



## Addendum No. 1

### Architectural and Mechanical Energy Upgrades at Pine Street School – Phase 3 McMillan Pazdan Smith Project No. 018441 November 15, 2019

The following clarifications, amendments, additions, deletions, revisions, and/or modifications are hereby made a part of the Contract Documents, and change the original documents only in the manner and to the extent stated below:

Item No. 1: **Mandatory Pre-Bid Conference:**

The Sign in Sheet from the Mandatory Pre-bid Conference is attached.  
The following contractors and suppliers attended the Pre-Bid meeting:

- Construction Dynamics, Inc.
- Dunbar Construction
- Cullum Services, Inc.
- Honeywell
- McCarter Mechanical
- Mashburn Construction
- Neely's Windows
- Greenville Mechanical
- Clayton Construction

Other mechanical contractors wishing to bid as subcontractors will be allowed to bid.

Item No. 2: **General:**

The contractor will not be allowed to fully occupy the building until June 3, 2020.

Item No. 3: **General:**

It shall be the General Contractor's responsibility to quantify the amount of repairs and fire safing that will be required to comply with the General Note #8. All holes, cracks, etc. new or existing in walls shown to be fire rated must be fire safed per the project manual.

Item No. 4: **Project Manual - Section 01 21 00 - Allowances:**

Delete the previously issued Section 01 21 00 Allowances and replace it with the attached Section 01 21 00 to be included in the contract documents.

- Item No. 5: **Structural Drawings – S1.0 – Structural Notes and Details:**  
Delete the previously issued sheet S1.0 and insert the attached drawing S1.0 into the contract documents
- Item No. 6: **Structural Drawings – S2.2 – Roof Framing Plan Area G3:**  
Delete the previously issued sheet S2.2 and insert the attached drawing S2.2 into the contract documents
- Item No. 7: **Electrical Drawings – E101 – Demolition Plan Area 2:**  
Delete the previously issued sheet E101 and insert the attached drawing E101 into the contract documents
- Item No. 8: **Electrical Drawings – E200 – Mechanical Power Plan Area 1:**  
Delete the previously issued sheet E101 and insert the attached drawing E101 into the contract documents

End of Addendum No. 1

|                        |              |                        |
|------------------------|--------------|------------------------|
| This addendum contains | <u>  2  </u> | Summary Pages          |
|                        | <u>  3  </u> | Pre Bid Sign in Sheets |
|                        | <u>  1  </u> | Specification Section  |
|                        | <u>  4  </u> | 30x40 Drawing Sheets   |

**PRE-BID SIGN-IN SHEET**  
**Architectural and Mechanical Energy Upgrades**  
**At Pine Street School – Phase 3**  
**Spartanburg School District Seven**  
**McMillan Pazdan Smith Project No. 018441**  
**November 12, 2019**

|                |  |                      |                                      |
|----------------|--|----------------------|--------------------------------------|
| <b>Company</b> | <u>McMillan Pazdan Smith</u>                             | <b>Name</b>          | <u>Donald L. Love, Jr., AIA</u>      |
| <b>Address</b> | <u>127 Dunbar Street</u><br><u>Spartanburg, SC 29306</u> | <b>Email Address</b> | <u>dlove@mcmillanpazdansmith.com</u> |
| <b>Phone</b>   | <u>864-585-5678</u>                                      |                      |                                      |
| <b>Fax</b>     | <u>864-542-9451</u>                                      | <b>Trade</b>         | <u>Architect</u>                     |

|                |   |                      |                           |
|----------------|---|----------------------|---------------------------|
| <b>Company</b> | <u>Construction Dynamics, Inc</u>                     | <b>Name</b>          | <u>Bill Graves</u>        |
| <b>Address</b> | <u>6417 Fairfield Rd</u><br><u>Columbia, SC 29203</u> | <b>Email Address</b> | <u>BGRAVES@CDI-SC.COM</u> |
| <b>Phone</b>   | <u>(803) 754-3395 ext 319</u>                         |                      |                           |
| <b>Fax</b>     | <u>(803) 754-1512</u>                                 | <b>Trade</b>         |                           |

|                |   |                      |                                     |
|----------------|---|----------------------|-------------------------------------|
| <b>Company</b> | <u>Dunbar Construction</u>                              | <b>Name</b>          | <u>Heath Bowen</u>                  |
| <b>Address</b> | <u>1075 Southport Rd</u><br><u>Spartanburg SC 29306</u> | <b>Email Address</b> | <u>heath@dunbarconstruction.net</u> |
| <b>Phone</b>   | <u>864-583-2900</u>                                     |                      |                                     |
| <b>Fax</b>     | <u>864-583-8900</u>                                     | <b>Trade</b>         | <u>GC</u>                           |

|                |   |                      |                               |
|----------------|---|----------------------|-------------------------------|
| <b>Company</b> | <u>Cullum Services, Inc.</u>                        | <b>Name</b>          | <u>Esteban Uzarraga</u>       |
| <b>Address</b> | <u>121 Webb St</u><br><u>Simpsonville, SC 29881</u> | <b>Email Address</b> | <u>Uzarraga@colluminc.com</u> |
| <b>Phone</b>   | <u>864-283-2967</u>                                 |                      |                               |
| <b>Fax</b>     |   | <b>Trade</b>         | <u>Mechanical</u>             |

Windell Smith  
 3223 Sunset Blvd, Ste 101  
 West Columbia, 29169  
 803-322-6397

Honeywell  
 Windell.Smith@honeywell.com  
 DDC Controls

Pre-Bid Sign-In Sheet  
 Architectural and Mechanical Energy Upgrades  
 At Pine Street School – Phase 3  
 Spartanburg School District Seven  
 McMillan Pazdan Smith Project No. 018441  
 November 12, 2019

Company McCarten Mechanical, Inc Name Will Thompson  
 Address 685 John Dorr Road Email Address will+@mccartenmechanical.com  
Spartanburg, SC 29303  
 Phone 864-599-7883  
 Fax 864-599-7886 Trade GC/MC

Company Mashburn Construction Name Tyler Walker  
 Address 14 E North St Email Address twalker@mashburn  
Greenville, SC 29601 construction.com  
 Phone 803-509-3683  
 Fax \_\_\_\_\_ Trade \_\_\_\_\_

Company Neely's Windows Name Taylor France  
 Address 1751 Union St Email Address tfrance@neelyswindows.com  
Sburg SC 29302  
 Phone 864-699-9519  
 Fax \_\_\_\_\_ Trade sub div 8

Company GREENVILLE MECH. Name BILL MUXLOW  
 Address 103 WOODRUFF IND. LN, Email Address BMUXLOW@GREENVILLE  
GREENVILLE, SC 29607 MECHANICAL.COM  
 Phone 864-288-2040  
 Fax 864-297-5102 Trade HVAC

Pre-Bid Sign-In Sheet  
 Architectural and Mechanical Energy Upgrades  
 At Pine Street School – Phase 3  
 Spartanburg School District Seven  
 McMillan Pazdan Smith Project No. 018441  
 November 12, 2019

Company Spartanburg 7 / Pine Street Name Dennis Reguir  
 Address 500 S. Pine St. Email Address DAREQUIR@SPART7.ORG  
Spartbg SC  
 Phone 864-594-4470  
 Fax \_\_\_\_\_ Trade \_\_\_\_\_

Company SSD7 Name TERRY GILMER  
 Address \_\_\_\_\_ Email Address tgilmer@spart7.org  
 Phone 864-594-4500  
 Fax \_\_\_\_\_ Trade OWNER

Company SSD7 Name Stephen Russell  
 Address \_\_\_\_\_ Email Address smrussell@spart7.org  
 Phone 864-594-4500  
 Fax \_\_\_\_\_ Trade Owner

Company Clayton construction Name Harry Clayton  
 Address Box 2998 Email Address hclayton@clayton.construction.net  
Spartanburg, SC 29304  
 Phone 864-576-1901  
 Fax -574-1974 Trade GC

Crow & Bulman Engineering  
 800 E. Main St,  
 Spartanburg, SC 29302  
 (864) 585-9903

HAMP CROW  
 hcrow@cbengr.com  
 Mech. Engr.

## SECTION 01 21 00 - ALLOWANCES

### PART 1 - GENERAL

#### 1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 1 Specification Sections, apply to this Section.

#### 1.2 SUMMARY

- A. This Section includes administrative and procedural requirements governing allowances.
  - 1. Selected materials and equipment are specified in the Contract Documents by allowances. In some cases, these allowances include installation. Allowances have been established in lieu of additional requirements and to defer selection of actual materials and equipment to a later date when additional information is available for evaluation. If necessary, additional requirements will be issued by Change Order.
- B. Types of allowances include the following:
  - 1. Lump-sum allowances.
- C. Related Sections: The following Sections contain requirements that relate to this Section:
  - 1. Division 1 Section "Modification Procedures" specifies procedures for submitting and handling Change Orders.
  - 2. Division 1 Section "Quality Control Services" specifies procedures governing the use of allowances for inspection and testing.

#### 1.3 SELECTION AND PURCHASE

- A. At the earliest practical date after award of the Contract, advise the Architect of the date when the final selection and purchase of each product or system described by an allowance must be completed to avoid delaying the Work.
- B. At the Architect's request, obtain proposals for each allowance for use in making final selections. Include recommendations that are relevant to performing the Work.
- C. Purchase products and systems selected by the Architect from the designated supplier.

1.4 SUBMITTALS

- A. Submit proposals for purchase of products or systems included in allowances, in the form specified for Change Orders.
- B. Submit invoices or delivery slips to show the actual quantities of materials delivered to the site for use in fulfillment of each allowance.

PART 2 - PRODUCTS (Not Applicable)

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine products covered by an allowance promptly upon delivery for damage or defects.

