

ADDENDUM 2

ADDENDUM DATE: April 12, 2022

PROJECT: Northgate Complex Renovation
1509 N. Fayetteville Street
Asheboro, NC 27203

OWNER: Randolph County
725 McDowell Rd
Asheboro, North Carolina 27205

ARCHITECT: Smith Sinnett Architecture, P.A.
4600 Lake Boone Trail, Suite 205
Raleigh, North Carolina 27607

BIDS DUE: **Tuesday, April 19, 2022 at 3:00 p.m.**
2nd Floor
Randolph County Historic Courthouse
145 Worth Street
Asheboro, NC 27203

Please note, Project Documents, Addenda, and Plan Holders list are available at www.smithsinnett.com under the 'Documents' icon on the navigation bar.

This Addendum, applicable to the work designed below, shall be understood to be and is an addendum and shall be part of and included in the contract for the above referenced project. All General, Supplementary and Special Conditions, etc., as originally specified or as modified below shall apply to these items.

ARCHITECTURAL DRAWINGS

1. **REVISION:** Sheet A0-01 Demo Plan: Replace existing sheet with the attached sheet. Demo Note 34 has been added as it relates to the existing grease interceptor.

PLUMBING, MECHANICAL, and ELECTRICAL

1. **REVISION:** Refer to attached Addendum 2 sheet, responses to questions, related to PME Scope of work.
 - 1. Fire-Lite Alarms is an approved fire alarm system manufacturer.
 - 2. Alerton is an approved control system manufacturer.
 - 3. Delta Controls is an approved control system manufacturer.
 - 4. All control systems must be compatible with existing Northgate Complex control systems and for future integration with the owner's existing Alerton building management system for central office supervision.

End of Addendum 2

Attached:

Sheet A0-01.pdf (1 Page)

PME Responses to Questions.pdf (1 Page)

DEMOLITION KEYED NOTES:

1	EXISTING ROOF MEMBRANE TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION
2	REMOVE EXISTING INTERIOR GWB WALLS, WINDOWS, DOORS, FRAMES, HARDWARE, AND ASSOCIATED PARTS IN ITS ENTIRETY.
3	REMOVE EXISTING BASE, CARPET, VCT, AND/OR ANY OTHER FLOOR FINISH IN ITS ENTIRETY. PREPARE FLOORING TO RECEIVE NEW FINISHES PER SPECIFICATION AND THESE CONSTRUCTION DRAWINGS.
4	REMOVE EXISTING LAY-IN CEILING TILE, GYPSUM CEILING, FRAMING, GRID, HANGERS AND ASSOCIATED PARTS IN ITS ENTIRETY. PREP AREA TO RECEIVE NEW CEILING.
5	REMOVE EXISTING CASEWORK, BASE CABINET, SHELF, OR WALL HUNG COUNTER. PATCH AND REPAIR ADJACENT SURFACES AS REQUIRED.
6	REMOVE EXISTING STOREFRONT & HARDWARE IN ITS ENTIRETY. PREPARE EXISTING WALL TO RECEIVE NEW STOREFRONT SYSTEM AND PREPARE SURROUNDING AREA TO RECEIVE NEW FINISH SPECIFIED OR IF NO FINISH IS SPECIFIED, MATCH EXISTING. PROVIDE DEMOLITION MASONRY TOOTHING AS NECESSARY TO INSTALL NEW FRAME.
7	REMOVE EXISTING MASONRY WALL TO THE EXTENTS SHOWN. DEMOLITION SHALL BE SUFFICIENT ENOUGH TO INSTALL A NEW LINTEL OVER THE OPENINGS. REFER TO STRUCTURAL DRAWINGS FOR LINTEL DESIGN. GC SHALL PROVIDE ADEQUATE SHORING & BRACING. PATCH & REPAIR SURROUNDING MASONRY. TOOTH-IN MASONRY AS NEEDED TO RECEIVE NEW DOORS, WINDOWS OR INFILL WALL. VERIFY ALL OPENING DIMENSIONS IN FIELD. CUT SHOWN IS DIAGRAMMATIC. PROVIDE DEMOLITION MASONRY TOOTHING AS NECESSARY TO INSTALL NEW FRAME.
8	REMOVE EXISTING DOOR, FRAME, & HARDWARE IN THEIR ENTIRETY. PREP EXISTING WALL TO BE INFILLED WITH NEW FRAME OR MATCHING MASONRY, AS REQUIRED BY NEW FLOOR PLAN. PREPARE SURROUNDING AREA TO RECEIVE NEW FINISH SPECIFIED OR IF NO FINISH IS SPECIFIED, MATCH EXISTING. PROVIDE DEMOLITION MASONRY TOOTHING AS NECESSARY TO INSTALL NEW FRAME.
9	REMOVE EXISTING METAL CANOPY CLADDING, FACIA, SOFFIT, AND ASSOCIATED PARTS. EXISTING FRAMING TO REMAIN. PREP TO RECEIVE NEW CLADDING SYSTEM.
10	REMOVE EXISTING METAL COLUMN WRAPPING, METAL FURRING, AND ALL ASSOCIATED HARDWARE. SAND & PREPARE EXISTING STEEL COLUMN TO RECEIVE NEW PAINT FINISH.
11	REMOVE EXISTING GWB COLUMN WRAPPING, METAL FURRING, AND ALL ASSOCIATED HARDWARE.
12	REMOVE EXISTING TILE SETTING BED, LEVEL AS REQUIRED, & PREPARE EXISTING CONCRETE SLAB FOR INSTALLATION OF NEW FLOORING, AS INDICATED ON FINISH PLAN. LEVEL SLAB TO MATCH ADJACENT AREA.
13	REMOVE & PATCH EXISTING CONDUIT AND PIPING STUB-UPS.
14	REMOVE EXISTING ELECTRICAL PANEL & ASSOCIATED PARTS IN THEIR ENTIRETY.
15	REMOVE EXISTING MECHANICAL EQUIPMENT & ASSOCIATED PARTS IN THEIR ENTIRETY. COMPONENTS TO BE REMOVED INCLUDE BUT ARE NOT LIMITED TO ROOFTOP UNITS, DUCTWORK, PIPING, & ALL ASSOCIATED PARTS.
16	REMOVE DIRT, PLANT DEBRIS, ETC. FROM EXTERIOR WALL. PRESSURE WASH & PREPARE WALL TO RECEIVE NEW PAINT FINISH. REFER TO ELEVATIONS & FINISH PLANS FOR EXTENT.
17	PATCH EXISTING CONCRETE SLAB, LEVEL, & GRIND SMOOTH. LEVEL SLAB, AS REQUIRED, TO MATCH ADJACENT AREA.
18	REMOVE EXISTING CANOPY FASCIA, SOFFIT, AND ASSOCIATED PARTS. REFER TO REFLECTED CEILING PLANS FOR EXTENT.
19	PATCH ALL HOLES IN EXISTING PERIMETER CMU WALLS. TOUCH UP PAINT AS NECESSARY
20	REMOVE EXISTING LIGHTS, SIGNAGE, AND OVERHEAD ELECTRICAL FIXTURES. REFER TO REFLECTED CEILING PLANS FOR LOCATIONS OF NEW LIGHT FIXTURES. REFER TO GENERAL DEMO NOTES FOR REQUIREMENTS ON BULB AND BALLAST DISPOSAL. TYPICAL FOR ENTIRE BUILDING.
21	REMOVE EXISTING DOWNSPOUT AND ASSOCIATED PARTS IN THEIR ENTIRETY. PREPARE TO RECEIVE NEW DOWNSPOUT.
22	REMOVE EXISTING CONCRETE FLOOR SLAB AS REQUIRED FOR NEW UTILITY. PREP AREA TO RECEIVE NEW CONCRETE SLAB. CONCRETE CUT IS DIAGRAMMATIC. CONTRACTOR SHALL CUT, AS REQUIRED, FOR NEW WORK. COORDINATE FINAL LOCATION OF CUT WITH STRUCTURAL, PLUMBING, ELECTRICAL, & ALL OTHER TRADES, FOR COMPLETE SIZE, LOCATION, & EXTENTS OF SLAB CUTS. REFER TO (8)A5-01) FOR SLAB INFILL DETAIL.
23	REMOVE EXISTING CONCRETE STAIR SYSTEM, LANDINGS, MASONRY WALLS, AND ASSOCIATED PARTS IN THEIR ENTIRETY. ASSOCIATED PARTS INCLUDE BUT ARE NOT LIMITED TO HANDRAIL, GUARDRAIL, COPING, FLASHING, AND INTERNAL STRUCTURE. CLEAR SOILS AND DEBRIS LEVEL WITH ADJACENT GRADE. PREPARE SURROUNDING AREA TO RECEIVE NEW WORK AS SPECIFIED.
24	PATCH LOCATIONS OF UNEVEN EXISTING CONCRETE SLAB WITH NEW CONCRETE TO CREATE LEVEL FLOOR. GRIND SMOOTH AND PREP FOR INSTALLATION OF NEW FLOORING AS REQUIRED BY THE FINISH PLAN. DASHED LINE INDICATES LOCATIONS OF UNEVEN EXISTING CONCRETE SLAB TRANSITIONS TO BE LEVELED.
25	PREPARE EXISTING BOLLARDS TO RECEIVE NEW PAINT FINISH.

