

**ADDENDUM 1**

**ADDENDUM DATE:** April 8, 2022

**PROJECT:** Northgate Complex Renovation  
1509 N. Fayetteville Street  
Asheboro, NC 27203

**OWNER:** Randolph County  
725 McDowell Rd  
Asheboro, North Carolina 27205

**ARCHITECT:** Smith Sinnett Architecture, P.A.  
4600 Lake Boone Trail, Suite 205  
Raleigh, North Carolina 27607

**BIDS DUE:** **Tuesday, April 19, 2022 at 3:00 p.m.**  
2<sup>nd</sup> Floor  
Randolph County Historic Courthouse  
145 Worth Street  
Asheboro, NC 27203

**Please note, Project Documents, Addenda, and Plan Holders list are available at [www.smithsinnett.com](http://www.smithsinnett.com) under the 'Documents' icon on the navigation bar.**

Among other items, this Addendum addresses issues raised in the Pre-Bid Conference held on Tuesday April 5, 2022 at 3:00 p.m. Pre-Bid notes and sign in sheet of those that attended are attached.

This Addendum, applicable to the work designed below, shall be understood to be and is an addendum and shall be part of and included in the contract for the above referenced project. All General, Supplementary and Special Conditions, etc., as originally specified or as modified below shall apply to these items.

## GENERAL

1. **CLARIFICATION:** Owner has removed the asbestos floor tile and mastic in half of the back storage area. The rest of the area will have the existing carpet remaining.

## ARCHITECTURAL SPECIFICATIONS

2. **REVISION:** Specification Section 064023 Interior Architectural Woodwork. Delete Paragraph 2.7 in its entirety. All countertop shall be Solid Surface.
3. **REVISION:** Add the following paragraph to Part 2 – Products of Specification Section 074213 Metal Wall Panels. Note the below paragraph also is considered under the Alternate 1 Owner Preferred Alternate.

### INFILL METAL WALL PANELS

- A. Concealed Fastener Metal Wall Panels: Structural metal panels consisting of formed metal sheet with vertical panel edges and flat pan, with flush joints between panels, field assembled with nested lapped edges, and attached to supports using concealed fasteners.
  1. Basis of Design: Refer to Drawings for Location of Type A and Type B Panels.
    - a. Panel Type A: Integrity X-12 by Morin – a Kingspan Group Company.
    - b. Panel Type B: Integrity XA-12 by Morin – a Kingspan Group Company.
  2. Aluminum-Zinc Alloy-Coated Steel Sheet: ASTM A792/A792M, structural quality, **Grade 50, Coating Class AZ50**, pre-painted by the coil-coating process per ASTM A755/A755M.
    - a. Nominal Thickness: **24 gage** coated thickness, with smooth surface.
      - 1) Exterior Finish: Fluoropolymer two-coat metallic color system.
      - 2) Color: As selected by Architect from manufacturer's full range of standard colors.
  3. Panel Width: **12 inches**.
  4. Panel Thickness: **7/8" inch**.
  5. Application: Vertical.
  6. Panel joint: Tongue and groove interlock joint.

## ARCHITECTURAL DRAWINGS

1. **CLARIFICATION:** Sheet A0-03 Demo Elevations: Drawing 2/A0-03, note that Demo of metal canopy, panel, and cladding also consists of removing the existing signage attached to these panels. Electrical shall also be completely removed to these signs.
2. **REVISION:** Sheet A4-10 Casework Elevations and Details: Replace Sheet A4-10 in its entirety with the attached Sheet A4-10.
3. **REVISION:** Sheet A5-01 Details: Replace Sheet A5-01 in its entirety with the attached Sheet A5-01. Note, Detail 5/A5-01 has been added.

4. **REVISION:** Sheet A6-01 Door Schedule: Replace Sheet A6-01 in its entirety with the attached Sheet A6-01. Note, Detail 5/A6-01 has been updated and Door 721 has been changed to Hollow Metal.
5. **REVISION:** Sheet A6-02 Window and Frame Elevations: Replace Sheet A6-02 in its entirety with the attached Sheet A6-02. Note, Detail 6/A6-02 has been updated.
6. **REVISION:** Sheet A7-01 Finish Plan: In the Finish Legend, replace PL2 with SS1 Solid Surface – Countertop.
7. **REVISION:** Sheet A9-01 Bid Alternate: Drawing 6/A9-01, Alternate 2, note that Demo of metal canopy, panel, and cladding also consists of removing the existing signage attached to these panels. Electrical shall also be completely removed to these signs.
8. **REVISION:** Sheet A9-01 Bid Alternate: Drawing 1/A9-01, Alternate 2, add (11) Dimensional Letters in this area. Mounting and location will be similar to the other dimensional letters installed on façade. These (11) Dimensional letters shall be the same and match the specification provided.

## **ELECTRICAL DRAWINGS**

1. **REVISION:** Sheet E1-03: Replace Sheet E1-03 in its entirety with the attached Sheet E1-03 included within this addendum.

### **End of Addendum 1**

#### **Attached:**

Northgate PreBid Sign-In.pdf (1 Page)  
Northgate\_PreBid Notes.pdf (4 Pages)  
Revised Sheet A4-10 (1 Page)  
Revised Sheet A5-01 (1 Page)  
Revised Sheet A6-01 (1 Page)  
Revised Sheet A6-02 (1 Page)  
Revised Sheet E1-03 (1 Page)

**Pre-Bid Conference Agenda****April 5, 2022 at 3:00 p.m.**

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**NORTHGATE COMPLEX RENOVATION**

Location: Northgate Complex  
1509 N. Fayetteville Street  
Asheboro, NC 27203

Owner: Randolph County  
725 McDowell Rd.  
Asheboro, NC 27205

Architect: Smith Sinnett Architecture, P.A.  
4600 Lake Boone Trail, Suite 205  
Raleigh, NC 27607  
Phone: (919) 781-8582  
Fax: (919) 781-3979

On behalf of the Owner and Smith Sinnett Architecture, we would like to thank you for your interest and attendance at this Pre-Bid Conference.

**I Bid:**

Sealed Bids from Single Prime Contractors will be received and publicly opened at:

**3:00 p.m. on Tuesday, April 19, 2022**

2<sup>nd</sup> Floor

Randolph County Historic Courthouse

145 Worth Street

Asheboro, NC 27203

**II Bid Day Documents:**

1. Proposal Form Pages 1 through 5.
2. Minority Business Participation Form and/or Affidavit.
  - a. Identification of HUB Certified / Minority Business Participation Form Required.
    - i. Name on Form must be the exact name as provided to the NC Office for HUB.
  - b. Affidavit A or Affidavit B.
3. Bid Bond (5%) or Certified Check (5%)
4. The County is requiring the use of a 2-envelope system for all bids. The first envelope should include the "Bid Guarantee" (copy of the bid bond), marked as such, and attached to the sealed envelope containing the bidder's proposal. The second bid envelope should be sealed, marked as "BID PROPOSAL" with the following information listed on the outside of the envelope:
  - a. Bidder's Name and Address
  - b. North Carolina Contractor's License Number
  - c. Name of Project
5. If awarded the Contract, the Bidder must provide an executed Performance Bond and Payment Bond for 100% of the Contract.
6. Certificates of Insurance and matching endorsement must meet the requirements indicated in the Specifications.
7. Acknowledgement of Addendums, Allowances, and Include Unit Prices
8. E-Verify Affidavit
9. Any bids that have qualifying notes or comments will be rejected.

**Pre-Bid Conference Agenda****April 5, 2022 at 3:00 p.m.**

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- III Bid Opening:
1. For mailed bids:
    - a. It's the contractor's responsibility to ensure the bid arrives prior to the bid opening time. If you wish to send your bid via US Mail, FedEx or UPS, please allow several days for delivery since the bid must be received (NOT postmarked) by the date and time stated in the solicitation.
    - b. Place the bid in a double envelope with "Sealed Bid Do Not Open" written on the envelope.
    - c. Sealed envelope will be held and unsealed at the bid opening time.
    - d. Project Name must be clearly marked on the outside of the sealed envelope.
  2. For delivered bids:
    - a. The bid opening location is:  
2<sup>nd</sup> Floor  
Randolph County Historic Courthouse  
145 Worth Street  
Asheboro, NC 27203
    - b. Plan to arrive min. 30 minutes in advance of the bid opening to allow time to locate the bid opening location and to find parking.
- IV Schedule:
1. No bid may be withdrawn after the scheduled closing time for the receipt of bids for a period of 60 days.
  2. Supplementary General Conditions:
    - a. Date of substantial completion: **300 consecutive calendar days** from anticipated Notice to Proceed.
  3. The intent is for the Randolph County Board of Commissioners to vote to approve at meeting on May 2, 2022
- V Liquidated Damages:
1. Supplementary General Conditions:
    - a. **\$250.00 each calendar day** in excess of the stated completion time.
- VI Examination of Bid Documents:
1. All Bidders are expected to fully examine and familiarize themselves with the Drawings, Specifications and Existing Conditions. All Bidders should read the scopes of the bid package. Any questions or clarifications should be directed to the Architect. No allowances will be made after the bids are received for any oversight due to failure to examine the documents.
- VII Substitutions:
1. Substitutions or approvals of "Equals" will only be accepted if approved by the Architect in writing at least 10 days prior to the receipt of bids.
    - a. Request for substitutions will be received until April 11, 2022.
- VIII Technical Questions:
1. Technical questions shall be submitted to Architect as soon as possible by email or phone.  
[rcarmac@smithsinnett.com](mailto:rcarmac@smithsinnett.com)  
(919) 781-8582
  2. Last day for Questions will be Monday April 11, at 5pm.  
The Last Addendum is scheduled to be issued Tuesday April 12, unless otherwise needed.

**Pre-Bid Conference Agenda****April 5, 2022 at 3:00 p.m.**

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- IX Construction Documents:
1. Construction Documents may be ordered from:  
Smith Sinnett Architecture  
4600 Lake Boone Trail, Suite 205  
Raleigh, NC 27607  
919-781-8582
  2. Electronic Copies of the Plans and Specifications are available upon request and with a completed Plan Request Form found at [www.smithsinnett.com](http://www.smithsinnett.com) under the Documents Tab.
- X Addenda:
1. Addenda will be emailed to everyone on the Architect's plan holders list that has requested access to the Construction Documents
  2. Addenda can also be downloaded from: [www.smithsinnett.com](http://www.smithsinnett.com) under the Documents Tab.
  3. An addenda will be issued to address any questions raised today.
  4. All Addendums will be issued by email. Verify that email security will allow emails from [rcarmac@smithsinnett.com](mailto:rcarmac@smithsinnett.com).
- XI Bidders List:
1. Bidders List can be downloaded from [www.smithsinnett.com](http://www.smithsinnett.com) under the Documents Tab.
- XII Project Specifics:
1. Base Bid
  2. Alternates:
    - a. Alternate 1 – Owner Preferred Manufacturers
    - b. Alternate 2 – Additional Front Façade Improvements
    - c. Alternate 3 – Storefront Replacement – Office Area
    - d. Alternate 4 – Storefront Replacement – Print Store Area
    - e. Alternate 5 – Skylights

**Pre-Bid Conference Agenda****April 5, 2022 at 3:00 p.m.**

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3. Allowances:
  - a. Allowance No. UP-1 – Undercut/Replacement in Open
    - i. Quantity: 100 cu. yds
  - b. Allowance No. UP-2 – Undercut/Replacement in Trenches
    - i. Quantity: 15 cu. yds
  - c. Allowance No. UP-3 – Utility Trench Rock Excavation/Replacement
    - i. Quantity: 10 cu. yds.
  - d. Allowance No. UP-4 – Topical Moisture Vapor Mitigation System
    - i. Quantity: 5,000 sqft.
  - e. Allowance No. UP-5 – Abrasive Blast Floor Preparation
    - i. Quantity: 5,000 sqft
  - f. Allowance No. UP-6 – Floor Leveling Compound
    - i. Quantity: 2,500 sqft
  - g. Allowance No. 7 – Roof Patching
    - i. Lump Sum: \$15,000
  - h. Allowance No. 8 – Fire Alarm System
    - i. Lump Sum: \$12,000
  - i. Allowance No. 9 – Contingency
    - i. Lump Sum: \$25,000
4. Unit Prices
  - a. Unit Price No. UP-1 – Undercut/Replacement in Open
  - b. Unit Price No. UP-2 – Undercut/Replacement in Trenches
  - c. Unit Price No. UP-3 – Utility Trench Rock Excavation/Replacement
  - d. Unit Price No. UP-4 – Topical Moisture Vapor Mitigation System
  - e. Unit Price No. UP-5 – Abrasive Blast Floor Preparation
  - f. Unit Price No. UP-6 – Floor Leveling Compound

**XIII Open Meeting for Preferred Alternates:**

1. Owner Preferred Manufacturer:
  - a. Door Hardware Locks and Latches: Manufacturer – US Locks
  - b. Metal Roof, Wall, and Soffit Panels: Manufacturer – Metal Roofing Systems, Inc.

