



Architectural
Services

130 Regional Park Drive
Kingsport, TN 37660
Phn (423) 349-7760
Fax (423) 349-7413
www.grcinc.com

ADDENDUM ONE

Project: **Sullivan County Immunization**

Address: **1041 East Sullivan St., Kingsport, Tennessee.**

November 11, 2022

This Addendum is part of the Contract Documents for the above referenced project and modifies the original drawings and/or specifications, dated **10/27/22**, as noted below. The bidder shall acknowledge receipt of this Addendum in the place provided in the Bid Form. The published bid date and time shall remain the same.

GENERAL:

1. Please see attached Pre-Bid Attendance Record.
2. Per the requirements of ESSER 2.0 funding, the project shall be completed by June 30, 2023.

DRAWINGS:

1. **Sheet G-00 Cover Sheet** – updated.
2. **Sheet G-11 Life Safety Plan** – update to code data.
3. **Sheet C-11 Site Layout** – clarification on scope of work.
4. **Sheet C-51 Site Details** – clarification of notes.
5. **Sheet L-11 Landscape Plan** – change note 6.
6. **Sheet S-11 Foundation Plan** – add turn down slab detail.
7. **Sheet S-15 Roof Framing Plan** – add lintel schedule.
8. **Sheet S-51 Structural Details** – change note “linear” to “legs”, change stair riser height.
9. **Sheet A-01 Demolition Plan – Base Bid** – remove key note 1, add key note 20.
10. **Sheet A-11 Floor Plan – Base Bid** – change toilet accessories schedule.
11. **Sheet A-13 Floor Plan – Add Alt. 2** – add plan notes.
12. **Sheet A-21 Building Elevations – Base Bid** – add detail bubble to signage.
13. **Sheet A-34- Wall Sections – Detail 1/A-34** - Missing brick angle over door, added notes.
14. **Sheet A-35- Building Sections - Detail 4/A-35** - Missing brick angle over door, added notes.
15. **Sheet A-42 Canopy Details** - added notes.
16. **Sheet A-51 Details** - added signage detail.
17. **Sheet A-61 Door Window Schedule - Base Bid** – added frame type details.
18. **Sheet A-63 Door Window Schedule – Alt. 2** – added glazing types.
19. **Sheet I-21 Reflected Ceiling Plan – Base Bid** – added ceiling mounted receptacle.
20. **Sheet I-40 Casework Elevations & Sections** – noted cabinet locks, revise toilet accessories.
21. **Sheet E-11 Lighting Plan - Base Bid** – added labels to canopy lights.
22. **Sheet E-12 Lighting Plan – Alt. 1** - added labels to canopy lights.
23. **Sheet E-21 Power Plan - Base Bid** – added casework receptacle notes.
24. **Sheet E-22 Power Plan – Alt. 1** - added casework receptacle notes.

SPECIFICATIONS:

1. **Section 002111 – Bid Advertisement** – See Bid Advertisement missing from issued set.
2. **Section 004113 – Bid Form** – See attached revised bid form showing Owner's Contingency of 5%. Contractor shall add 5% to the base bid to be used as an Owner's Contingency. This amount shall be listed on the Schedule of Values and if unused this amount shall be credited back to the Owner.
3. **Section 006325 – Request for Approval Form** – See revised form, the issued form was missing a page.
4. **Section 084113 – Aluminum-Framed Entrances and Storefronts**, 1.4.B – Delete requirement for a Delegated Design. Use manufacturer's standard design requirements. 1.5.E - Clarification – Entrance Door hardware shall be hardware set 1, all other door hardware shall be provided by storefront manufacturer.

Attachments:

1. Pre-bid attendance record.
2. Sheet G-00 Cover Sheet
3. Sheet G-11 Life Safety Plan
4. Sheet C-11 Site Layout
5. Sheet C-51 Site Details
6. Sheet L-11 Landscape Plan
7. Sheet S-11 Foundation Plan
8. Sheet S-15 Roof Framing Plan
9. Sheet S-51 Structural Details
10. Sheet A-01 Demolition Plan – Base Bid
11. Sheet A-11 Floor Plan – Base Bid
12. Sheet A-13 Floor Plan – Add Alt. 2
13. Sheet A-21 Building Elevations – Base Bid
14. Sheet A-34 Wall Sections
15. Sheet A-35 Building Sections & Details – Alt. 2
16. Sheet A-42 Canopy Details
17. Sheet A-51 Details
18. Sheet A-61 Door Window Schedule - Base Bid
19. Sheet A-63 Door Window Schedule – Alt. 2
20. Sheet I-21 Reflected Ceiling Plan – Base Bid
21. Sheet I-40 Casework Elevations & Sections
22. Sheet E-11 Lighting Plan - Base Bid
23. Sheet E-12 Lighting Plan – Alt. 1
24. Sheet E-21 Power Plan - Base Bid
25. Sheet E-22 Power Plan – Alt. 1
26. Section 002111 – Bid Advertisement
27. Section 004113 – Bid Form
28. Section 006325 – Request for Approval Form.

