



Addendum No. 1

**Donald S. Russell U.S. Courthouse (SC0041ZZ)
Exterior Façade Repair**

**McMillan Pazdan Smith Project No. 022689
August 8, 2023**

The following clarifications, amendments, additions, deletions, revisions, and/or modifications are hereby made a part of the Contract Documents, and change the original documents only in the manner and to the extent stated below:

- Item No. 1: **Architectural Drawings G001 – Cover Sheet:**
Delete the previously issued drawing G001 in its entirety and include the attached drawing G001 into the contract documents.
- Item No. 2: **Architectural Drawings A101 – Elevations Roof Plan:**
Delete the previously issued drawing A101 in its entirety and include the attached drawing A101 into the contract documents.
- Item No. 3: **Architectural Drawings A102 – Elevations:**
Delete the previously issued drawing A102 in its entirety and include the attached drawing A102 into the contract documents.

NOTE: "NOT FOR CONSTRUCTION" was removed from all drawings and is the only change.

This addendum contains 1 Summary Page
 3 30x42 Drawing Sheets

End of Addendum No. 1

GENERAL SERVICES ADMINISTRATION

EXTERIOR FACADE REPAIR

DONALD S. RUSSELL U.S. COURTHOUSE (SC0041ZZ)

201 MAGNOLIA STREET SPARTANBURG, SC 29306

Issue Date/ Description: 08/07/2023 ADDENDUM 1 - CONSTRUCTION DOCUMENTS

MPS Project No: 022689

Agency Review ID:

OWNER

CITY OF SPARTANBURG
14 WEST BROAD STREET
SPARTANBURG, SC, 29306
jdevost@cityofspartanburg.org

MR. JAN DE VOEST

ARCHITECT

McMILLAN PAZDAN SMITH ARCHITECTURE
127 DUNBAR STREET
SPARTANBURG, SC, 29306
864-585-5678
dllove@mcmillanpazdansmith.com

