



## ADDENDUM NO. 1

Issue Date: December 6, 2018

Project Name: Sandridge Golf Club Maintenance Building Roof Replacement

Bid Number: 2019027

Bid Opening Date: **Updated – January 8, 2019** at 2:00 p.m.

In response to questions received to date, this addendum is being released to update the bid specifications, bid form and extend the deadline for bids. The information and documents contained in this addendum are hereby incorporated in the invitation to bid. **This addendum must be acknowledged where indicated on the bid form, or the bid will be declared non-responsive.**

### **Attachments:**

Addendum 1 – Replacement Pages 13-17 – Changes Accepted

Addendum 1 – Replacement Pages 13-15 – with redline (for illustration of the changes)

### **MODIFICATION TO BID DOCUMENTS**

**Replace** Technical Specifications (pages 13 and 14 of 33) and the first page of the Bid Form (pages 15 through 17 of 33) with attached “Addendum 1 – Replacement Pages 13-17 – Changes Accepted”. The updated bid form must be completed and submitted, or the bid will be declared non-responsive.

The deadline for receipt of bids is hereby changed to Tuesday, January 8, 2019. The new deadline for receipt of questions from bidders is **9:00 a.m.** on Monday, December 31, 2018.

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## Technical Specifications – Addendum 1

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### Overview

Indian River County, on behalf of Sandridge Golf Club is seeking bids from qualified contractors to replace the flat rubber overlay roof on the existing maintenance building located at 5300 73<sup>rd</sup> Street, Vero Beach with a 20-year warrantable metal roof system.

The existing roof is original the structure, which was completed in 1985 and repaired in 2004 after Hurricane Jeanne.

### Scope

The work to be completed includes the following;

- Structural design, removal and replacement of existing roof, patching and leveling as necessary, concrete repair as necessary.
- Preparation of certified drawings in compliance with Florida Building Code, including wind load rating requirements
- Permitting through the Indian River County Building Department (do not include permit fees payable to Indian River County, with the exception of re-inspection fees in your bid).
- Remove existing roofing materials
- Remove all metal drip edge
- Remove and replace all moisture contaminated, deteriorated or damaged roof deck components and other accessory roofing components
- Install new Fascia Boards
- Install a self-adhering minimum 40 mil underlayment
- Install new Metal Drip Edge to match roof color and finish
- Install new 24 gauge minimum galvalume coated steel in smooth pre-finished color. Color to be selected by owner from manufacturer's standard color chart
- Install new flashing systems
- Install new gutters to match roof components

A. Specific roofing products and colors must be approved by the OWNER. CONTRACTOR shall submit, maintain at the project site for inspection, and fully comply with the manufacturer's written installation instructions.

B. In compliance with FS 255.20, lumber, timber, and other forest products used in the project must be produced and manufactured in the State of Florida, if such products are available and their price, fitness, and quality are equal.

C. The CONTRACTOR shall coordinate construction and reconstruction work with the OWNER. All work will be scheduled and executed to limit conflicts with station operations. All work shall be performed in accordance with applicable safety rules and regulations.

C. Work, including removal of debris shall minimize interference with roads, streets, walks, and other adjacent occupied or used facilities which shall not be closed or obstructed without permission from the OWNER. Alternate routes shall be provided around closed or obstructed traffic ways and sidewalks.