END OF ADDENDUM 1

OFFICE OF THE SULLIVAN COUNTY PURCHASING AGENT
 3411 HIGHWAY 126-SUITE 201
 BLOUNTVILLE, TN 37617-0569

KRISTINIA DAVIS
 PURCHASING AGENT

PHONE 423-323-6100
 FAX 423-323-7249
 kris.davis@sullivancountyttn.gov

PRE-BID ATTENDANCE RECORD

DATE: 11.03.22 TIME: 3:00PM
 PROJECT DESCRIPTION: Sullivan County Immunization Center Additions and Renovations
 LOCATION OF PROJECT: Sullivan County Immunization Center

*NOTE: MANDATORY PRE-BID MEETING REQUIRES REPRESENTATION OF COMPANY AGENT, VERIFIED BY REGISTRATION, TO AFFORD AN OPPORTUNITY FOR COMPANY TO OFFER A PRICED PROPOSAL.

Purchasing Dept: Michelle Ramo

YOUR NAME	COMPANY / AGENCY	PHONE NUMBER	EMAIL ADDRESS
<u>John Stewart</u>	<u>Sullivan Co</u>	<u>423-279-2891</u>	<u>lynn.stewart@sullivancountyttn.gov</u>
<u>RICHARD WITZ</u>	<u>CRW</u>		<u>RICKL@GREINC.COM</u>
<u>MILT LIETZKE</u>	<u>CRW</u>	<u>423-383-5430</u>	<u>MILT@GRCINC.COM</u>
<u>DINEEN WEST</u>	<u>CRW</u>	<u>423-349-7760</u>	<u>dineen@greinc.com</u>
<u>Tyler Rasnake</u>	<u>CRW</u>	<u>423-588-9368</u>	<u>tyler@greinc.com</u>
<u>Rachel List</u>	<u>CRW</u>	<u>865-356-7070</u>	<u>rachel@greinc.com</u>
<u>BEN McMurphy & LELAND LEONARD</u>	<u>ARMSTRONG</u>	<u>423-246-6185</u>	<u>BEN@ARMSTRONG-CONCRETE.COM</u>