DEMOLITION KEYED NOTES (CONT.):

26	REMOVE EXISTING DECKING AS NECESSARY FOR NEW MECH, ELEC, & PLUMBING PENETRATIONS & ROOF ACCESS HATCHES. CUTS SHOWN ARE DIAGRAMMATIC. CONTRACTOR SHALL CUT AS REQUIRED FOR NEW INSTALLATION. REFER TO MECH, ELEC, AND PLUMBING DWGS FOR EXACT SIZE & LOCATION. REFER TO DETAIL (4)A5-02) FOR INFORMATION ON FRAMING OF OPENINGS.
27	REMOVE EXISTING PLUMBING FIXTURES, SINKS, TOILETS, AND ASSOCIATED PARTS IN THEIR ENTIRETY. REF PLUMBING FOR COMPLETE SCOPE OF PLUMBING DEMOLITION. THE CONTRACTOR SHALL DISPOSE OF THE ITEMS. CAP ALL UTILITIES BELOW SLAB. PATCH OR REPAIR SLAB AND WALLS. FILL ANY PENETRATIONS FROM PLUMBING PIPES IN THE SLAB.
28	REMOVE FIRE EXTINGUISHER & BRACKET. REINSTALL IN NEW LOCATION. PATCH WALL AS NECESSARY.
29	REMOVE EXISTING FLASHING AND PATCH HOLES IN EXISTING EXTERIOR CMU WALL. PREP WALL FOR PAINT.
30	PATCH & REPAIR EXISTING CONCRETE SIDEWALK/CURB/PAVING. REMOVE DAMAGED CONCRETE AS NEEDED TO PROVIDE CLEAN, SQUARE EDGE. LOCATE NEW CONTROL JOINTS TO MATCH EXISTING. REMOVE EXISTING SIDEWALK MAT. CLEAN, PATCH & REPAIR SIDEWALK BENEATH AS NECESSARY.
31	REMOVE EXISTING CUBICLE PARTITIONS AND PARTS IN ITS ENTIRETY.
32	REMOVE EXISTING ELECTRICAL DROP AND PARTS IN ITS ENTIRETY.
32	PATCH / REPAIR AS REQUIRED FOR NEW PLUMBING SERVICE.
33	MASONRY PLANTER WALL AND CONTENTS TO BE REMOVED.
34	REMOVE EXISTING GREASE INTERCEPTOR CAP, AND ANY OTHER ITEMS ABOVE SLAB IN ITS ENTIRETY. GREASE INTERCEPTOR SIZE IS APPROX. 14"X22"X12". FLOOR SINK IS APPROX. 9"X9"X6". PUMP EXISTING CONTENTS OUT AND DISPOSE OF PROPERLY. FILL EXISTING INTERCEPTOR AND FLOOR SINK UP WITH CONCRETE UNTIL LEVEL AND FLUSH WITH THE ADJACENT SLAB.

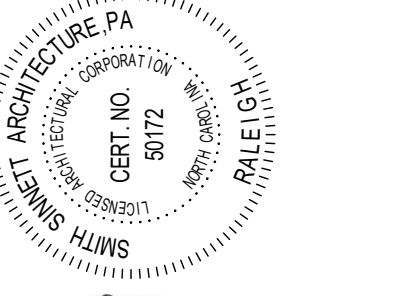
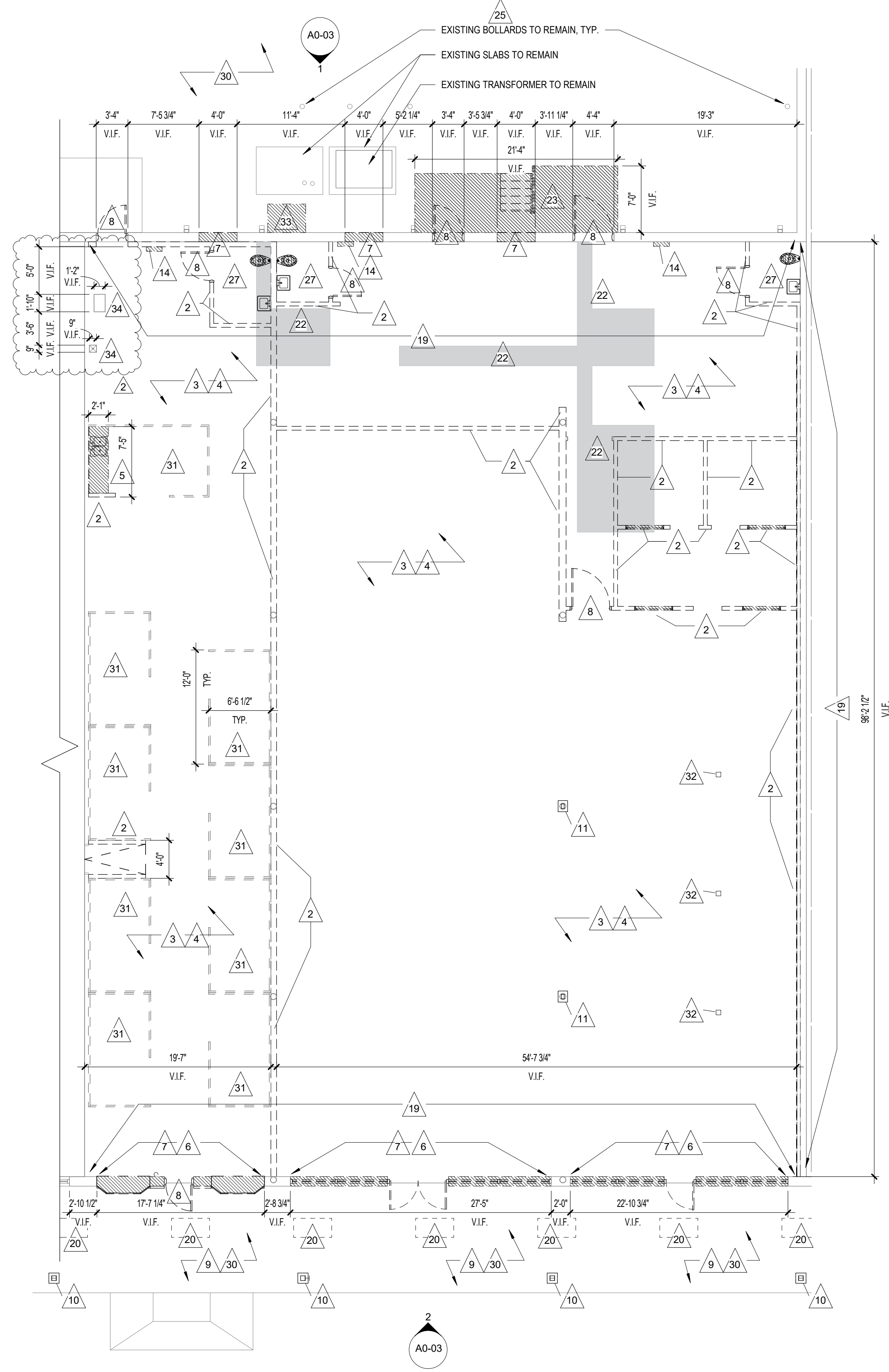
GENERAL DEMOLITION NOTES:

- ALL CONDITIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR WHERE DEMOLITION IS TO OCCUR. THE CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY INCONSISTENCIES IN WRITING PRIOR TO STARTING ANY WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR WEEKLY AND/OR DAILY REMOVAL AND PROPER DISPOSAL OF ALL DEBRIS ACCUMULATED DURING DEMOLITION AND CONSTRUCTION.
- REMOVAL OF HAZARDOUS MATERIAL AND DEBRIS SHALL BE AS FOLLOWS: BULBS: FLUORESCENT, MERCURY VAPOR, SODIUM, ETC. BULBS WILL BE HANDLED AS UNIVERSAL WASTE. UPON REMOVAL FROM LIGHTING DEVICES, THEY IMMEDIATELY MUST BE PUT INTO APPROPRIATE CONTAINERS AND LABELED AS USED LAMPS. A UNIVERSAL WASTE LABEL WILL BE ATTACHED AND ACCUMULATION DATE FILLED IN ON THE LABEL. BOX MUST BE CLOSED AND TAPED SHUT AT ALL TIMES UNLESS BULBS ARE BEING ADDED. BULBS, UNLESS BROKEN, SHALL BE RECYCLED. ANY BROKEN OR DAMAGED BULBS WILL BE CONTAINERIZED IN PLASTIC OR METAL CONTAINERS FOR DISPOSAL AS HAZARDOUS WASTE. BALLAST: ALL BALLAST WILL BE CONTAINERIZED AND RECYCLED.
- ANY FLOOR, CEILING, WALL OR OTHER MATERIALS NOTED TO REMAIN ARE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT. ANY MATERIALS DAMAGED DURING CONSTRUCTION OR DEMOLITION, SHALL BE RETURNED TO THEIR ORIGINAL STATE, OR IMPROVED AS INDICATED BY THE OWNER OR ARCHITECT, OR REPLACED WITH A NEW MATERIAL TO MATCH WHAT IS SPECIFIED FOR ADJACENT AREAS, TYPICAL.
- CONTRACTOR SHALL PATCH AND REPAIR ALL EXISTING SURFACES TO REMAIN AND MATERIALS EXPOSED TO VIEW WHERE OTHER ITEMS OR MATERIALS HAVE BEEN REMOVED.
- REFER TO PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL AND COMPLETE SCOPE OF DEMOLITION THAT MAY OR MAY NOT BE NOTED ON THE ARCHITECTURAL DEMOLITION PLAN AND NOTES.
- CONTRACTOR SHALL REMOVE ALL WALL MOUNTED FIXTURES OR ITEMS UNLESS OTHERWISE NOTED. ALL WALLS SHALL BE REPAIRED, AND VOIDS FILLED AFTER FIXTURE REMOVAL. ALL FINISHES SHALL MATCH ADJACENT SURFACES. REMOVE ALL FOREIGN MATTER, SHELVING, LOOSE DEBRIS INCLUDING TAPE, ADHESIVE, NAILS, SCREWS, ETC. FROM WALLS.
- ALL FIXTURES, WALLS AND PORTIONS OF WALLS SHOWN AS DASHED LINES OR LABELED SHALL BE DEMOLISHED UNLESS OTHERWISE NOTED. CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING FOR WALLS, FLOORS, OR STRUCTURAL ELEMENTS REMOVED OR REPLACED, AND IS RESPONSIBLE FOR ANY FAILURE DUE TO LACK OF PROPER BRACING.
- DURING THE BIDDING PROCESS, CONTRACTORS SHALL TAKE NOTE OF EXISTING PLUMBING, MECHANICAL, AND ELECTRICAL ITEMS IN AREAS TO BE RENOVATED. ITEMS INCLUDE BUT ARE NOT LIMITED TO WIRES, CONDUITS, PIPES, THERMOSTATS, FIRE ALARM DEVICES, PANELS, ETC. THESE HAVE BEEN IDENTIFIED IN THE DEMOLITION DRAWINGS FOR ARCHITECTURE, PLUMBING, MECHANICAL, AND/OR ELECTRICAL. FOR ITEMS NOT SHOWN, CONTRACTOR SHALL WORK WITH ARCHITECT AND OWNER TO DETERMINE IF THE ITEM IS STILL IN USE. ITEMS WHICH ARE NOTED TO BE REMOVED AND STORED FOR LATER REINSTALLATION SHALL BE TAGGED AND LISTED ON AN ITEMIZED LIST GIVEN TO THE OWNER AND ARCHITECT.
- CONTRACTOR SHALL ENSURE WATER-TIGHT INTEGRITY OF ALL TEMPORARY ENCLOSURE SYSTEMS AND MAINTAIN THEM THROUGH THE ENTIRETY OF CONSTRUCTION TO PREVENT THE INTRUSION OF WATER AND THE ELEMENTS INTO THE BUILDING.
- EXISTING STRUCTURAL FRAME, ROOF FRAME, ROOF DECK, ROOF MEMBRANE, EXTERIOR WALLS AND CONCRETE SLABS TO REMAIN UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL TAKE WHATEVER MEASURES ARE NECESSARY TO PROTECT THE EXISTING ROOF DURING THE DEMOLITION PHASE, CONSTRUCTION, AND THROUGHOUT THE ENTIRE PROJECT. DAMAGE TO THE ROOF SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. EXCESS DIRT AND DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AT THE END OF CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL PATCH AND FILL IN ANY VOIDS LEFT FROM THE DEMOLITION OF ANY PLUMBING, MECHANICAL, OR ELECTRICAL ITEMS. REFER TO PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR COMPLETE SCOPE OF DEMOLITION.
- REMOVE ITEMS EITHER SPECIFICALLY SHOWN OR NOT BUT CAN REASONABLY BE IMPLIED TO BE REMOVED.
- REMOVE EXISTING WALL MOUNT FCF/FEB. RETURN ITEM TO OWNER. PATCH WALL AS NECESSARY.

DEMOLITION LEGEND AND NOTES:

SYMBOL	DESCRIPTION
	EXISTING CONCRETE SLAB TO BE REMOVED.
#	DEMOLITION KEYED NOTE
	EXISTING TO REMAIN
	EXISTING TO BE REMOVED

1 A0-01 DEMO FLOOR PLAN
1/8" = 1'-0"

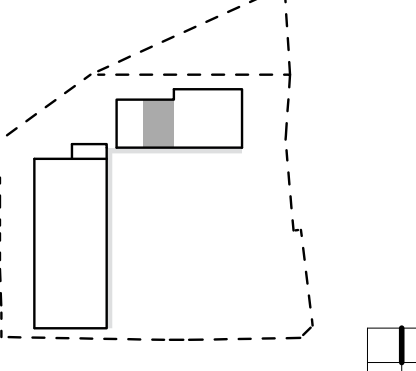


This drawing and the design shown is the property of Smith Sinnett Architecture, P.A. The reproduction or use of this property without the written consent of the property owner is prohibited. All rights reserved. This drawing is subject to legal action. All copies of this drawing must be returned to the Architect on the completion of the contract.
Smith Sinnett Architecture, P.A. 2022

THIS DRAWING IS FORMATTED TO BE PRINTED ON A 24" X 36" SHEET

NORTHGATE COMPLEX
DEPARTMENT OF SOCIAL SERVICES RENOVATION
1509 N. Fayetteville Street, Asheboro, NC

ID	DATE	DESCRIPTION
2	4/12/2022	ADDENDUM 2



DRAWN BY: LW
CHECKED BY: JBS

DEMO PLAN

Addendum #2

R. Craig Pritchard, PE
R. C. Pritchard Engineering Services
212 Kirk Road
Greensboro, NC 27455

Project: Northgate Complex
Department of Social Services

Location: N. Fayetteville Street
Asheboro, NC

Re: Response to Questions

1. Fire-Lite Alarms is an approved fire alarm system manufacturer.
2. Alerton is an approved control system manufacturer.
3. Delta Controls is an approved control system manufacturer.
4. All control systems must be compatible with existing Northgate Complex control systems and for future integration with the owner's existing Alerton building management system for central office supervision.