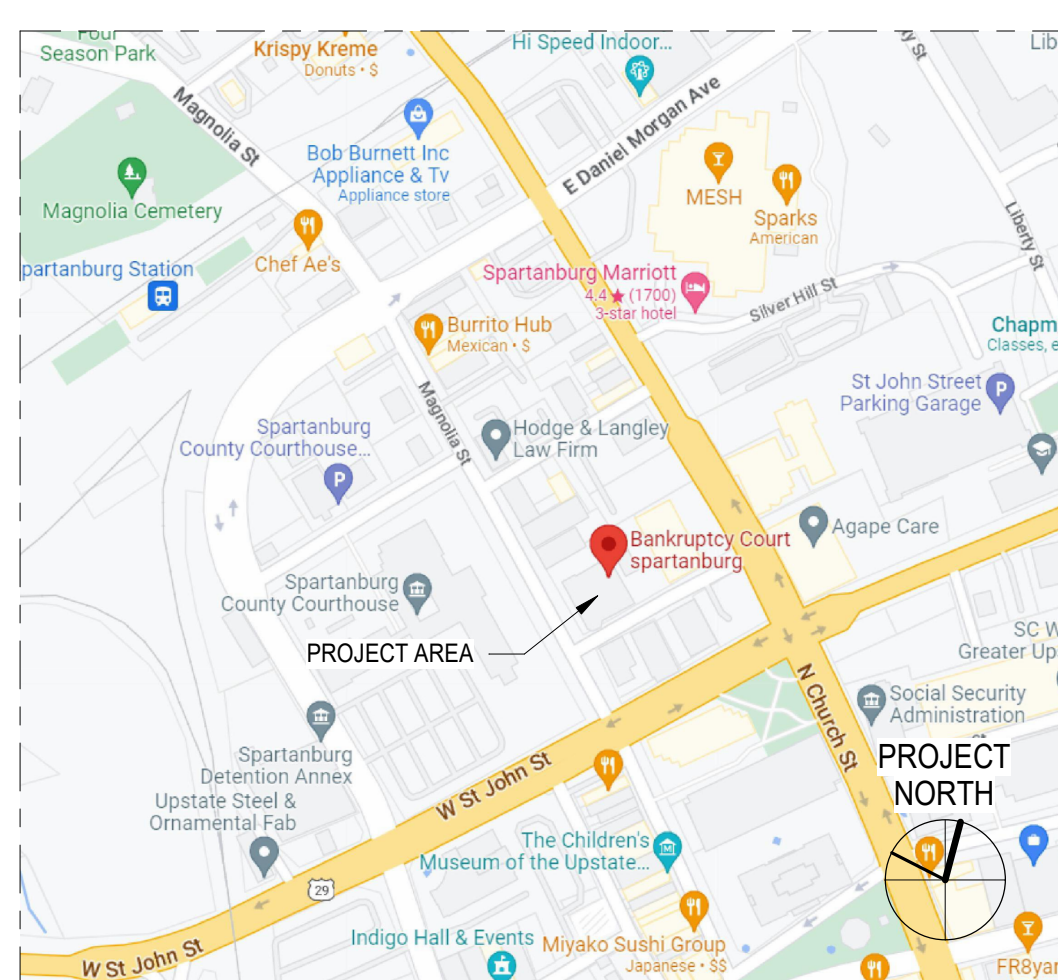
MR. DONALD L. LOVE JR., AIA

DRAWING LIST

SHEET NO	SHEET NAME
GENERAL	
G001	COVER SHEET
ARCHITECTURAL	
A101	ELEVATIONS ROOF PLAN
A102	ELEVATIONS



SITE MAP



VICINITY MAP



CONSULTANT LOGO

SEALS

GENERAL SERVICES ADMINISTRATION

EXTERIOR FACADE REPAIR
DONALD S. RUSSELL U.S. COURTHOUSE (SC0041ZZ)