3.2 PREPARATION

- A. Coordinate materials and their installation for each allowance with related materials and installations to ensure that each allowance item is completely integrated and interfaced with related work.

3.3 SCHEDULE OF ALLOWANCES

- A. Hardware Allowance: Contractor shall include in his Base Bid a lump sum of \$10,000.00 for the purchase of all door hardware, including taxes. Installation is not included in allowance but should be included in Base Bid. Refer to Section 08 71 00 - Door Hardware.
- B. Contingency Allowance: Contractor shall include in his base bid the lump sum of \$100,000.00 to be used by the School District and the Architect. Items charged to the contingency allowance shall not be included in or considered for the general contractor's overhead and profit.
- C. Landscaping Allowance: Contractor shall include in his base bid a lump sum allowance of \$15,000.00 for the purchase and installation of trees, shrubbery, bedding plants and mulching beds, planting materials, and irrigation system, including taxes. The Owner shall receive separate landscaping bids and the successful contractor will be assigned to the General Contractor.
- D. Access Control Allowance: Contractor shall include in his base bid a lump sum allowance of \$50,000.00 for the purchase and installation of building access control materials and installation, including tax.

For all allowances, any money remaining after the procurement of the allowance item is complete shall be transferred to the contingency allowance and not subject to contractor overhead and profit.

For all allowances, the architect / owner will receive proposals from outside subcontractors and shall assign the contract of the successful bidder to the general contractor for administration and coordination. Items charged to the allowance are not subject to contractor overhead and profit.

END OF SECTION 01 21 00



ABBREVIATIONS

Table of abbreviations including symbols like @, A.B., ACI, ADDL., AISC, ALT., ARCH., ASTM, etc.

1 Abbreviations no scale

GENERAL NOTES - STRUCTURAL

- 1. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND/OR ARCHITECT OF ANY DISCREPANCIES, OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR THESE GENERAL NOTES BEFORE PROCEEDING WITH ANY WORK INVOLVED. IN ALL CASES, UNLESS OTHERWISE DIRECTED, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN AND BE PERFORMED.

STRUCTURAL STEEL:

- 1. ALL STRUCTURAL STEEL, UNLESS NOTED, SHALL CONFORM TO THE REQUIREMENTS OF ASTM A992, GRADE 50. STRUCTURAL STEEL TUBE TO BE ASTM A500, GRADE B, 46 KSI.

SPECIAL INSPECTIONS AND STRUCTURAL TESTING

- 1. A QUALIFIED SPECIAL INSPECTOR SHALL BE RETAINED BY THE OWNER TO PERFORM NECESSARY SPECIAL INSPECTIONS AS REQUIRED BY CHAPTER 17 OF THE INTERNATIONAL BUILDING CODE. THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS, SPECIFICATIONS AND DESIGN DRAWINGS TO THE TESTING AGENCY. TESTING REPORTS SHALL BE SUBMITTED TO EOR NO MORE THAN TWO WEEKS AFTER TESTS ARE PERFORMED.

2 General Notes no scale

STRUCTURAL DESIGN CRITERIA

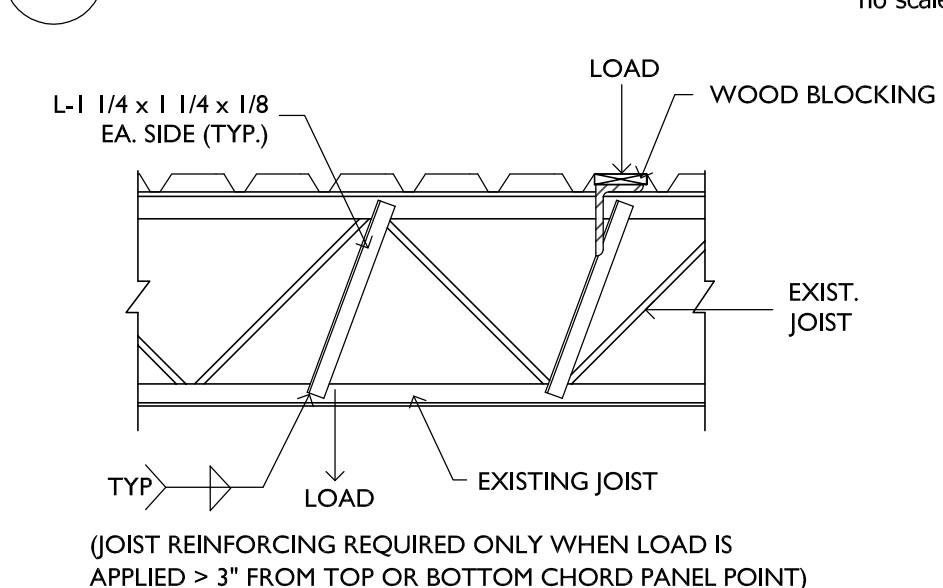
CODES
2015 INTERNATIONAL BUILDING CODE
2015 INTERNATIONAL EXISTING BUILDING CODE
ANSI/ASCE 7-10
RISK CATEGORY (per IBC Table 1604.5) II
DESIGN LOADS:
ROOF
LIVE LOAD = 20 PSF
GROUND SNOW LOAD = 10 PSF
WIND: (PER ANSI/ASCE 7-10)
ULTIMATE DESIGN WIND SPEED, Vult = 115 MPH
NOMINAL DESIGN WIND SPEED, Vasd = 89 MPH
EXPOSURE CATEGORY B
RISK CATEGORY III
ENCLOSED BUILDING
COMPONENTS & CLADDING:
WALLS (area > 500 sf)
NEGATIVE ZONE 4 & 5 = -18.6 PSF
POSITIVE ZONES 4 & 5 = 16.7 PSF
ROOF (area > 100 sf)
NEGATIVE ZONE 1 = -22.3 PSF
NEGATIVE ZONE 2 = -24.4 PSF
NEGATIVE ZONE 3 = -24.4 PSF
POSITIVE ALL ZONES = 16.0 PSF
SEISMIC:
Sds = 0.284
Sd1 = 0.168
OCCUPANCY CATEGORY III I = 1.25
SEISMIC DESIGN CATEGORY C
SITE CLASS D

3 Structural Design Criteria no scale

Table: LOOSE STEEL LINTEL SCHEDULE with columns for CLEAR OPENING and ONE ANGLE FOR EACH 4" OF WIDTH FOR 4", 8" & 12" WALLS.

- NOTES:
1. LINTELS REQUIRED FOR ALL NEW OPENINGS > 16" IN EXISTING MASONRY WALLS.
2. WHERE LINTELS BEAR ON HOLLOW MASONRY UNITS FILL ALL CORES UNDER BEARING WITH GROUT FROM BOTTOM OF LINTEL TO 48" MIN. BELOW LINTEL.

7 Loose Steel Lintel Schedule no scale



6 Section - Joist Reinforcing N.T.S.

(JOIST REINFORCING REQUIRED ONLY WHEN LOAD IS APPLIED > 3" FROM TOP OR BOTTOM CHORD PANEL POINT)

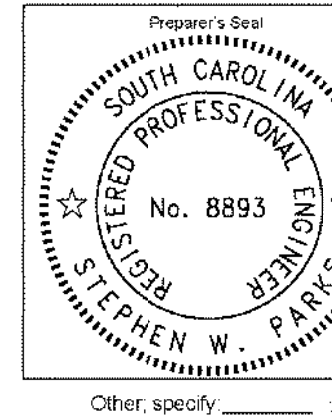
STATEMENT OF SPECIAL INSPECTIONS

Form with fields for PROJECT, LOCATION, PERMIT APPLICANT, ARCHITECT OF RECORD, etc.

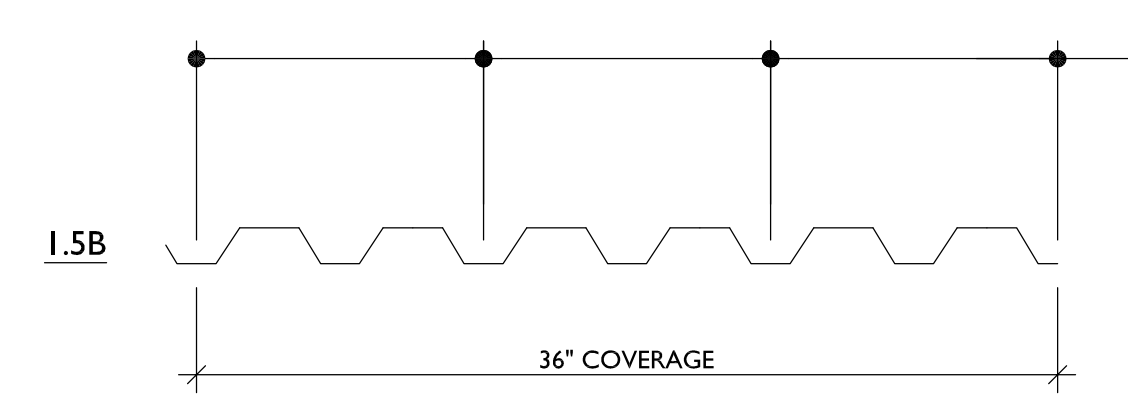
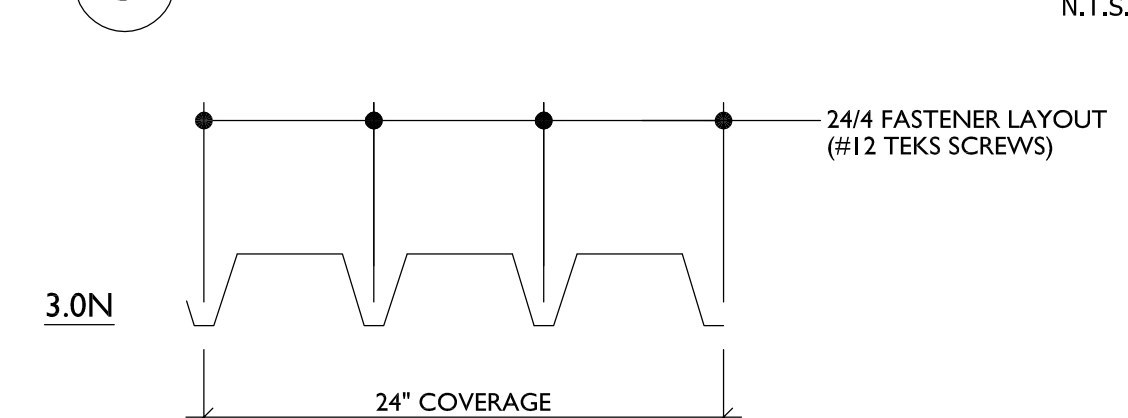
This Statement of Special Inspections is submitted in accordance with Section 1704.3 of the International Building Code. It includes a Schedule of Special Inspection Services applicable to the above-referenced Project as well as the identity of the individuals, agencies, or firms intended to be retained for conducting these inspections.