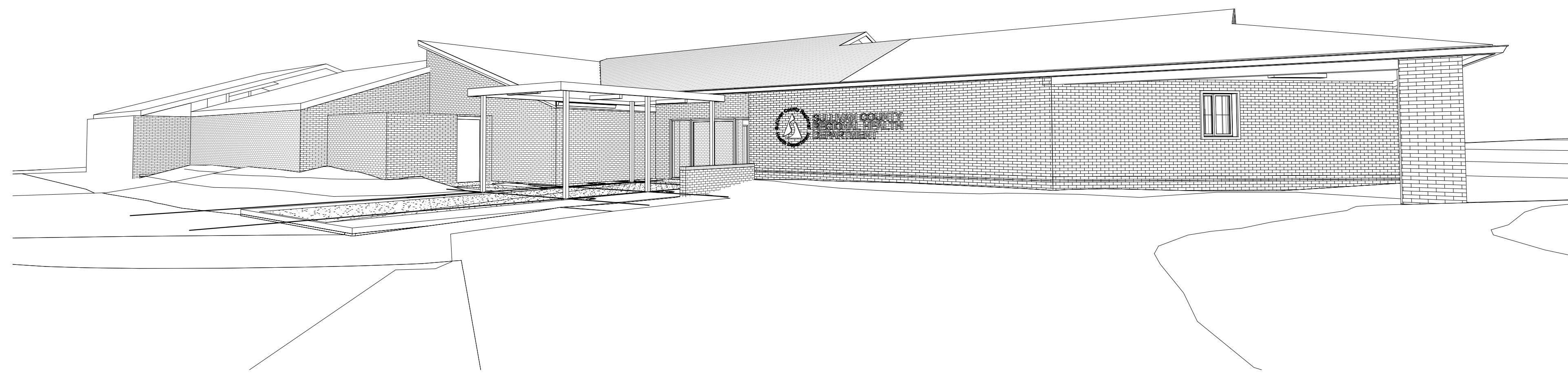
SULLIVAN COUNTY IMMUNIZATION

1041 E. Sullivan St. Kingsport, TN 37660

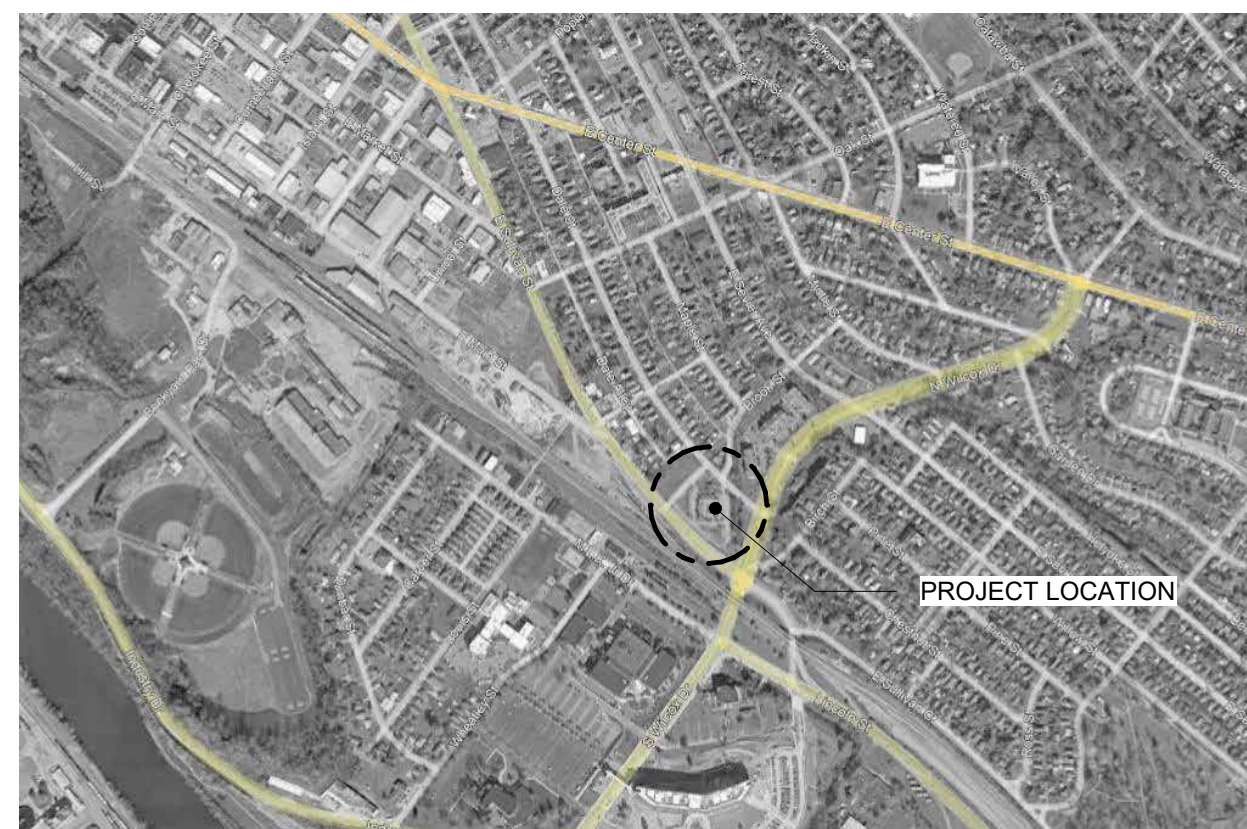
ISSUED FOR CONSTRUCTION

OCTOBER 27, 2022

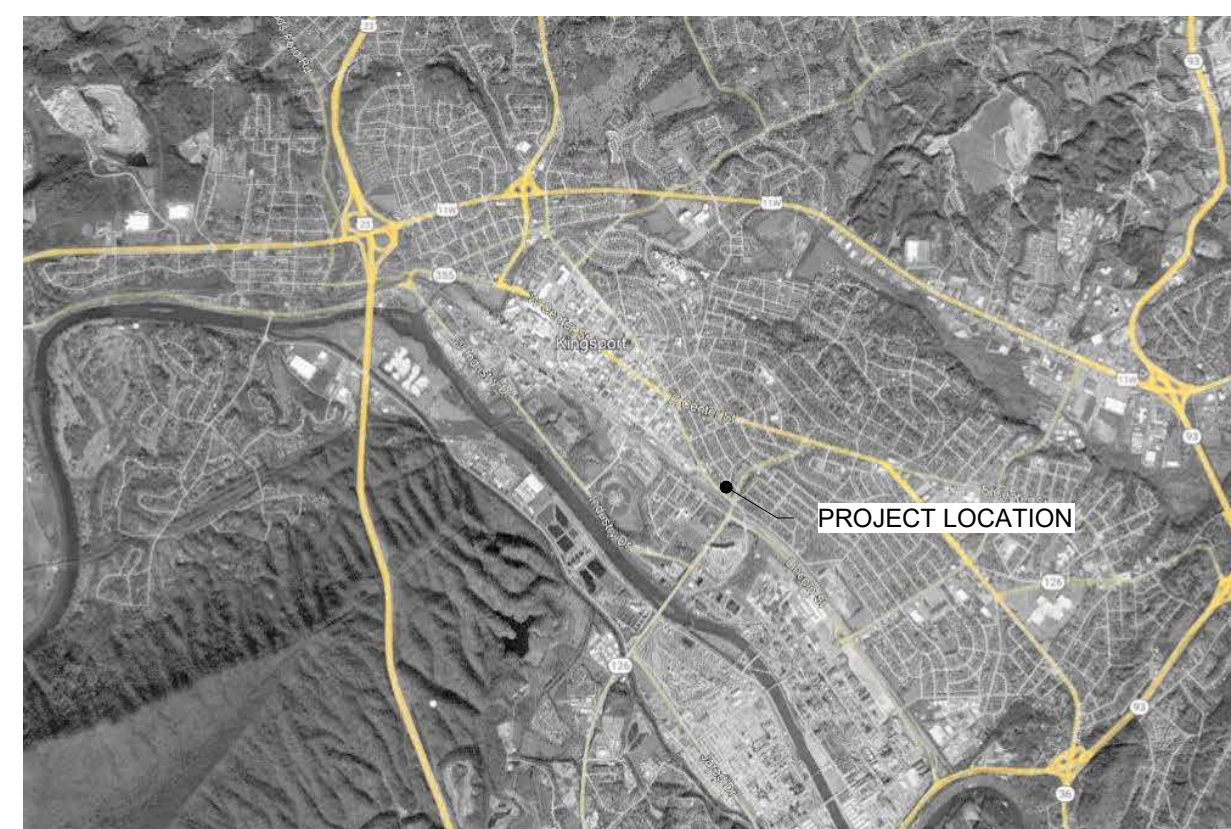
CRW PROJECT # 202256



FRONT PERSPECTIVE



VICINITY MAP



LOCATION MAP

SHEET INDEX					
GENERAL					
G-00	COVER SHEET	10-27-2022			
G-01	GENERAL INFORMATION	10-27-2022			
G-11	LIFE SAFETY PLAN	10-27-2022	1	11-11-22	ADDENDUM #1
SURVEY					
V-11	SITE SURVEY	10-27-2022			
SITE / CIVIL					
C-11	SITE LAYOUT	10-27-2022	1	11-11-22	ADDENDUM #1
C-51	SITE DETAILS	10-27-2022	1	11-11-22	ADDENDUM #1
C-52	SITE DETAILS	10-27-2022			
LANDSCAPE					
L-11	LANDSCAPE PLAN	10-27-2022	1	11-11-22	ADDENDUM #1
STRUCTURAL					
S-01	STRUCTURAL SCHEDULES AND NOTES	10-27-2022			
S-11	FOUNDATION PLANS	10-27-2022	1	11-11-22	ADDENDUM #1
S-15	ROOF FRAMING PLAN	10-27-2022	1	11-11-22	ADDENDUM #1
S-51	STRUCTURAL DETAILS	10-27-2022	1	11-11-22	ADDENDUM #1
ARCHITECTURE					
A-01	DEMOLITION PLAN - BASE BID	10-27-2022	1	11-11-22	ADDENDUM #1
A-02	DEMOLITION PLAN - ADD ALT. 1	10-27-2022			
A-11	FLOOR PLAN - BASE BID	10-27-2022	1	11-11-22	ADDENDUM #1
A-12	FLOOR PLAN - ADD ALT. 1	10-27-2022			
A-13	FLOOR PLAN - ADD ALT. 2	10-27-2022	1	11-11-22	ADDENDUM #1
A-15	ROOF PLAN	10-27-2022			
A-16	ROOF DETAILS	10-27-2022			
A-21	BUILDING ELEVATIONS - BASE BID	10-27-2022	1	11-11-22	ADDENDUM #1