201 MAGNOLIA STREET SPARTANBURG, SC 29306

SHEET ISSUE				
NO.	DATE	DESCRIPTION	BY	
1	08/07/2023	ADDENDUM 1 - CONSTRUCTION DOCUMENTS	DLL	

PRINCIPAL IN CHARGE: PROJECT ARCHITECT: DRAWN BY: DLL DLL MDD

SHEET TITLE: COVER SHEET

SHEET NO. PROJ. NO. 022689

G001

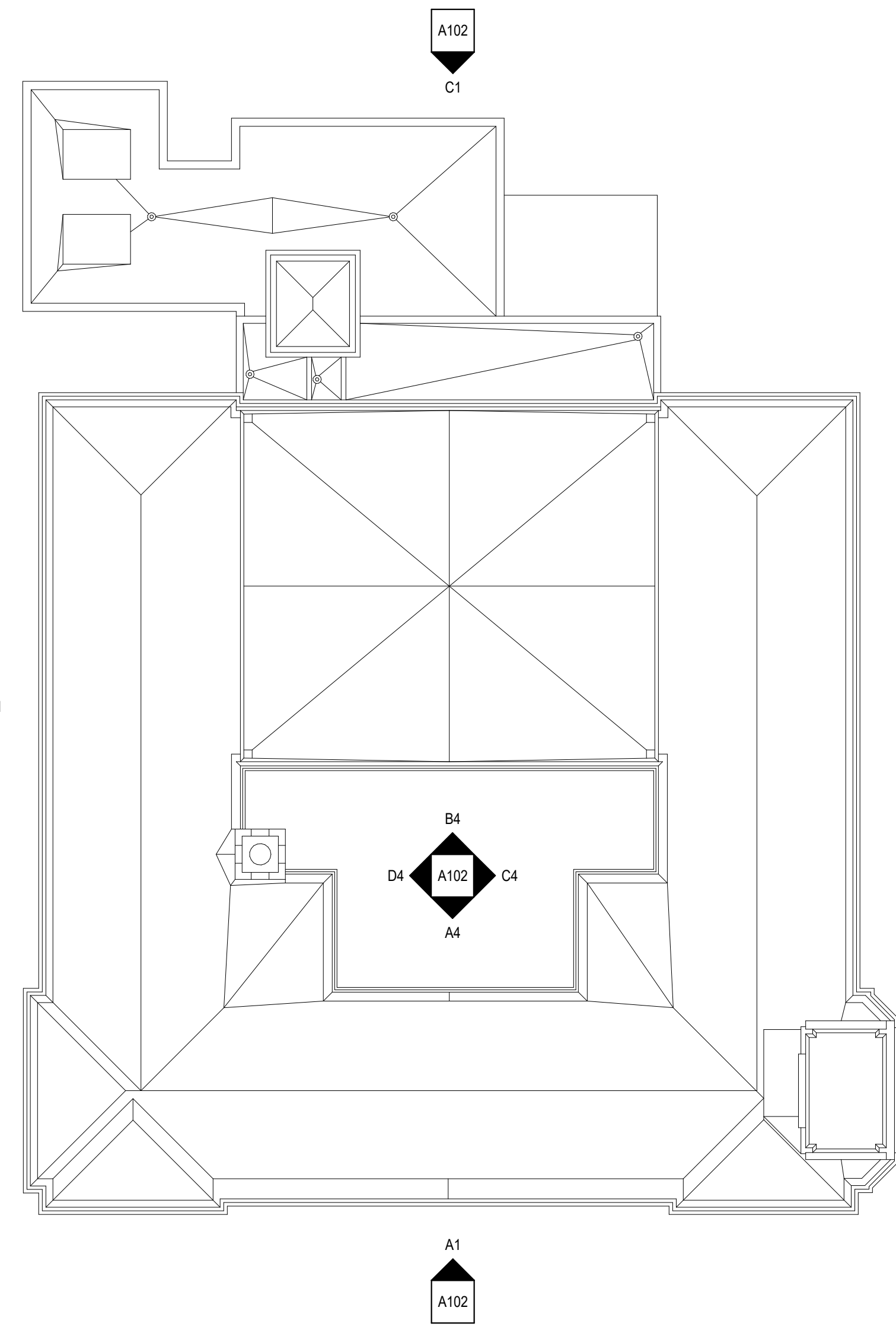
ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF FURNISHED BY McMILLAN PAZDAN SMITH ARCHITECTURE ARE AND SHALL REMAIN THE PROPERTY OF McMILLAN PAZDAN SMITH ARCHITECTURE. THESE DRAWINGS ARE TO BE USED ONLY WITH RESPECT TO THE PROJECT AND NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF McMILLAN PAZDAN SMITH ARCHITECTURE. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THESE DRAWINGS IS STRICTLY PROHIBITED AND WILL BE SUBJECT TO LEGAL ACTION. ALL RIGHTS RESERVED.

SHEET ISSUE				
NO.	DATE	DESCRIPTION	BY	DLL
1	08/07/2023	ADDENDUM 1 - CONSTRUCTION DOCUMENTS		

PRINCIPAL IN CHARGE: DLL
PROJECT ARCHITECT: DLL
DRAWN BY: MDD

SHEET TITLE:
**ELEVATIONS
ROOF PLAN**

SHEET NO. PROJ. NO.
A101 022889



ROOF PLAN
1/16" = 1'-0"



NORTH ELEVATION
1/8" = 1'-0"

1,035 SF
400 LF



SOUTH ELEVATION
1/8" = 1'-0"

1,560 SF
460 LF

GENERAL NOTES

- MORTAR COLOR FOR LIMESTONE (BASE BID) SHALL MATCH THE COLOR OF THE LIMESTONE.
- MORTAR COLOR FOR THE BRICK (ALTERNATE 1) SHALL MATCH THE COLOR OF THE EXISTING BRICK MORTAR.
- REMOVE AND REPOINT ALL PREVIOUS REPAIRS DONE WITH INCOMPATIBLE MORTAR AT BRICK AREAS (ALTERNATE 1).
- CLEAN AND REPOINT 100% EXTERIOR MASONRY SIGN - ALTERNATE 2
- REPOINT ALL JOINTS IN PERIMETER SITE WALL 100% AND MAKE REPAIRS AS REQUIRED - ALTERNATE 2.

ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF FURNISHED BY MCMILLAN PAZDAN SMITH ARCHITECTURE ARE AND SHALL REMAIN THE PROPERTY OF MCMILLAN PAZDAN SMITH ARCHITECTURE. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MCMILLAN PAZDAN SMITH ARCHITECTURE. THE PROJECT ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE PROJECT ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE PROJECT ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE PROJECT ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON.

