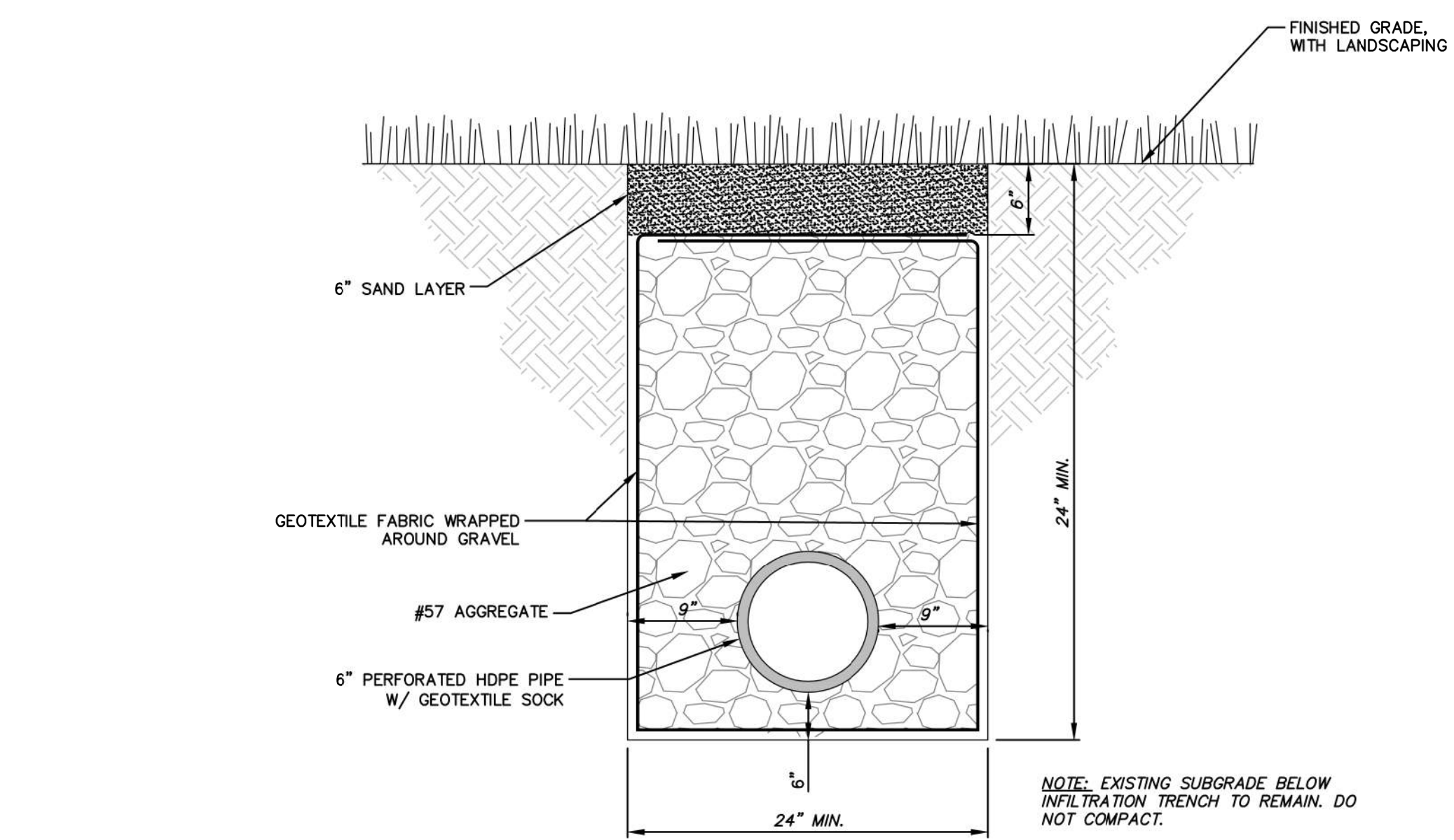


G:\AAI-ACTIVE_JOBS\2019-0032_WRIGHT'S FAMILY PARK\LA - DRAINAGE\CIVIL\20190032_CV.DWG 3/26/2019 2:55 PM

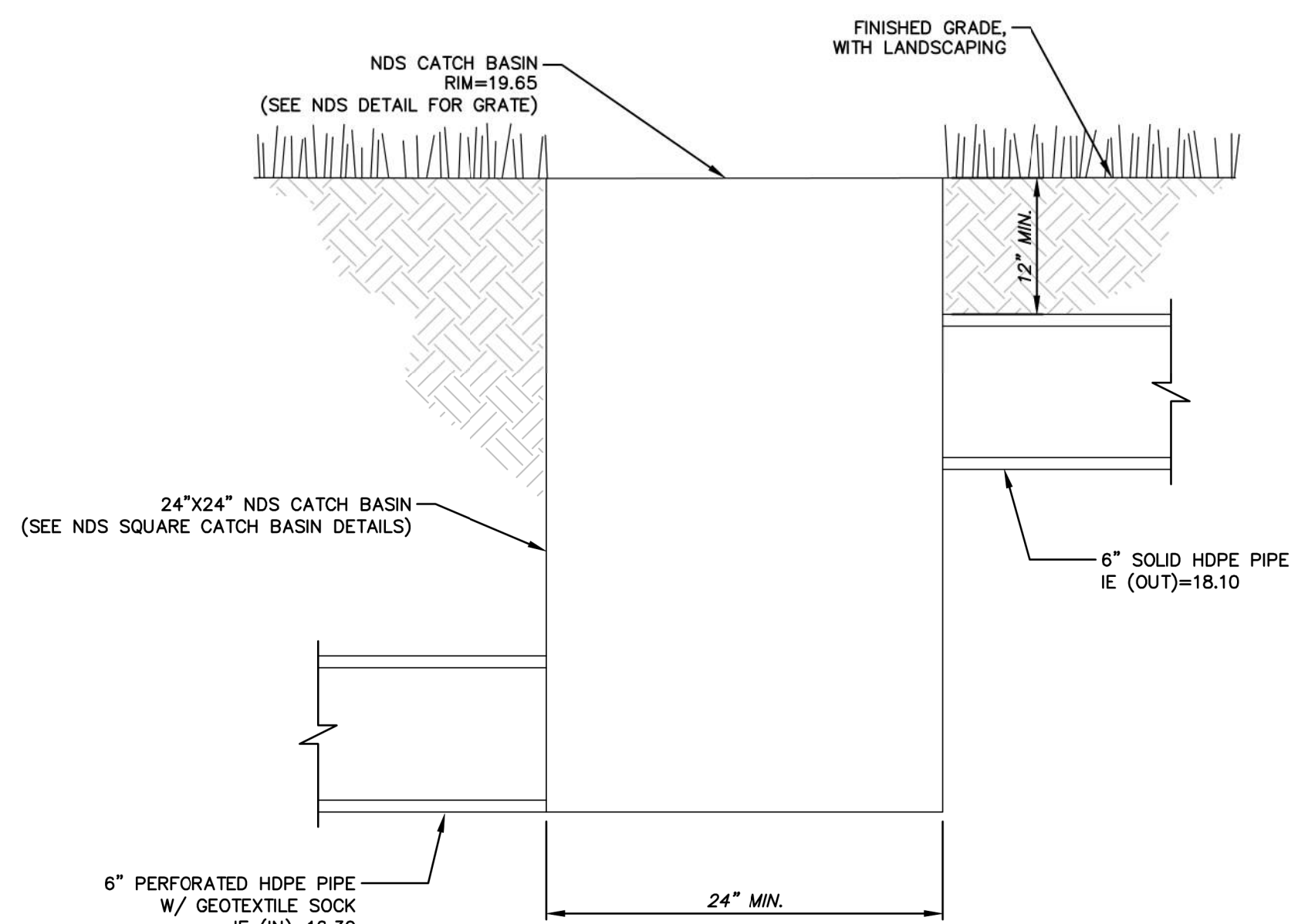


NOTE: EXISTING SUBGRADE BELOW INFILTRATION TRENCH TO REMAIN, DO NOT COMPACT.

INFILTRATION TRENCH DETAIL - PROFILE VIEW
N.T.S.



INFILTRATION TRENCH DETAIL - CROSS SECTION
N.T.S.



INFILTRATION TRENCH DETAIL - OUTLET CONTROL
CATCH BASIN 1
N.T.S.

NDS
We put water in its place

NDS, INC.
851 NORTH HARVARD AVE.
LINDSAY, CA 93247
TOLL FREE: 1-800-726-1994
PHONE: (559) 562-9888
FAX: (559) 562-4488
www.ndspro.com

SECTION

NOTES:

- NDS ADAPTERS THAT FIT THIS BASIN ARE AS FOLLOWS: #1242, #1243, #1245, #1266, #1888, #1889 USE #1206 IF PLUGGING AN OUTLET. 2410 NEEDED FOR ALL CONNECTIONS.
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- DO NOT SCALE DRAWING.
- THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
- ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

SQUARE CATCH BASIN
24" SQUARE CATCH BASIN PLUMBING CONNECTIONS

REVISION DATE 8-24-2015

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FAX: (559) 562-4488
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SECTION

NOTES:

- GRATE TO BE ATTACHED TO CATCH BASIN WITH SCREW PROVIDED AT TIME OF INSTALLATION.