A-22	BUILDING ELEVATIONS - ADD ALT. 1	10-27-2022			
A-31	BUILDING SECTIONS - BASE BID	10-27-2022			
A-32	BUILDING SECTIONS - BASE BID	10-27-2022			
A-33	BUILDING SECTIONS - BASE BID	10-27-2022			
A-34	WALL SECTIONS	10-27-2022	1	11-11-22	ADDENDUM #1
A-35	BUILDING SECTIONS & DETAILS - ALT. 2	10-27-2022	1	11-11-22	ADDENDUM #1
A-41	RAMP AND STAIR DETAILS	10-27-2022			
A-42	CANOPY DETAILS	10-27-2022	1	11-11-22	ADDENDUM #1
A-51	DETAILS	10-27-2022	1	11-11-22	ADDENDUM #1
A-61	DOOR / WINDOW SCHEDULE - BASE BID	10-27-2022	1	11-11-22	ADDENDUM #1
A-62	DOOR / WINDOW DETAILS - ALT. 2	10-27-2022			
A-63	DOOR / WINDOW SCHEDULE - ALT. 2	10-27-2022	1	11-11-22	ADDENDUM #1
INTERIORS					
I-11	FINISH PLAN	10-27-2022			
I-21	REFLECTED CEILING PLAN - BASE BID	10-27-2022	1	11-11-22	ADDENDUM #1
I-22	REFLECTED CEILING PLAN - ALT. 1	10-27-2022			
I-40	CASEWORK ELEVATIONS & SECTIONS	10-27-2022	1	11-11-22	ADDENDUM #1
MECHANICAL					
M-01	SPECIFICATIONS & SCHEDULES	10-27-2022			
M-11	FLOOR PLAN - HVAC	10-27-2022			
PLUMBING					
P-11	FLOOR PLAN - WASTE WATER	10-27-2022			
ELECTRICAL					
E-01	LEGENDS & ELECTRICAL SPECIFICATIONS	10-27-2022			
E-02	ONE-LINE DIAGRAM, SCHEDULES, & DETAILS	10-27-2022			
E-11	LIGHTING PLAN - BASE BID	10-27-2022	1	11-11-22	ADDENDUM #1
E-12	LIGHTING PLAN - ALTERNATE BID 1	10-27-2022	1	11-11-22	ADDENDUM #1
E-21	POWER PLAN - BASE BID	10-27-2022	1	11-11-22	ADDENDUM #1
E-22	POWER PLAN - ALTERNATE BID 1	10-27-2022	1	11-11-22	ADDENDUM #1

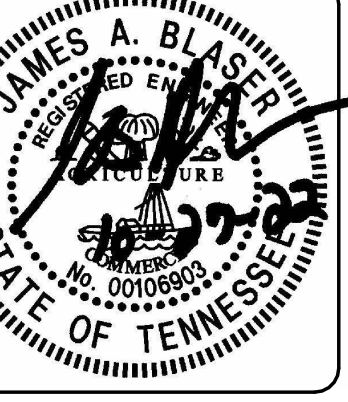
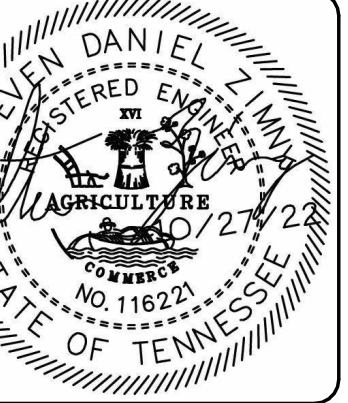
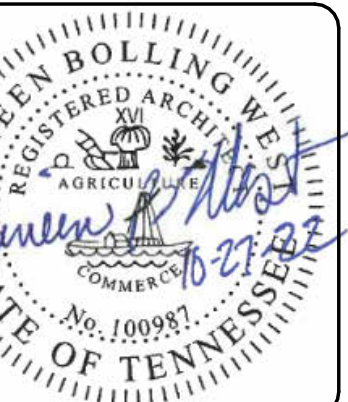
SULLIVAN COUNTY
IMMUNIZATION

1041 E. Sullivan St.
Kingsport, TN 37660



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Project number 202256

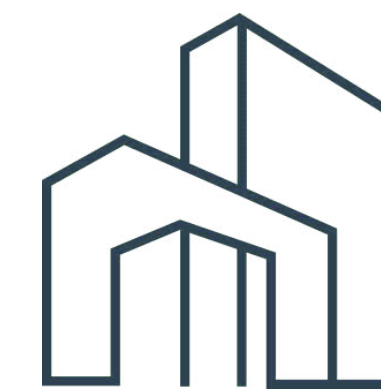
COVER SHEET

G-00

STRUCTURAL

**SPODEN & WILSON
CONSULTING ENGINEERS**
430 CLAY STREET
KINGSPORT, TENNESSEE 37660
Phone: (423) 245-1181 Fax: (423) 245-0852
email: sweng@spodenwilson.com

