

## ADDENDUM 01

03.29.2023

Project: Anderson County Senior Center  
Phase 2 Improvements  
S4D Number: 20033  
Date of Bid Documents: 02.03.2023

To: Bidders of Record  
Copies: Owner, Anderson Co. Purchasing  
From: Rose Gowder, S4D

This Addendum forms a part of the Contract Documents and modifies the original Contract Documents for the above referenced project by the following items. These items shall have full force and effect and shall take precedence over the original Contract Documents as provided herein. All items not specifically deleted, modified, changed, or altered by this addendum shall remain in effect. Bidders shall acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the bidder to disqualification.

### SUMMARY

#### PRE-BID MEETING QUESTIONS (03.01)

1. Specifically, what is the base bid and what are the add alternates? Should the alternates be priced with the kitchen scope and then broken out or should they all be priced separately?

**Response:** The kitchen scope is the base bid. The walk-in coolers, classroom reconfiguration, craft room reconfiguration, exterior improvements, and men's restroom reconfiguration are alternate bids which should be bid as separate line items on the bid form.

2. Will all the add alternates be awarded to the same contractor?

**Response:** Yes.

3. Will the contractor need to bid every add alternate?

**Response:** Yes, it is preferred.

4. Where can the contractor have laydown area on site?

**Response:** Coordinate with Cherie Phillips to establish an onsite staging area.

5. What will be the accessible working hours to the site?

**Response:** The successful bidder will be allowed on premise to perform work during any requested schedule including after business hours and on the weekends.

6. Will the purchasing office need an original copy of the bids?

**Response:** The purchasing office requests the original bid form and two copies totaling three (3).

7. What will be the schedule for completion of the project?

**Response:** To be determined based on the scope of work selected.

8. Is Anderson County open to proposed kitchen equipment alternates?

**Response:** Yes, the contractor should submit and note proposed alternates in their bid.

9. Will Anderson County need copies of the bid bond or performance bond?

**Response:** No, the purchasing office will only need the original of these forms.

10. Will Add Alternate 4, replacing window glazing, involve hazardous material abatement or is it just an aesthetic replacement?

**Response:** No, alternate 4 is only to provide better thermal performance in the building envelope. No abatement is expected.

11. Is there a formal process if the contractor needs to re-visit the site prior to bid?

**Response:** The contractor may revisit the site and inform the site manager Cherie Phillips of their presence and reason for their visit.

12. Please confirm that this project will be awarded off of the base bid amount (Kitchen scope).

**Response:** The city will evaluate and award a bid based on a combination of the base bid and selected or all add alternates.

13. Specifications – Anderson County General Terms and Conditions section 1.10: Please confirm only one G.C. will be awarded this project and not different G.C.'s for the separate alternates.

**Response:** All work to include the base bid and any selected alternates will be awarded to the same contractor.

14. Please confirm Builder's Risk Insurance is required to be included by the G.C. in their base bid amount.

**Response:** Yes

15. Please confirm a Performance & Payment bond is required to be included by the G.C. in their base bid amount.

**Response:** Yes

16. Specification Section 00 41 00 1.07 Contract Time: Please clarify if the G.C. is to list the number of days to complete only the base bid (Kitchen scope) or the base bid and all (5) alternates.

**Response:** Contractor to list the number of days to complete the base bid only.

17. Specification Section 00 41 00 1.08 Allowances: Please confirm the 5% Contingency Allowance is to be added to the base bid (Kitchen scope) only and not to any of the (5) alternates.

**Response:** Contingency is on the base bid only.

18. Specification Section 01 51 00: Please confirm the G.C. is to include the cost for temporary utilities.

**Response:** We do not see a need for there to be temporary utilities. If the contractor believes there is a need, then include in the bid.

19. Specification Section 01 52 13 - Field Office: Is a construction trailer furnished by the G.C. required for this project?

**Response:** No

20. Please confirm all furnishings (furniture, equipment, computers, televisions, files, pictures, etc.) will be removed and relocated by the Owner prior to the start of construction.

**Response:** The owner will clear the working space of furniture, equipment computers, etc. prior to construction.

21. Please confirm that any abatement/remediation of hazardous materials will be completed and paid for by the Owner, if required.