**XIV Description of Project Scope:**

## Northgate Complex Renovation

Date: April 5, 2022

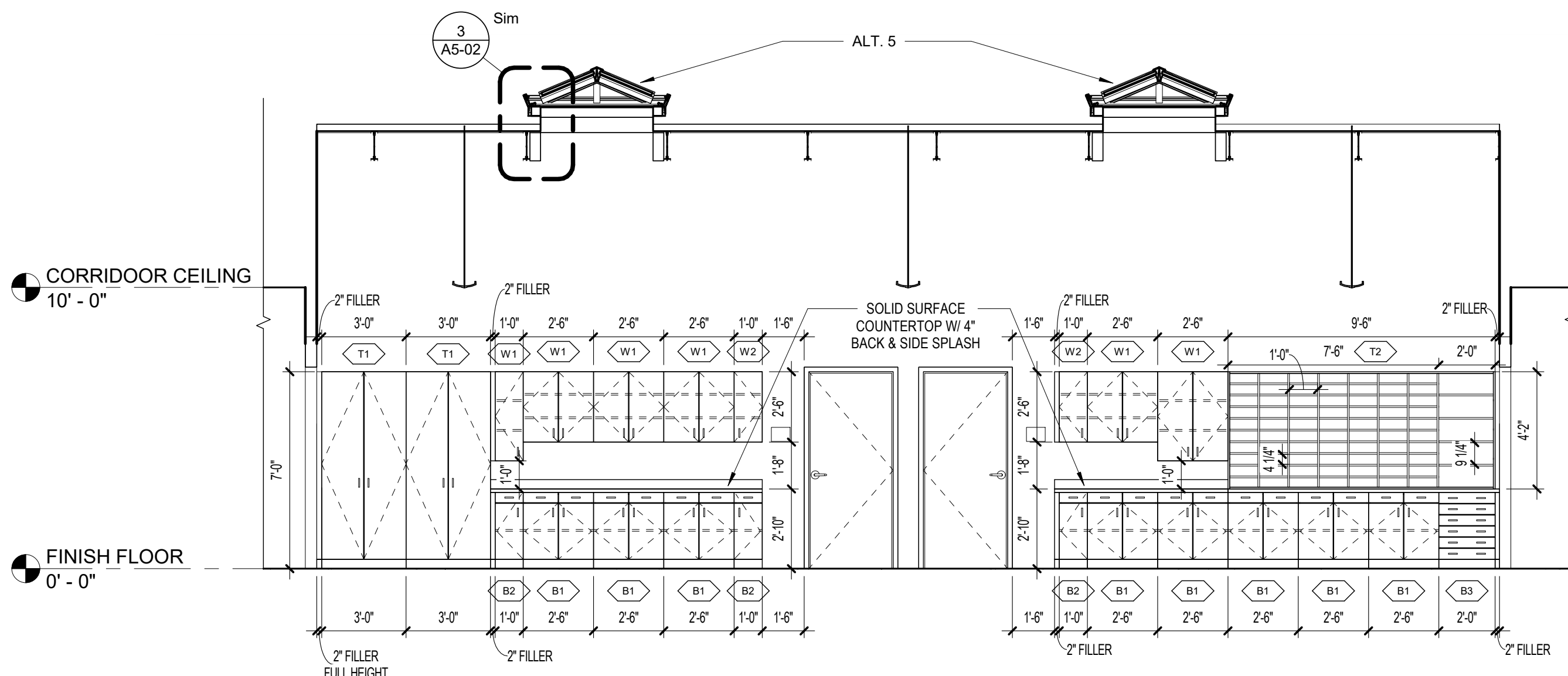
## Pre Bid Meeting

1509 N. Fayetteville Street, Asheboro, NC 27203

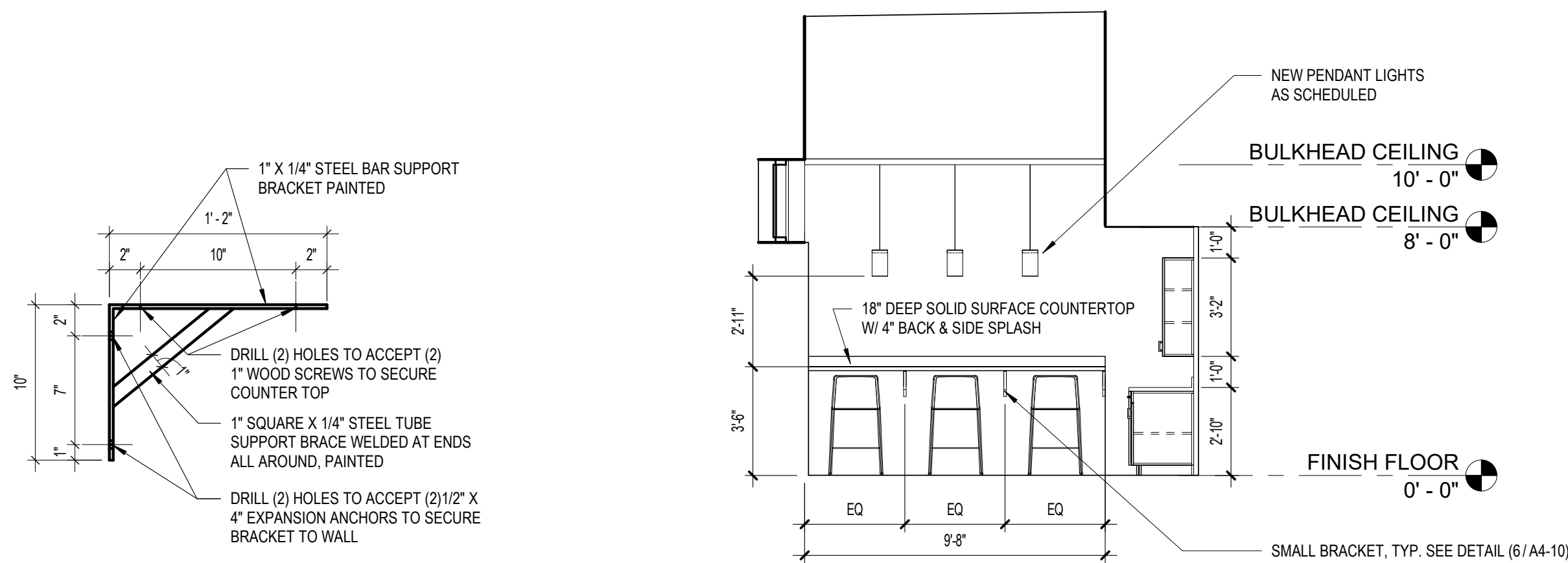
Smith Sinnott Architecture, P.A.

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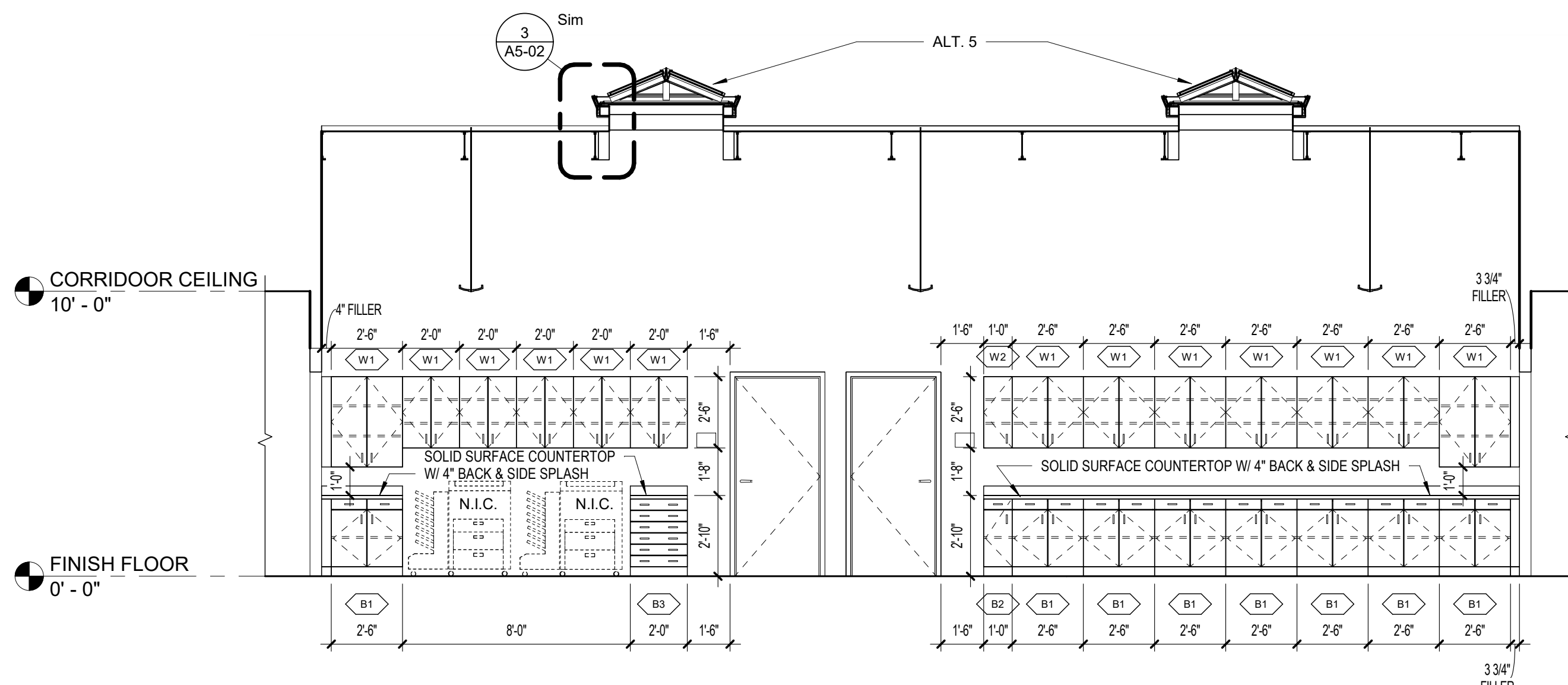


5 WORKROOM NORTH ELEVATION  
A4-10 1/4" = 1'-0"

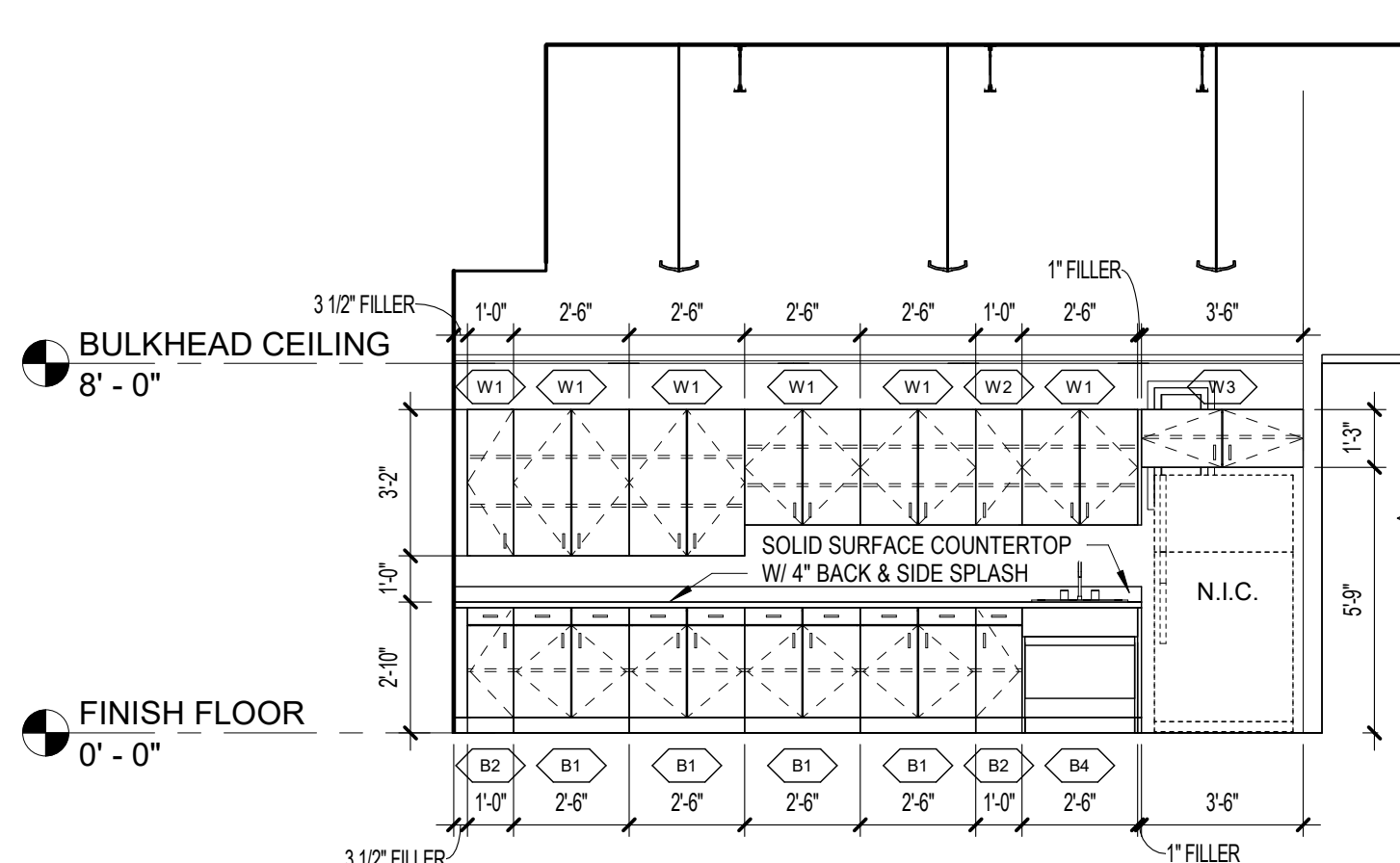


3 BREAKROOM EAST ELEVATION  
A4-10 1/4" = 1'-0"

6 SMALL BRACKET DETAIL  
A4-10 1 1/2" = 1'-0"

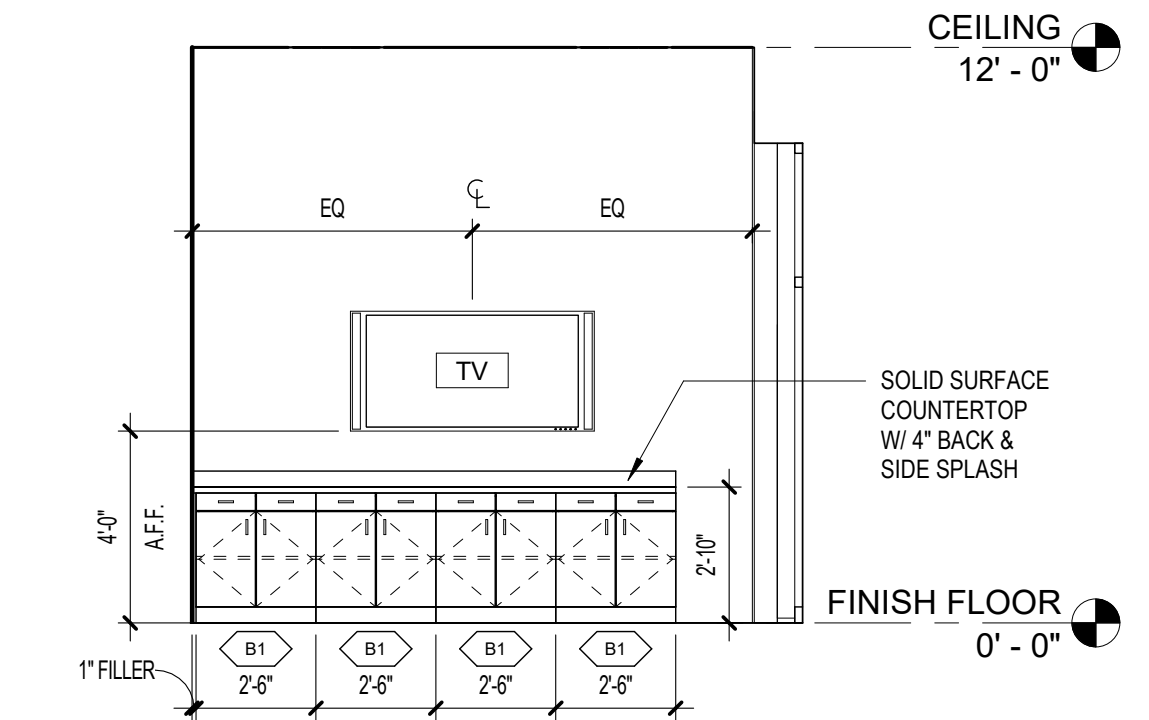


4 WORKROOM SOUTH ELEVATION  
A4-10 1/4" = 1'-0"



2 BREAKROOM SOUTH ELEVATION  
A4-10 1/4" = 1'-0"

CASEWORK NOTES AND LEGEND:	
MARK	DESCRIPTION
B1	2'-0" DEEP BASE CABINET; TWO HINGED DOORS AND TWO 6" HIGH DRAWERS AND ONE ADJUSTABLE SHELF. PROVIDE FIXED VERTICAL DIVIDER IN UNITS MORE THAN 3'-0" WIDE. HEIGHT/WIDTH VARIES.
B2	2'-0" DEEP BASE CABINET; ONE HINGED DOOR AND ONE 6" HIGH DRAWER AND ONE ADJUSTABLE SHELF.
B3	2'-0" DEEP BASE CABINET; SIX 4" HIGH DRAWERS.
B4	ADA SINK CABINET
W1	1'-0" DEEP WALL CABINET; TWO HINGED DOORS & TWO ADJUSTABLE SHELVES. PROVIDE FIXED VERTICAL DIVIDER IN UNITS MORE THAN 3'-0" WIDE. HEIGHT/WIDTH VARIES. FOR HEIGHTS OVER 4'-0" INCREASE TO THREE ADJUSTABLE SHELVES.
W2	1'-0" DEEP WALL CABINET; ONE HINGED DOOR & TWO ADJUSTABLE SHELVES.
W3	1'-0" DEEP WALL CABINET; TWO HINGED DOORS & ONE ADJUSTABLE SHELF. PROVIDE FIXED VERTICAL DIVIDER IN UNITS MORE THAN 3'-0" WIDE. HEIGHT/WIDTH VARIES.
T1	2'-0" DEEP CABINET; TWO HINGED DOORS AND 5 ADJUSTABLE SHELVES.
T2	1'-0" DEEP, 4'-2" TALL MAIL SHELVING. SEVENTY FIXED COMPARTMENTS, AND FOUR FIXED SHELVES. REFER TO ELEVATION (5) A4-10)
◀	FINISHED END
<div>1. ALL CASEWORK SHOWN IS MANUFACTURED PLASTIC LAMINATE CASEWORK, UPPER CABINETS &amp; BASE CABINETS TO BE PL1, COUNTERTOPS TO BE SS1, TYPICAL UNLESS NOTED OTHERWISE.</div> <div>2. ALL COUNTERTOPS SHALL HAVE 4" BACKSPLASH AND 4" SIDE SPLASH WHERE APPLICABLE.</div>	



1 CONFERENCE RM EAST ELEVATION  
A4-10 1/4" = 1'-0"

smith  
sinnett  
ARCHITECTURE

T 919 781 8332  
F 919 781 3979  
4600 Lake Boone Trail  
Suite 202  
Raleigh, NC 27607  
info@smithsinnett.com

SMITH SINNETT ARCHITECTURE P.A.  
CERT. NO. 50172  
EXPIRATION DATE 12/31/2024  
PAID TO DATE 12/31/2024

SMITH SINNETT ARCHITECTURE P.A.  
CERT. NO. 50172  
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PAID TO DATE 12/31/2024

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Smith Sinnett Architecture, P.A. 2022