MECHANICAL / PLUMBING ENGINEER

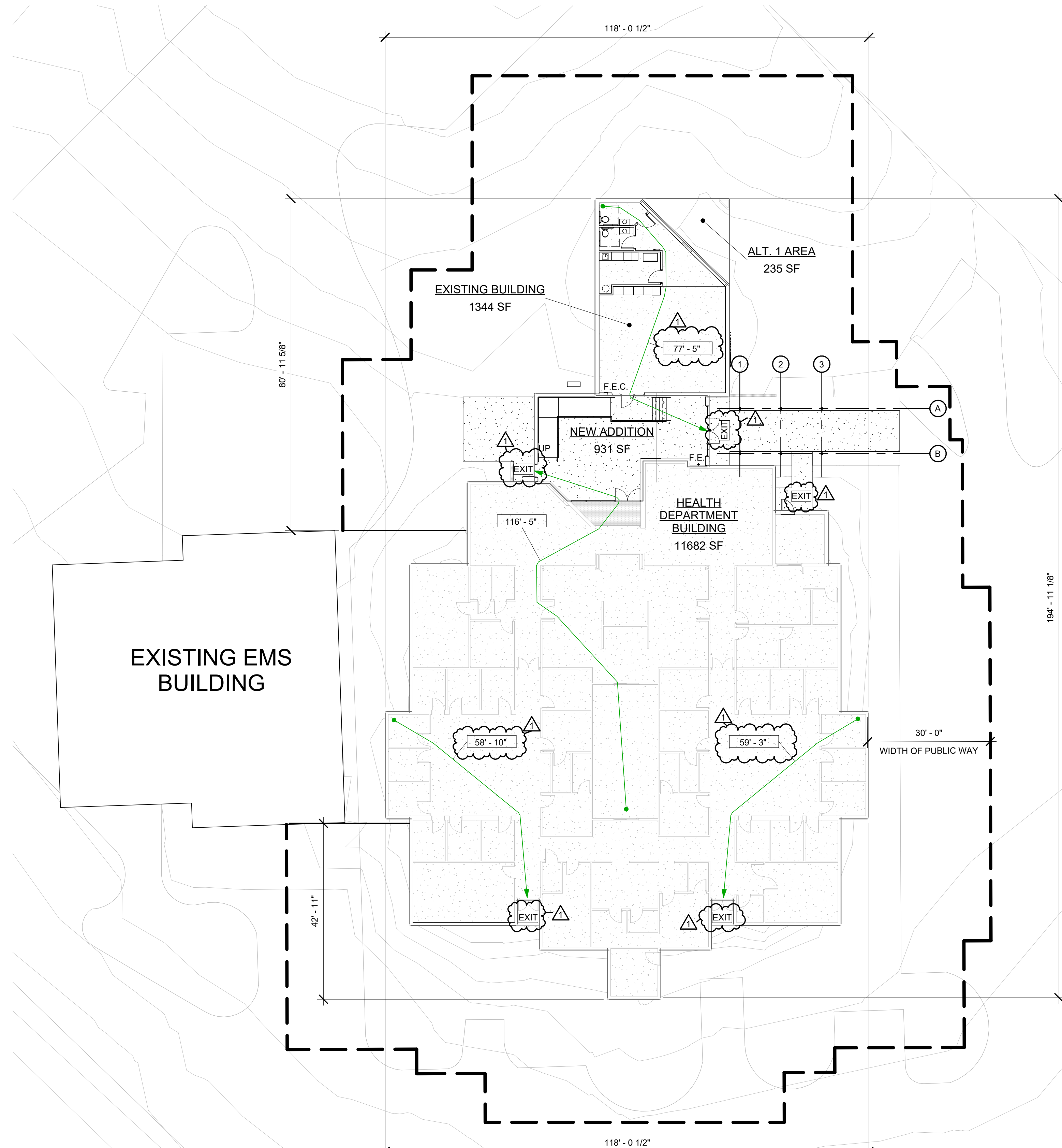


BCE
BEDINGER
CONSULTING
ENGINEERS
5641 MERCHANTS CENTER BLVD. | STE. A104
KNOXVILLE, TN 37912
(865) 637-8339

ELECTRICAL ENGINEER

Blaser Engineering

398 Moore Street
Bristol, VA 24201
Phone: (423) 349-8380
Email: jimblaser@gmail.com



Code Info

PROJECT DESCRIPTION

NEW ADDITION FOR THE KINGSPORT HEALTH DEPARTMENT TO CONNECT THE EXISTING BUILDING WITH SMALL ACCESSORY BUILDING AND CREATE A MORE PROMINANT FRONT ENTRANCE. MINIMAL CHANGES TO THE LAYOUT IN SMALL EXISTING BUILDING AND NO CHANGES TO EXISTING HEALTH DEPARTMENT LAYOUT.