Frequency of interim report submissions to the Registered Design Professional in Responsible Charge:
Weekly [ ] Bi-Weekly [x] Monthly [ ] Other, specify: [ ]

The Special Inspector shall keep records of all inspections and shall furnish interim inspection reports to the Building Official and to the Registered Design Professional in Responsible Charge at a frequency agreed upon by the Design Professional and the Building Official prior to the start of work. Discrepancies shall be brought to the immediate attention of the Contractor for correction. If the discrepancies are not corrected, the discrepancies shall be brought to the attention of the Building Official and the Registered Design Professional in Responsible Charge prior to completion of that phase of work.

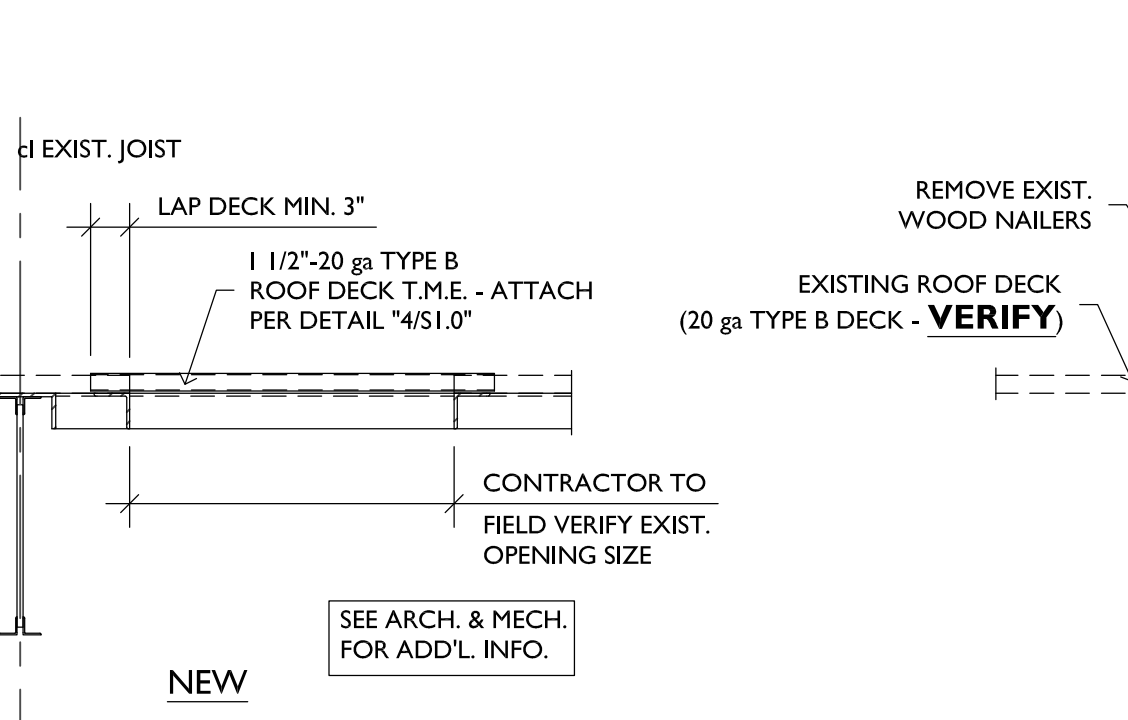


5 Statement of Special Inspections N.T.S.

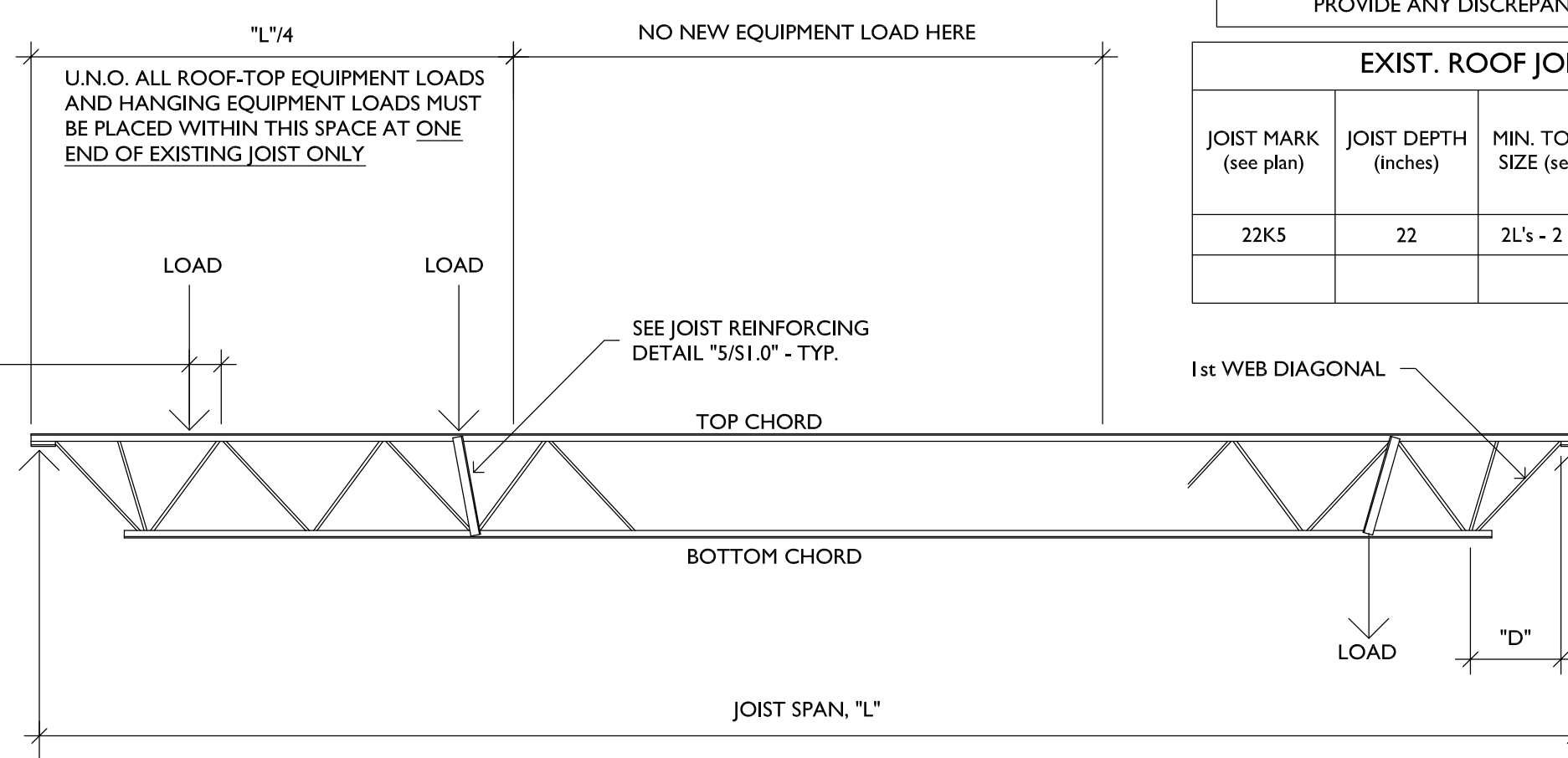


4 Detail - Deck Fastener Layout N.T.S.

- NOTES:
1. WELDING OF DECK IS NOT PERMITTED.
2. MECHANICALLY FASTEN SIDELAPS w/ MIN. #10 SCREWS AS FOLLOWS:
SPANS = OR - 5 - 2 SIDELAP FASTENERS
SPANS > 5' - 3 SIDELAP FASTENERS



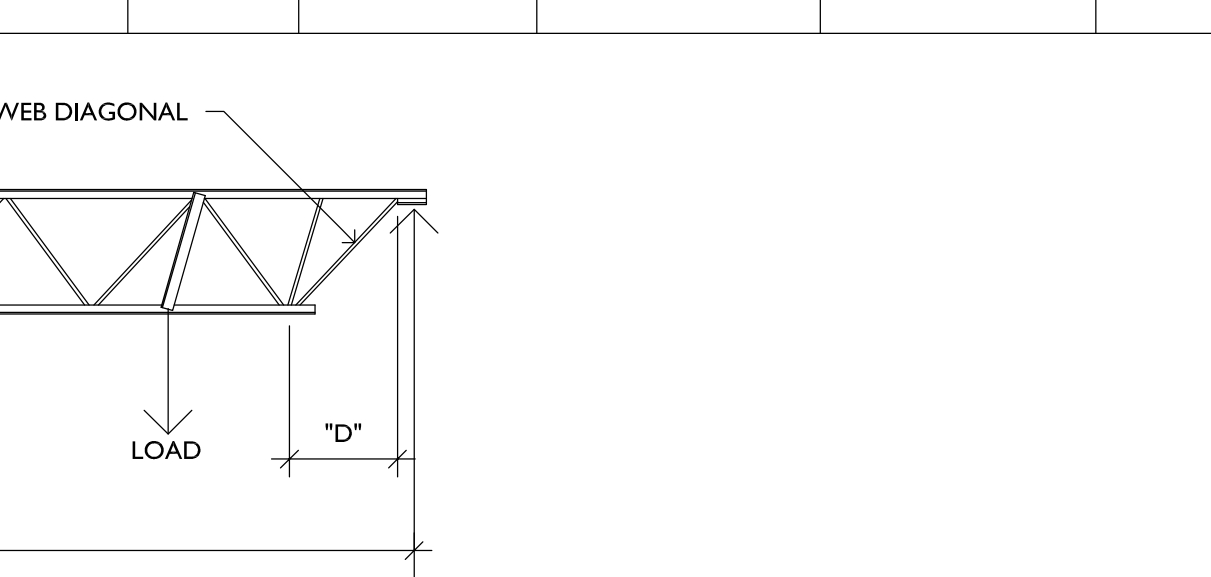
11 Detail - Infill of Existing Roof Openings N.T.S.