THIS DRAWING IS FORMATTED TO BE PRINTED ON A 24" X 36" SHEET

NORTHGATE COMPLEX  
DEPARTMENT OF SOCIAL SERVICES RENOVATION  
1509 N. Fayetteville Street, Asheboro, NC

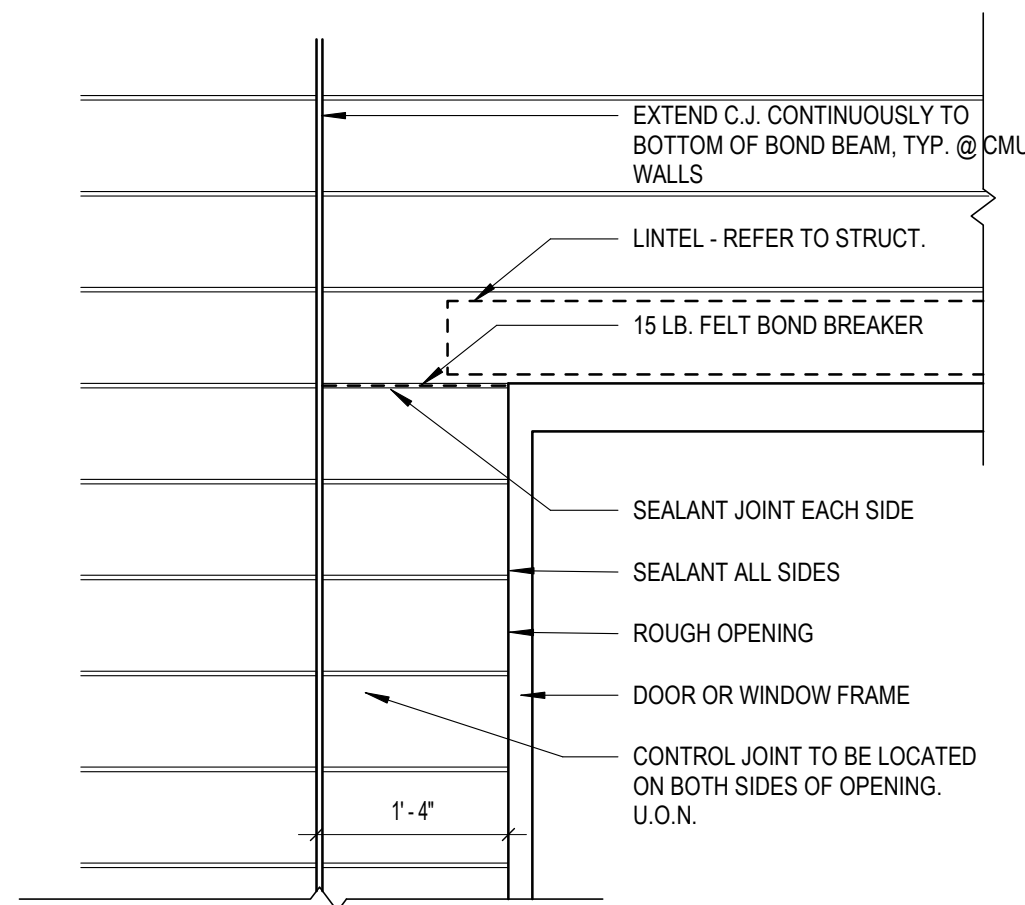
ID	DATE	ADDENDUM 1	DESCRIPTION
1	4/7/2022	ADDENDUM 1	

DRAWN BY: LW  
CHECKED BY: JBS

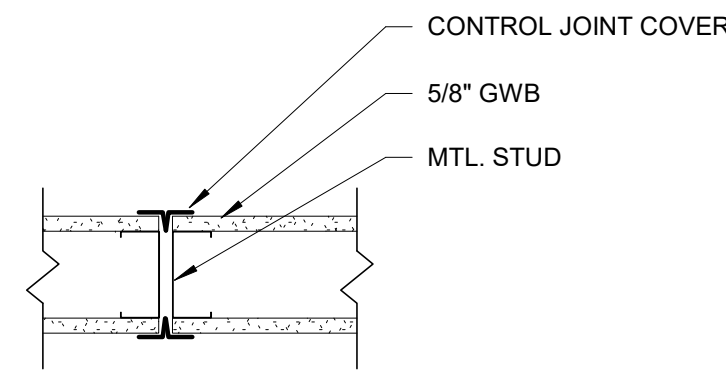
CASEWORK  
ELEVATIONS AND  
DETAILS

2021034 3/11/2022

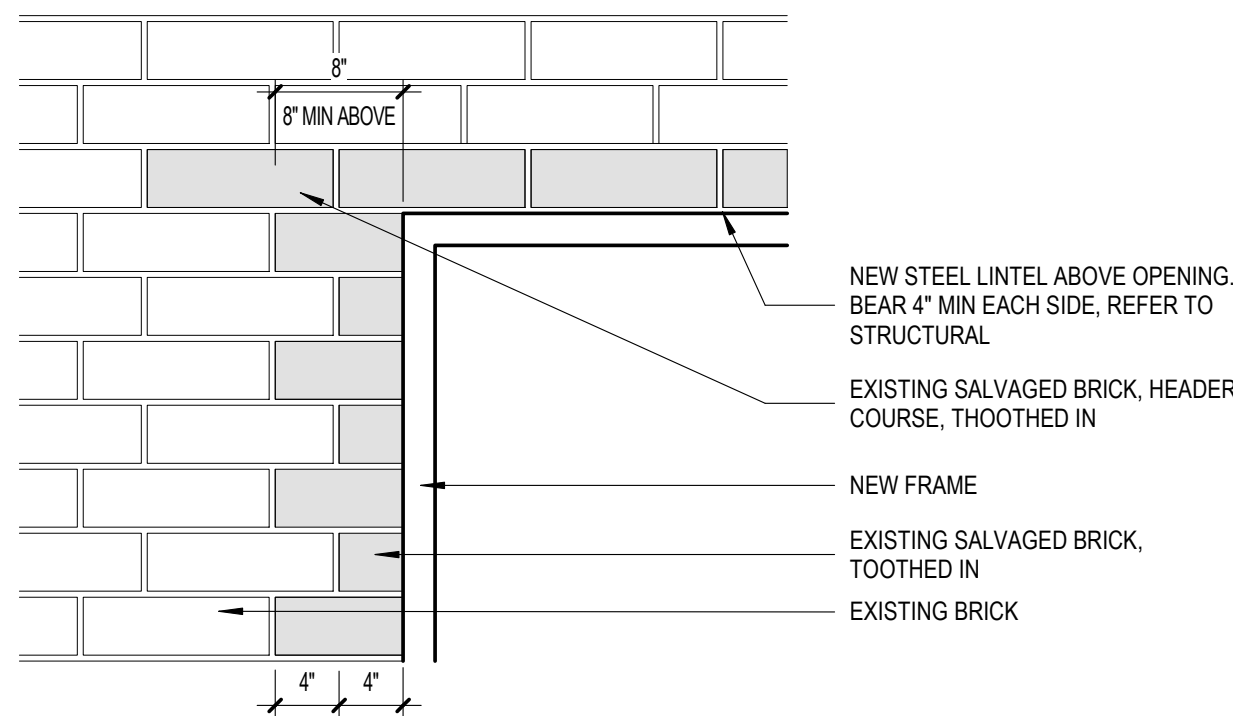
A4-10



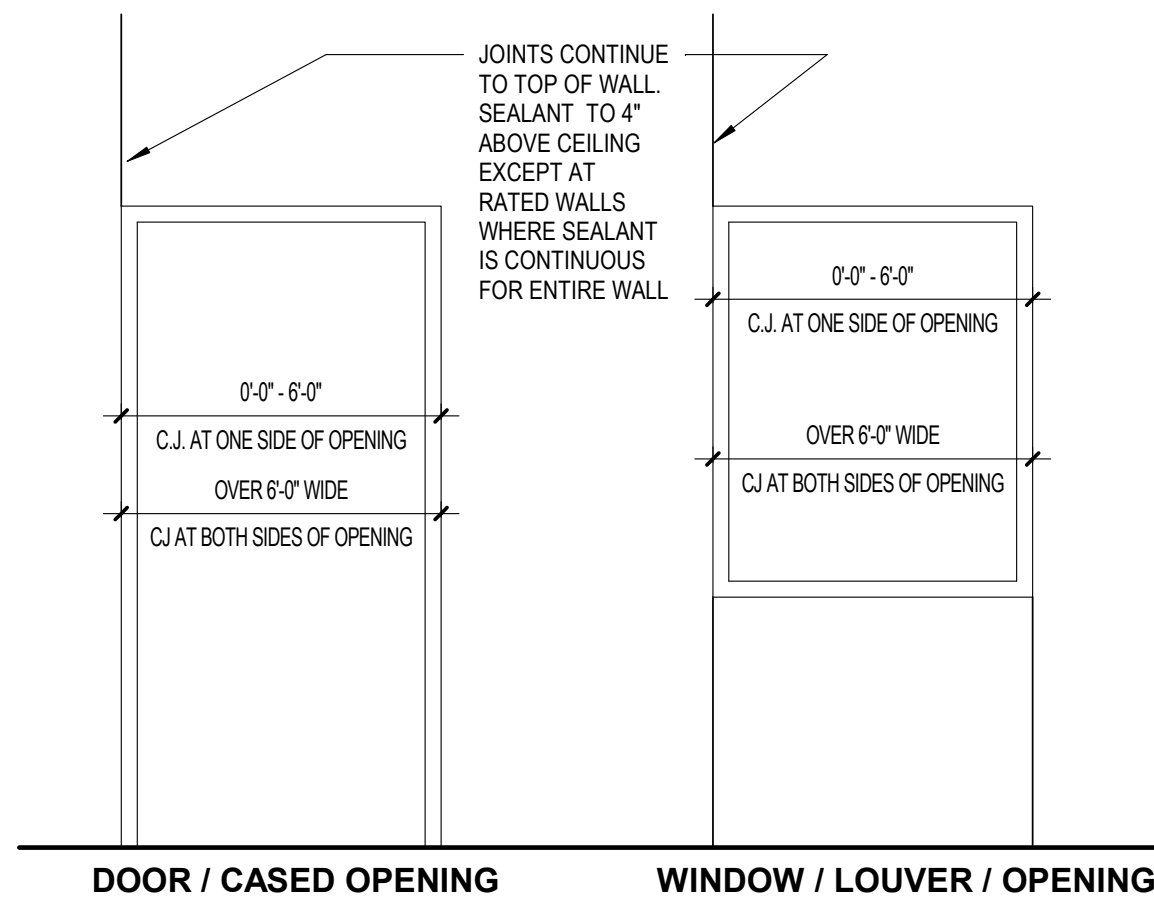
**11**  
**A5-01** **CONTROL JOINT AT ALL MAS. OPENINGS**  
**3/4" = 1'-0"**



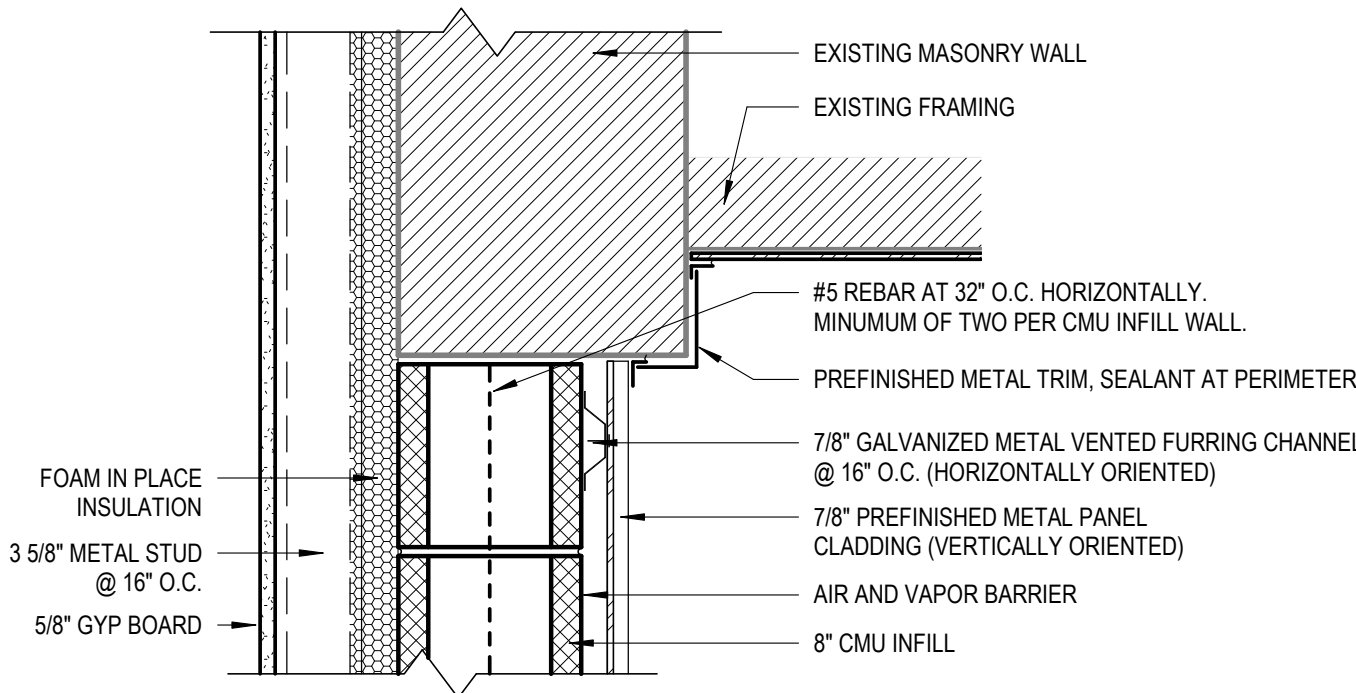
**10**  
**A5-01** **TYP. GYP. WALL CONTROL JOINT - PLAN**  
**1 1/2" = 1'-0"**



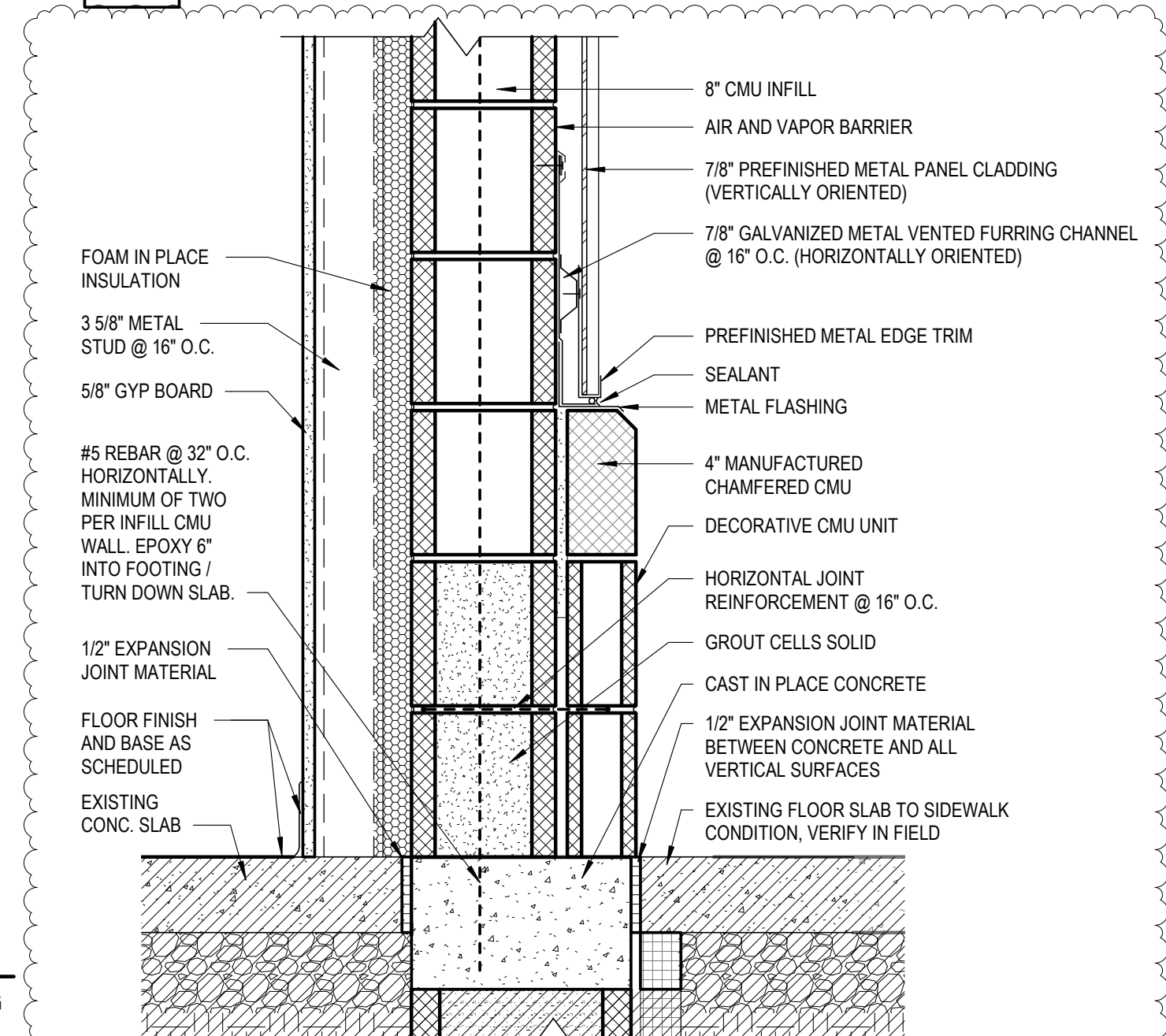
**7**  
**A5-01** **NEW OPENING IN MASONRY**  
**1" = 1'-0"**