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- DO NOT SCALE DRAWING.
- THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
- ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

SQUARE CATCH BASIN
24" SQUARE CATCH BASIN - TYPICAL INSTALLATION FOR LANDSCAPE APPLICATIONS

REVISION DATE 8-24-2015

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FAX: (559) 562-4488
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SECTION

NOTES:

- GRATE TO BE ATTACHED TO CATCH BASIN WITH SCREW PROVIDED AT TIME OF INSTALLATION.
- RISER CAN BE CUT TO ACHIEVE EXACT ELEVATION.
- DO NOT USE OVER 8 RISERS WITH CATCH BASIN.
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- DO NOT SCALE DRAWING.
- THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
- ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

SQUARE CATCH BASIN
24" SQUARE CATCH BASIN WITH RISER INSTALLATION FOR LANDSCAPE APPLICATIONS

REVISION DATE 8-24-2015

NDS
WE PUT WATER IN ITS PLACE

TECHNICAL SPECIFICATIONS

24" x 24" Square Grate

23 6/8"

2"

7/8" Grate Opening

Part #: 2411, 2412
Material: (HDPE) High Density Polypropylene
Color: #2411 (Black) and #2412 (Green)
Fits: Catch Basins #2400, #2404, and #2418.
Grate Opening: 7/8"
Open Surface Area: 231.69 Sq. Inches
Head Pressure / Flow Rate:
1" = 1002.35 GPM
1 1/2" = 706.77 GPM
Weight Per Each: 19.81 lbs.
UV inhibitor.