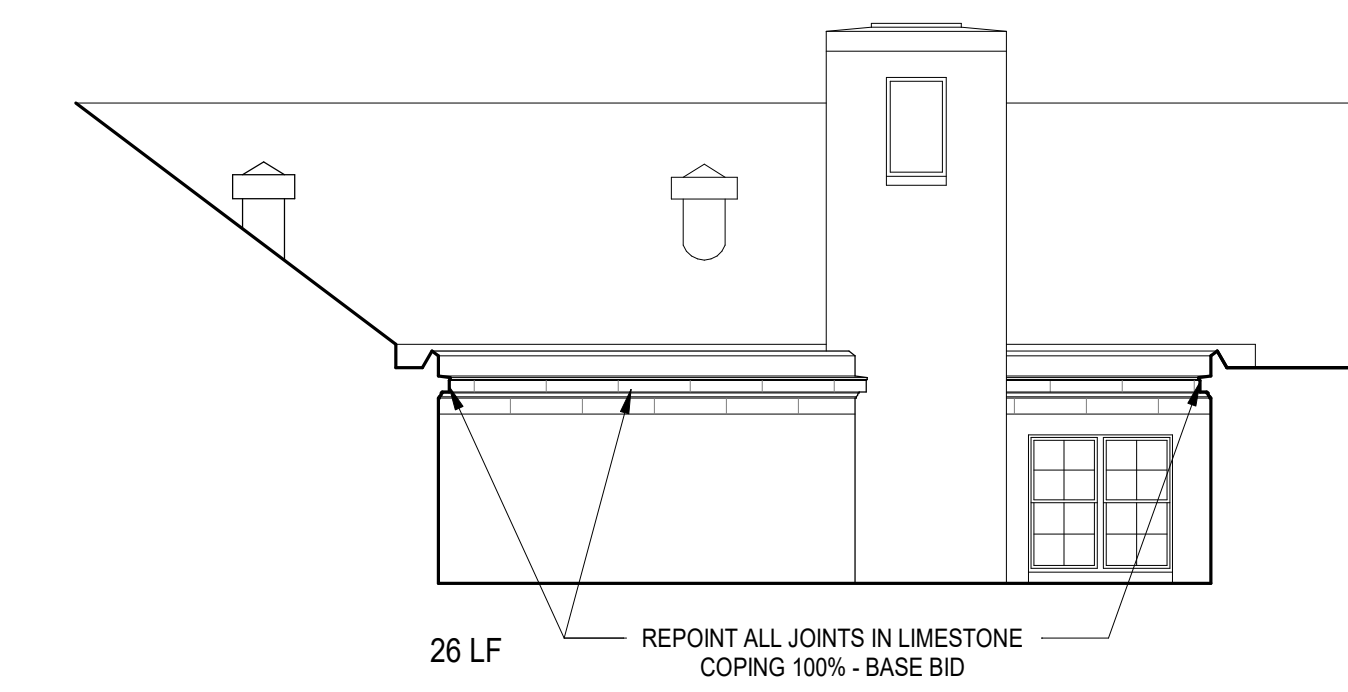
SHEET ISSUE				
NO.	DATE	DESCRIPTION	BY	DLL
1	08/07/2023	ADDENDUM 1 - CONSTRUCTION DOCUMENTS		