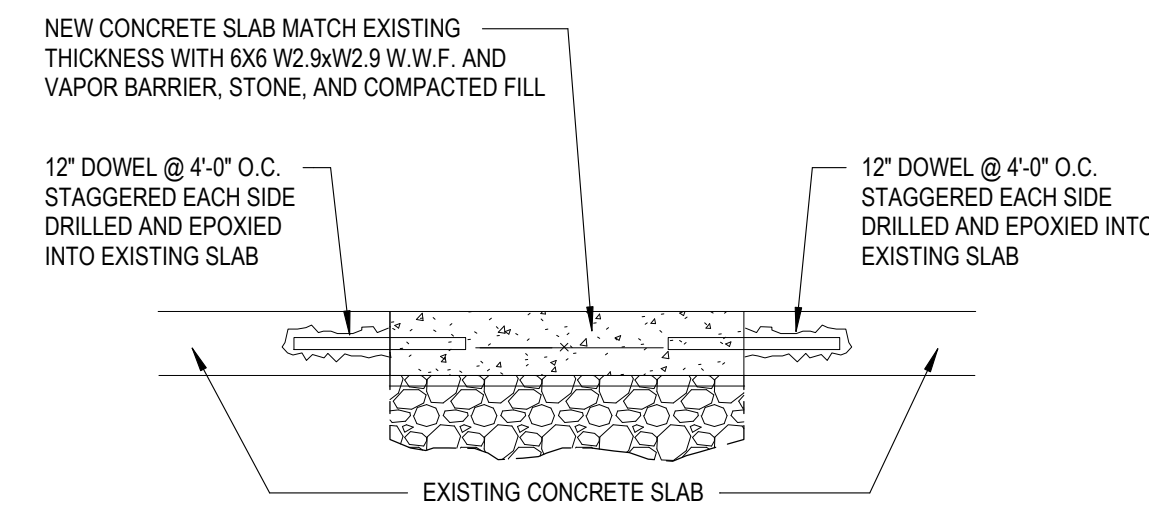
**6**  
**A5-01** **GYPSUM WALL CONTROL JOINTS**  
**1/2" = 1'-0"**



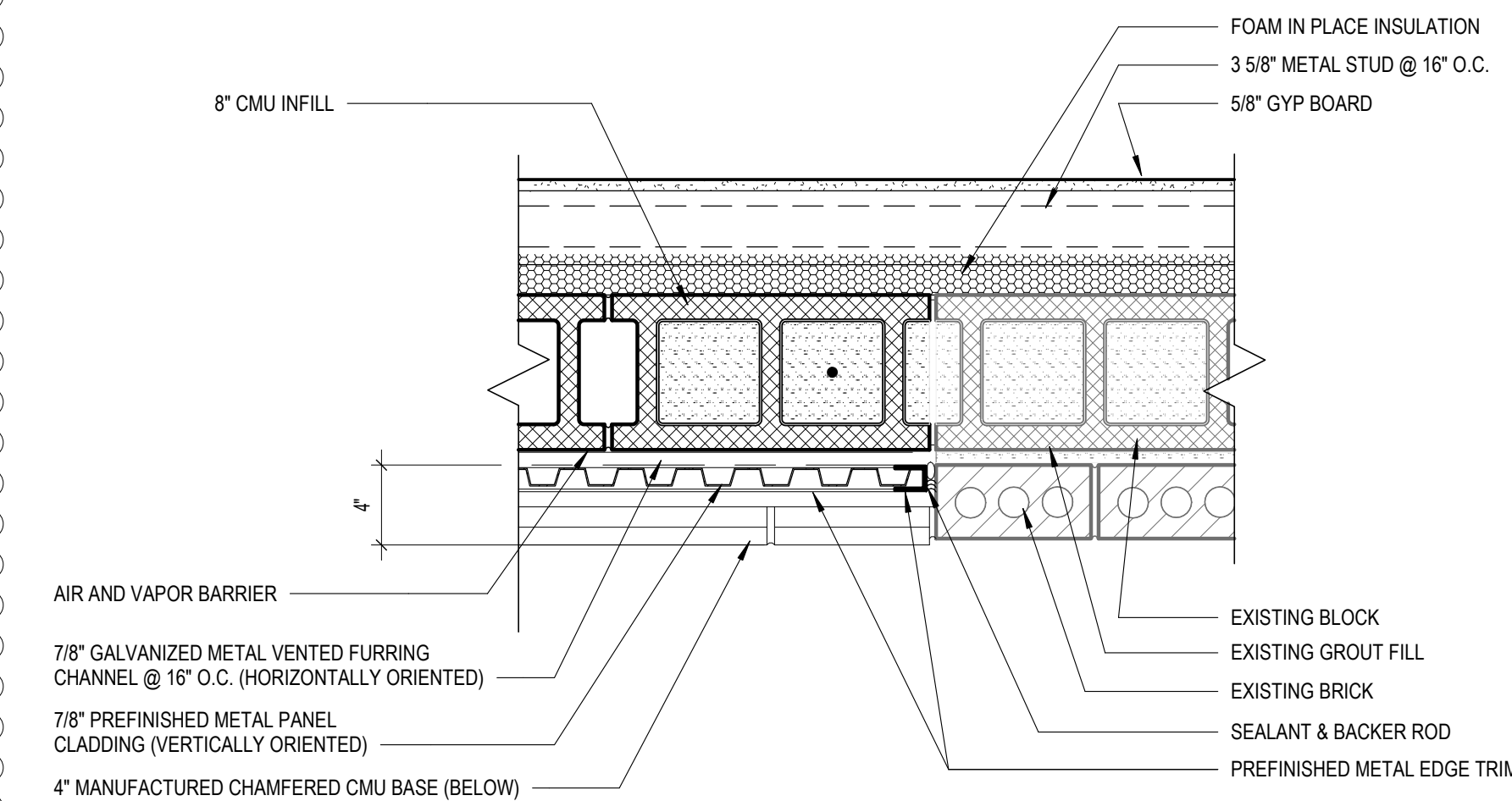
**9**  
**A5-01** **CMU / METAL PANEL INFILL - SECTION DETAIL**  
**1 1/2" = 1'-0"**



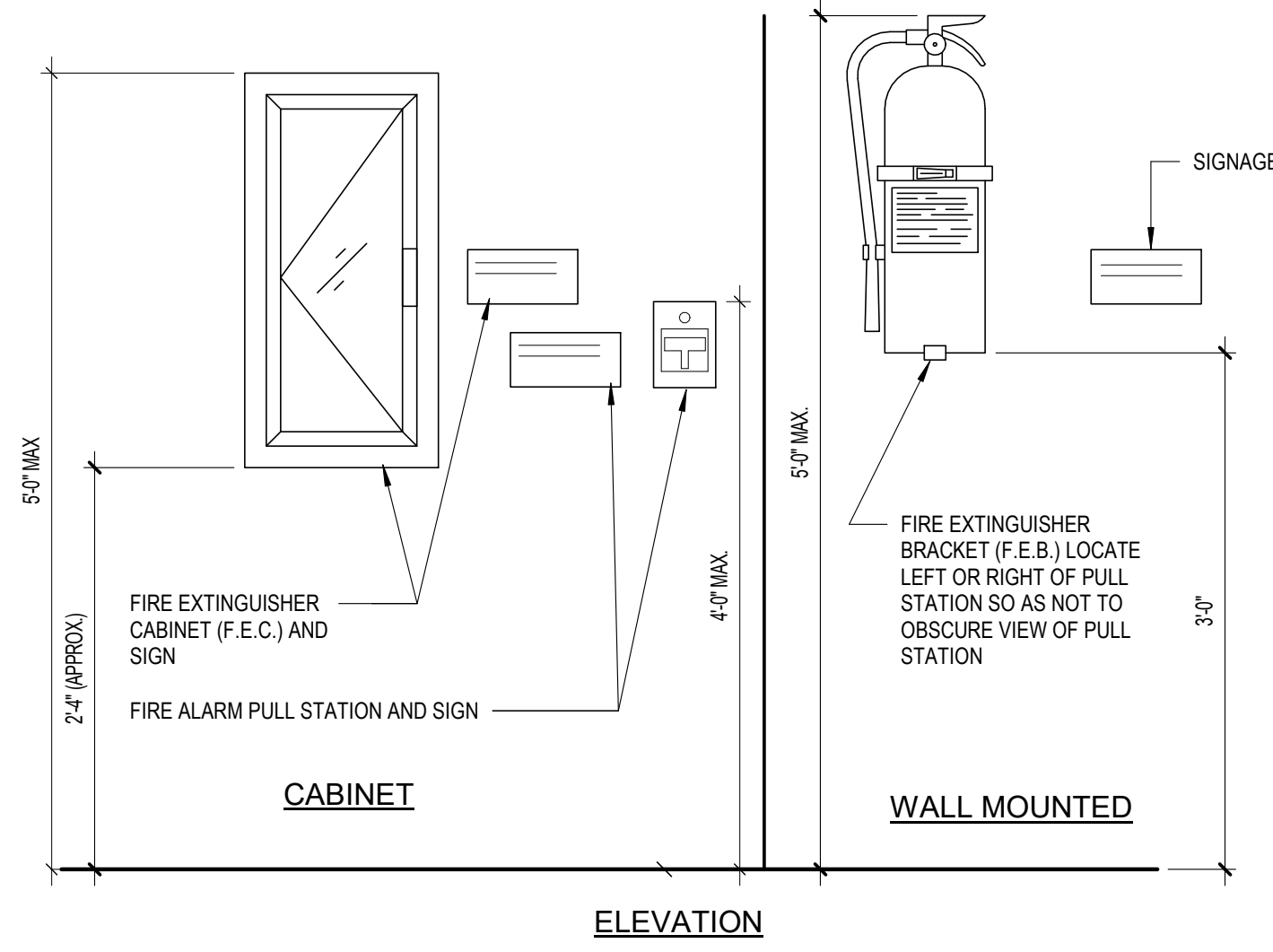
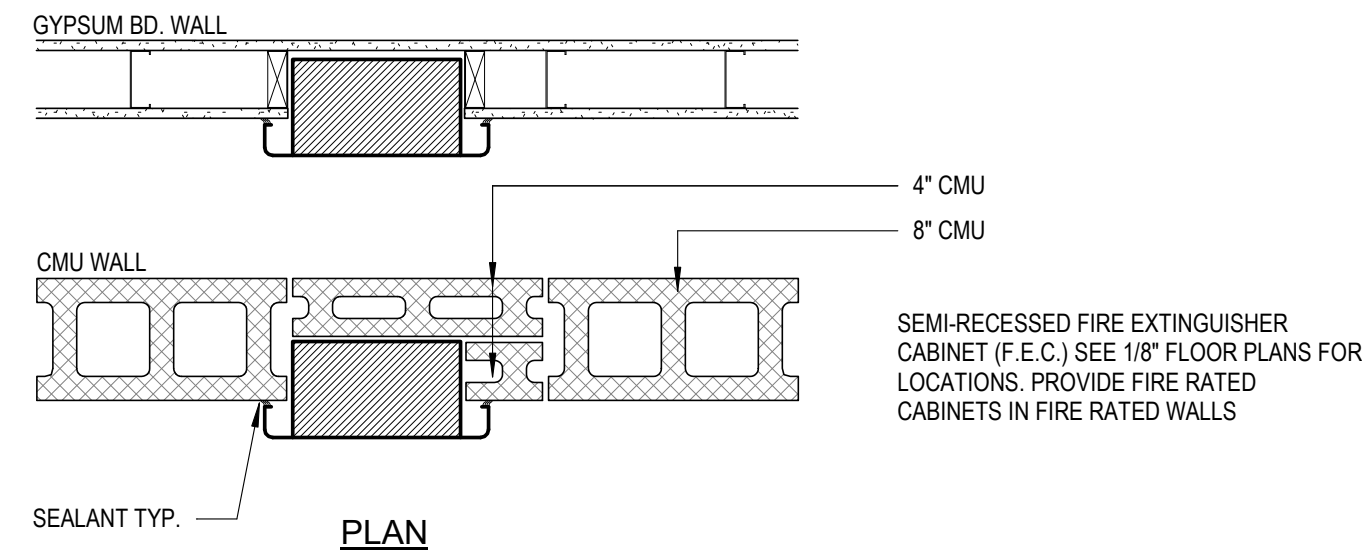
**5**  
**A5-01** **METAL PANEL SILL - SECTION DETAIL**  
**1 1/2" = 1'-0"**



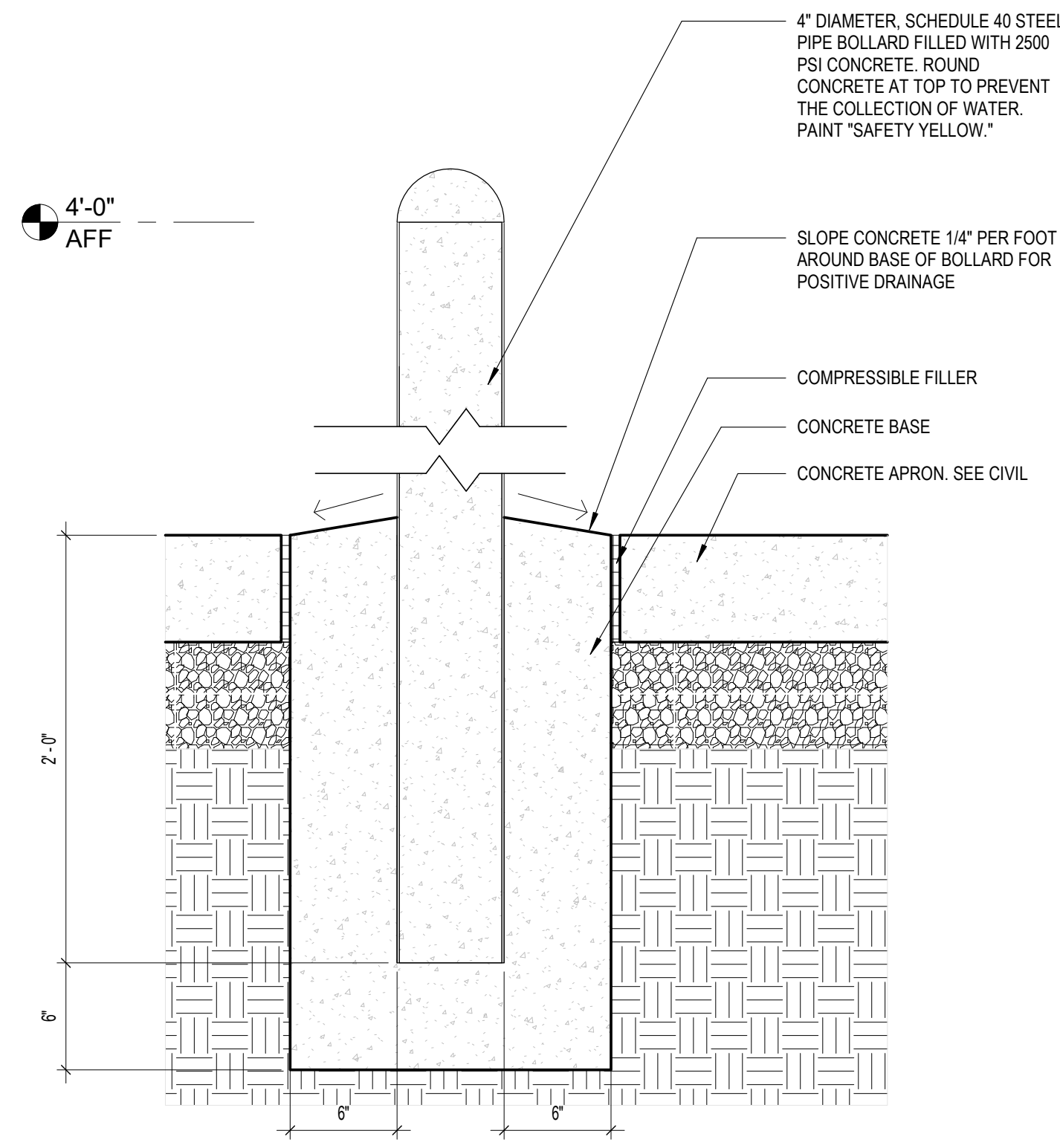
**8**  
**A5-01** **SLAB TRENCH INFILL TYP.**  
**1" = 1'-0"**



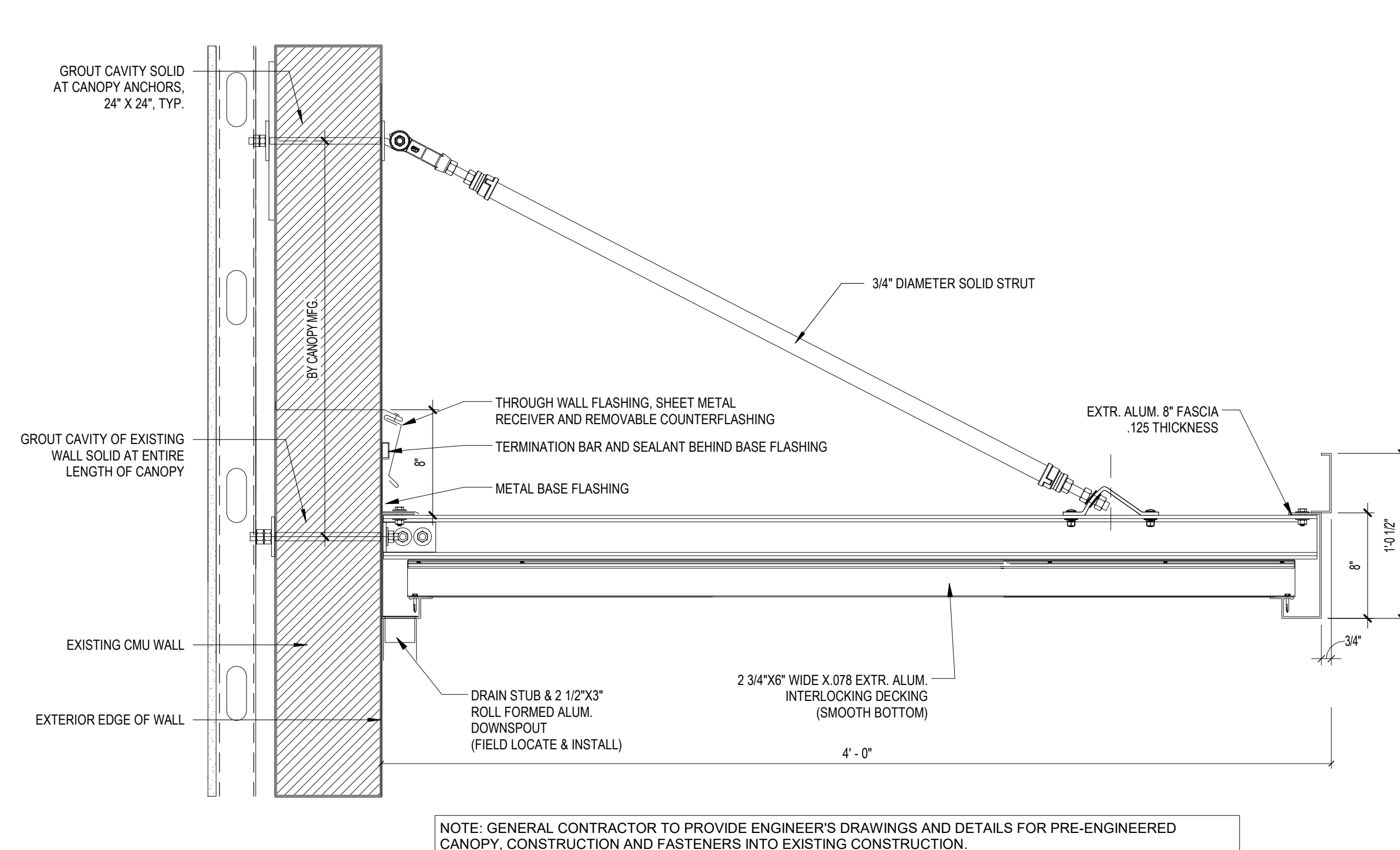
**4**  
**A5-01** **PLAN DETAIL**  
**1 1/2" = 1'-0"**



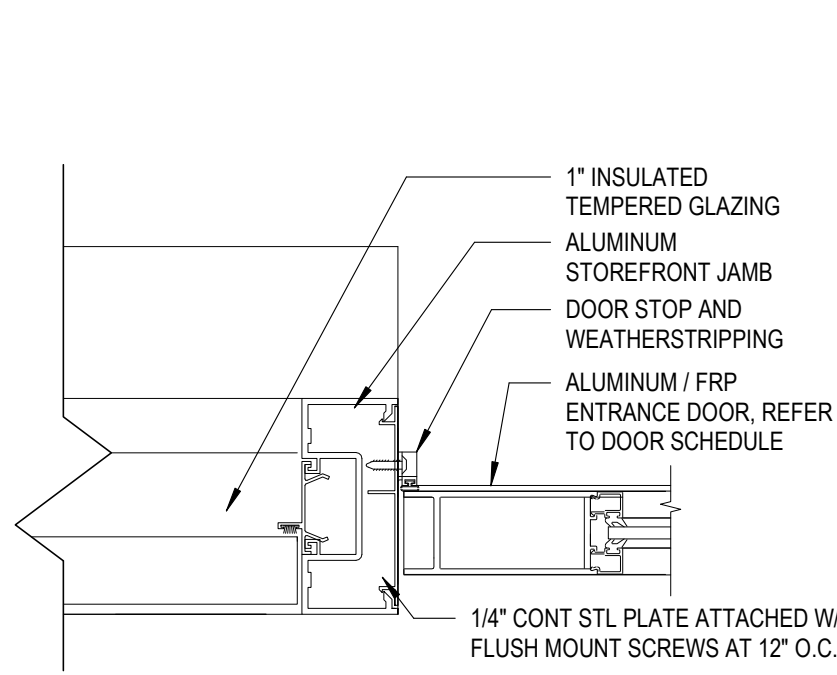
**3**  
**A5-01** **SEMI-RECESSED FIRE EXTINGUISHER CABINET**  
**1" = 1'-0"**



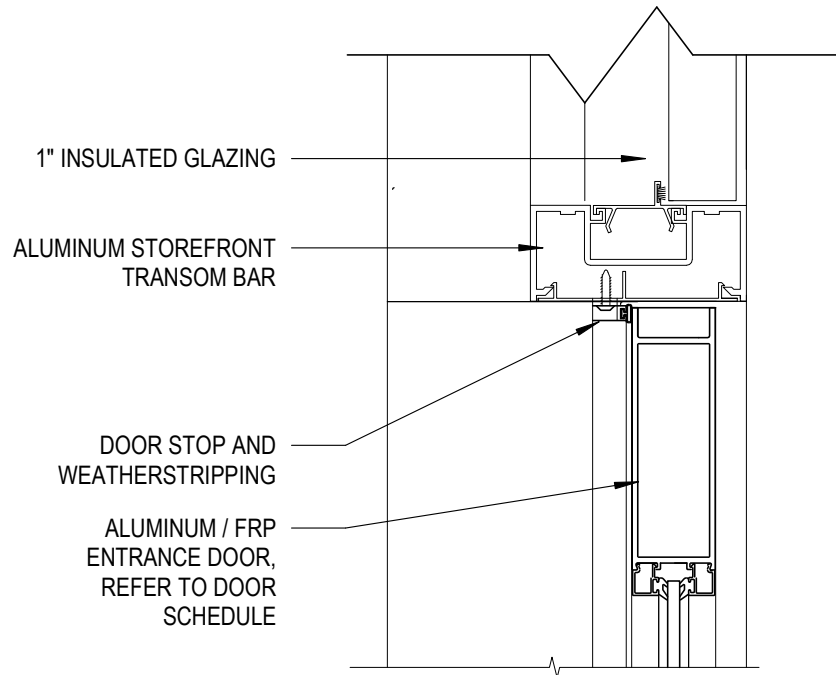
**2**  
**A5-01** **BOLLARD DETAIL**  
**1 1/2" = 1'-0"**



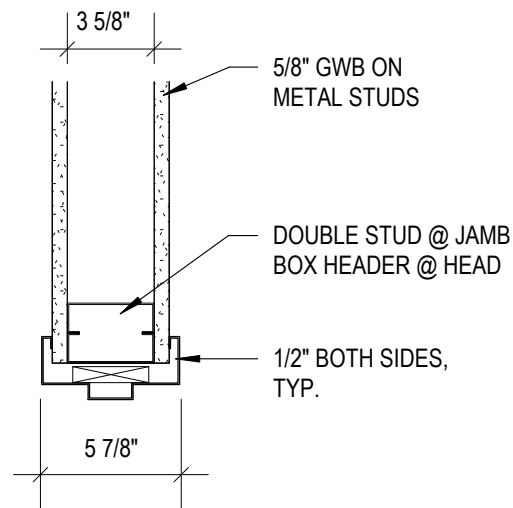
**1**  
**A5-01** **SUSPENDED CANOPY**  
**1 1/2" = 1'-0"**



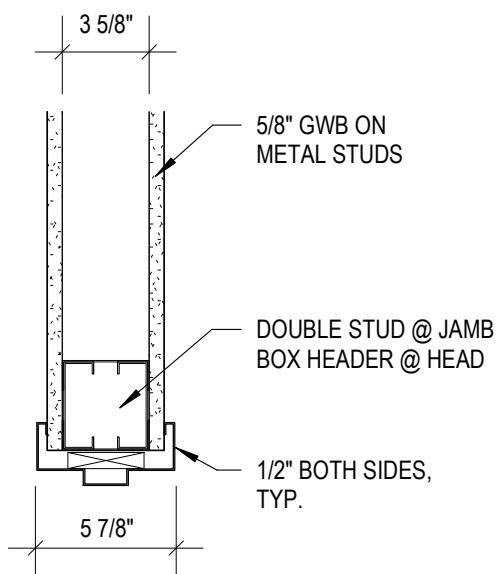
11 JAMB DETAIL - J3  
A6-01 3" = 1'-0"



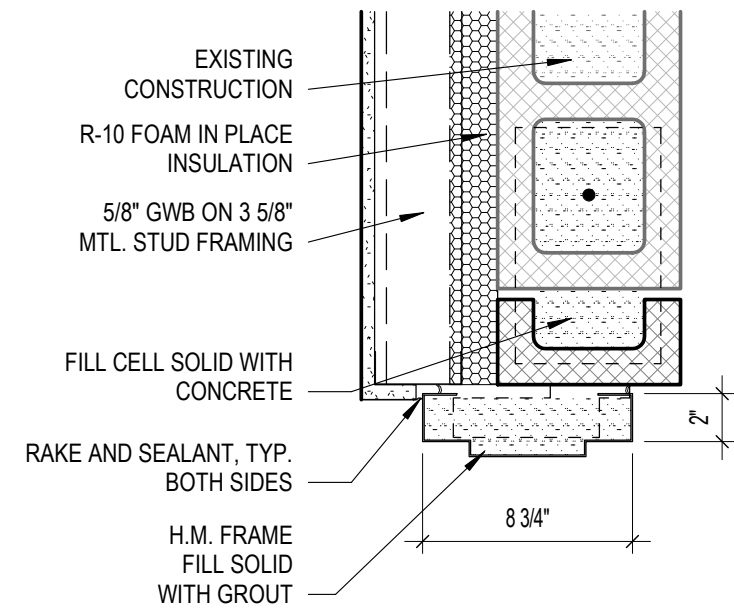
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A6-01 3" = 1'-0"



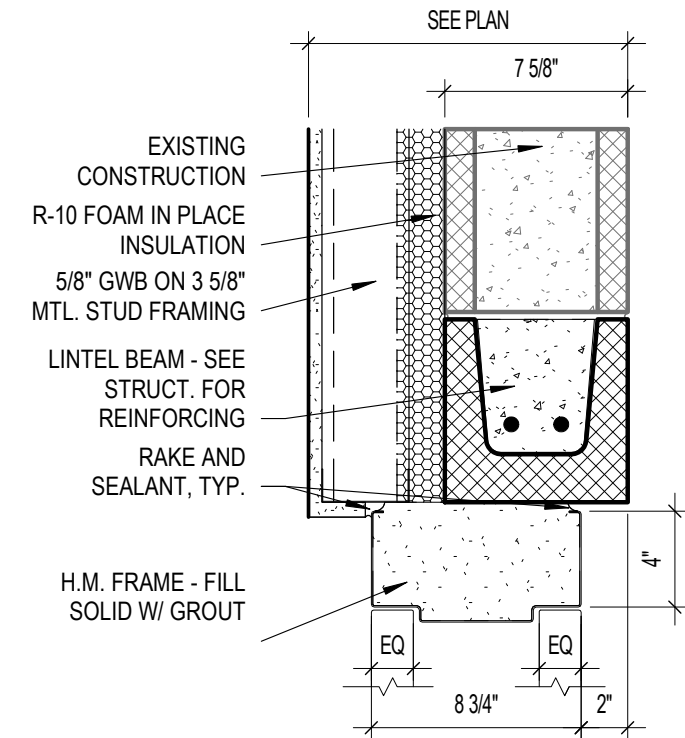
9 JAMB DETAIL - J2  
A6-01 1 1/2" = 1'-0"



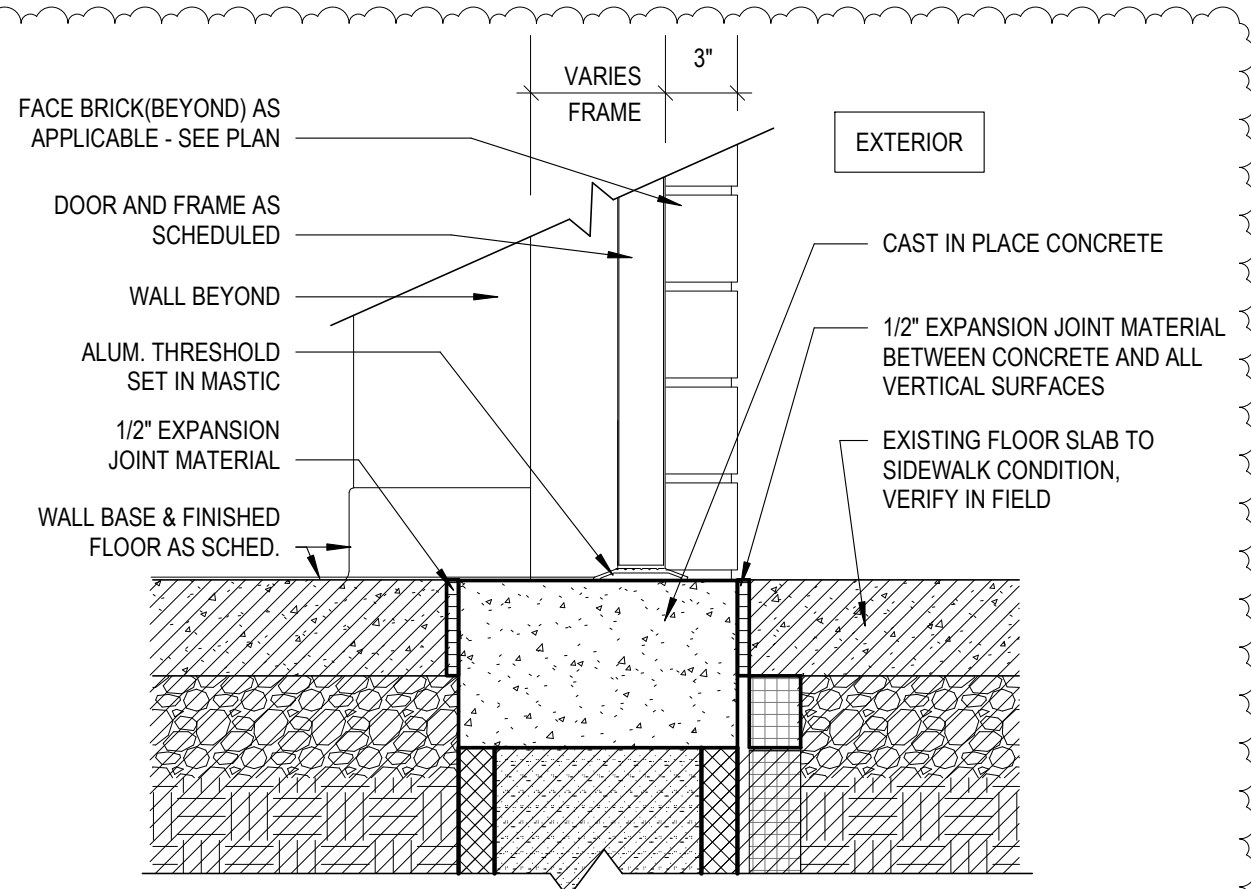
8 HEAD DETAIL - H2  
A6-01 1 1/2" = 1'-0"