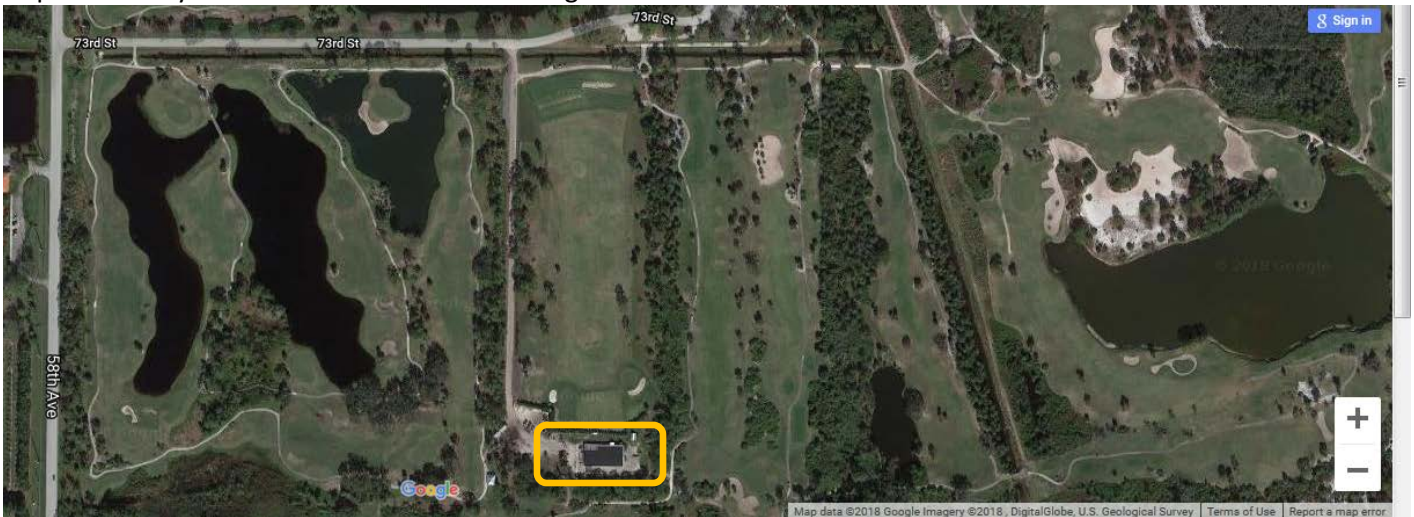
D. The CONTRACTOR shall ensure that any utilities connected to structures, equipment, and facilities to be removed, relocated, salvaged, replaced, or abandoned shall be rendered inoperable, replaced with new utilities, or adequately bypassed with temporary utilities before proceeding with reconstruction.

E. The CONTRACTOR shall take precautions to avoid damage to adjacent facilities and to limit the reconstruction activities to the extent indicated. If reconstruction beyond the scope indicated is required, the CONTRACTOR shall obtain approval from the OWNER prior to commencing work.

F. All site debris, rubbish, and other materials resulting from reconstruction operations shall be legally removed and disposed of at the CONTRACTOR's expense.

G. Pricing for work and materials not anticipated at the time of bid should be included with on the bid form, in order to establish a fixed price. These items shall include work required to repair damage identified once existing roof is removed. Bid award and contract amount will be based solely on the lump sum base bid price.

H. Bidder is solely responsible for taking own measurements pertaining to this bid. The building is available for inspection daily from 7AM to 2PM. The building's location is shown below:



## Warranty

Warranty shall be a minimum of 24 months for workmanship, and 20-year manufacturer's warranty for materials. Warranty information shall be submitted along with your bid on Bid Form and by copy of suggested manufacturer's standard warranty.

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End of Technical Specifications

**Bid Form – Addendum 1**

**Sandridge Golf Club Maintenance Building Roof Replacement**

Bid #: 2019027  
 Bid Opening Date and Time: January 8, 2019 2:00 P.M.  
 Bid Opening Location: Purchasing Division  
 1800 27<sup>th</sup> Street  
 Vero Beach, FL 32960

The following addenda are hereby acknowledged:

Addendum Number	Date
_____	_____
_____	_____
_____	_____
_____	_____

In accordance with all terms, conditions, specifications, and requirements, the Bidder offers the following:

Bid Item Description	Base Bid Price
1. Replacement of Maintenance Building Roof with 20-year warrantable metal roof system	\$
<b>TOTAL BID (\$)</b>	\$

Total Bid Price in Words

Please list below pricing for any **additional work or material** that is not part of your base bid, which **may** become necessary to properly complete the work (insulation, secondary drainage system, etc.). Attach additional sheet, if necessary. Bid award and contract amount will be based solely on the base bid price above. The items below are included to establish fixed prices for unanticipated damage identified during execution of the work.

Additional Material or Work	Unit	Price
1. Replacement of plywood, including labor	Per sheet	\$
2.		\$
3.		\$
4.		\$
5.		\$

**Project completion time after receipt of "Notice to Proceed": \_\_\_\_\_ DAYS**

**Warranty Period - Workmanship: \_\_\_\_\_ Materials: \_\_\_\_\_**

**Who will provide service and where in the event of failure within warranty period?**

Company Name: \_\_\_\_\_ Phone: \_\_\_\_\_

Address: \_\_\_\_\_  
\_\_\_\_\_

Contact person: \_\_\_\_\_

**Will any voluntary service follow installation or delivery? Yes  No**

If so, by whom? \_\_\_\_\_ When? \_\_\_\_\_

**Who is the highest authority (manufacturer, distributor, dealer, etc...) fully behind this warranty?**

\_\_\_\_\_

**A copy of the complete warranty statement is submitted herewith: Yes  No**

**Contractor's License No(s): \_\_\_\_\_**

**Number of years as a Contractor in construction work of the type involved in this contract: \_\_\_\_\_**

**What is the last project of this nature that you have completed? \_\_\_\_\_**

**Have you ever failed to complete work awarded to you, and if so, where and why?**

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**Provide at least three references for similar work:**

Entity/Client and Project	Contact Name	Email	Phone

**The undersigned hereby certifies that they have read and understand the contents of this solicitation and agree to furnish at the prices shown any or all of the items above, subject to all instructions, conditions, specifications, and attachments hereto. Failure to have read all the provisions of this solicitation shall not be cause to alter any resulting contract or request additional compensation.**

Company Name: \_\_\_\_\_

Company Address: \_\_\_\_\_

City, State \_\_\_\_\_ Zip Code \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_

E-mail: \_\_\_\_\_

Business Tax Receipt Number: \_\_\_\_\_ FEIN Number: \_\_\_\_\_

**Authorized Signature:** \_\_\_\_\_ **Date:** \_\_\_\_\_

Name: \_\_\_\_\_ Title: \_\_\_\_\_  
(Type / Printed)

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## Technical Specifications – Addendum 1

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### Overview

Indian River County, on behalf of Sandridge Golf Club is seeking bids from qualified contractors to replace the flat rubber overlay roof on the existing maintenance building located at 5300 73<sup>rd</sup> Street, Vero Beach with ~~an aluminum roof~~ a 20-year warrantable metal roof system.

The existing roof is original the structure, which was completed in 1985 and ~~most recently modified~~ repaired in 2004 after Hurricane Jeanne.

### Scope

The work to be completed includes the following;

- Structural design, removal and replacement of existing roof, patching and leveling as necessary, concrete repair as necessary.
- Preparation of certified drawings in compliance with Florida Building Code, including wind load rating requirements
- Permitting through the Indian River County Building Department (do not include permit fees payable to Indian River County, with the exception of re-inspection fees in your bid).
- Remove existing roofing materials
- Remove all metal drip edge
- ~~Remove existing fascia board~~
- Remove ~~and replace roof decking and replace all moisture contaminated, deteriorated or damaged roof deck components and other accessory roofing components~~
- ~~Any additional repairs due to wood rot, must be approved through change order.~~
- Install new ~~Pressure Treated~~ Fascia Boards
- Install ~~approved ice/ water underlayment~~ self-adhering minimum 40 mil underlayment
- Install new Metal Drip Edge ~~per roofing system color~~ to match roof color and finish
- Install new ~~26 ga Max Rib (or equal – as approved by County) roofing system~~ 24 gauge minimum galvalume coated steel in smooth pre-finished color. Color to be selected by owner from manufacturer's standard color chart
- Install new flashing systems
- Install new gutters to match roof components

A. Specific roofing products and colors must be approved by the OWNER. CONTRACTOR shall submit, maintain at the project site for inspection, and fully comply with the manufacturer's written installation instructions.

B. In compliance with FS 255.20, lumber, timber, and other forest products used in the project must be produced and manufactured in the State of Florida, if such products are available and their price, fitness, and quality are equal.

C. The CONTRACTOR shall coordinate construction and reconstruction work with the OWNER. All work will be scheduled and executed to limit conflicts with station operations. All work shall be performed in accordance with applicable safety rules and regulations.

C. Work, including removal of debris shall minimize interference with roads, streets, walks, and other adjacent occupied or used facilities which shall not be closed or obstructed without permission from the OWNER. Alternate routes shall be provided around closed or obstructed traffic ways and sidewalks.

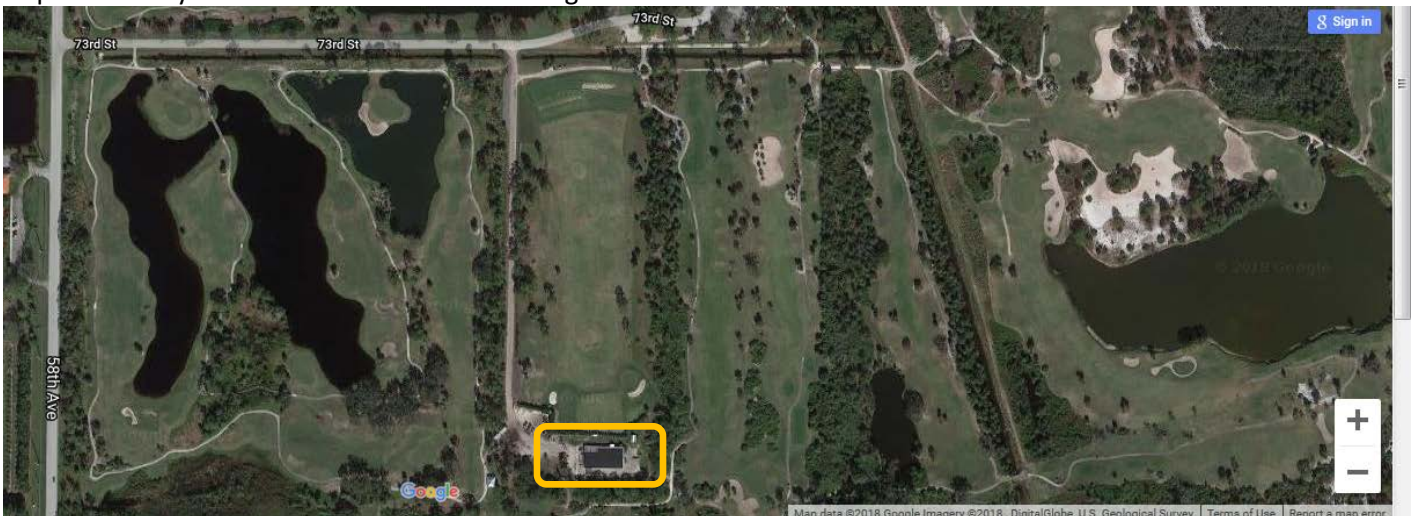
D. The CONTRACTOR shall ensure that any utilities connected to structures, equipment, and facilities to be removed, relocated, salvaged, replaced, or abandoned shall be rendered inoperable, replaced with new utilities, or adequately bypassed with temporary utilities before proceeding with reconstruction.

E. The CONTRACTOR shall take precautions to avoid damage to adjacent facilities and to limit the reconstruction activities to the extent indicated. If reconstruction beyond the scope indicated is required, the CONTRACTOR shall obtain approval from the OWNER prior to commencing work.

F. All site debris, rubbish, and other materials resulting from reconstruction operations shall be legally removed and disposed of at the CONTRACTOR's expense.

G. Pricing for work and materials not anticipated at the time of bid should be included with on the bid form, in order to establish a fixed price. These items shall include work required to repair damage identified once existing roof is removed. Bid award and contract amount will be based solely on the lump sum base bid price.

H. Bidder is solely responsible for taking own measurements pertaining to this bid. The building is available for inspection daily from 7AM to 2PM. The building's location is shown below:



## Warranty

Warranty shall be a minimum of ~~12-24~~ months for workmanship, and ~~standard-20-year~~ manufacturer's warranty for materials. Warranty information shall be submitted along with your bid on Bid Form and by copy of suggested manufacturer's standard warranty.

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End of Technical Specifications



**Bid Form – Addendum 1**

**Sandridge Golf Club Maintenance Building Roof Replacement**

Bid #: 2019027  
 Bid Opening Date and Time: ~~December 20,~~ 2:00 P.M.  
 2018 January 8, 2019  
 Bid Opening Location: Purchasing Division  
 1800 27<sup>th</sup> Street  
 Vero Beach, FL 32960

The following addenda are hereby acknowledged:

Addendum Number	Date
_____	_____
_____	_____
_____	_____
_____	_____

In accordance with all terms, conditions, specifications, and requirements, the Bidder offers the following:

Bid Item Description	Base Bid Price
1. Replacement of Maintenance Building Roof with <u>aluminum 20-year warrantable metal roof system</u>	\$
<b>TOTAL BID (\$)</b>	\$

Total Bid Price in Words

Please list below pricing for any **additional work or material** that is not part of your base bid, which **may** become necessary to properly complete the work (insulation, secondary drainage system, etc.). Attach additional sheet, if necessary. Bid award and contract amount will be based solely on the base bid price above. The items below are included to establish fixed prices for unanticipated damage identified during execution of the work.

Additional Material or Work	Unit	Price
1. Replacement of plywood, including labor	Per sheet	\$
2.		\$
3.		\$
4.		\$
5.		\$