PRINCIPAL IN CHARGE: DLL
PROJECT ARCHITECT: DLL
DRAWN BY: MDD

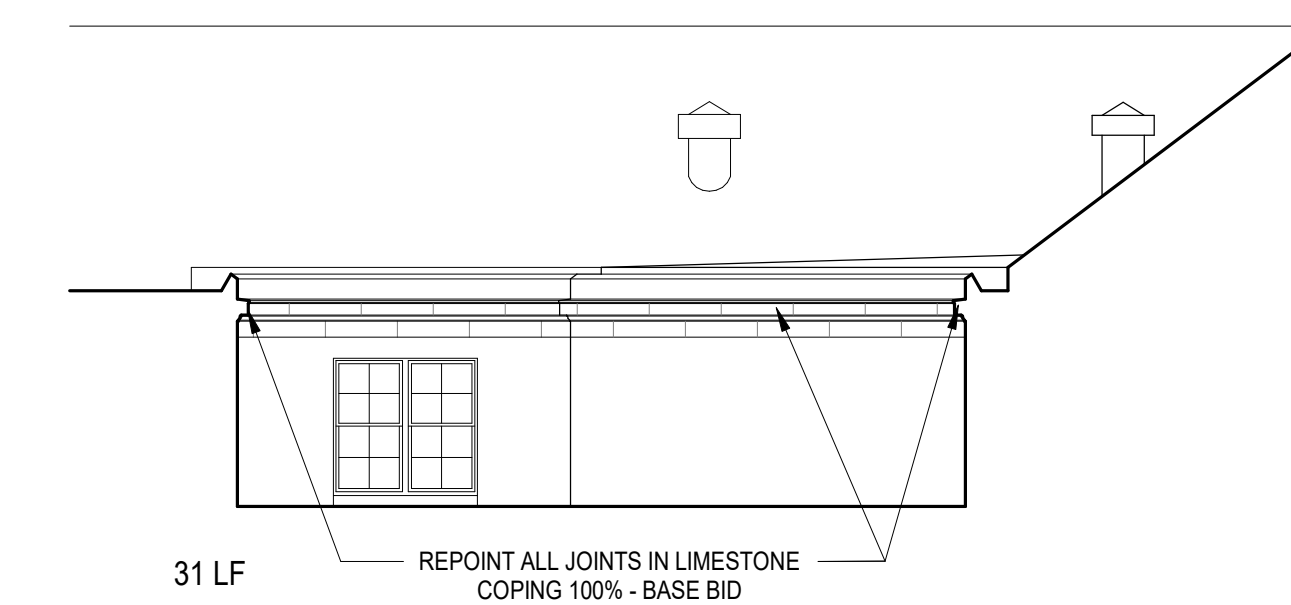
SHEET TITLE:
ELEVATIONS

SHEET NO. PROJ. NO.