Load Recommendation Guide

Class B

- Loads of 61-175 psi.
- Recommended for medium-duty pneumatic tire traffic, autos and light trucks at speeds less than 20 m.p.h.

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Visit ndspro.com for specs, detail drawings, and case studies.

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TECHNICAL SPECIFICATIONS

6" Pop Up Emitter with Elbow and

7 1/16"

5 7/16"

1 3/4"

8 13/16"

2 1/16"

Part #: 624 - Center Spring Loaded
Material: High Density Polypropylene (HDPE)
Color: Green
Fits: 6" sewer and drain pipe, with corrugated adapter
Fits 6" corrugated pipe
Spring: Stainless Steel Grade 302
Open Pressure: 1 PSI
Open Surface Area: 28.8 Sq. Inches
Flow Rate:
1" Head = 124.60 GPM
0.5" Head = 88.10 GPM
Elbow: 1/4" drain hole
Weight Per Each: 2.55 lbs.
UV inhibitor

Load Recommendation Guide

Class A

- Loads of 1-60 psi.
- Recommended for pedestrians, bicycles and wheel chair traffic.

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9/16/2019

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REV #	DATE	BID AND PERMIT PLANS	DESCRIPTION
3	3/26/2019	REVISIONS FOR BID ADDENDUM	
2	3/15/2019	BID AND PERMIT PLAN REVISIONS	
1	3/5/2019	BID AND PERMIT PLANS	

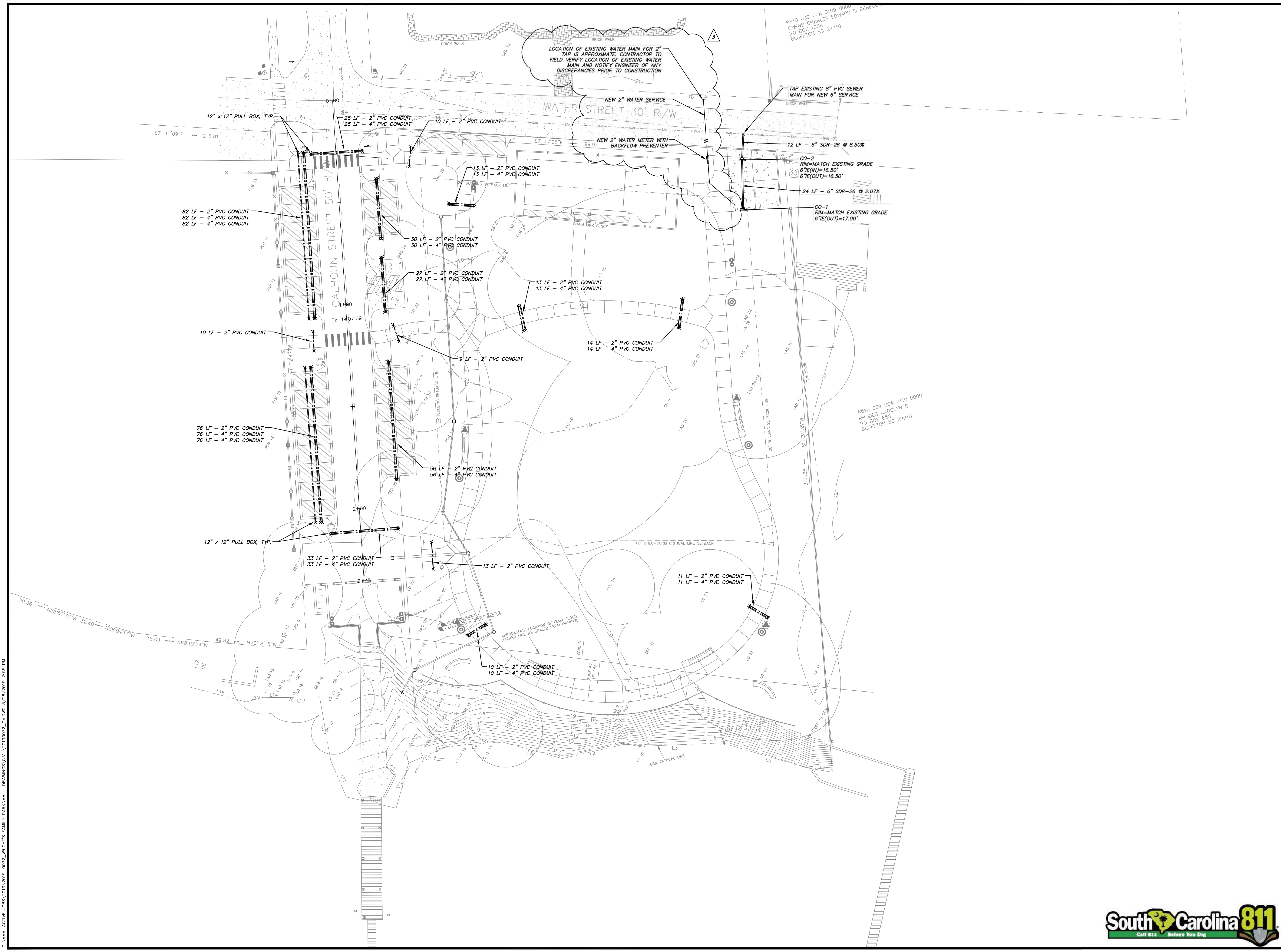
WRIGHT FAMILY PARK

SITE & DRAINAGE DETAILS

DRAWN BY: AEA
CHECKED BY: MER
APPROVED BY: AJB
DATE: 3/5/2019
SCALE: AS SHOWN
JOB No. 2019-0032
DRAWING No. C6.0



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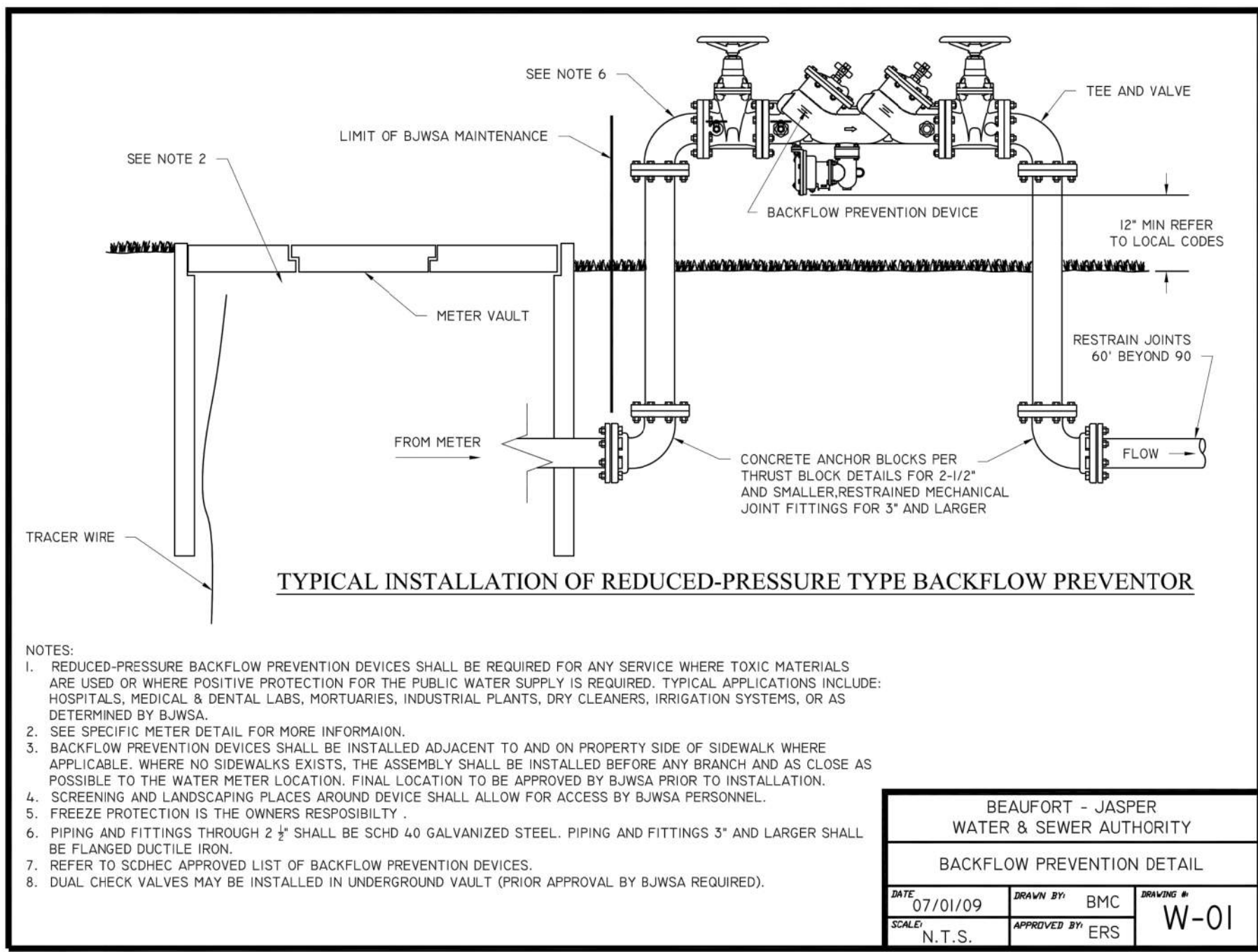
SOUTH CAROLINA
 Cranston Engineering Group, P.C.
 NO. C00575
 CERTIFICATE OF AUTHORIZATION
 SOUTH CAROLINA
 REGISTERED PROFESSIONAL ENGINEER
 NO. 33274
 ANDREW JOHN BAJOCK
 3/16/2019

REV #	DATE	DESCRIPTION
3	3/26/2019	REVISIONS FOR BID ADDENDUM
2	3/15/2019	BID AND PERMIT PLAN REVISIONS
1	3/5/2019	BID AND PERMIT PLANS

WRIGHT FAMILY PARK
UTILITY PLAN

DRAWN BY:	AEA
CHECKED BY:	MER
APPROVED BY:	AJB
DATE:	3/5/2019
SCALE:	AS SHOWN
JOB No.	2019-0032
DRAWING No.	C7.0

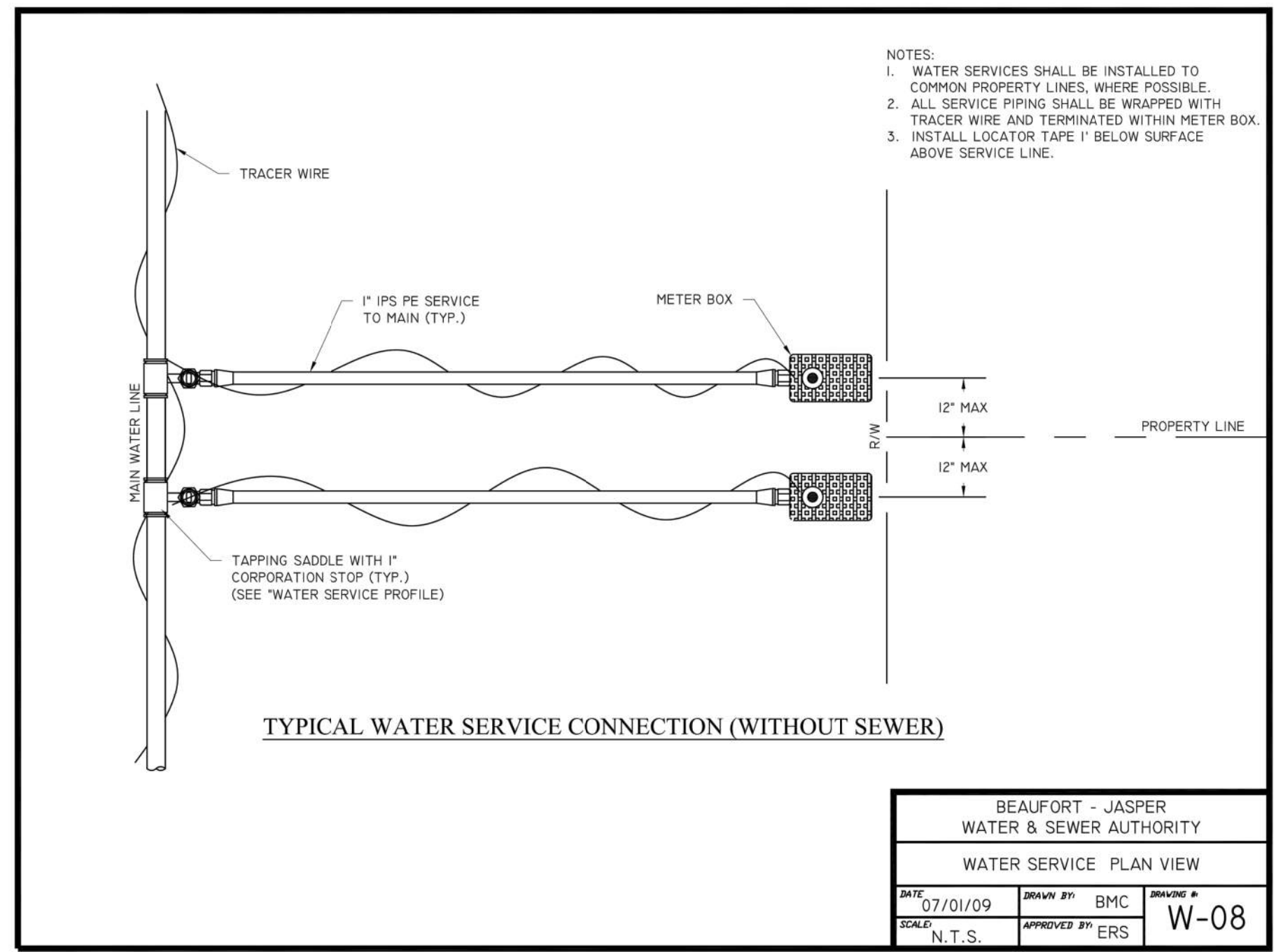




TYPICAL INSTALLATION OF REDUCED-PRESSURE TYPE BACKFLOW PREVENTOR

NOTES:
 1. REDUCED-PRESSURE BACKFLOW PREVENTION DEVICES SHALL BE REQUIRED FOR ANY SERVICE WHERE TOXIC MATERIALS ARE USED OR WHERE POSITIVE PROTECTION FOR THE PUBLIC WATER SUPPLY IS REQUIRED. TYPICAL APPLICATIONS INCLUDE: HOSPITALS, MEDICAL & DENTAL LABS, MORTUARIES, INDUSTRIAL PLANTS, DRY CLEANERS, IRRIGATION SYSTEMS, OR AS DETERMINED BY BJWSA.
 2. SEE SPECIFIC METER DETAIL FOR MORE INFORMATION.
 3. BACKFLOW PREVENTION DEVICES SHALL BE INSTALLED ADJACENT TO AND ON PROPERTY SIDE OF SIDEWALK WHERE APPLICABLE. WHERE NO SIDEWALK EXISTS, THE ASSEMBLY SHALL BE INSTALLED BEFORE ANY BRANCH AND AS CLOSE AS POSSIBLE TO THE WATER METER LOCATION. FINAL LOCATION TO BE APPROVED BY BJWSA PRIOR TO INSTALLATION.
 4. SCREENING AND LANDSCAPING PLACES AROUND DEVICE SHALL ALLOW FOR ACCESS BY BJWSA PERSONNEL.
 5. FREEZE PROTECTION IS THE OWNER'S RESPONSIBILITY.
 6. PIPING AND FITTINGS THROUGH 2\"/>

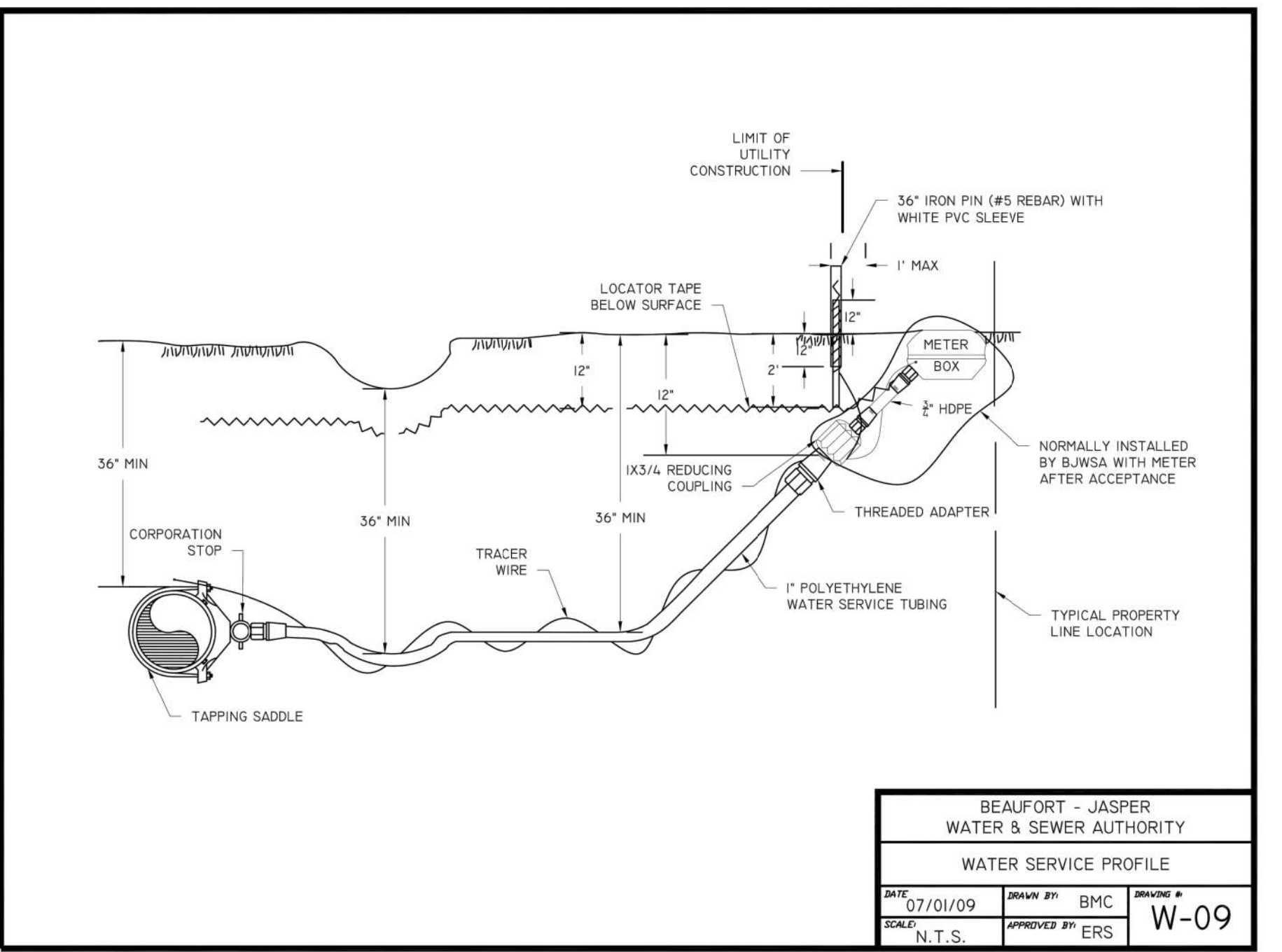
BEAUFORT - JASPER WATER & SEWER AUTHORITY			
BACKFLOW PREVENTION DETAIL			
DATE: 07/01/09	DRAWN BY: BMC	REVISION #	W-01
SCALE: N.T.S.	APPROVED BY: ERS		



TYPICAL WATER SERVICE CONNECTION (WITHOUT SEWER)

NOTES:
 1. WATER SERVICES SHALL BE INSTALLED TO COMMON PROPERTY LINES, WHERE POSSIBLE.
 2. ALL SERVICE PIPING SHALL BE WRAPPED WITH TRACER WIRE AND TERMINATED WITHIN METER BOX.
 3. INSTALL LOCATOR TAPE 1' BELOW SURFACE ABOVE SERVICE LINE.

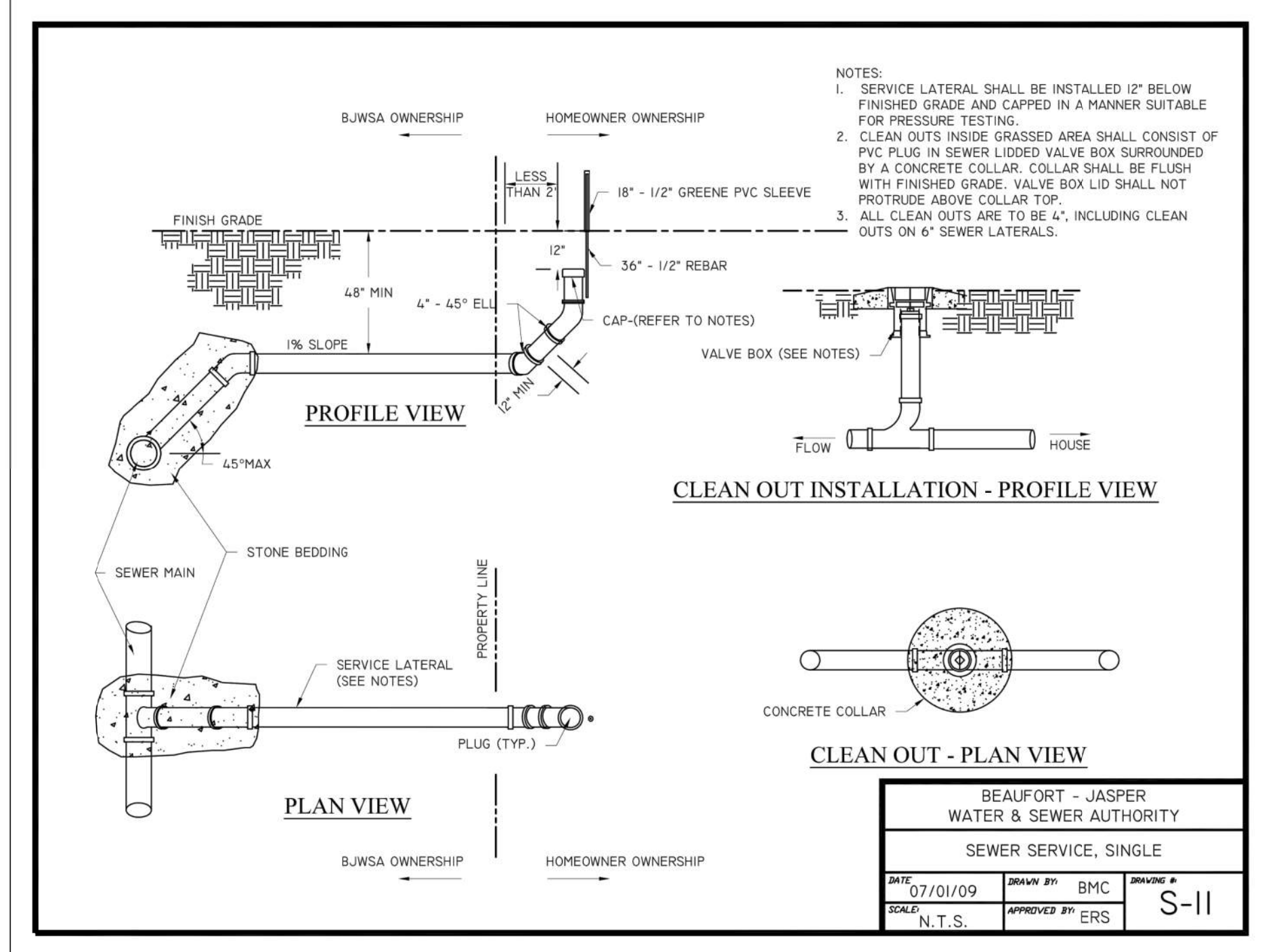
BEAUFORT - JASPER WATER & SEWER AUTHORITY			
WATER SERVICE PLAN VIEW			
DATE: 07/01/09	DRAWN BY: BMC	REVISION #	W-08
SCALE: N.T.S.	APPROVED BY: ERS		



TYPICAL WATER SERVICE PROFILE

NOTES:
 1. WATER SERVICES SHALL BE INSTALLED TO COMMON PROPERTY LINES, WHERE POSSIBLE.
 2. ALL SERVICE PIPING SHALL BE WRAPPED WITH TRACER WIRE AND TERMINATED WITHIN METER BOX.
 3. INSTALL LOCATOR TAPE 1' BELOW SURFACE ABOVE SERVICE LINE.

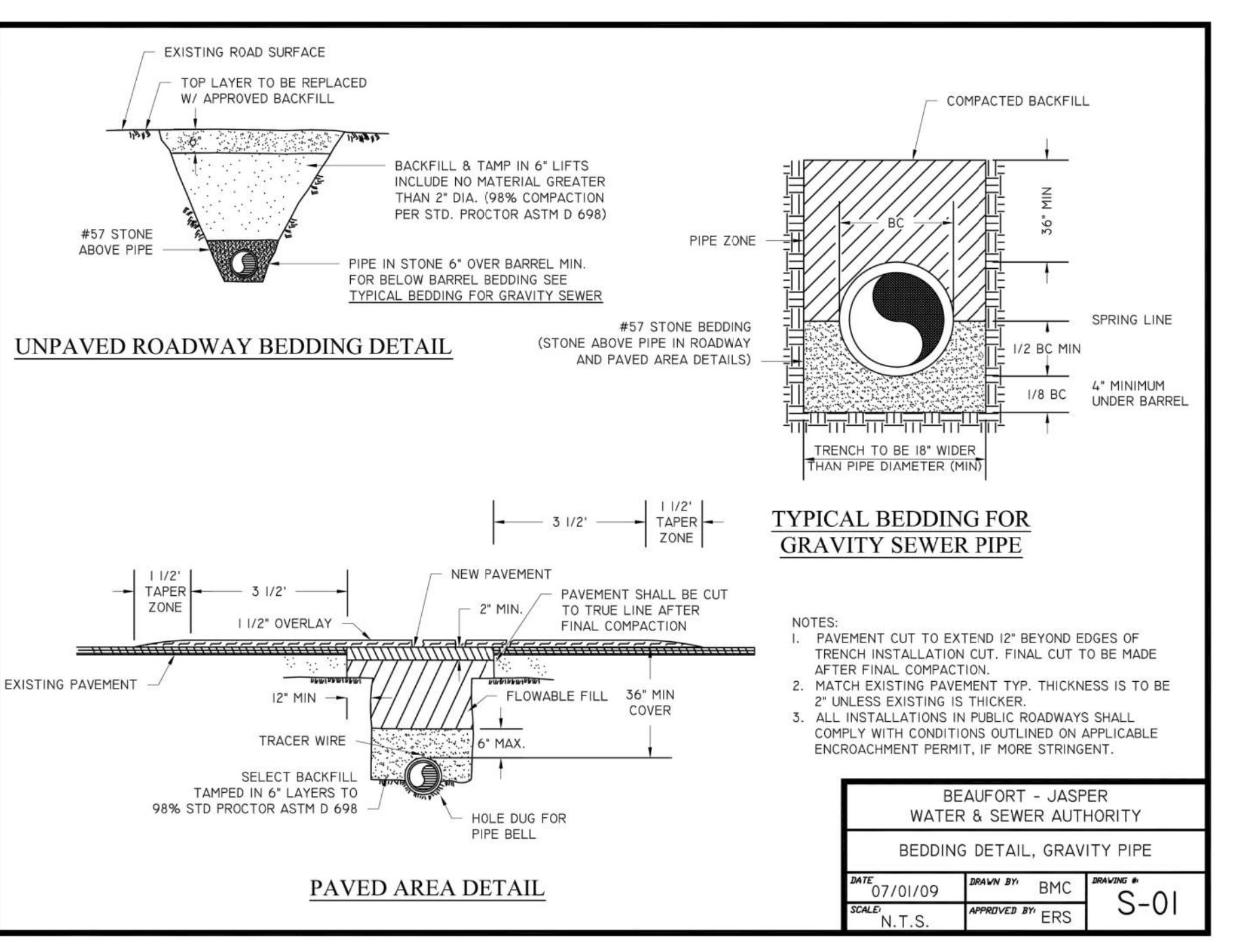
BEAUFORT - JASPER WATER & SEWER AUTHORITY			
WATER SERVICE PROFILE			
DATE: 07/01/09	DRAWN BY: BMC	REVISION #	W-09
SCALE: N.T.S.	APPROVED BY: ERS		



CLEAN OUT INSTALLATION - PROFILE VIEW

NOTES:
 1. SERVICE LATERAL SHALL BE INSTALLED 12\"/>

BEAUFORT - JASPER WATER & SEWER AUTHORITY			
SEWER SERVICE, SINGLE			
DATE: 07/01/09	DRAWN BY: BMC	REVISION #	S-11
SCALE: N.T.S.	APPROVED BY: ERS		



UNPAVED ROADWAY BEDDING DETAIL

NOTES:
 1. SERVICE LATERAL SHALL BE INSTALLED 12\"/>

BEAUFORT - JASPER WATER & SEWER AUTHORITY			
BEDDING DETAIL, GRAVITY PIPE			
DATE: 07/01/09	DRAWN BY: BMC	REVISION #	S-01
SCALE: N.T.S.	APPROVED BY: ERS		

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SOUTH CAROLINA
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 ANDREW JOHN BALOGUN
 3/16/2019

REV #	DATE	DESCRIPTION
3	3/26/2019	REVISIONS FOR BID ADDENDUM
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WRIGHT FAMILY PARK

UTILITY DETAILS

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CHECKED BY:	MER
APPROVED BY:	AJB
DATE:	3/5/2019
SCALE:	AS SHOWN
JOB No.	2019-0032
DRAWING No.	