8 Joist Loading Diagram N.T.S.

NOTE: PRIOR TO PLACING ROOF-TOP EQUIPMENT OR HOODS, CONTRACTOR TO FIELD VERIFY THE JOIST INFORMATION INDICATED IN THE TABLE AND PROVIDE ANY DISCREPANCIES TO STRUCTURAL ENGINEER

Table: EXIST. ROOF JOIST DATA (must be field verified by Contractor) with columns for JOIST MARK, JOIST DEPTH, MIN. TOP CHORD, MIN. BOTTOM CHORD, FIRST WEB DIAGONAL, DISTANCE 'D'.

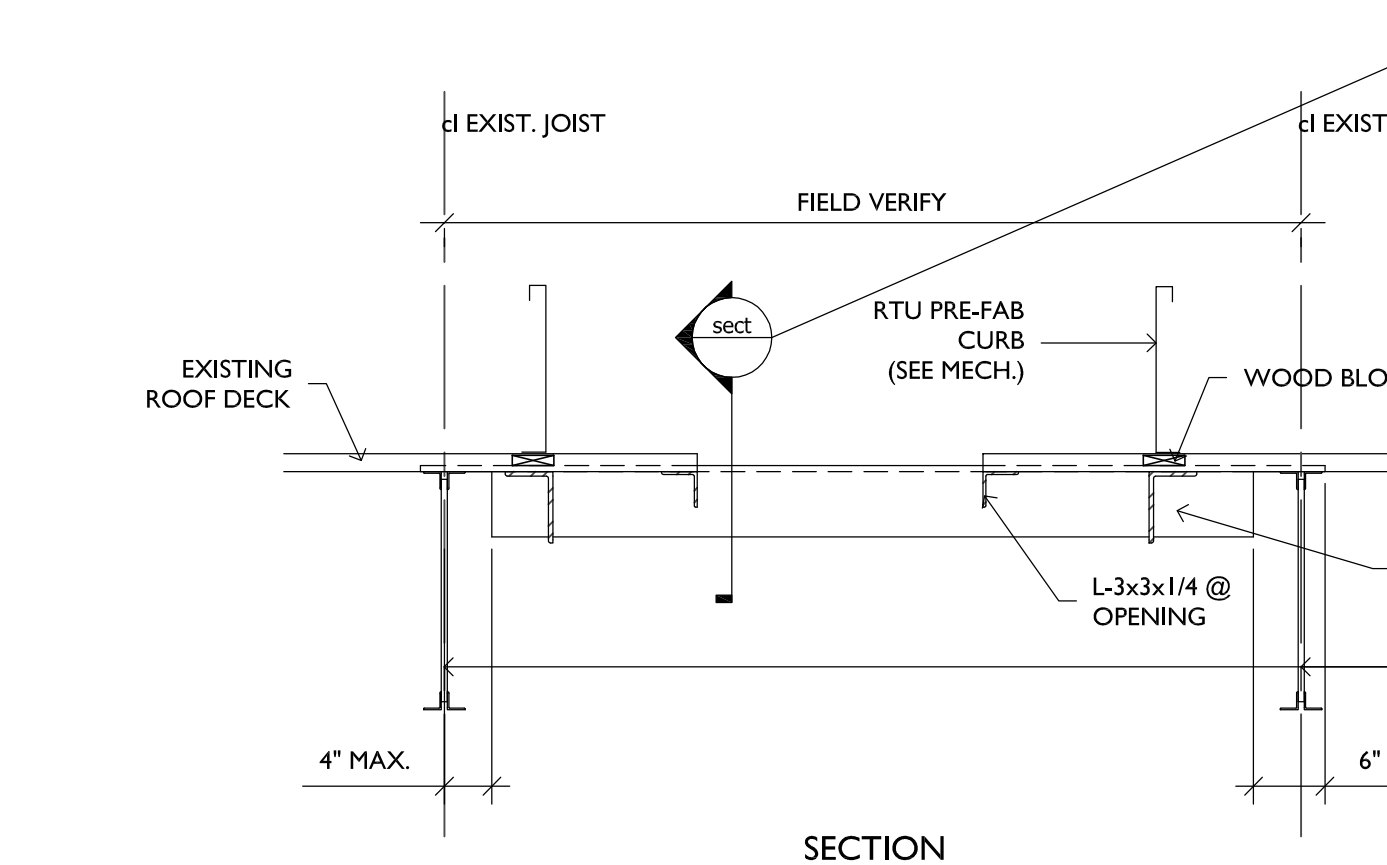
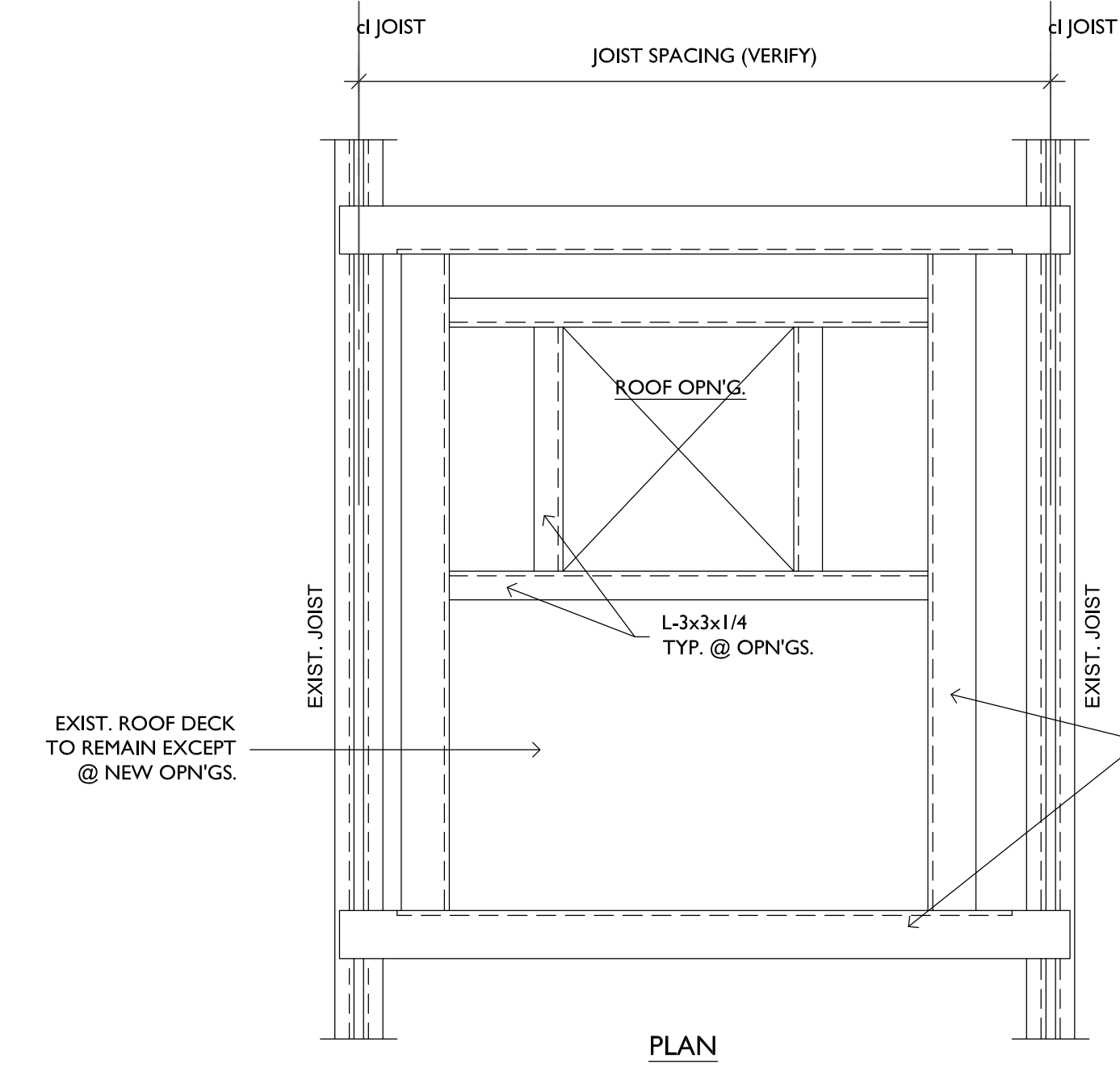


NOTES:

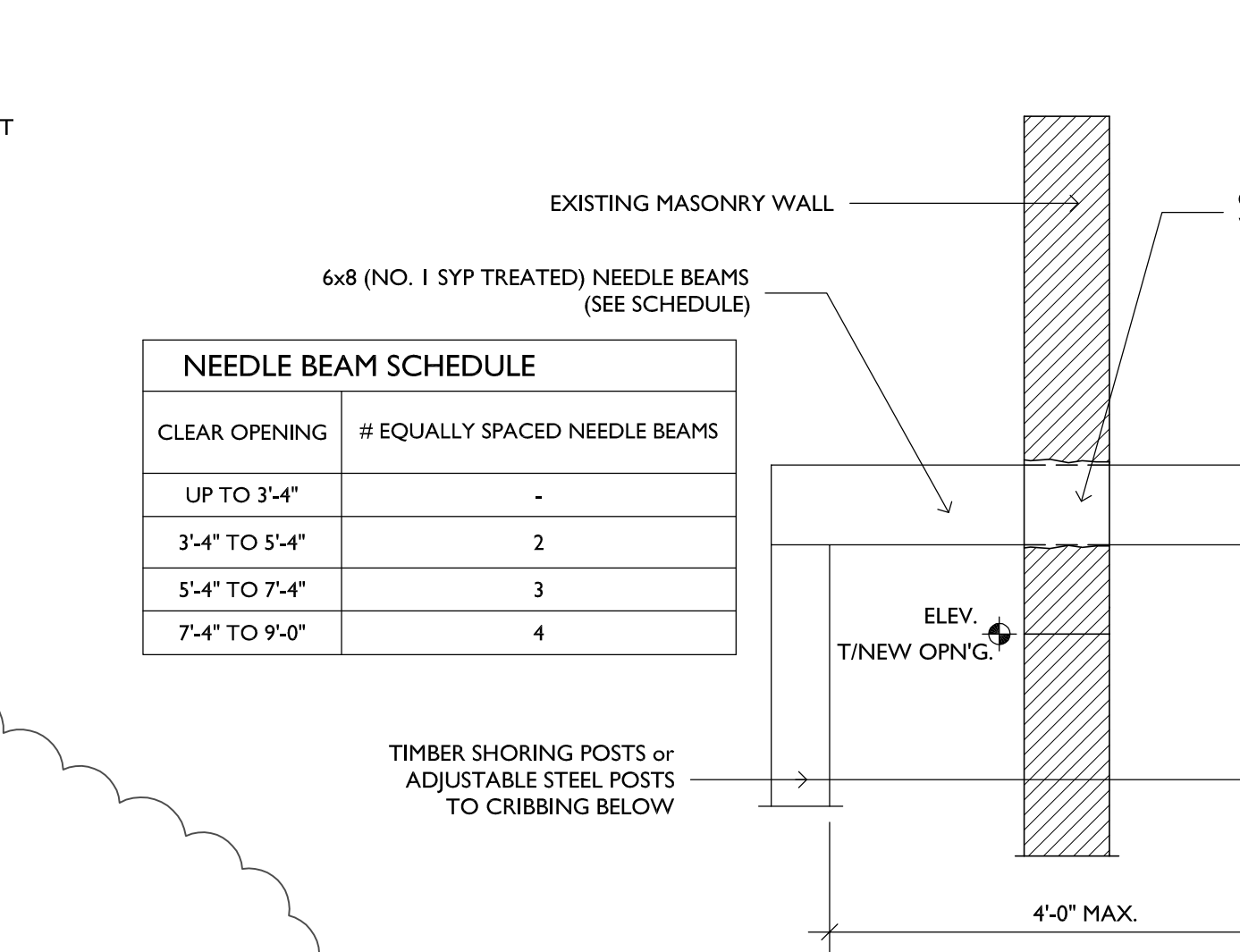
- 1. SEE ARCH., MECH. & HVAC DVGS. FOR ROOF OPNG. SIZES & LOCATIONS.
2. SEE ARCH. DVGS. FOR DETAILS OF CURBING AND MISC. STEEL.
3. ALL ROOF OPNG. SIZES AND LOCATIONS SHALL BE VERIFIED WITH MECH. CONTRACTOR.

ROOF TOP UNIT FRAME SCHEDULE

Table with columns for UNIT WEIGHT and ANGLE SIZE, listing specifications for 0-675 lbs., 676-1500 lbs., and 1501-3000 lbs.



9 Detail - RTU Curb Support & Opening Framing scale: 3/4" = 1'-0"



10 Detail - Deck Fastener Layout N.T.S.



11 Detail - Infill of Existing Roof Openings N.T.S.

mcmillan | pazzan | smith architecture logo and contact information including Atlanta, Charleston, Greenville, Spartanburg, and Asheville offices.

Parks Engineering Associates, Inc. Structural Engineering logo and contact information for 314 S. Pine St., PO Box 3281, Spartanburg, SC 29304.

Professional Engineer Seals for Stephen W. Parks, No. 8893, State of South Carolina.

SPARTANBURG SCHOOL DISTRICT SEVEN PHASE THREE ARCHITECTURAL AND MECHANICAL UPGRADES TO PINE STREET SCHOOL 500 S PINE ST., SPARTANBURG, SC 29302

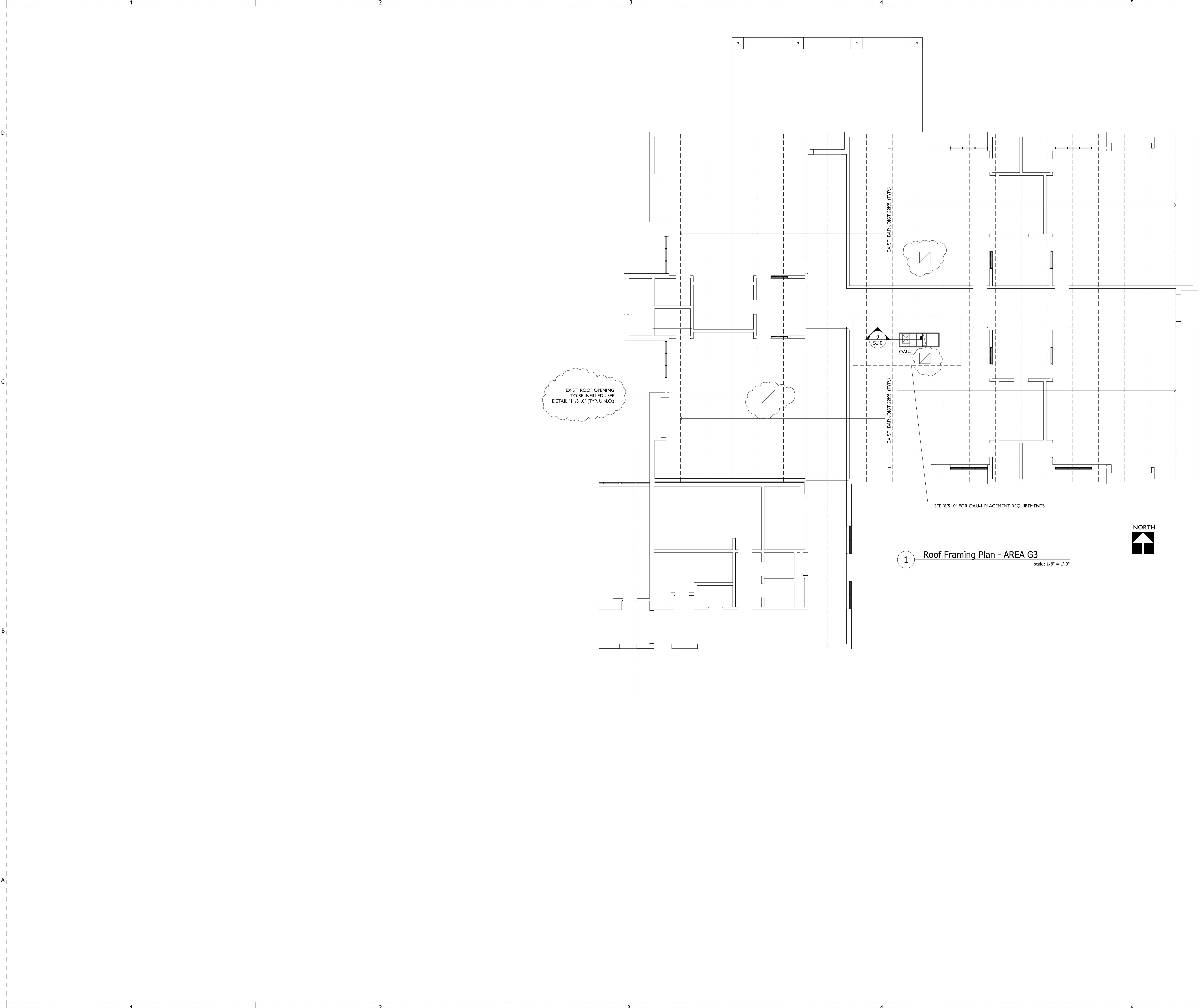
SHEET TITLE: Structural Notes & Details

ADDENDUM 1 11/12/2019

PRINCIPAL ENGINEER: SWP PROJECT ENGINEER: SWP DRAWN BY: PLA SHEET TITLE: Structural Notes & Details SHEET NO.: PROJ. NO. 016366.01

S1.0

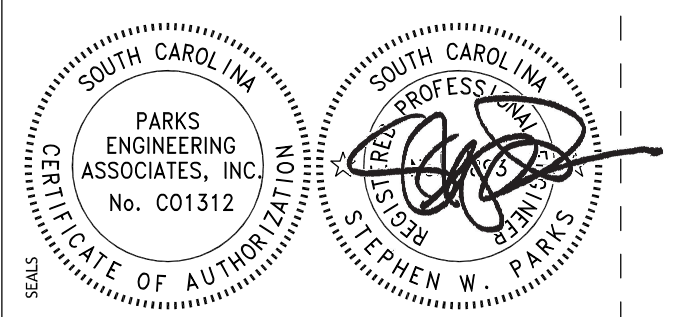
ALL DIMENSIONS AND LOCATIONS SHOWN ON THIS DRAWING ARE BASED ON THE MOST RECENT INFORMATION PROVIDED TO THE ENGINEER. THE ENGINEER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE INFORMATION PROVIDED TO HIM OR HER AND HAS FOUND IT TO BE REASONABLY ACCURATE. THE ENGINEER HAS NOT CONDUCTED SURVEYING OR FIELD MEASUREMENTS TO VERIFY THE INFORMATION PROVIDED. THE ENGINEER HAS NOT CONDUCTED SURVEYING OR FIELD MEASUREMENTS TO VERIFY THE INFORMATION PROVIDED. THE ENGINEER HAS NOT CONDUCTED SURVEYING OR FIELD MEASUREMENTS TO VERIFY THE INFORMATION PROVIDED.



1 Roof Framing Plan - AREA G3  
scale: 1/8" = 1'-0"


**mcmillan | pazdan | smith**  
 architecture  
 ashville atlanta charleston greenville spartanburg  
 po box 5331 spartanburg, sc 29304 e:864.585.5678 f:864.542.9451  
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**Parks Engineering Associates, Inc.**  
*Structural Engineering*  
 314 S. Pine St., PO Box 3281  
 Spartanburg, SC 29304  
 Phone (864)316-3776  
 e-mail swparks@charter.net



SPARTANBURG SCHOOL DISTRICT SEVEN  
 PHASE THREE  
**ARCHITECTURAL AND MECHANICAL UPGRADES  
 TO PINE STREET SCHOOL**  
 500 S PINE ST., SPARTANBURG, SC 29302

SHEET ISSUE:

ADDENDUM 1 11/12/2019  
 PRINCIPAL ENGINEER: SWP  
 PROJECT ENGINEER: SWP  
 DRAWN BY: PEA

SHEET TITLE:  
**Roof Framing  
 Plan - AREA G3**

SHEET NO. 016366.01  
 PROJ. NO.

**S2.2**

ALL DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY MCMILLAN PAZDAN SMITH ARCHITECTURE ARE THE PROPERTY OF MCMILLAN PAZDAN SMITH ARCHITECTURE. THESE DRAWINGS ARE TO BE USED ONLY FOR THE PROJECT AND NOT BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF MCMILLAN PAZDAN SMITH ARCHITECTURE. THE PROJECT IS TO BE CONSIDERED A PUBLICATION OF MCMILLAN PAZDAN SMITH ARCHITECTURE. ALL RIGHTS RESERVED.



1 DEMOLITION PLAN AREA 2  
 E100 1/8" = 1'-0"

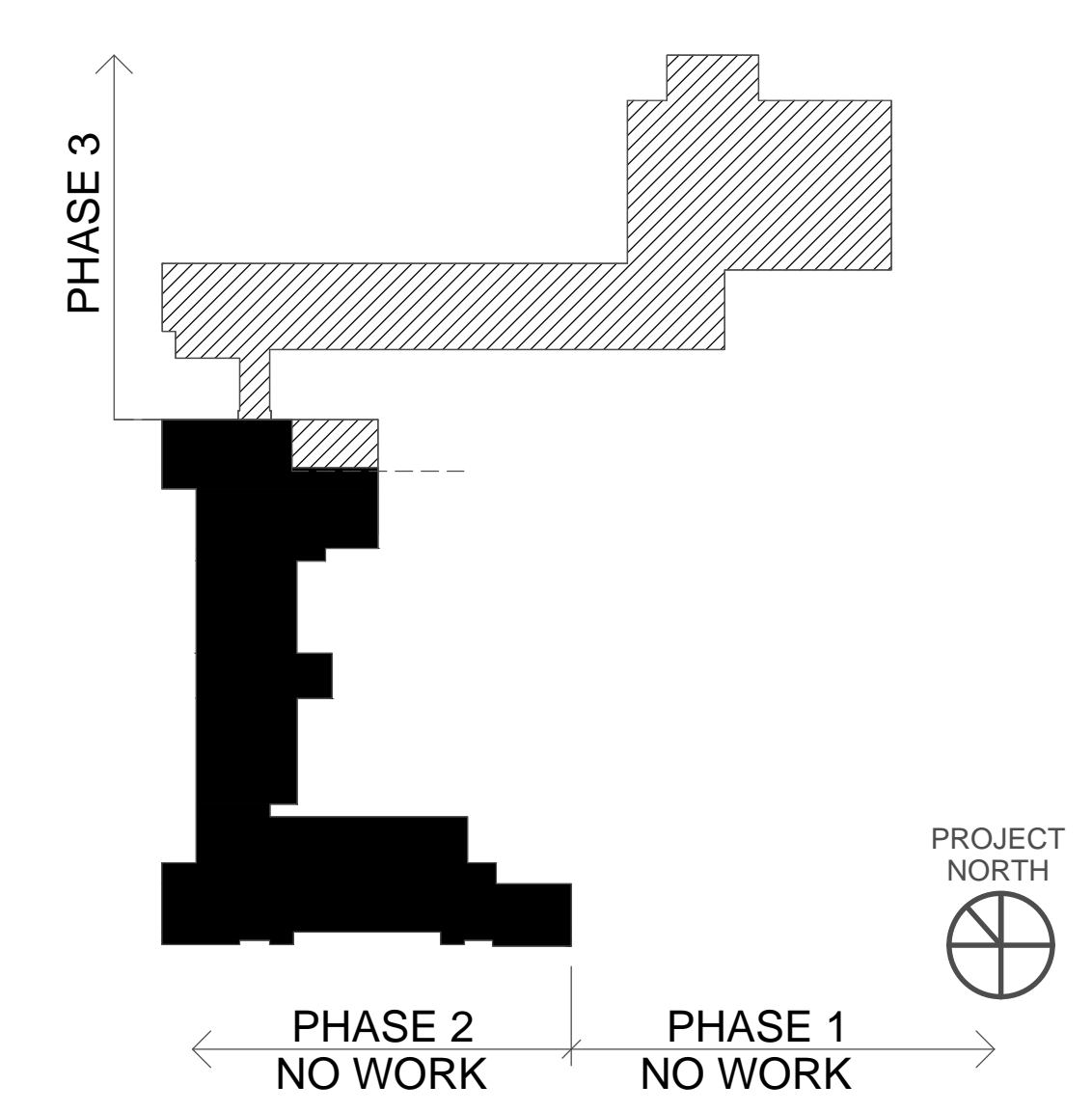
**GENERAL NOTES:**

1. THIS DEMOLITION DRAWING IS INTENDED AS A GENERAL GUIDE AND IS NOT INTENDED TO INDICATE ALL ELECTRICAL DEMOLITION THAT MAY BE REQUIRED. THE ELECTRICAL CONTRACTOR SHALL SCHEDULE A SITE VISIT TO DETERMINE EXISTING CONDITIONS BEFORE BIDDING THIS PROJECT.
2. ALL ELECTRICAL WORK IS TO BE COORDINATED WITH THE MECHANICAL CONTRACTOR.
3. ELECTRICAL CONTRACTOR TO COORDINATE WITH MECHANICAL TO "MAKE SAFE" ALL ELECTRICAL COMPONENTS ASSOCIATED WITH PROJECT BEFORE DEMOLITION BEGINS.
4. REMOVE ENTIRELY ALL EXISTING ENCLOSURES, JUNCTION BOXES, CONDUIT, AND WIRING NO LONGER UTILIZED. INSTALL CONDUIT KNOCK-OUT PLUGS IN ANY JUNCTION BOX OR ENCLOSURE WHERE A PORTION OF THE CONDUIT AND WIRING HAVE BEEN REMOVED AND ENCLOSURE/JUNCTION BOX IS TO REMAIN. NO UNUSED ELECTRICAL IS TO REMAIN IN ACCESSIBLE AREAS PER OSF REQUIREMENTS.
5. ALL INACCESSIBLE ELECTRICAL COMPONENTS INSTALLED CONCEALED IN WALLS OR BELOW GRADE SHOULD BE CAPPED OFF AT WALL/FLOOR LEVEL AND ABANDONED.
6. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR REMOVING OR SECURING ALL ELECTRICAL TYPE COMPONENTS FROM CEILINGS TO BE REMOVED AND REPLACED. COORDINATE WITH OWNER / ARCHITECT. SEE KEYED NOTE 3 BELOW.

**KEYED NOTES:**

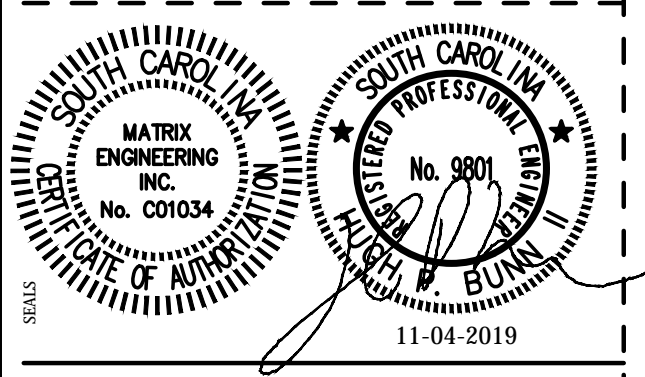
1. ELECTRICAL CONTRACTOR TO REMOVE ENTIRELY ALL CONDUIT AND WIRING ASSOCIATED WITH UNIT VENTILATOR TO BE REMOVED.
2. DENOTES LOCATION OF EXISTING FAN COIL UNIT TO BE REMOVED. ELECTRICAL CONTRACTOR TO DISCONNECT EXISTING WIRING AND CONDUIT BACK TO THE NEAREST JUNCTION POINT TO BE UTILIZED IN RE-WIRING NEW UNIT AFTER INSTALLATION. SEE MECHANICAL POWER PLAN E-201 FOR NEW WIRING.
3. ELECTRICAL CONTRACTOR TO CAREFULLY SECURE ALL CEILING MOUNTED COMPONENTS IN ROOM DURING DEMOLITION PHASE OF CEILING REMOVAL. PREPARE COMPONENTS FOR RE-INSTALLATION. COMPONENTS INCLUDE BUT ARE NOT LIMITED TO LIGHT FIXTURES, SPEAKERS, WIRELESS ACCESS POINTS, EXHAUST FANS & FIRE ALARM DEVICES. COORDINATE WITH OWNER / ARCHITECT.
4. ELECTRICAL CONTRACTOR TO REMOVE ENTIRELY ALL CONDUIT AND WIRING ASSOCIATED WITH TOILET EXHAUST FANS TO BE REMOVED.

**KEY PLAN**



**mcmillan | pazdan | smith**  
 architecture  
 asheville atlanta charleston greenville spartanburg  
 po box 5331 spartanburg, sc 29304 o:864.583.6274 f:864.542.9451  
 www.mcmillanpazdansmith.com

**MATRIX**  
 ENGINEERING, INC.  
 912 South Pine Street  
 Spartanburg, South Carolina, 29302  
 864.583.6274  
 Project Number: 2019-114



SPARTANBURG SCHOOL DISTRICT SEVEN  
**ARCHITECTURAL AND MECHANICAL**  
**UPGRADES TO PINE STREET SCHOOL**  
 PHASE 3  
 500 S PINE ST., SPARTANBURG, SC 29302

| SHEET ISSUE NO. | DATE     | DESCRIPTION | BY |
|-----------------|----------|-------------|----|
| 1               | 11/15/19 | ADDENDUM #1 | SS |

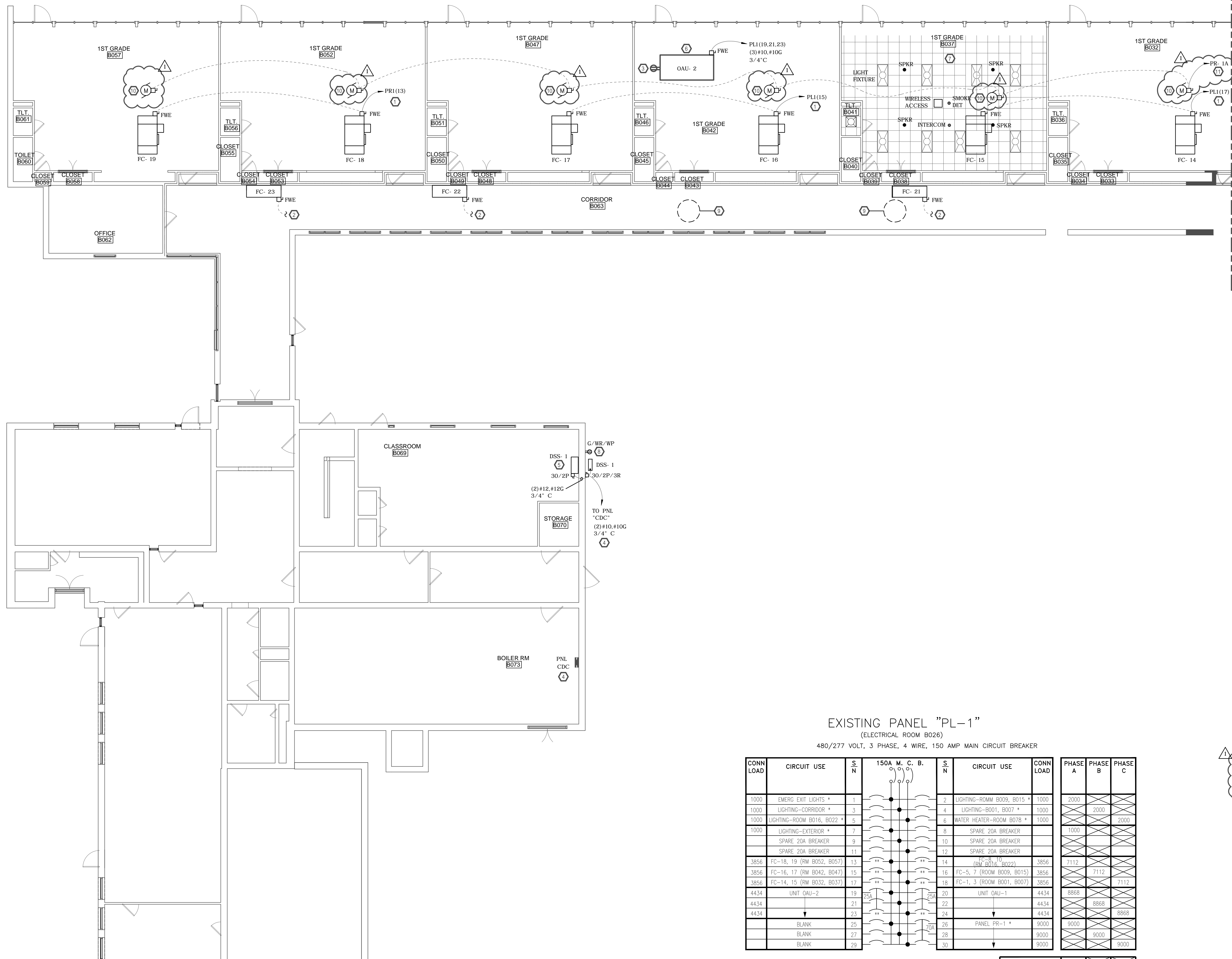
CONSTRUCTION DRAWINGS 11.04.19  
 PROJECT ENGINEER: SS  
 DRAWN BY: BS, SS

SHEET TITLE:  
**DEMOLITION PLAN AREA 2**

SHEET NO. PROJ. NO.  
 014141

**E-101**

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EXISTING PANEL "PL-1"  
(ELECTRICAL ROOM B026)  
480/277 VOLT, 3 PHASE, 4 WIRE, 150 AMP MAIN CIRCUIT BREAKER

| CONN LOAD | CIRCUIT USE                | S N | 150A M. C. B. | S N | CIRCUIT USE                | CONN LOAD | PHASE A | PHASE B | PHASE C |
|-----------|----------------------------|-----|---------------|-----|----------------------------|-----------|---------|---------|---------|
| 1000      | EMERG EXIT LIGHTS *        | 1   |               | 2   | LIGHTING-ROOM B009, B015 * | 1000      | 2000    | 2000    |         |
| 1000      | LIGHTING-CORRIDOR *        | 3   |               | 4   | LIGHTING-B001, B007 *      | 1000      |         |         |         |
| 1000      | LIGHTING-ROOM B016, B022 * | 5   |               | 6   | WATER HEATER-ROOM B078 *   | 1000      |         |         |         |
| 1000      | LIGHTING-EXTERIOR *        | 7   |               | 8   | SPARE 20A BREAKER          |           | 1000    |         |         |
|           | SPARE 20A BREAKER          | 9   |               | 10  | SPARE 20A BREAKER          |           |         |         |         |
|           | SPARE 20A BREAKER          | 11  |               | 12  | SPARE 20A BREAKER          |           |         |         |         |
| 3856      | FC-18, 19 (RM B052, B057)  | 13  | **            | 14  | (RM B014, B022)            | 3856      | 7112    | 7112    |         |
| 3856      | FC-16, 17 (RM B042, B047)  | 15  | **            | 16  | FC-5, 7 (ROOM B009, B015)  | 3856      |         |         |         |
| 3856      | FC-14, 15 (RM B032, B037)  | 17  | **            | 18  | FC-1, 3 (ROOM B001, B007)  | 3856      |         |         |         |
| 4434      | UNIT OAU-2                 | 19  | **            | 20  | UNIT OAU-1                 | 4434      | 8868    |         |         |
| 4434      |                            | 21  | **            | 22  |                            | 4434      |         | 8868    |         |
| 4434      |                            | 23  | **            | 24  |                            | 4434      |         |         | 8868    |
|           | BLANK                      | 25  | **            | 26  | PANEL PR-1 *               | 9000      | 9000    | 9000    | 9000    |
|           | BLANK                      | 27  | **            | 28  |                            | 9000      |         |         |         |
|           | BLANK                      | 29  | **            | 30  |                            | 9000      |         |         |         |

| PHASE A | PHASE B | PHASE C | TOTAL VA | CONNECTED AMPERAGE |
|---------|---------|---------|----------|--------------------|
| 27960   | 26980   | 26980   | 81940    | 97 AMPS            |

- NOTES:
- ALL CIRCUIT BREAKERS 20 AMPERE, SINGLE POLE, UNLESS NOTED OTHERWISE.
  - ELECTRICAL CONTRACTOR TO PROVIDE TYPED CIRCUIT SCHEDULE FOR PANEL. LEAVE ALL UNUSED CIRCUIT BREAKERS IN THE "OFF" POSITION AND MARK AS SPARE ON THE CIRCUIT SCHEDULE.
  - DENOTES EXISTING CIRCUIT
  - DENOTES NEW CIRCUIT BREAKER TO BE PURCHASED AND INSTALLED BY ELECTRICAL CONTRACTOR

MECHANICAL POWER PLAN AREA 1  
1/8" = 1'-0"

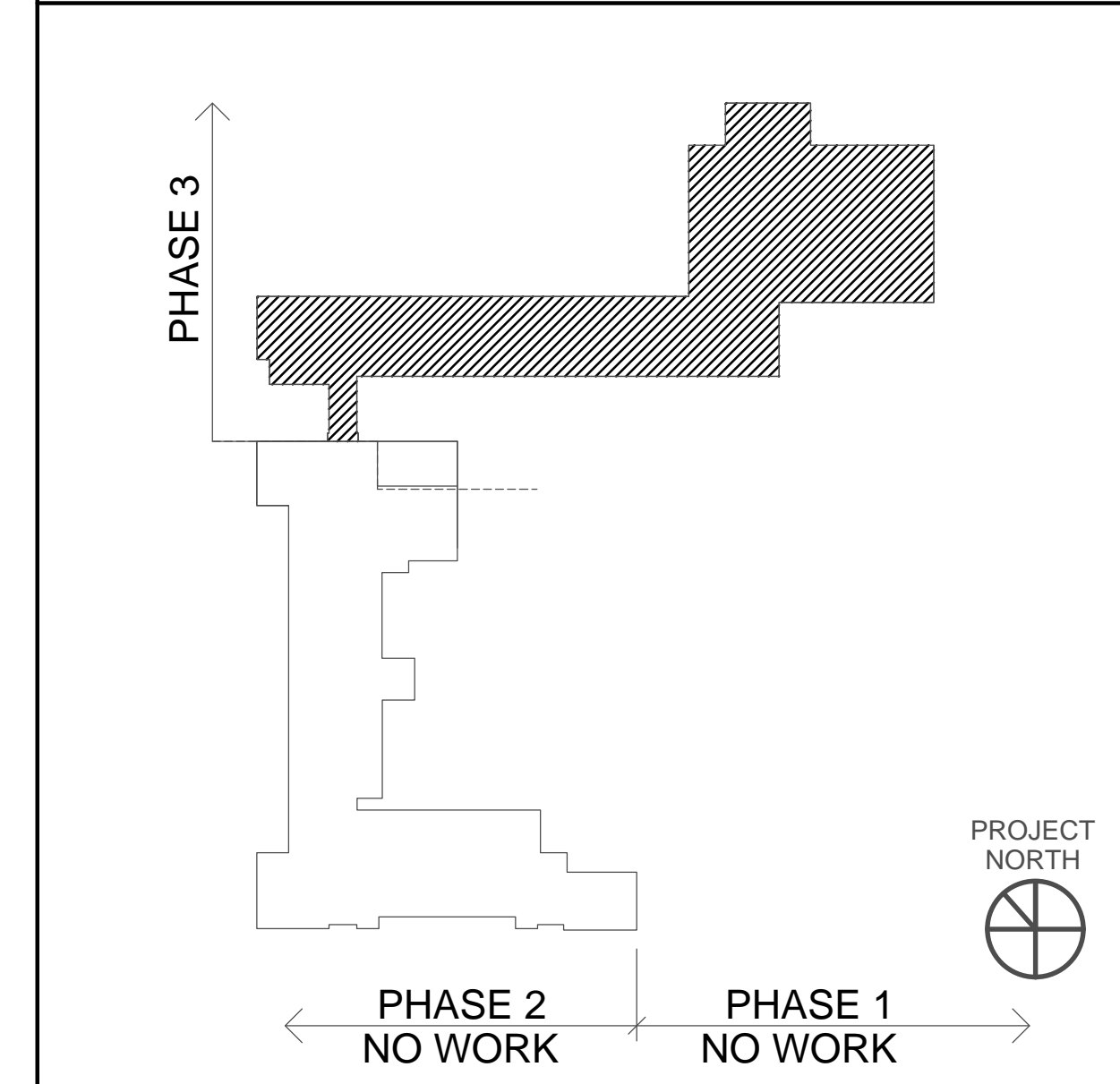
GENERAL NOTES:

- ALL ELECTRICAL WORK IS TO BE COORDINATED WITH MECHANICAL CONTRACTOR AND ARCHITECT.
- ALL NEW AND EXISTING WIRING TO BE ROUTED IN CONDUIT PER OFFICE OF SCHOOL FACILITY GUIDELINES.
- ALL NEW FAN COIL UNITS HAVE DISCONNECT SWITCHES INTEGRAL TO AND FURNISHED WITH EQUIPMENT.
- ALL CIRCUIT WIRING TO BE (2) #12, #12 GND ROUTED IN 1/2" CONDUIT UNLESS NOTED OTHERWISE.
- ALL LIGHT FIXTURES SHALL MEET THE SEISMIC REQUIREMENTS OF ASCE 7.
- ALL 2x4 / 2x2 LAY-IN LIGHT FIXTURES (RECESSED IN CEILING) SHALL HAVE 12 GAUGE WIRE HANGERS PLACED ON TWO DIAGONAL CORNERS ATTACHED TO THE BUILDING STRUCTURE OR HURRICANE CLIPS FOR SEISMIC RESTRAINT.
- SEE ARCHITECTURAL REFLECTED CEILING PLAN FOR RE-INSTALLATION OF CEILING COMPONENTS.
- WHERE A FIRE WALL IS PENETRATED FOR AN ELECTRICAL INSTALLATION, A UL APPROVED FIRE STOP SYSTEM SHALL BE INSTALLED AS REQUIRED. A DETAIL OF THE SYSTEM INSTALLED SHALL BE LABELED ADJACENT TO THE PENETRATION AND A COPY OF THE FIRE STOP SYSTEM DETAIL SHALL BE AVAILABLE DURING ALL THIRD PARTY INSPECTIONS.

KEYED NOTES:

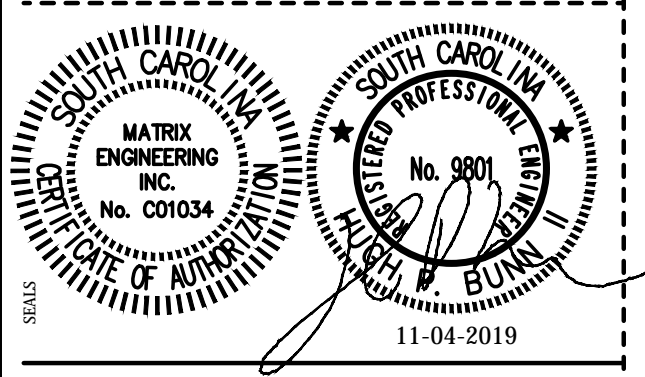
- ELECTRICAL CONTRACTOR TO PURCHASE AND INSTALL 20 AMP, 1 POLE CIRCUIT BREAKER IN EXISTING 480/277 VOLT SUB-PANEL "PL-1".
- ELECTRICAL CONTRACTOR TO VERIFY AND RE-CONNECT WIRING TO EXISTING 120V, 20 AMP CIRCUIT WHERE PREVIOUSLY WIRED.
- DENOTES MAINTENANCE RECEPTACLE FURNISHED WITH EQUIPMENT. WIRE RECEPTACLE TO THE NEAREST AVAILABLE EXISTING CIRCUIT IN CLASSROOM BELOW OR UTILIZE CIRCUIT PREVIOUSLY USED FOR CLASSROOM UNIT VENTILATOR.
- ELECTRICAL CONTRACTOR TO PURCHASE AND INSTALL 30 AMP, 2 POLE CIRCUIT BREAKER IN EXISTING 208/120 VOLT SUB-PANEL "CDP" FOR CIRCUIT TO "DSS-1".
- INDOOR UNIT IS POWERED FROM OUTDOOR UNIT.
- DENOTES NEW ROOFTOP OUTSIDE AIR UNIT "ODU-2". ELECTRICAL CONTRACTOR TO PURCHASE AND INSTALL A 25 AMP, 3 POLE, CIRCUIT BREAKER IN 480/277 VOLT PANEL "PL-1" IN ELECTRICAL ROOM B0-26. WIRE WITH (3)#10, #10 GND TO UNIT.
- DENOTES TYPICAL CLASSROOM SHOWING PROPOSED RE-INSTALLATION OF CEILING MOUNTED COMPONENTS. NOTE LIGHT FIXTURE CONFLICTING WITH CEILING MOUNTED FAN COIL UNIT HAS BEEN RE-LOCATED. COORDINATE WITH ARCHITECT. SEISMICALLY RESTRAIN ALL LIGHT FIXTURES PER NOTE 6 ABOVE.
- ELECTRICAL CONTRACTOR TO PURCHASE AND INSTALL MAINTENANCE RECEPTACLE IN APPROXIMATE LOCATION SHOWN. WIRE TO THE NEAREST AVAILABLE CONVENIENCE RECEPTACLE CIRCUIT.
- ELECTRICAL CONTRACTOR TO COORDINATE WITH MECHANICAL CONTRACTOR AND OFFSET QUANTITY (3) 1/2" CONDUITS IN CONFLICT WITH DUCTWORK ROUTING IN AREA INDICATED.
- DENOTES CONDENSATE PUMP FOR FAN COIL UNIT WIRED AS INDICATED. PROVIDE CODE COMPLIANT DISCONNECT SWITCH. COORDINATE EXACT LOCATION OF PUMP WITH MECHANICAL.
- WIRE CONDENSATE PUMP CIRCUIT TO EXISTING SPARE 20A CIRCUIT BREAKER IN PANEL PR-1A LOCATED IN ELECTRICAL ROOM B026. SEE SHEET E-201.

KEY PLAN



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SPARTANBURG SCHOOL DISTRICT SEVEN  
**ARCHITECTURAL AND MECHANICAL**  
**UPGRADES TO PINE STREET SCHOOL**  
**PHASE 3**  
 500 S PINE ST., SPARTANBURG, SC 29302

SHEET ISSUE:  
 NO. DATE DESCRIPTION BY  
 1 11/15/19 ADDENDUM #1 SS

CONSTRUCTION DRAWINGS 11.04.19

PROJECT ENGINEER: SS  
 PROJECT ENGINEER: SS  
 DRAWN BY: BS, SS

SHEET TITLE:  
**MECHANICAL POWER PLAN**  
**AREA 1**

SHEET NO. PROJ. NO.  
 014141

**E-200**