**Response:** It is not expected there be any abatement needed, but if so, then yes.

22. Please clarify if temporary barriers are required to be included by the G.C. for this project.

**Response:** Protect unaffected areas from dust and other construction debris.

23. If temporary barriers are required to be included by the G.C., please provide what type of temporary barrier system (plastic, drywall, plywood, etc.).

**Response:** Plastic

24. Please confirm work can be completed during normal business hours.

**Response:** Correct

25. Drawing 3/A3.2: Please provide specifications for the new metal roof at the Porte-Cochere.

**Response:** Metal Roof to be determined at a later time. Provide \$15,000 allowance for Porte-Cochere improvements.

26. Is the soffit for the Porte-Cochere new? If so, please provide soffit specifications.

**Response:** provide \$15,000 allowance for Porte-Cochere improvements.

27. Drawing 3/A3.2: Please clarify the modifications required for the Porte-Cochere (alternate #4). Is all stone veneer scheduled to be removed? What is the exterior wall finish and design intent for the Porte-Cochere once the stone veneer is removed?

**Response:** provide \$15,000 allowance for Porte-Cochere improvements.

28. Drawing 3/A1.2 - Kitchen Equipment Schedule: Please confirm the Commercial Gas Range (item #1), 3-Compartment Commercial Utility Sink (item #2), and the Handwashing Sink (item #3) are furnished by the G.C.

**Response:** The owner has already acquired item #1, Gas Range. Items 2, 3, and 12 to be furnished by contractor.

29. Drawing 3/A1.2 - Kitchen Equipment Schedule: Please confirm the kitchen hood package is furnished by the G.C.

**Response:** correct

30. Drawing 2/A1.4: Please clarify if the walk-in cooler and freezer are furnished by the G.C. or the Owner.

**Response:** to be provided by the G.C.

31. If the walk-in cooler and freezer are furnished by the G.C., please provide manufacturer(s) and product specifications.

**Response:** use manufacturer Amerikooler as basis of design. Walk in coolers and freezers are custom fabricated per project. Provide 6'x8'x7'-7" outdoor cooler and freezer with manufacturer fabricated insulated floor and single door into kitchen space.

32. Drawings M1.2 – Keynote #6 & M1.3 - Keynotes 4,7,8: The condition of the existing HVAC units and required repairs is unknown. Please provide allowance amounts for any repairs that may be required and specify if the allowance amounts are to be included in the base bid (Kitchen scope) only or any of the listed alternates.

**Response:** Contractor to verify on site the extent of HVAC unit repairs.

33. Drawings 1/A1.3 & 1/A1.4: Please clarify if the new televisions are furnished by the Owner or the G.C. If by the G.C., please provide product specifications.

**Response:** The new televisions will be provided by the owner for install by the contractor.

34. Drawing 2/A1.4: An insulated concrete slab is shown for the walk-in cooler and freezer locations. Please provide specifications (thickness / insulation) requirements for the new concrete slab.

**Response:** pour typical concrete slab for the cooler and freezer walk-ins. Outdoor cooler and freezer units to have manufacturer provided insulated floor system.

35. Drawing 2/A1.4: Please clarify what the new concrete pad dimensions are for the new walk-in cooler and freezer.

**Response:** Provide concrete pad 8'-4" x 12'-4"

36. Drawing 2,5/A8.1: Please confirm the only stainless steel the G.C. is to furnish and install is located behind the range in the Kitchen (base bid) and the trim for the (2) cooler/freezer door openings for alternate #3.

**Response:** correct

37. Drawing 9/A7.0 – Finish Schedule: The comments for flooring types LVT1 and LVT2 list additional quantity amounts required to be included. Please specify the square-foot amounts to include in the base bid and each of the alternates.

**Response:** Provide additional square-foot amounts in base bid only.

38. On page A1.2 in detail 3, the kitchen equipment schedule depicts some items to be owner provided. Contractor is responsible for items 1-3, and item 12 only?

**Response:** The owner has already acquired item #1, Gas Range. Items 2,3, and 12 to be furnished by contractor.

39. Items 1-3 are listed as KaTom items. Will a like equal option by another supplier be accepted?

**Response:** Like equal options will be accepted

40. On page A7.0 in finish schedule, rooms 015, 022, and 023 depict ceiling finish as OTS. This is not listed in finish abbreviations. Can you please clarify what is to be the finish in these rooms?

**Response:** Open to Structure

41. On page A7.1 there is a note to paint all existing non storefront exterior doors PNT 6. Will this need to be included in the base bid or in Alternate for Exterior Envelope Improvements?