BUILDING DATA

ICC INTERNATIONAL BUILDING CODE (2018 EDITION)
 ICC INTERNATIONAL MECHANICAL CODE (2018 EDITION)
 ICC INTERNATIONAL FUEL GAS CODE (2018 EDITION)
 ICC INTERNATIONAL PLUMBING CODE (2018 EDITION)
 ICC INTERNATIONAL FIRE CODE (2018 EDITION)
 ICC INTERNATIONAL ENERGY CONSERVATION CODE (2018 EDITION)
 NFPA 70 NATIONAL ELECTRICAL CODE (2017 EDITION)
 ASHRAE 90.1 (2016) STANDARD

BUILDING INFORMATION

BUILDING AREA	=	1,344 SF
EXISTING BUILDING	=	11,662 SF
EXISTING HEALTH DEPT.	=	931 SF
NEW ADDITION	=	235 SF
TOTAL	=	13,937 SF
ADD ALT. 1	=	235 SF
TOTAL WITH ALT. 1	=	14,172 SF

BUILDING HEIGHT
18'-3"

STORIES
ONE-STORY BUILDING

NON-SPRINKLERED

CONSTRUCTION TYPE

TYPE V CONSTRUCTION

OCCUPANCY

OCCUPANCY
BUSINESS - GROUP B

ALLOWABLE AREA

BUILDING INFORMATION
TOTAL BUILDING AREA - BASE BID = 13,937 S.F.

TOTAL BUILDING AREA WITH ALT. 1 = 14,172 SF
 ALLOWABLE AREA WITH INCREASE = 14,698.6 SF

ALLOWABLE AREA - TABLE 506.2
 NON-SPRINKLERED = 9,000 SF
 P=BUILDING PERIMETER= 629'-6 5/8"
 F= 551'-8 1/2"

SECTION 506.3.2 - EQUATION 5-3
 $A_u = [A + (NS \times I)]$
 $A_u = [9,000sf + (9,000sf \times 0.63)]$
 $A_u = 14,698.568 SF$

SECTION 506.3.2 - EQUATION 5-4
 $W = (L \times W_1 + L \times W_2 + L \times W_3) / F$
 $W = (81'-11 5/8" \times 30' + 118'-0 1/2" \times 30' + 196'-8 7/8" \times 30' + 118' 1/2" \times 30' + 42'-11 1/8" \times 30') / 551'-8 1/2"$
 $W = 30'-4"$

SECTION 506.3.2 - EQUATION 5-5
 $I = [F/P - 0.25] / 30$
 $I = [551'-8 1/2' / 629'-5 5/8" - 0.25] / 30 \times 47' / 30$
 $I = 0.633$

EGRESS

TABLE 1017.2 - MAXIMUM TRAVEL DISTANCE TO AN EXIT
 GROUP B, NON-SPRINKLERED = 200 FT.

IMMUNIZATION PLAN

1/16" = 1'-0"

SULLIVAN COUNTY
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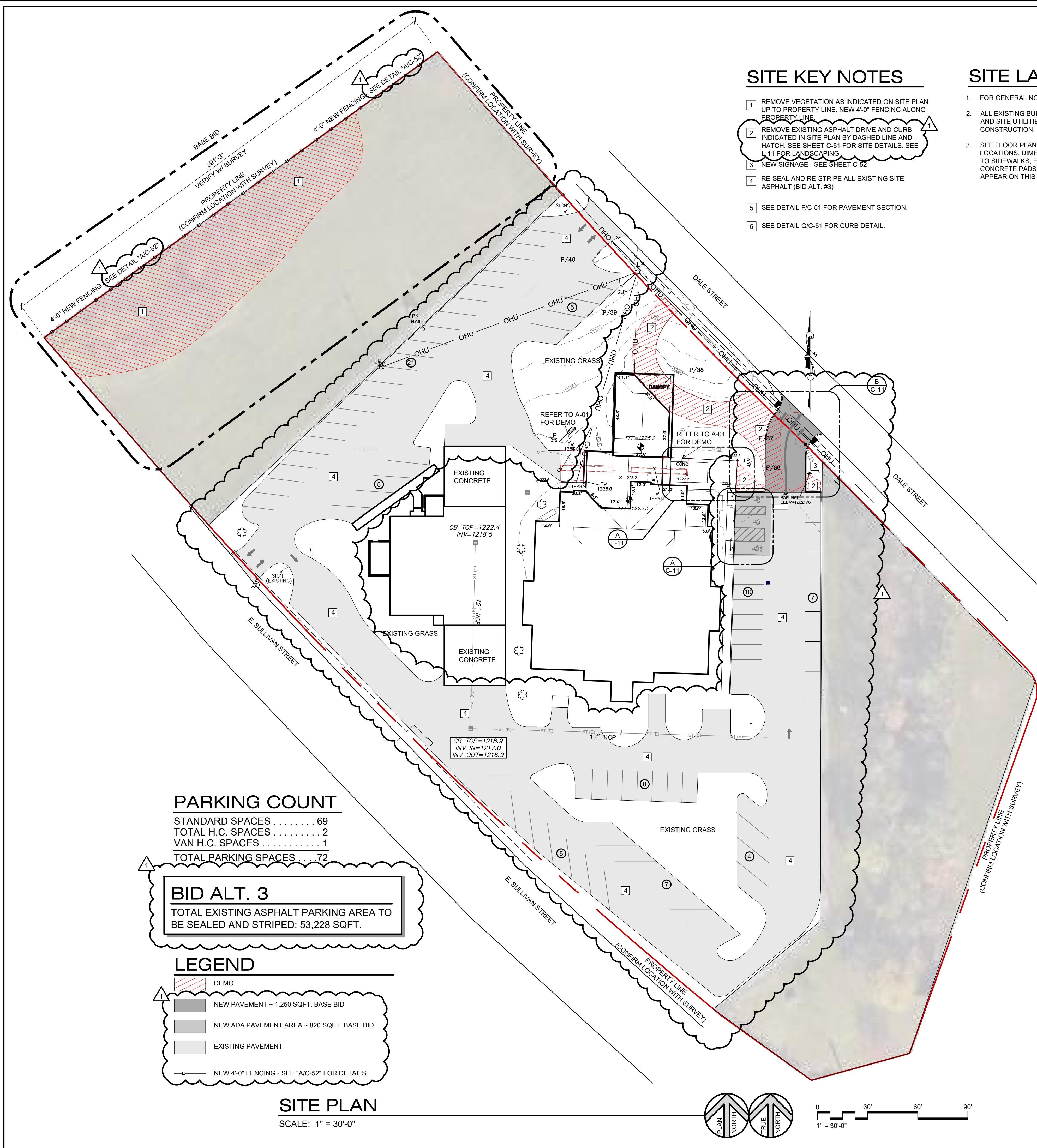
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1	11-11-22	ADDENDUM #1