A102 022889

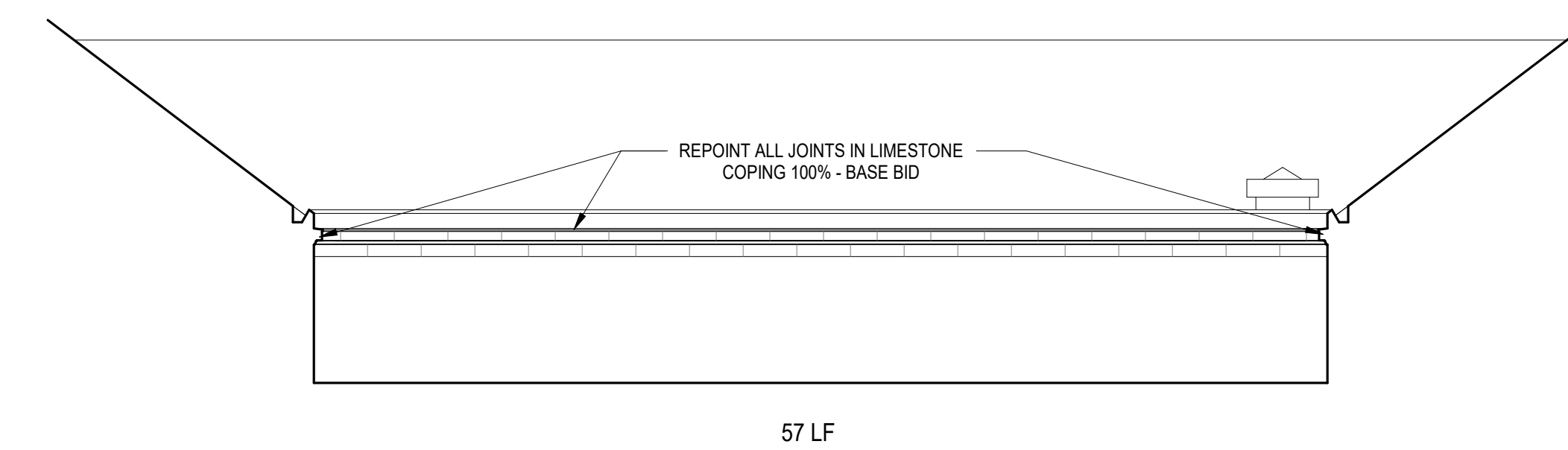
A102



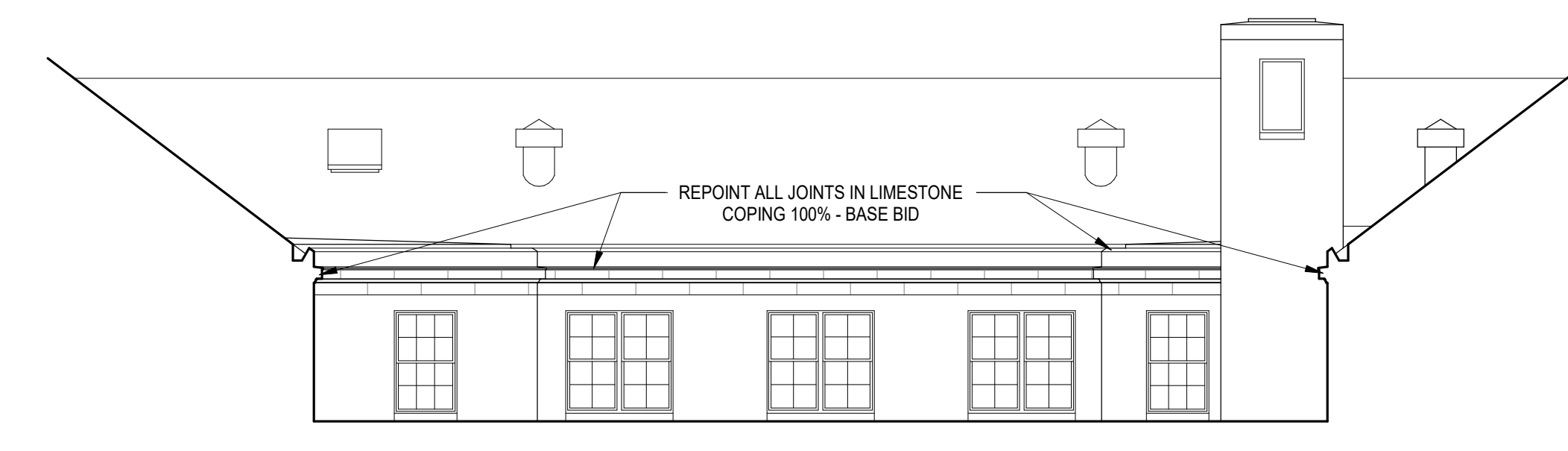
D4 LIGHT WELL NORTH ELEVATION
1/8" = 1'-0"