**Response:** Painting existing non-storefront exterior doors PNT 6 to be part of the Exterior Envelope Improvements alternate only.

42. Will Davis Bacon requirements apply to the project?

**Response:** No.

43. For the new toilet partitions in the men's restroom, please specify the toilet partition material (plastic, metal, etc.) and install method (floor mounted/overhead mounted) required to match the existing ADA stall.

**Response:** Contractor to Verify in Field to match existing conditions.

44. I've had a few mechanical subcontractors contact me stating that there is not enough information on the equipment to be provided and sizing of duct and other materials to be able to price this project. Will there be an additional addendum providing this information? D

**Response:** Subcontractors will need to visit the site to verify conditions on what needs to be repaired/replaced.

#### DRAWING REVISIONS

Drawing T0.0, modified sheet schedule.

Drawing A1.2, Kitchen Equipment Schedule item #1 revised to be owner provided.

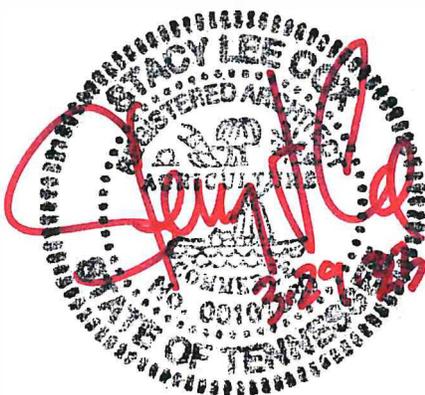
Drawing A1.4, Add Alternate 3 – Walk-in Cooler Plan revised to show concrete pad dimensions.

#### ATTACHMENTS

Drawing: T0.0, dated 03.29.2023, Revision 02.

Drawing: A1.2, dated 03.29.2023, Revision 02.

Drawing A1.4, dated 03.29.2023, Revision 02.



END

Phase 2 Renovations for:

# Anderson County Senior Center

96 Mariner Point Drive  
Clinton, Tennessee 37716

02.03.2023

Construction Documents  
02.03.2023

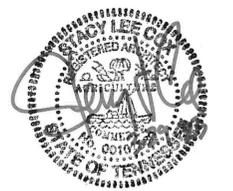
CD: 02.03.2023  
Revision 1: 02.16.2023  
Revision 2: 03.29.2023

TITLE				
T0.0	Cover Sheet			
T0.1	General Accessibility Details			
T0.2	Site Plan Information			
<b>LIFE SAFETY</b>				
LS1.1	Life Safety Plan & Code Review			
<b>ARCHITECTURAL DEMOLITION</b>				
AD 1.1	Demolition Plan			
<b>ARCHITECTURAL</b>				
A1.1	Floor Plan			
A1.2	Kitchen Equipment Plan & Schedule			
A1.3	Add Alternate Plans & Elevations			
A1.4	Add Alternate Plans & Elevations			
A2.1	Reflected Ceiling Plan			
A3.2	Elevations - Alternate 4			
A7.0	Door Schedule, Finish Index & Schedule			
A7.1	Finish Floor Plan			
A8.1	Interior Elevations & Details			
A9.1	Interior Details			
<b>PLUMBING</b>				
P0.1	General			
P0.2	General			
P0.3	Schedules			
P0.4	Details			
P0.5	Riser Diagrams			
P1.1	Floor Plan			
P2.1	Enlarged Kitchen Plans			
<b>MECHANICAL</b>				
M0.1	General			
M0.2	Details & Schedules			
M0.4	Hood Package Selection			
M0.5	Hood Package Selection			
M0.6	Hood Package Selection			
M0.7	Hood Package Selection			
M0.8	Hood Package Selection			
M1.1	Floor Plan			
M1.2	Enlarged Kitchen Plan			
M1.3	Add Alternate 1 Plan			
M1.4	Add Alternate 2&3 Plan			
<b>ELECTRICAL</b>				
E0.1	Specifications			
E0.2	General			
E0.3	Schedules			
E0.4	Compliance Report			
E1.1	Floor Plan			
E1.2	Enlarged Kitchen Plan			
E1.3	Add Alternate 1 Plan			
E1.4	Add Alternate 2 & 3 Plan			
E2.1	Reflected Ceiling Plan			



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Phase 2 Renovations for:  
**Anderson County Senior Center**  
96 Mariner Point Drive  
Clinton, Tennessee 37716



Project Phase: Construction Documents

Issue Date: 02.03.2023		
Revisions		
No.	Description	Date
1	Revision 1	02.14.2023
2	Bidder Questions	03.29.2023

Job Number: 20033

Cover Sheet

# T0.0

Date: 3/29/2023 11:13:07 AM  
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**Owner:**  
Anderson County Government  
100 North Main Street  
Clinton, Tennessee 37716

**Contact:** Mayor Terry Frank  
T: 865.457.6200  
F: 865.457.6270  
E: tfrank@andersontn.org

**M/E/P Engineer:**  
Proficient Engineering, Inc.  
6025 Brookvale Lane, Suite 202  
Knoxville, Tennessee 37919

**Contact:** Thomas Wasmund, PE  
T: 865.245.9198  
E: twasmund@proficientengineering.com

**Architect:**  
Studio Four Design, Inc.  
414 Clinch Avenue  
Knoxville, Tennessee 37902

**Contact:** Aaron Jernigan, Assoc. AIA  
T: 865.523.5001  
F: 865.523.5003  
E: ajernigan@s4dinc.com

	CENTER LINE		WALL TYPE
	COLUMN GRID		ACCESSORY TAG
	ELEVATION MARKER		ROOM IDENTIFICATION
	POINT ELEVATION		REVISION NOTE
	DOOR IDENTIFICATION		WINDOW IDENTIFICATION
	CEILING IDENTIFICATION		DEMO NOTE
	NORTH ARROW		EXTERIOR ELEVATION
	INTERIOR FINISH ELEVATION		BUILDING SECTION
	WALL SECTION		

## 2 Project Contacts

NTS

## 4 Graphic Symbols

NTS

	EARTH		WOOD - ROUGH
	GRAVEL		BATT INSULATION
	CONCRETE		GYP SUM BOARD
	RIGID INSULATION		ACOUSTIC TILE
	METAL		MASONRY VENEER
	PLYWOOD		CONCRETE MASONRY UNIT
	WOOD - FINISHED		

## 1 Materials Legend

NTS

- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, CONTRACTOR SHALL OBTAIN CLARIFICATION, IN WRITING, FROM THE ARCHITECT.
- INTERIOR AND EXTERIOR WALL AND PARTITION DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE. MASONRY DIMENSIONS ARE FROM OUTSIDE EDGE TO OUTSIDE EDGE UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL CODES, REGULATIONS AND ORDINANCES AND SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR CONSTRUCTION.
- FIRE EXTINGUISHER(S) ARE REQUIRED IN THE SPACE PER NFPA 10. MOUNT CABINETS AND EXTINGUISHERS AT LOCATIONS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE FIRE/BUILDING INSPECTOR.
- CONSTRUCTION MATERIALS SPECIFIED AND NOTED ON THE DRAWINGS ARE REPRESENTATIVE OF THE GENERAL DESIGN INTENT.
- GENERAL CONTRACTOR TO VERIFY CONDITIONS PRIOR TO BIDDING. IF CONDITIONS ARE DIFFERENT THAN SHOWN IN DRAWINGS, CONTACT ARCHITECT IMMEDIATELY.
- WHERE A DETAIL IS SHOWN OR A NOTE IS DESCRIBED FOR ONE CONDITION, IT SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS EVEN THOUGH NOT SPECIFICALLY NOTED ON THE DRAWINGS.
- CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT SURROUNDINGS PROPERTY, STREETS, WALKS, ETC. DURING CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED AS A RESULT.
- CONTRACTOR TO COORDINATE LOCATION OF TEMPORARY CONSTRUCTION BARRIERS WITH OWNER. MEANS OF EGRESS EXIT ACCESS ROUTES MUST REMAIN OPEN AND ACCESSIBLE TO ALL OCCUPANTS.
- REQUESTS FOR SUBSTITUTIONS MAY BE PERMITTED PER THE GENERAL CONDITIONS.

## 3 General Notes

NTS

- ADD ALTERNATE 1: CLASSROOM RECONFIGURATION**  
INVOLVES RECONFIGURATION OF THE CLASSROOMS AND EXISTING KITCHEN AREA THROUGH REMOVAL AND CONSTRUCTION OF PARTITION WALLS.
- ADD ALTERNATE 2: CRAFT / ACTIVITY ROOM RECONFIGURATION**  
INVOLVES RECONFIGURATION OF CRAFT / ACTIVITY ROOM THROUGH REMOVAL AND CONSTRUCTION OF PARTITION WALLS.
- ADD ALTERNATE 3: WALK-IN COOLER AND WALK-IN FREEZER ADDITION**  
INVOLVES THE CONSTRUCTION, ENCLOSURE, AND PROVIDING KITCHEN ACCESS TO A NEW WALK IN COOLER AND NEW WALK IN FREEZER.
- ADD ALTERNATE 4: EXTERIOR IMPROVEMENTS**  
INVOLVES EXTERIOR IMPROVEMENTS TO THE BUILDING SHELL THROUGH REPLACING THE EXISTING WINDOWS WITH LOW-E INSULATED GLASS, INSTALLING NEW GLAZING, PAINTING THE EXTERIOR, AND MODIFICATINS TOT HE PORTE-COCHER.
- ADD ALTERNATE 5: MEN'S RESTROOM IMPROVEMENTS**  
INVOLVES IMPROVEMENTS TO THE MEN'S RESTROOM THROUGH RELOCATING TWO URINALS AND INSTALLING TWO NEW WATER CLOSETS.

## 5 Bid Alternate Descriptions

NTS



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Project Phase: Construction Documents

Issue Date: 02.03.2023		
Revisions		
No.	Description	Date
2	Bidder Questions	03.29.2023

Job Number: 20033  
Kitchen Equipment Plan & Schedule

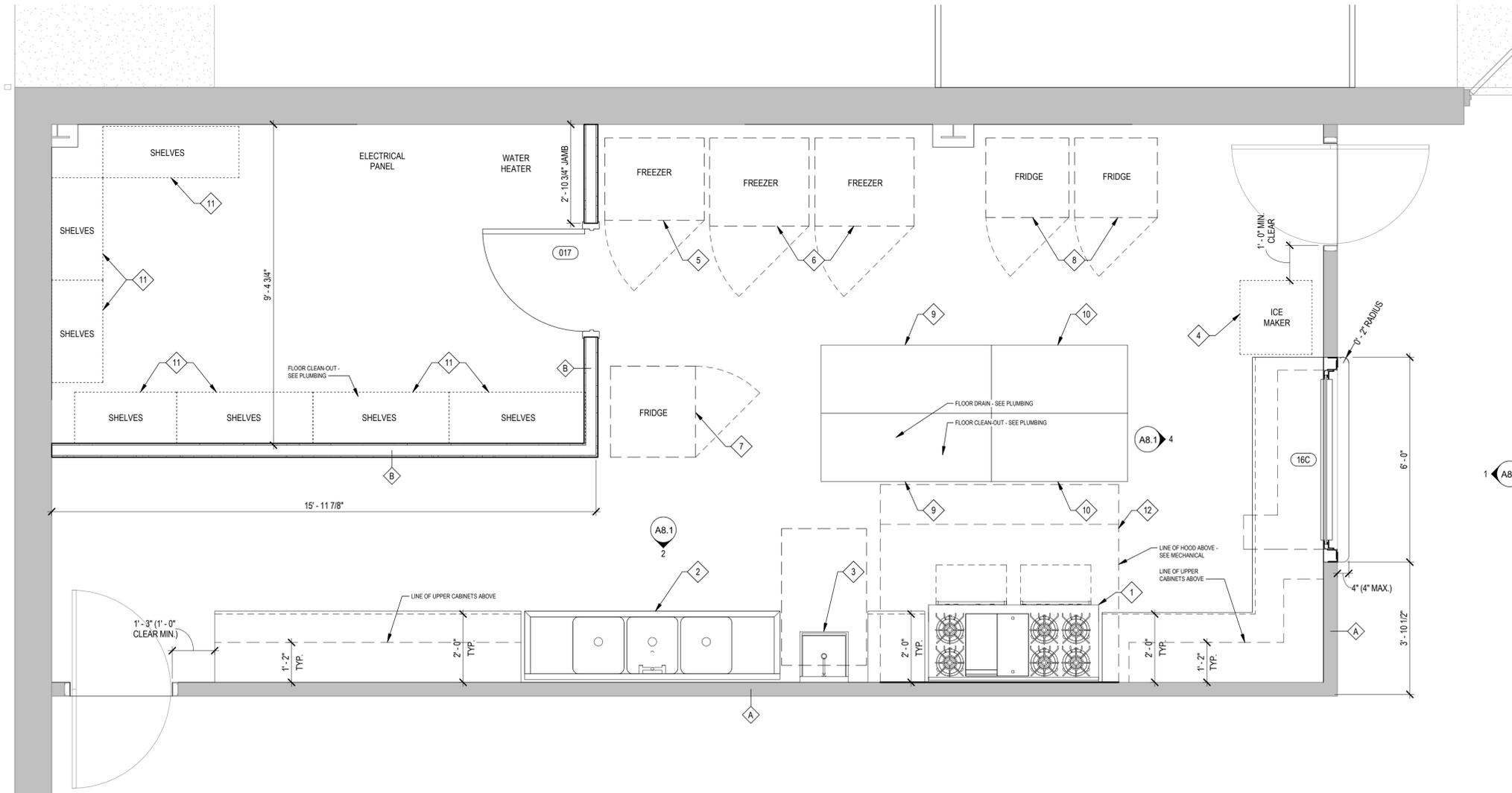
**A1.2**

Description	Dimensions	Manufacturer	Model Number	Furnished By	Installed By	Vendor	Quantity	Notes
1 Commercial Gas Range w/ Double Oven	60" x 28-1/2" x 60-3/8"	eQuipped by KaTom	R10-G24	Owner	General Contractor	KaTom	1	
2 3-Compartment Commercial Utility Sink	72" x 20" x 33-1/2"	Eagle Creek	B6C-18	General Contractor	General Contractor	KaTom	1	
3 Handwashing Sink	17" x 15"	Vollrath	K1410-CP	General Contractor	General Contractor	KaTom	1	Mount 34" A.F.F.
4 Ice Maker	26" x 26" x 40"	-	-	Owner	Owner	-	1	
5 Freezer	35" x 29" x 67-1/2"	-	-	Owner	Owner	-	1	
6 Freezer	35" x 31" x 73-1/2"	-	-	Owner	Owner	-	2	
7 Refrigerator	30" x 32" x 65"	-	-	Owner	Owner	-	1	
8 Refrigerator	28" x 29 1/4" x 62"	-	-	Owner	Owner	-	2	
9 Commercial Work Table	24" x 60" x 35-1/2"	Advance Tabco	TTF-245-X	Owner	Owner	-	2	
10 Commercial Work Table	24" x 48" x 35-1/2"	Advance Tabco	TTF-244-X	Owner	Owner	-	2	
11 Shelving Units	-	-	-	Owner	Owner	-	-	
12 Vent Hood	See Mechanical	See Mechanical	See Mechanical	General Contractor	General Contractor	See Mechanical	1	

- Typical Sound Attenuating Partition (3-5/8" Metal Studs)**  
5/8" GYPSUM BOARD ON BOTH SIDES OF 3 5/8" METAL STUDS AT 16" O.C. PROVIDE SOUND ATTENUATING INSULATION OF 42 STC OR BETTER IN CAVITY. EXTEND WALL ASSEMBLY TO DECK. PROVIDE MOISTURE-RESISTANT GYPSUM BOARD IF WALL FACE CONTAINS A PLUMBING FIXTURE. IS LOCATED IN A RESTROOM, OR IS WITHIN 2' OF A PLUMBING FIXTURE.
- Typical Partition (3-5/8" Metal Studs)**  
5/8" GYPSUM BOARD ON BOTH SIDES OF 3 5/8" METAL STUDS AT 16" O.C. EXTEND WALL ASSEMBLY TO 12" O.A.F.F. OR 6" ABOVE FINISHED CEILING. PROVIDE MOISTURE-RESISTANT GYPSUM BOARD IF WALL FACE CONTAINS A PLUMBING FIXTURE. IS LOCATED IN A RESTROOM, OR IS WITHIN 2' OF A PLUMBING FIXTURE.
- Infill Partition (Match Existing Adjacent)**  
INFILL PARTITION TO MATCH EXISTING ADJACENT CONSTRUCTION.