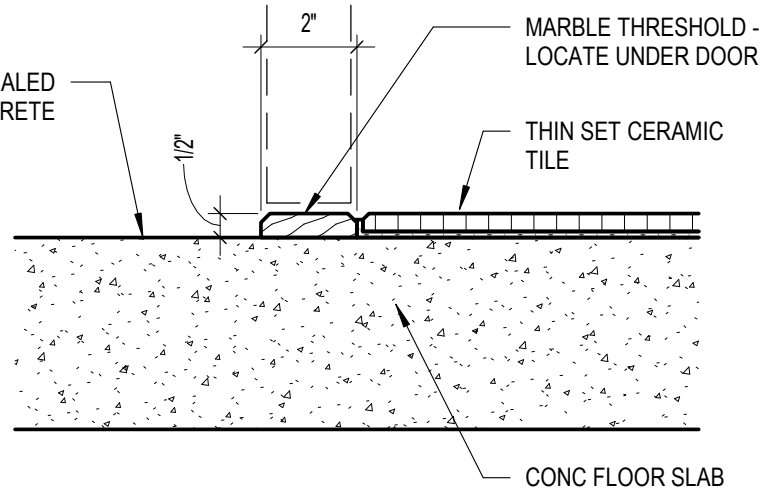
7 JAMB DETAIL - J1  
A6-01 1 1/2" = 1'-0"



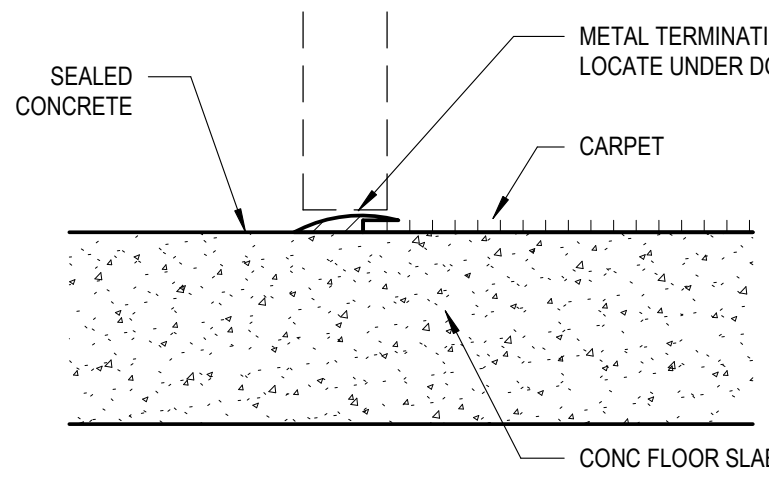
6 HEAD DETAIL - H1  
A6-01 1 1/2" = 1'-0"



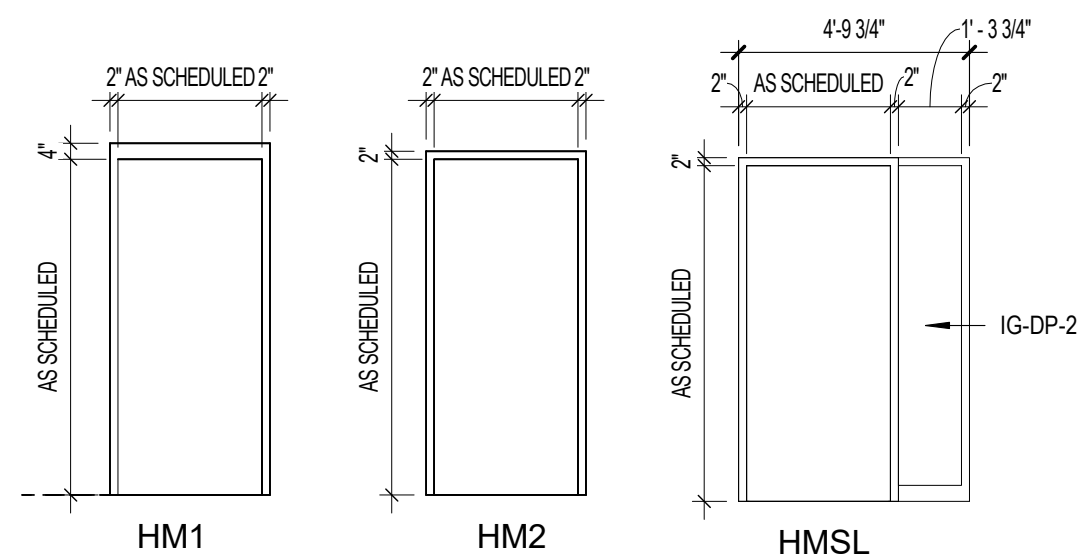
5 TYP. EXTERIOR DOOR THRESHOLD - T3  
A6-01 1 1/2" = 1'-0"



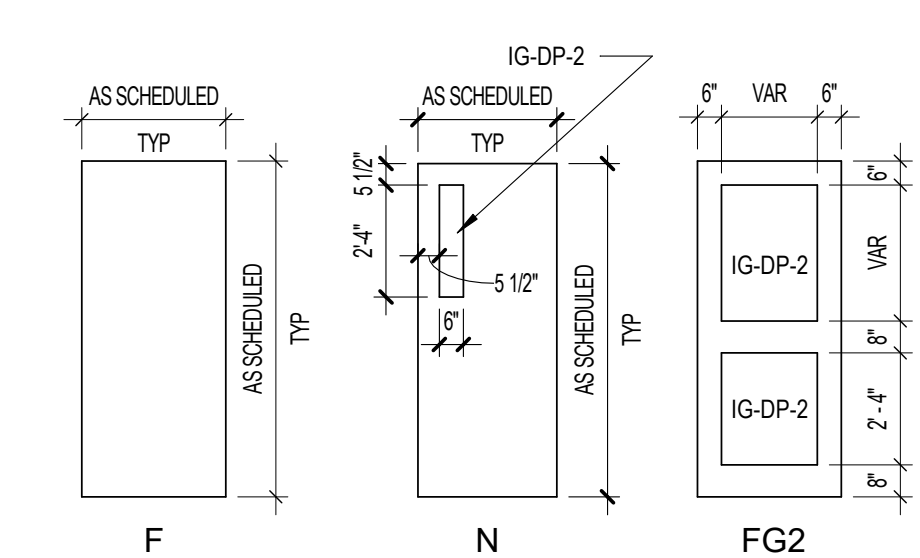
4 THRESHOLD DETAIL - T2  
A6-01 3" = 1'-0"



3 THRESHOLD DETAIL - T1  
A6-01 3" = 1'-0"



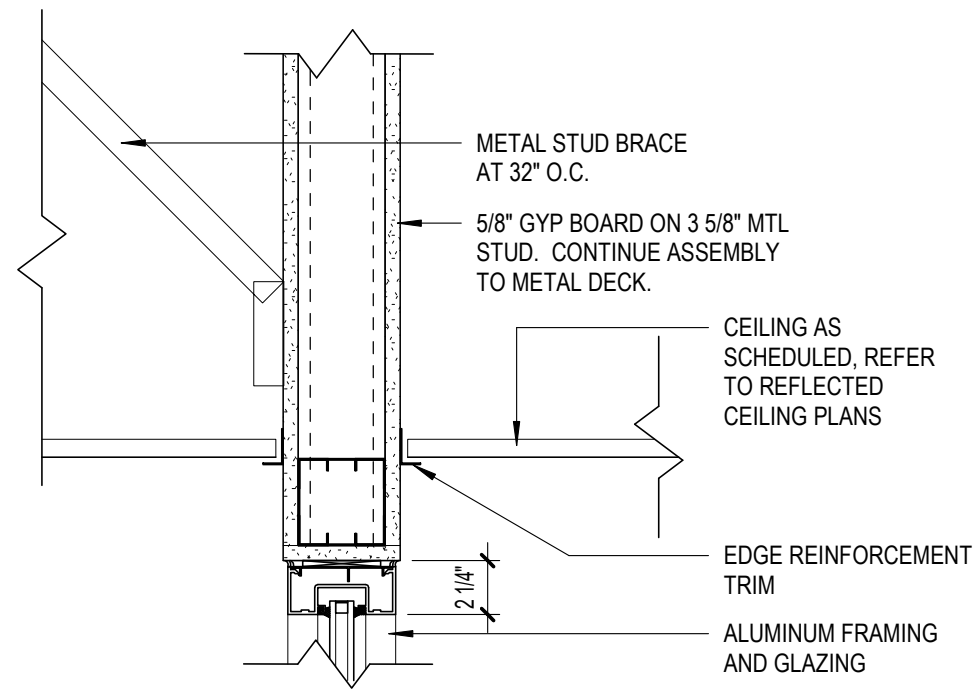
2 HOLLOW METAL FRAME LEGEND  
A6-01 1/4" = 1'-0"



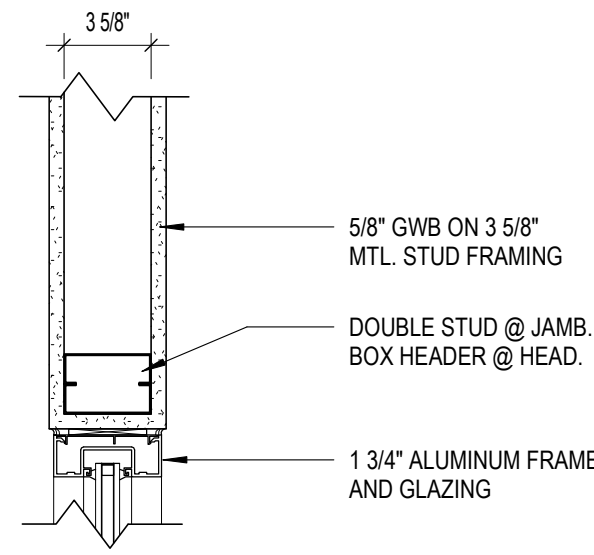
1 DOOR LEGEND  
A6-01 1/4" = 1'-0"

LEGEND	
W_	ALUMINUM FRAME DESIGNATION
S_	ALUMINUM STOREFRONT
N_	INTERIOR STOREFRONT
GLAZING	
IG:	INSULATED GLASS
DP:	DOUBLE PANE
SG:	SAFETY GLASS
RSG:	RATED SAFETY GLASS
IG - DP - 1:	CLEAR
IG - DP - 2:	CLEAR TEMPERED
IG - DP - 3:	TINTED
IG - DP - 4:	TINTED TEMPERED
IG - DP - 5:	TINTED LAMINATED
IG - DP - 6:	SPANDREL
SG-CT:	CLEAR, TEMPERED
SG-F:	FROSTED, TEMPERED

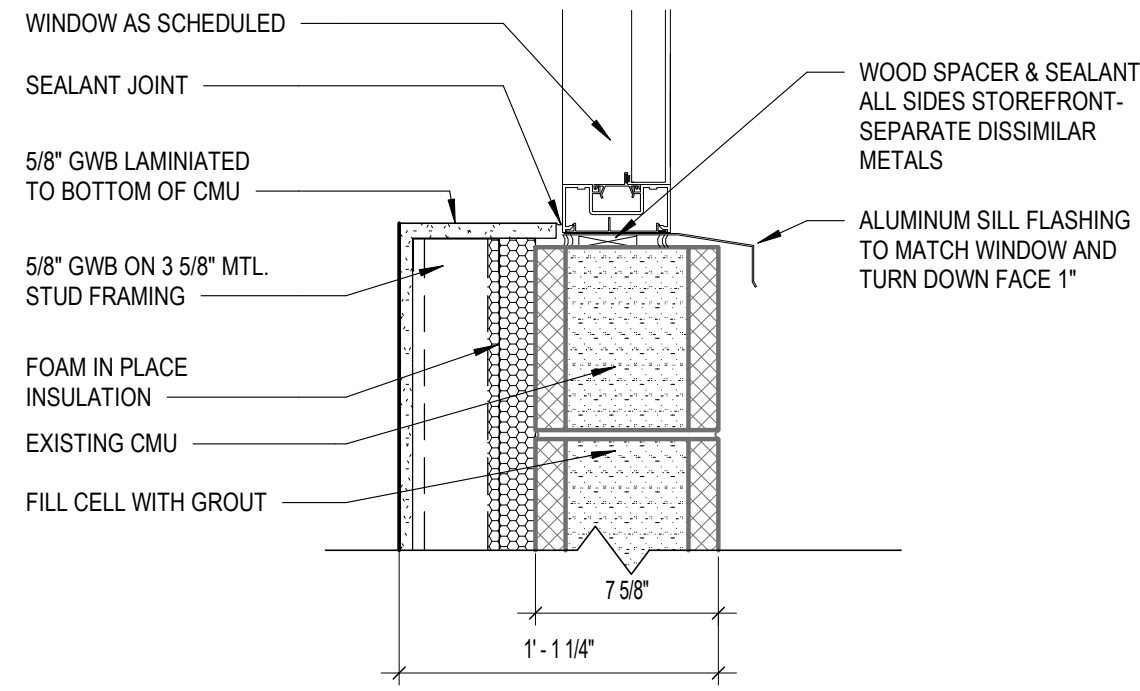
DOOR SCHEDULE														
DOOR					FRAME									
MARK	DOOR SIZE			THK	MAT	TYPE	LVS	MAT	TYPE	DETAILS			HARDWARE SET	FIRE RATING
	WIDTH	HEIGHT	HEIGHT							HEAD	JAMB	THRESH		
700	3'-0"	7'-0"	7'-0"	1 3/4"	ALUM	FG2	1	ALUM	ELEV. SF1	H3	J1/J3	T3	1	--
700A	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	F	1	HM	HMSL	H2	J2/J3	--	2	--
701	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--
702	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--
703	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--
704	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--
705	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--
707	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--
708	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--
709	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--
710	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	F	1	HM	HM2	H2	J2	--	5	--
711	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--
712	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--
713	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--
714	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--
715	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--
716	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--
717	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--
718	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--
719	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--
720	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	F	1	HM	HM2	H2	J2	T2	6	--
721	3'-0"	7'-0"	7'-0"	1 3/4"	HM	F	1	HM	HM1	H1	J1	T3	7	--
722	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	F	1	HM	HM2	H2	J2	--	8	--
723	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--
724	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--
725	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--
726	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	F	1	HM	HM2	H2	J2	T2	6	--
727	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	F	1	HM	HM2	H2	J2	--	8	--
728	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--
729	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	F	1	HM	HM2	H2	J2	T2	6	--
730	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--
731	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--
732	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--
733	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--
734	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--
735	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--
736	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--
737	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--
738	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--
739	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--
740	3'-0"	7'-0"	7'-0"	1 3/4"	ALUM	FG2	1	ALLUM	ELEV. N1	H3	J3	T1	3	--
741	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--
742	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--
743	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--
744	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--
745	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--
746	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--
747	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--
748	3'-0"	7'-0"	7'-0"	1 3/4"	SOWD	N	1	HM	HM2	H2	J2	T1	4	--



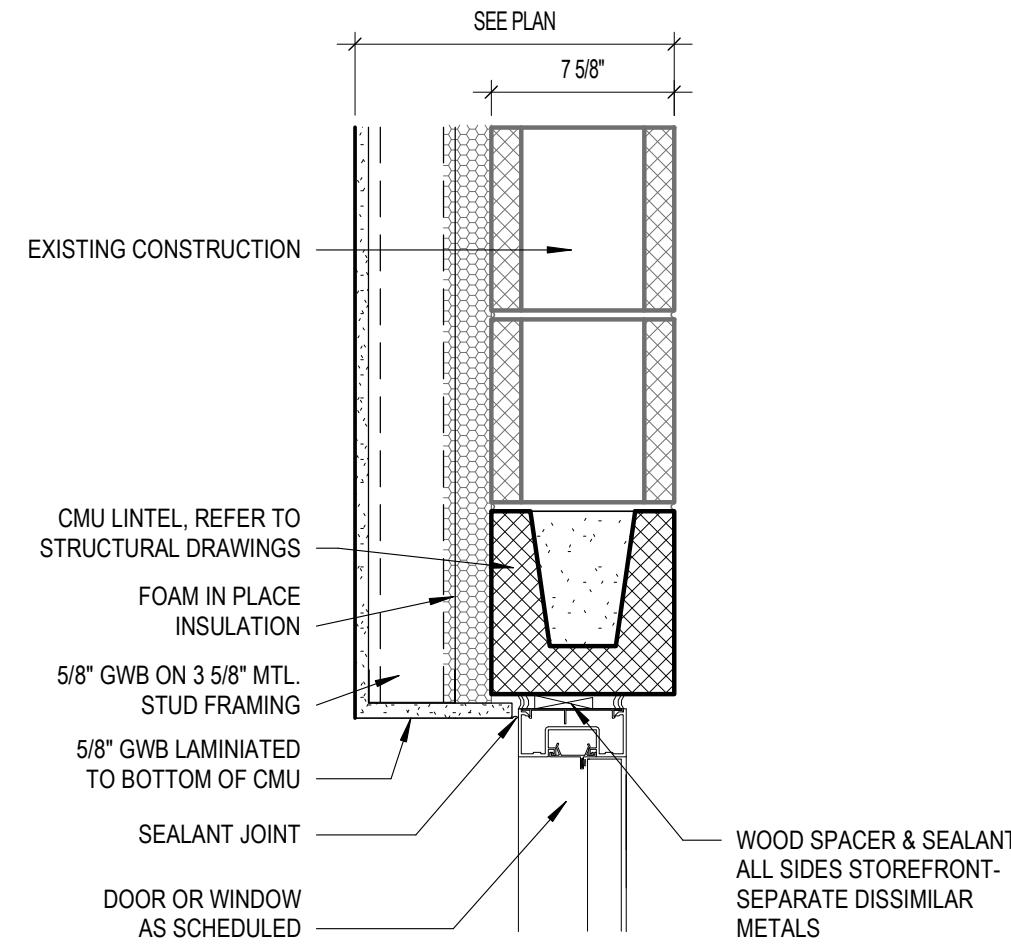
**11**  
**A6-02** **INT STOREFRONT HEAD DETAIL**  
1 1/2" = 1'-0"



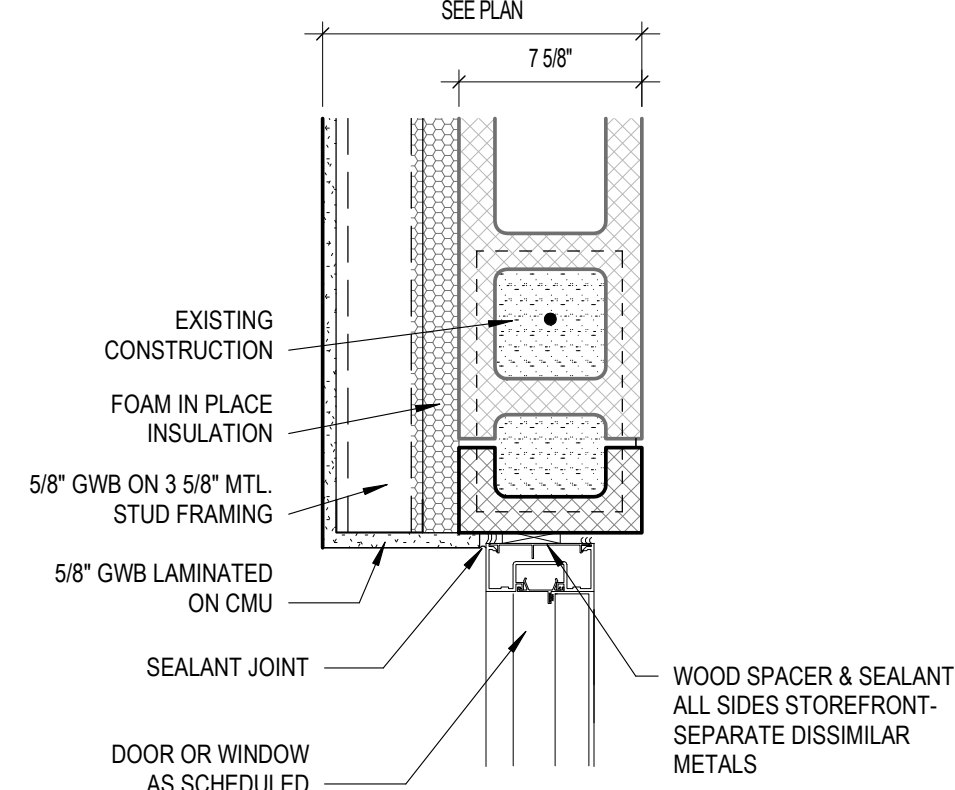
**10**  
**A6-02** **INT STOREFRONT JAMB DETAIL**  
1 1/2" = 1'-0"



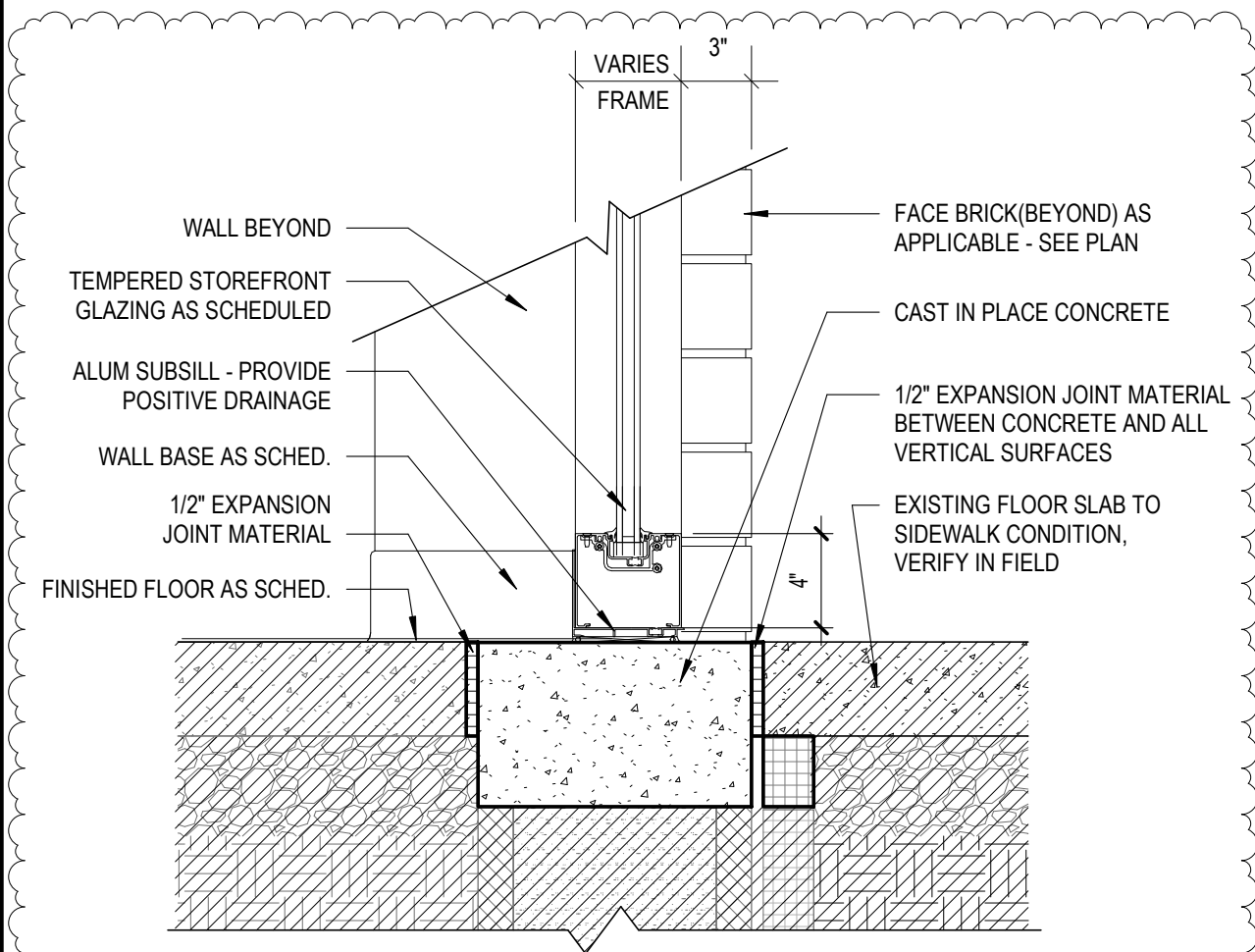
**9**  
**A6-02** **S.F. SILL - CMU**  
1 1/2" = 1'-0"



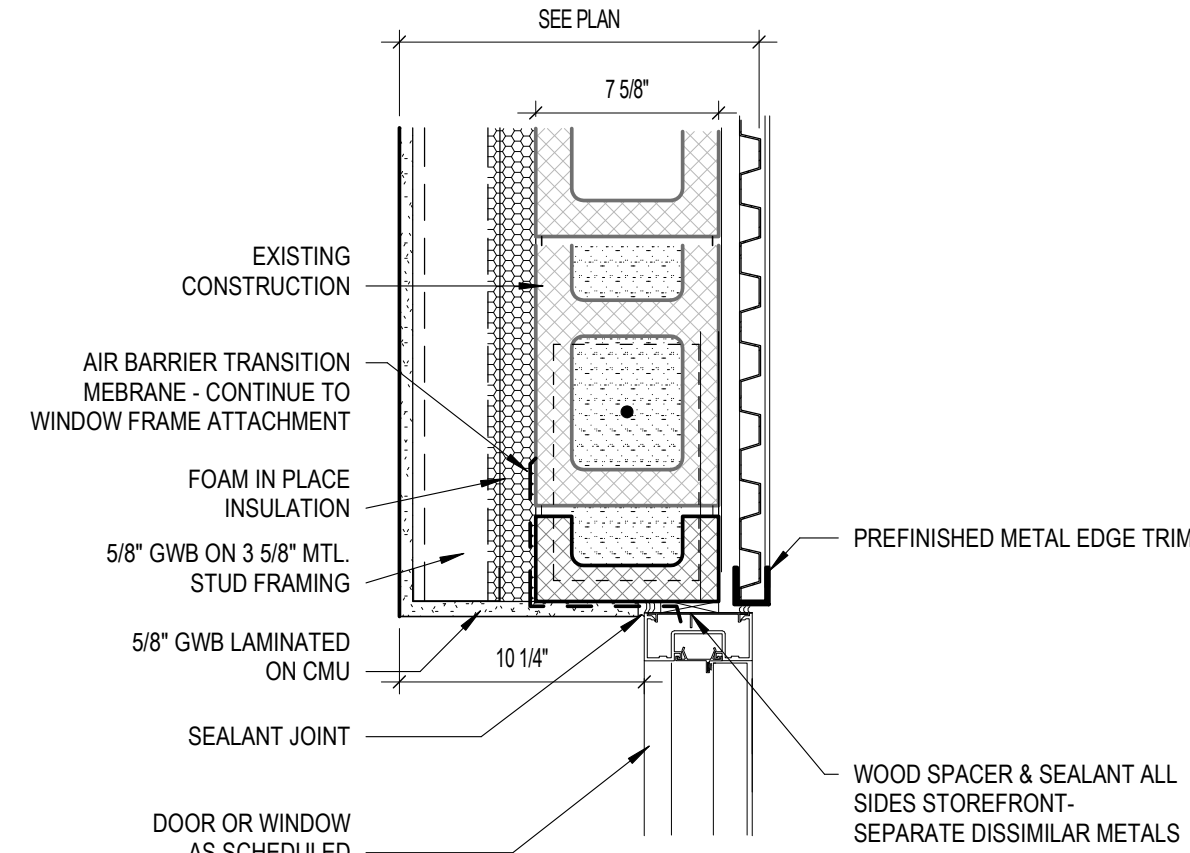
**8**  
**A6-02** **STOREFRONT HEAD - CMU**  
1 1/2" = 1'-0"



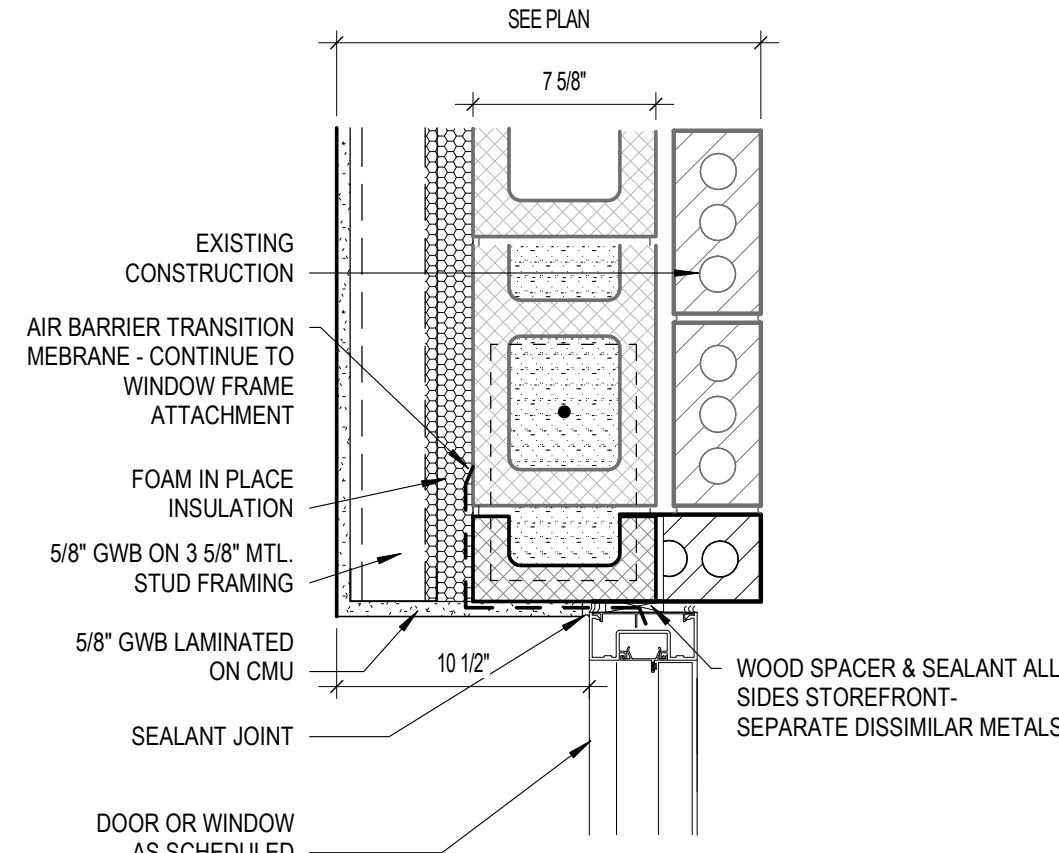
**7**  
**A6-02** **STOREFRONT JAMB - CMU**  
1 1/2" = 1'-0"