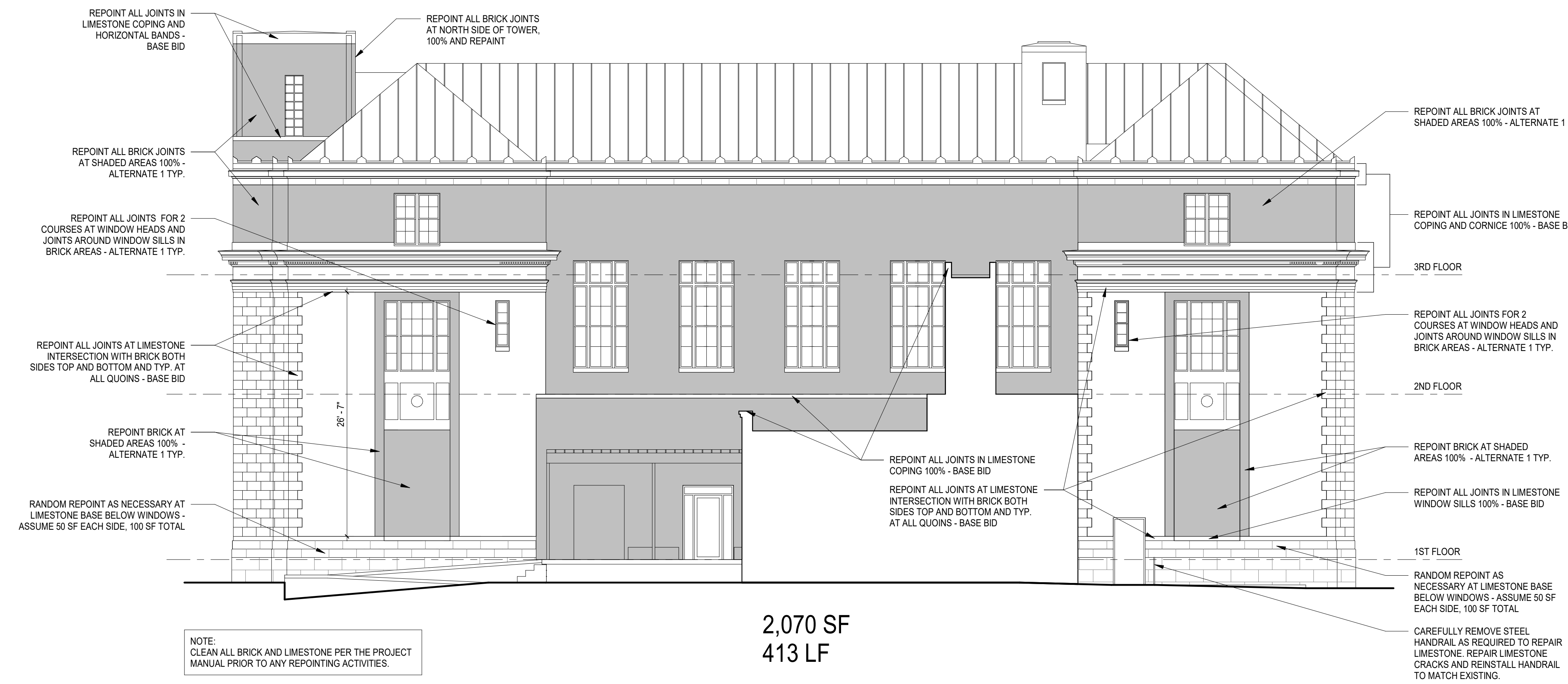
C4 LIGHT WELL SOUTH ELEVATION
1/8" = 1'-0"



B4 LIGHT WELL EAST ELEVATION
1/8" = 1'-0"



A4 LIGHT WELL WEST ELEVATION
1/8" = 1'-0"



2,070 SF
413 LF

NOTE:
CLEAN ALL BRICK AND LIMESTONE PER THE PROJECT MANUAL PRIOR TO ANY REPOINTING ACTIVITIES.

C1 EAST ELEVATION
1/8" = 1'-0"



736 SF
455 LF

NOTE:
CLEAN ALL BRICK AND LIMESTONE PER THE PROJECT MANUAL PRIOR TO ANY REPOINTING ACTIVITIES.

A1 WEST ELEVATION
1/8" = 1'-0"

GENERAL NOTES

- MORTAR COLOR FOR LIMESTONE (BASE BID) SHALL MATCH THE COLOR OF THE LIMESTONE.
- MORTAR COLOR FOR THE BRICK (ALTERNATE 1) SHALL MATCH THE COLOR OF THE EXISTING BRICK MORTAR.
- REMOVE AND REPOINT ALL PREVIOUS REPAIRS DONE WITH INCOMPATIBLE MORTAR AT BRICK AREAS (ALTERNATE 1).
- CLEAN AND REPOINT 100% EXTERIOR MASONRY SIGN - ALTERNATE 2
- REPOINT ALL JOINTS IN PERIMETER SITE WALL 100% AND MAKE REPAIRS AS REQUIRED - ALTERNATE 2.

ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF FURNISHED BY MCMILLAN PAZDAN SMITH ARCHITECTURE ARE AND SHALL REMAIN THE PROPERTY OF MCMILLAN PAZDAN SMITH ARCHITECTURE. THESE DRAWINGS ARE TO BE USED ONLY WITH RESPECT TO THE PROJECT AND NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MCMILLAN PAZDAN SMITH ARCHITECTURE. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. MCMILLAN PAZDAN SMITH ARCHITECTURE SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. MCMILLAN PAZDAN SMITH ARCHITECTURE SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS.