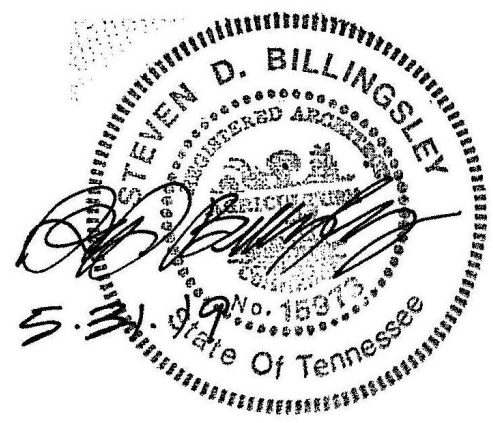


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ADDENDUM NO. 7



Date: **May 31, 2019**  
Project: **Ltd. Renovations at Police Annex**  
**Contract No. P-18-001**  
3204 Amnicola Highway  
Chattanooga, Tennessee 37406

Architect: **Billingsley/Architecture**  
Suite 800 Republic Centre  
633 Chestnut Street  
Chattanooga, Tennessee 37450  
(423) 752-0030

This addendum forms a part of the Contract Documents and modifies the original Documents dated 22 February 2019, as noted below. Acknowledge receipt of this Addendum No. 7 in the space provided on the Bid Form and Contracts. Failure to do so may subject the Bidder to disqualification.

This Addendum No. 7 consists of (2) two 8½" x 11" sheets and (2) two 24" x 36" sheets.

#### **GENERAL**

1. Reference Sheet A1.3 for spot elevation locations. The lower first floor elevation is indicated at 100'-0" and the higher first floor elevation is indicated at 100'-6". New poured concrete slab will be raised 6" to match existing.
2. The existing floor is concrete.
3. The existing roof was manufactured by Firestone Materials and has a 20 year warranty.
4. Furniture, fixture, and equipment (F.F.E.) will be released by the city at a later date along with related specifications.
5. Provide concrete pad for the natural gas standby generator with pad dimensions based on the Kohler Model KG60 generator. Related installation shall include, but not be limited to: electrical lines, fuel lines, cooling lines, etc. Generator may be installed at a later date to be determined by the city.

## **CHANGES TO THE PROJECT MANUAL**

### 1. Section 00 08 30 – General Provisions

#### A. Replace

- a. In Section 1-00 08 30 General Provisions, Sub-Section 6.14 Requirements for Insurance Coverage. “Added from the City of Chattanooga’s Standard Terms and Conditions: i. City of Chattanooga, its agents, representatives, officers, directors, officials and employees must be named an Additional Insured under the following policies:

- a) Commercial General Liability

- b) Auto Liability

- c) Worker’s Compensation Insurance and Employer’s Liability Insurance

- d) Professional Liability Insurance” **with** “Added from the City of Chattanooga’s Standard Terms and Conditions: i. City of Chattanooga, its agents, representatives, officers, directors, officials and employees must be named an Additional Insured under the following policies:

- a) Commercial General Liability

- b) Auto Liability”.

## **CHANGES TO THE DRAWINGS**

### 1. Sheet A1.2 – 1<sup>st</sup> Floor Demolition Plan

#### A. Add

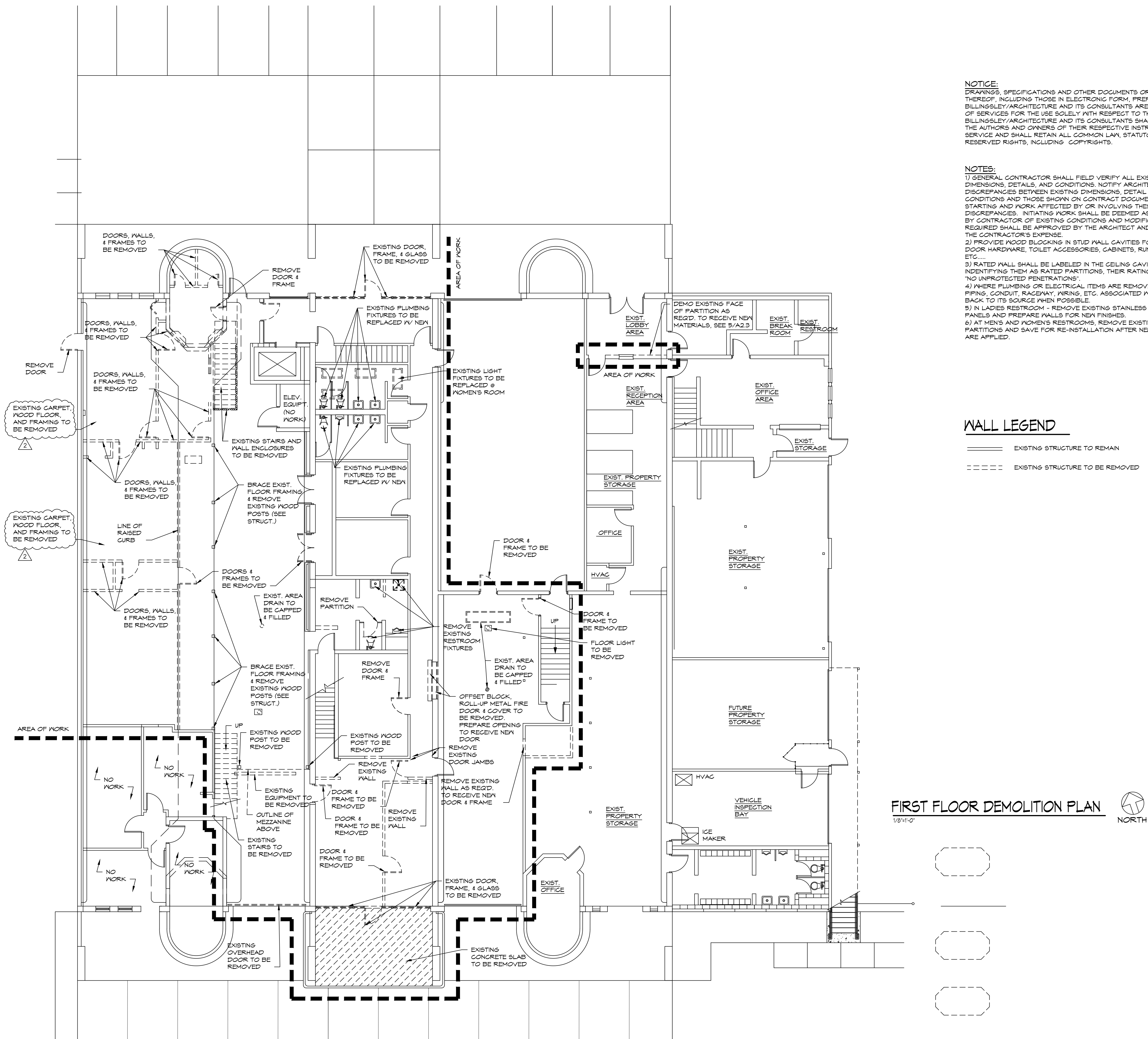
- a. Add new notes at First Floor Demolition Plan.

### 2. Sheet A2.3 – Finish Schedule and Wall Sections

#### B. Revised Sheet

- b. Revised Finish Schedule
- c. Add Finish Materials and Legend

**END OF DOCUMENT**



**NOTICE:**  
 DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS OR PORTIONS THEREOF, INCLUDING THOSE IN ELECTRONIC FORM, PREPARED BY BILLINGSLEY/ARCHITECTURE AND ITS CONSULTANTS ARE INSTRUMENTS OF SERVICES FOR THE USE SOLELY WITH RESPECT TO THIS PROJECT. BILLINGSLEY/ARCHITECTURE AND ITS CONSULTANTS SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS.

**NOTES:**  
 1) GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS, DETAILS, AND CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN EXISTING DIMENSIONS, DETAIL AND CONDITIONS AND THOSE SHOWN ON CONTRACT DOCUMENTS PRIOR TO STARTING WORK AFFECTED BY OR INVOLVING THESE DISCREPANCIES. INITIATING WORK SHALL BE DEEMED AS ACCEPTANCE BY CONTRACTOR OF EXISTING CONDITIONS AND MODIFICATIONS IF REQUIRED SHALL BE APPROVED BY THE ARCHITECT AND BE MADE AT THE CONTRACTOR'S EXPENSE.  
 2) PROVIDE WOOD BLOCKING IN STUD WALL CAVITIES FOR MOUNTING DOOR HARDWARE, TOILET ACCESSORIES, CABINETS, RUNNING TRIM, ETC.....  
 3) RATED WALL SHALL BE LABELED IN THE CEILING CAVITY W/ RED PAINT IDENTIFYING THEM AS RATED PARTITIONS, THEIR RATING & THE WORDS "NO UNPROTECTED PENETRATIONS".  
 4) WHERE PLUMBING OR ELECTRICAL ITEMS ARE REMOVED, REMOVE ALL PIPING, CONDUIT, RACEWAY, WIRING, ETC. ASSOCIATED WITH THE ITEM BACK TO ITS SOURCE WHEN POSSIBLE.  
 5) IN LADIES RESTROOM - REMOVE EXISTING STAINLESS STEEL WALL PANELS AND PREPARE WALLS FOR NEW FINISHES.  
 6) AT MEN'S AND WOMEN'S RESTROOMS, REMOVE EXISTING TOILET PARTITIONS AND SAVE FOR RE-INSTALLATION AFTER NEW WALL FINISHES ARE APPLIED.

**WALL LEGEND**

- EXISTING STRUCTURE TO REMAIN
- - - - - EXISTING STRUCTURE TO BE REMOVED

**FIRST FLOOR DEMOLITION PLAN**  
 1/8"=1'-0"



**BILLINGSLEY**  
 ARCHITECTURE  
 Planning / Architecture / Interiors  
 Republic Centre - Suite 800 - 633 Chestnut Street - Chattanooga, Tennessee - 37450  
 (423) 752-0030 - billarch.com

**LIMITED RENOVATIONS AT**  
**POLICE ANNEX - PHASE 1 - P-18-001**  
 ANNEX FACILITY  
 3204 AMNICOLA HIGHWAY  
 CHATTANOOGA, TENNESSEE



**1ST FLOOR DEMOLITION PLAN**

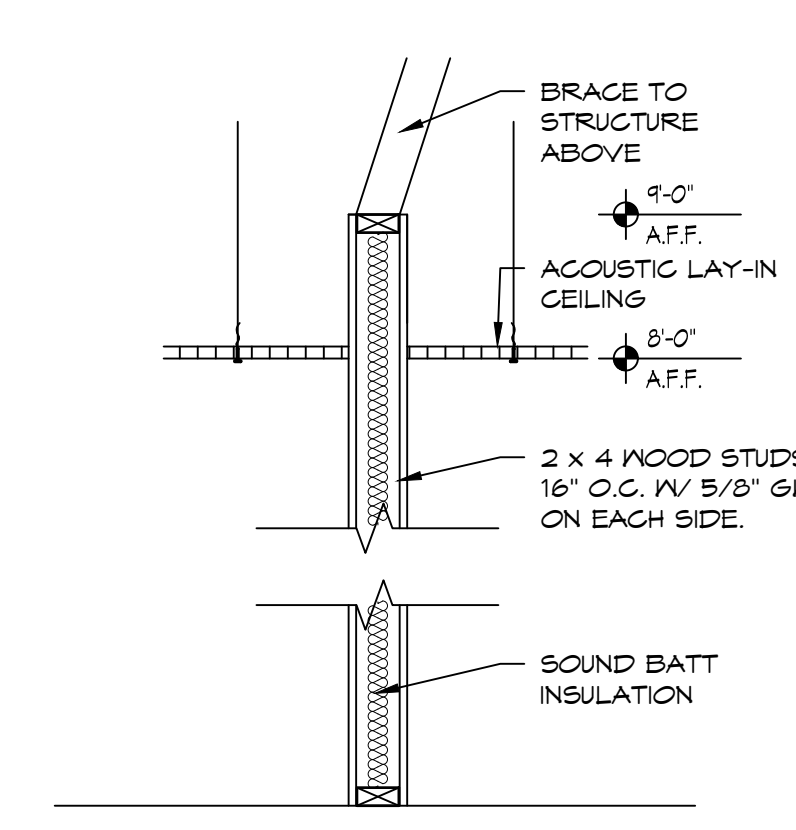
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**A1.2**

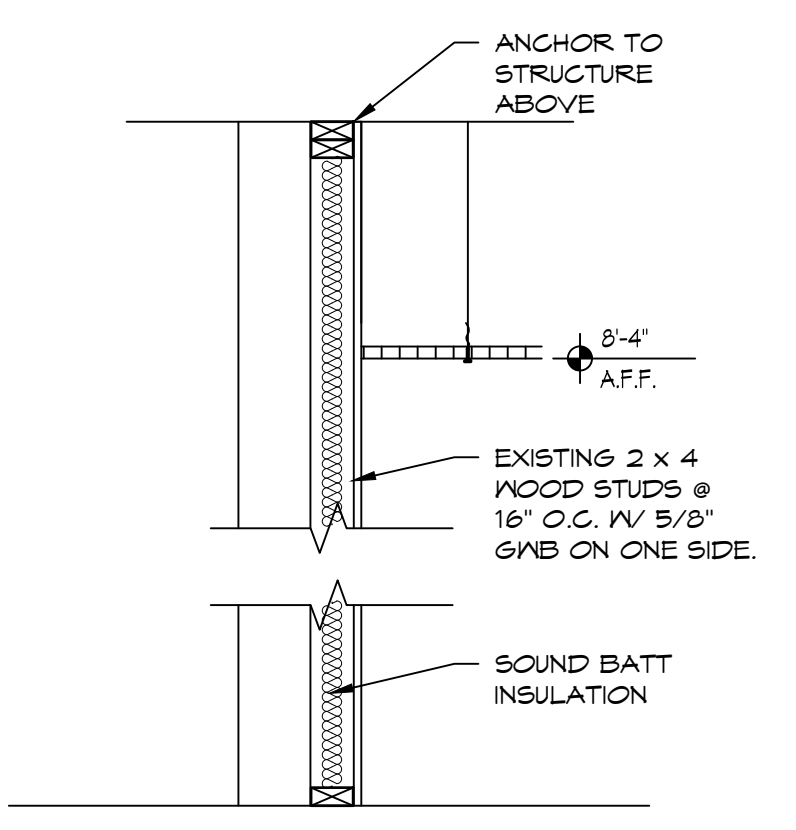
FINISH MATERIALS & LEGEND					
KEY	DESCRIPTION	MANUFACTURER	PRODUCT INFORMATION	SIZE/FINISH	NOTES
WALLS					
P-1	CEILING PAINT	SHERWIN-WILLIAMS	COLOR - SW7007 CEILING BRITE WHITE FLAT	FLAT	-
P-2	WALL PAINT	SHERWIN-WILLIAMS	COLOR - SW16282 ICE CUBE	SATIN	-
P-3	WALL PAINT	SHERWIN-WILLIAMS	COLOR - SW6521 NOTABLE HUE	SATIN	-
RB-1	RUBBER BASE	FLEXCO	#25 LIGHT GRAY	4"	-
MT-1	MEDICAL FLOORING	ARMSTRONG	MEDNTECH #88419 SILVER GRAY	SHEET	-
LVT-1	LUXURY VINYL TILE	ADORE/NATURELLE	WIDE PLANKS #DN-1402 FADED BARNSEIDE	12" X 31.4"	1/3 STAGGERED INSTALL
VCT-1	VINYL COMPOSITION TILE	ADROCK	V-210 OATS	12" X 12"	CHECKERBOARD 24" X 24" CENTERED
T-1	PORCELAIN FLOOR TILE	LOUISVILLE TILE	WESTMONT - CLAY	12" X 24"	-
WT-1	WALL TILE	LOUISVILLE TILE	STANDARD WALL, COLOR GLOSSY LINEN	4" X 16"	(TB-1) 4" X 8" BULLNOSE AS BASE
TB-1	BASE TILE	LOUISVILLE TILE	STANDARD WALL, COLOR GLOSSY LINEN	4" X 8"	(TB-1) 4" X 8" BULLNOSE AS BASE
G-1	GROUT	TEG	#25 SABLE	1/8" GROUT JOINT	-
RST	RUBBER STAIR TREAD	FLEXCO	#25 LIGHT GRAY, SERIES 120	-	-
FRP	FIBERGLASS REINFORCED PANEL	NUDO	NU-FIBER SKIN HLP-F3, COLOR: KAHAKI #203	PEBBLED	-
PL-1	PLASTIC LAMINATE (DOORS & DRAWERS)	WILSONART	#7854-38 NATURAL RIFT	-	-
PL-2	PLASTIC LAMINATE (BREAK RM COUNTER)	WILSONART	#4814-60 TUNGSTEN EV	-	-

FINISH SCHEDULE										
NO.	SPACE NAME	FLOOR MATERIAL	BASE MATERIAL	WALLS				CEILING		REMARKS
				NORTH MATL.	SOUTH MATL.	EAST MATL.	WEST MATL.	HT.	MATL.	
100	ENTRY	LVT-1	RB-1	P-2	P-2	P-2	P-3	8'-4"	A.C.T.	-
101	SECURITY AREA	LVT-1	RB-1	P-3	P-2	P-2	P-2	8'-4"	A.C.T.	-
102	PUBLIC RESTROOM	T-1	TB-1	WT-1	P-2	WT-1	P-2	8'-0"	A.C.T.	-
103	HALL	LVT-1	RB-1	P-2	P-2	P-2	P-3	8'-4"	A.C.T.	-
104	LOBBY	LVT-1	RB-1	P-2	P-2	P-2	P-2	MATCH EXISTING	A.C.T.	NEW LVT OVER EXISTING VGT
105	ELEVATOR MECH.	VCT-1	RB-1	-	-	-	-	-	-	NO WORK
106	DARK ROOM	LVT-1	RB-1	P-2	P-2	P-2	P-2	8'-4"	A.C.T.	-
107	OFFICE AREA	LVT-1	RB-1	P-2	P-3	P-2	P-2	8'-4"	A.C.T.	-
108	PHOTO LAB.	LVT-1	RB-1	P-3	P-2	P-2	P-2	8'-4"	A.C.T.	-
109	LEICA ROOM	LVT-1	RB-1	P-2	P-2	-	P-3	8'-4"	A.C.T.	-
110	BREAK ROOM	LVT-1	RB-1	P-2	P-2	GLASS/P-3	P-2	8'-4"	A.C.T.	-
111	SERGEANT OFFICE	LVT-1	RB-1	P-2	P-2	GLASS/P-2	P-3	8'-4"	A.C.T.	-
112	PACKAGING ROOM	LVT-1	RB-1	P-2	P-2	P-2	P-2	8'-4"	A.C.T.	-
113	STORAGE CLOSET	LVT-1	RB-1	P-2	P-2	P-2	P-2	OPEN	-	-
114	CONNECTOR SPACE	CONCRETE	RB-1	P-2	P-2	P-2	P-2	+/- 9'-4"	P-1	ATTACH GYP. BD. CLG. TO B.O. FLOOR FRMG.
115	STAR	RST	-	P-2	P-2	P-2	-	-	-	-
116	JANITOR CLOSET	CONCRETE	RB-1	P-2	P-2	P-2	P-2	OPEN	-	-
117	VEHICLE INSP. BAY	CONCRETE	RB-1	P-2	-	P-2	P-2	OPEN TO ROOF DECK	P-1	RUBBER & GYP. BOARD ONLY
118	WOMEN'S ROOM	T-1	TB-1	P-2	WT-1	WT-1	WT-1	-	P-1	-
119	MEN'S ROOM	T-1	TB-1	WT-1	P-2	P-2	WT-1	-	P-1	-
120	JANITOR'S ROOM	VCT-1	RB-1	P-2	P-2	P-2	P-2	-	PAINT	FRP ON N, S, W TO 48" ABOVE BASE
121	BLOOD ROOM	MT-1	RB-1	P-3	P-2	P-2	P-2	-	PAINT	REPAIR AND REPAINT EXISTING CEILING
122	EVIDENCE VAULT	VCT-1	RB-1	P-3	P-2	P-2	P-2	8'-4"	A.C.T.	-
123	NEW CORRIDOR	LVT-1	RB-1	P-2	P-2	-	P-2	8'-4"	A.C.T.	-
124	CHEMICAL STORAGE	MT-1	RB-1	P-2	P-2	P-2	P-2	EXIST.	P-1	REPAIR AND REPAINT EXISTING CEILING
125	LABORATORY	MT-1	RB-1	P-2	P-3	P-2	P-2	8'-4"	A.C.T.	-
126	EXISTING CORRIDOR	LVT-1	RB-1	P-2	-	P-2	P-2	MATCH EXISTING	A.C.T.	-
127	NEW CORRIDOR	LVT-1	RB-1	-	P-2	P-2	P-2	MATCH EXISTING	A.C.T.	-
128	IDF ROOM	VCT-1	RB-1	P-2	P-2	P-2	P-2	EXIST.	P-1	REPAIR AND REPAINT EXISTING CEILING
129	NEW CONF. ROOM	LVT-1	RB-1	P-2	P-2	P-2	P-3	-	EXIST.	REPAIR AND REPAINT EXISTING CEILING
130	VEHICLE INSP. BAY	CONCRETE	RB-1	P-2	-	P-2	P-2	-	EXIST.	REPAIR AND REPAINT EXISTING CEILING
131	OFFICE	LVT-1	RB-1	P-3	P-2	P-2	P-2	MATCH EXISTING	A.C.T.	-
132	OFFICE	LVT-1	RB-1	P-2	P-3	P-2	P-2	MATCH EXISTING	A.C.T.	-

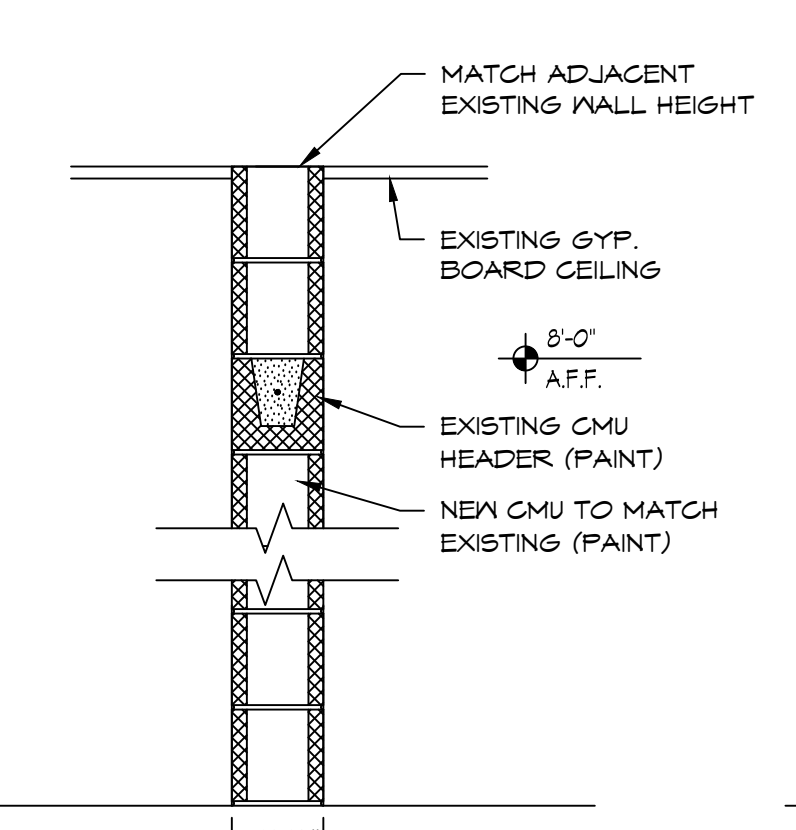
- NOTES:
- SEE FLOOR PLAN TO DIFFERENTIATE EXISTING WALL MATERIALS FROM NEW.
  - EXISTING WALL MATERIALS TO RECEIVE A NEW FINISH SHALL BE PROPERLY REPAIRED, PATCHED, MADE SMOOTH OR READY TO RECEIVE THE NEW FINISH PRIOR TO ITS APPLICATION.
  - NEW LVT & VGT MAY BE APPLIED OVER THE EXISTING FLOORING, PROVIDED THE EXISTING FLOOR IS SMOOTH AND PROPERLY BONDED TO THE SUBSTRATE.
  - WHEN INSTALLING NEW A.C.T. WHERE A.C.T. PREVIOUSLY EXISTED, INSTALL NEW AT SAME HEIGHT A.F.F. AS PREVIOUS. WHEN INSTALLING NEW A.C.T. AT LOCATION THAT HAS NOT HAD A CEILING, INSTALL AS HIGH AS POSSIBLE.



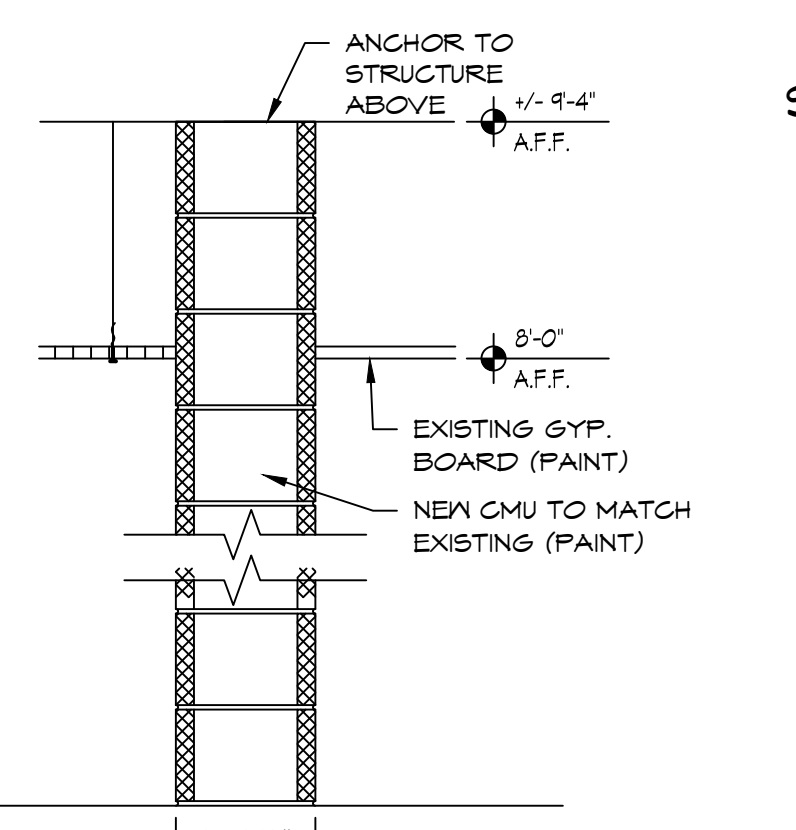
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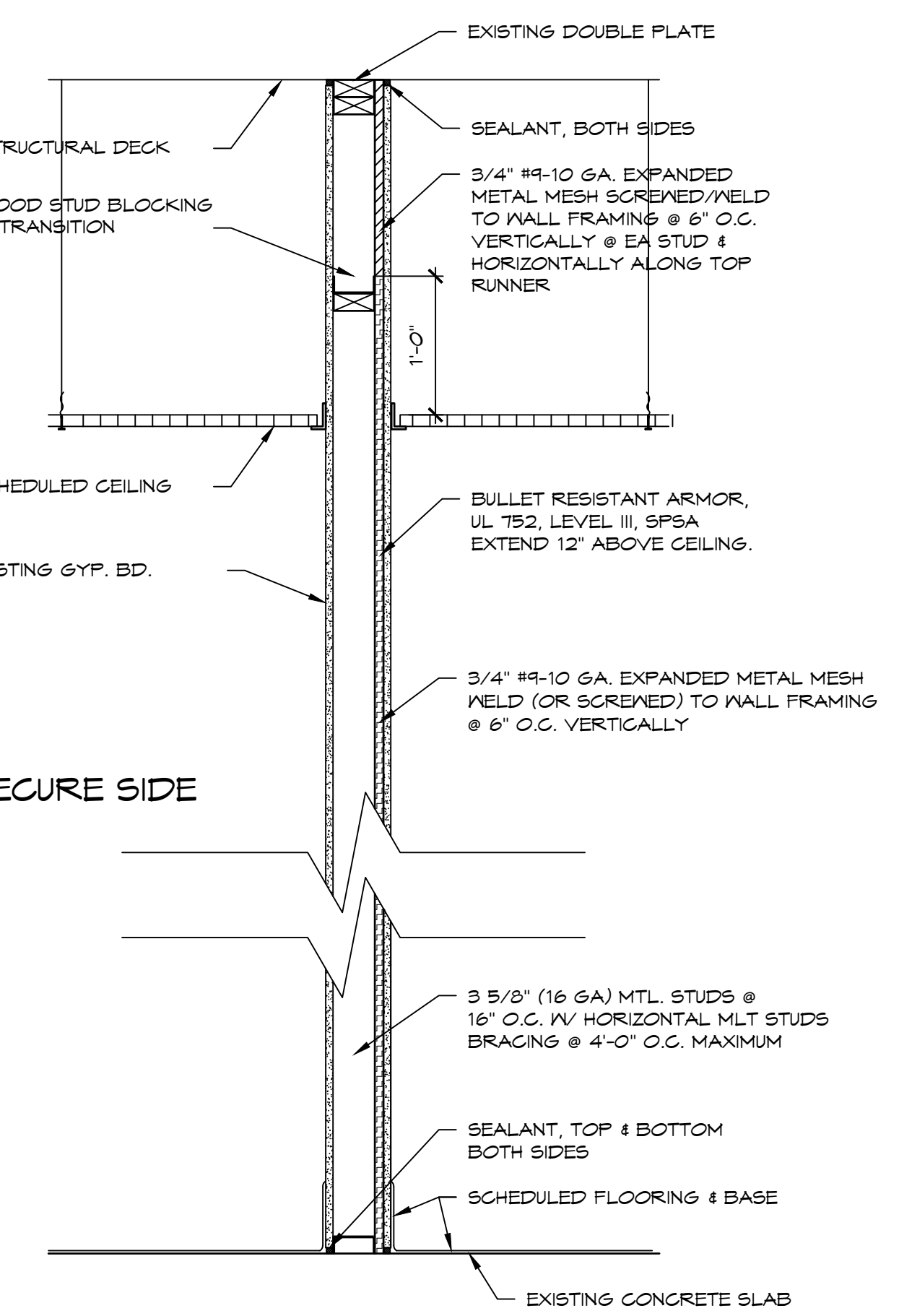
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3 3/4"x1'-0"



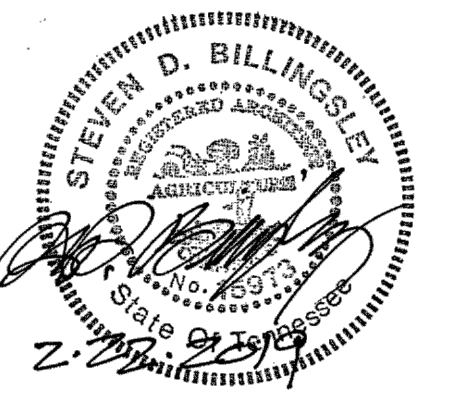
4 3/4"x1'-0"



5 1"x1'-0"

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FINISH SCHED.  
AND WALL  
SECTIONS