**2 Wall Type Legend**  
NTS

**3 Kitchen Equipment Schedule**  
NTS



**1 Enlarged Kitchen Plan**  
1/2" = 1'-0"

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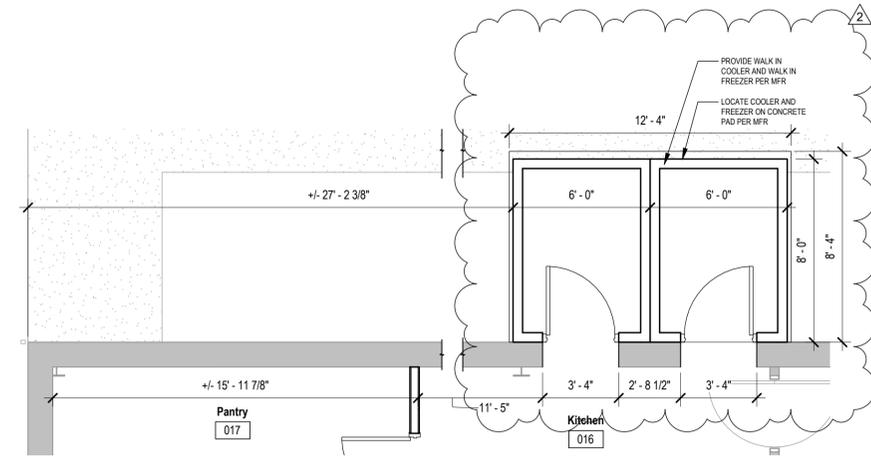
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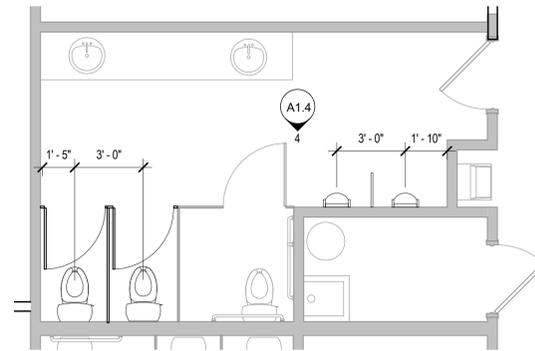
Job Number: 20033

Add Alternate Plans & Elevations

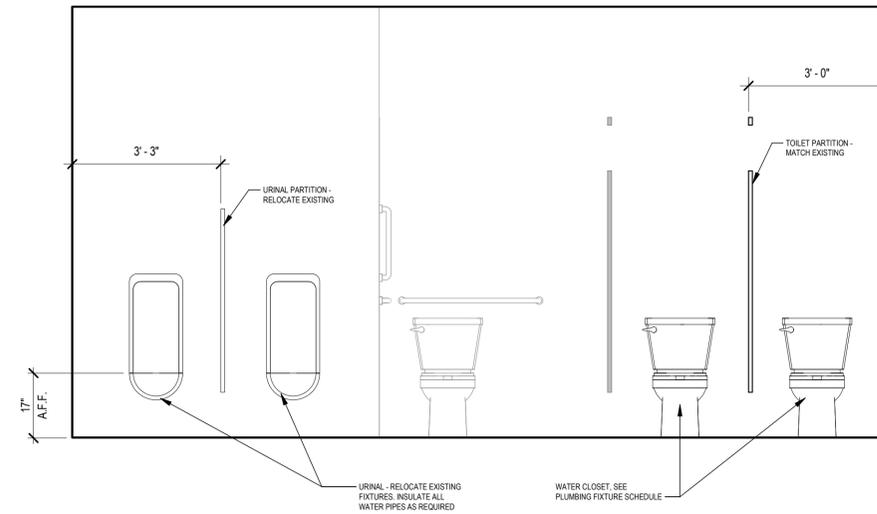
**A1.4**



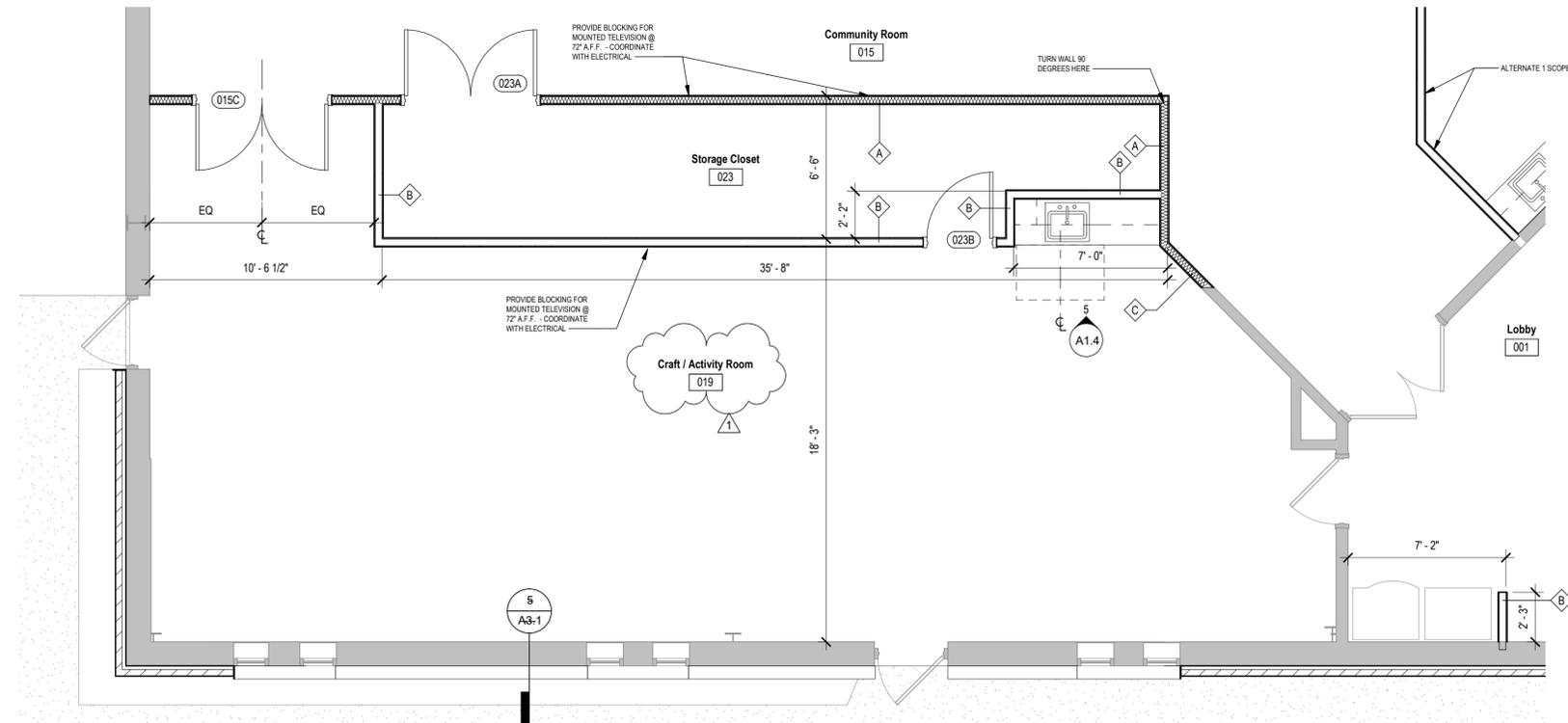
2 Add Alternate 3 - Walk-In Cooler Plan  
1/4" = 1'-0"



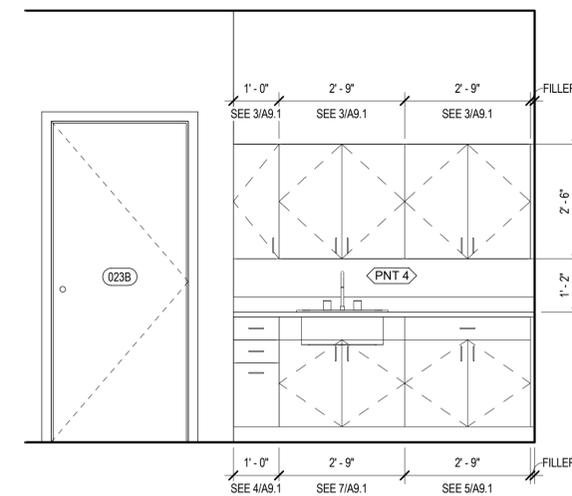
3 Add Alternate 5 - Men's Restroom Plan  
1/4" = 1'-0"



4 Add Alternate 5 - Men's Restroom Interior Elevation  
1/2" = 1'-0"



1 Add Alternate 2 - Craft / Activity Room Reconfiguration  
1/4" = 1'-0"



5 Add Alternate 2 - Craft / Activity Room Interior Elevation  
1/2" = 1'-0"

Date: 3/29/2023 11:13:02 AM  
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