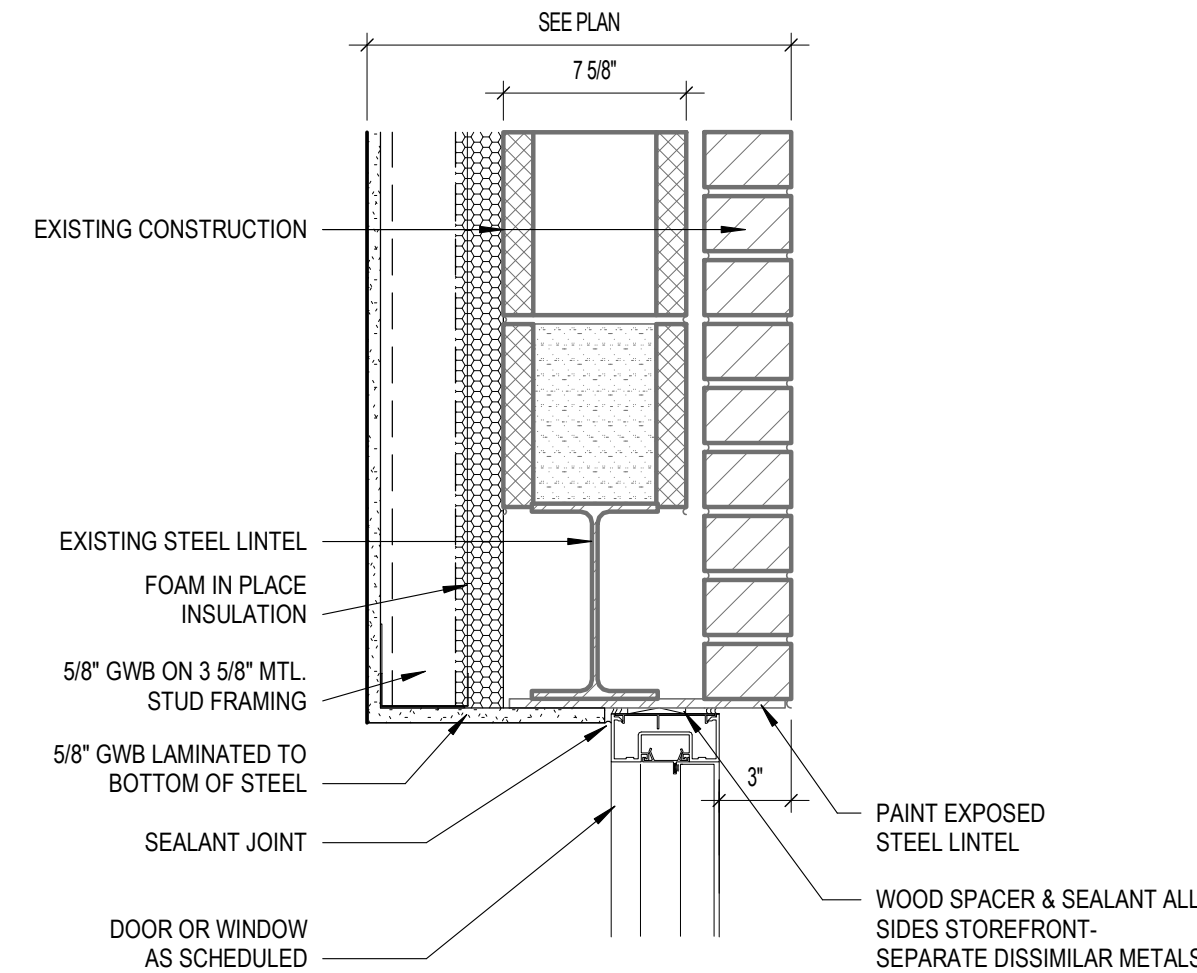
**6**  
**A6-02** **TYP. STOREFRONT SILL AT SLAB**  
1 1/2" = 1'-0"



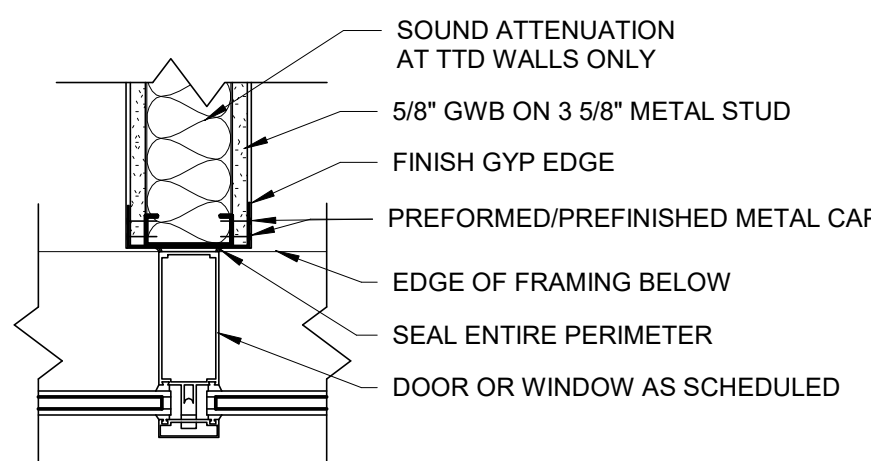
**5**  
**A6-02** **STOREFRONT JAMB - CMU/MTL PANEL**  
1 1/2" = 1'-0"



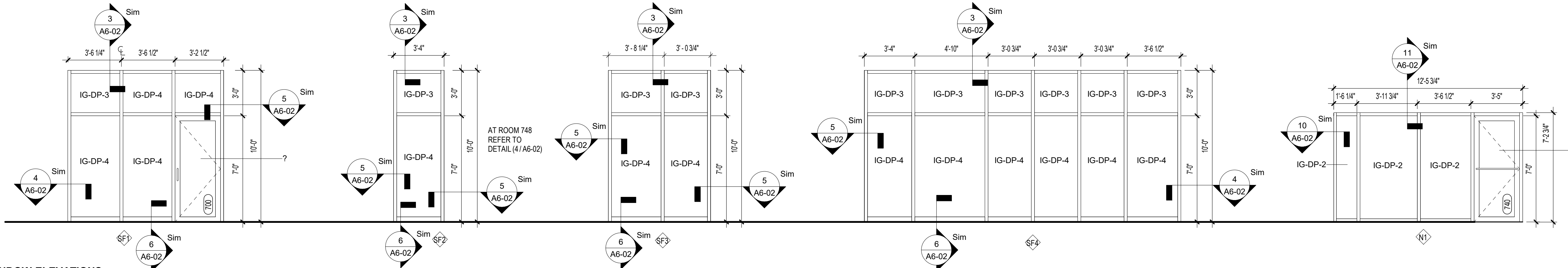
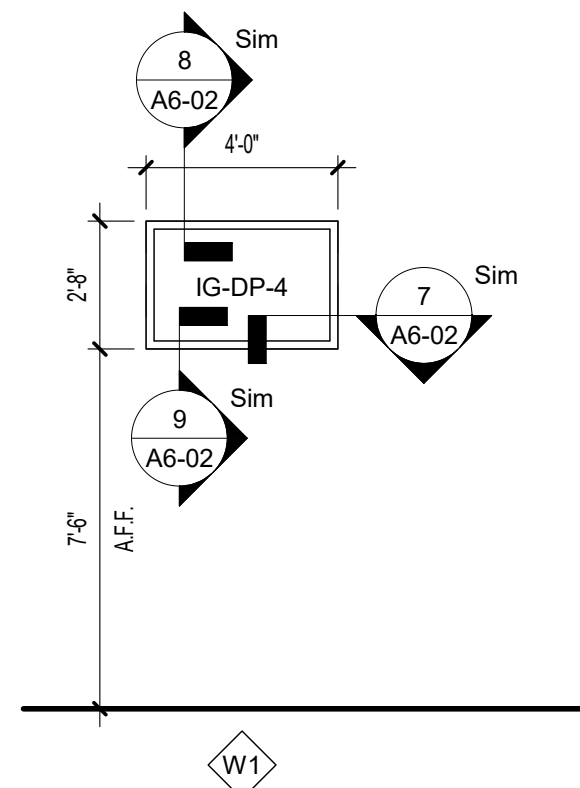
**4**  
**A6-02** **STOREFRONT JAMB - CMU/BRICK**  
1 1/2" = 1'-0"



**3**  
**A6-02** **STOREFRONT HEAD - CMU/BRICK**  
1 1/2" = 1'-0"



**2**  
**A6-02** **PARTITION TO ALUM GLAZING DETAIL**  
1 1/2" = 1'-0"



**1**  
**A6-02** **WINDOW ELEVATIONS**  
1/4" = 1'-0"

**LEGEND**

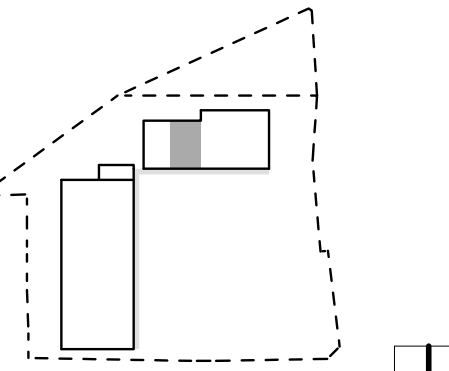
W \_ \_ ALUMINIUM FRAME DESIGNATION  
S \_ \_ ALUMINUM STOREFRONT  
N \_ \_ INTERIOR STOREFRONT

**GLAZING**

IG - INSULATED GLASS  
DP - DOUBLE PANE  
SG - SAFETY GLASS  
RSG - RATED SAFETY GLASS

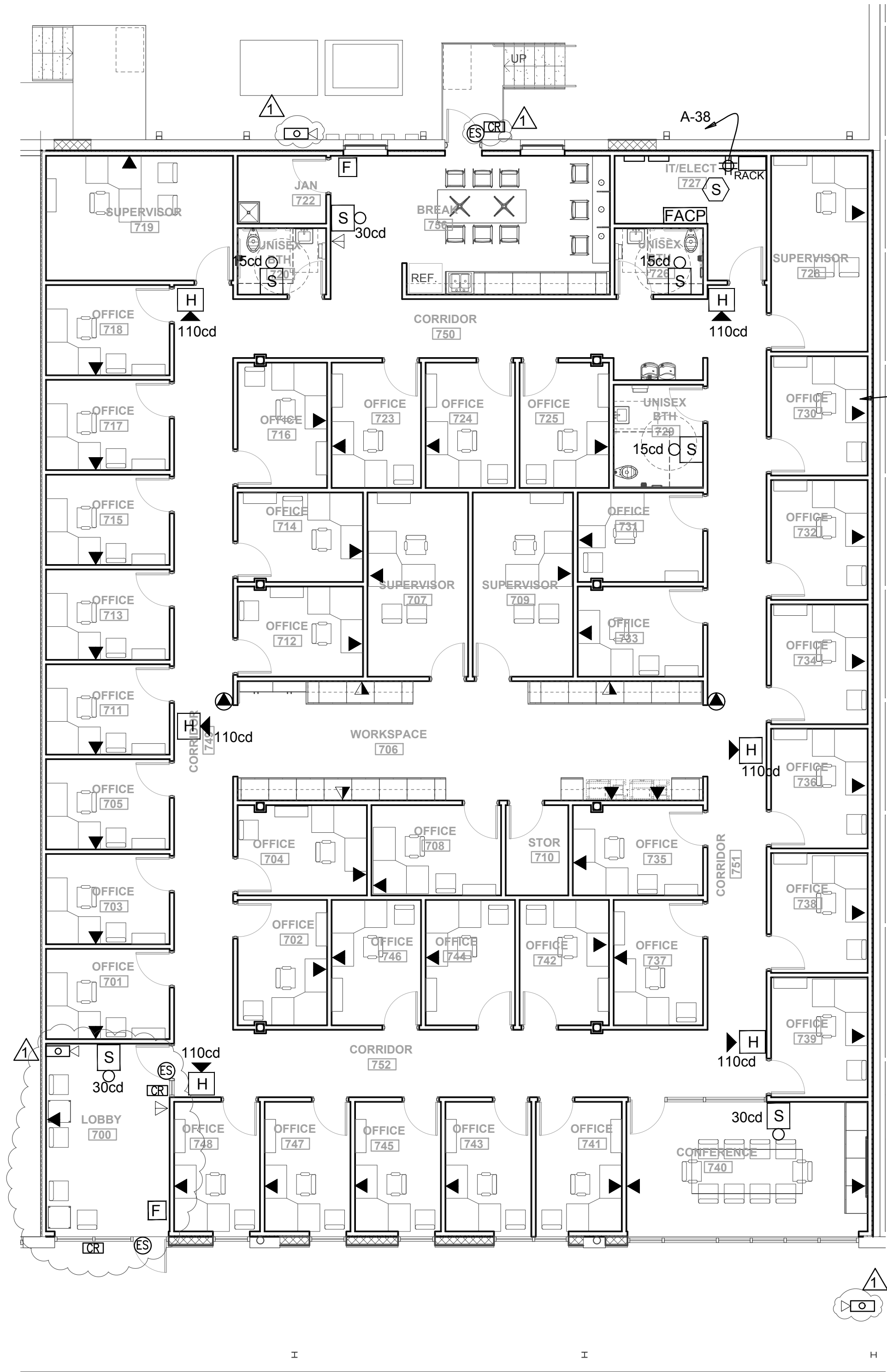
IG - DP - 1: CLEAR  
IG - DP - 2: CLEAR TEMPERED  
IG - DP - 3: TINTED  
IG - DP - 4: TINTED TEMPERED  
IG - DP - 5: TINTED LAMINATED SPANDREL  
IG - DP - 6:  
SG-CT: CLEAR, TEMPERED  
SG-F: FROSTED, TEMPERED

ID	DATE	ADDENDUM 1	DESCRIPTION
1	4/7/2022	ADDENDUM 1	



DRAWN BY: LW  
CHECKED BY: JBS

WINDOW AND  
FRAME  
ELEVATIONS



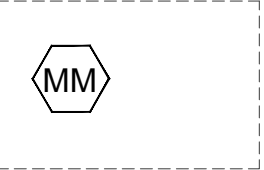
DATA RACEWAYS SHALL BE 3/4" EMT CONDUITS TERMINATING IN A SINGLE-GANG JUNCTION BOX.

PHONE OUTLET NEXT TO DATA OUTLETS HAVE BEEN ELIMINATED.

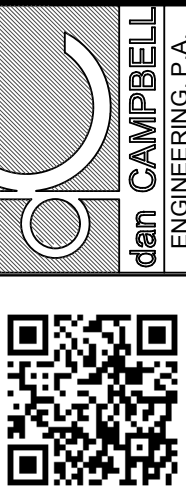
SPECIAL SYSTEMS SCHEDULE	
	CARD READER
	ELECTRIC DOOR STRIKE (LOCK)
	PUSH BUTTON DOOR RELEASE
	FIXED CAMERA
	360 deg. CAMERA
	DATA PORT FOR PHONE (44" AFF)
	DUPLEX DATA OUTLET (18" AFF)
	DUPLEX DATA OUTLET (44" AFF)
	WIRELESS ACCESS POINT

FIRE ALARM LEGEND	
	NEW FIRE ALARM CONTROL PANEL
	FIRE PULL STATION
	KEY PAD, ANNUNCIATOR
	POWER SUPPLY, 8 AMP
	WALL MTD. STROBE
	WALL-MTD. HORN / STROBE
	CEILING-MTD. HORN / STROBE
	SMOKE DETECTOR
	HEAT DETECTOR
	MONITORING MODULE (HVAC, ETC)

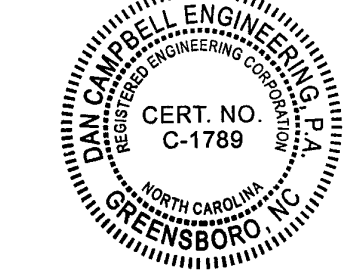
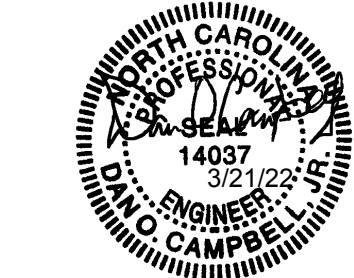
FIELD-LOCATE MONITORING OF HVAC SMOKE SENSOR IF UNIT EXCEEDS 2,000cfm



1 SPECIAL SYSTEMS PLAN  
E1-03 1/8" = 1'-0"



For Construction



R. C. PRITCHARD  
ENGINEERING SERVICES  
212 KIRK ROAD  
GREENSBORO, NC 27455  
PHONE: 336-382-3831

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Smith Sinnett Architecture, P.A. 2015  
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NORTHGATE COMPLEX  
DEPARTMENT OF SOCIAL SERVICES RENOVATION  
1457-1515 N. Fayetteville Street Asheboro, NC

ID	DATE	DESCRIPTION
2		
1	3/21/22	DATA/ACCESS CHG

DRAWN BY: DOC  
CHECKED BY: DOC  
Sheet Name

FIRE ALARM &  
DATA PLAN

22013 11th March, 2022

E1-03 OF 3