Issued Date	OCTOBER 27, 2022
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Drawn by	TR
Project number	202258

LIFE SAFETY PLAN

G-11



SITE KEY NOTES

- 1 REMOVE VEGETATION AS INDICATED ON SITE PLAN UP TO PROPERTY LINE. NEW 4'-0" FENCING ALONG PROPERTY LINE.
- 2 REMOVE EXISTING ASPHALT DRIVE AND CURB INDICATED IN SITE PLAN BY DASHED LINE AND HATCH. SEE SHEET C-51 FOR SITE DETAILS. SEE L-11 FOR LANDSCAPING.
- 3 NEW SIGNAGE - SEE SHEET C-52
- 4 RE-SEAL AND RE-STRIPE ALL EXISTING SITE ASPHALT (BID ALT. #3)
- 5 SEE DETAIL F/C-51 FOR PAVEMENT SECTION.
- 6 SEE DETAIL G/C-51 FOR CURB DETAIL.

SITE LAYOUT NOTES

1. FOR GENERAL NOTES, SEE DRAWING G-01.
2. ALL EXISTING BUILDINGS, SIDEWALKS, ASPHALT PARKING, AND SITE UTILITIES ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
3. SEE FLOOR PLANS AND ELEVATIONS FOR ADDITIONAL LOCATIONS, DIMENSIONS AND ELEVATIONS PERTAINING TO SIDEWALKS, EXTERIOR RAMPS AND STEPS, EXTERIOR CONCRETE PADS, AND BOLLARDS WHICH MAY NOT APPEAR ON THIS PLAN.
4. EXTERIOR CONCRETE PADS AND WALKS SHALL SLOPE DOWN 1/4" PER FOOT TOWARD EDGE OF SLAB, UNLESS NOTED OTHERWISE. SEE DETAIL 5 ON C-51 FOR SLAB AND EDGE DETAILS.
5. PROVIDE POSITIVE DRAINAGE TO ALL LOW POINTS TO PREVENT PONDING OF SURFACE RUN-OFF.
6. ALL UTILITY WORK SHALL BE COORDINATED w/ AUTHORITIES HAVING JURISDICTION.
7. CONTRACTOR SHALL INSTALL CONTROL JOINTS IN CONCRETE CURBS AT 8'-0" MAX. ON CENTER. EXPANSION JOINTS SHALL BE INSTALLED AT 40'-0" MAX. ON CENTER. CONTRACTOR SHALL VERIFY EXACT LOCATIONS OF CONTROL AND EXPANSION JOINTS IN CURBS WHICH ABUT WALKWAYS, WITH ARCHITECT. PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR SHALL INSTALL CONTROL AND EXPANSION JOINTS IN EXTERIOR CONCRETE SLABS AND WALKS AT 5'-0" ON CENTER UNLESS NOTED OTHERWISE. REFER TO DETAILS ON SHEET C-51.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING ALL TAP FEES ASSOCIATED WITH SITE UTILITIES, UNLESS NOTED.

PARKING COUNT

STANDARD SPACES	69
TOTAL H.C. SPACES	2
VAN H.C. SPACES	1
TOTAL PARKING SPACES	72

BID ALT. 3

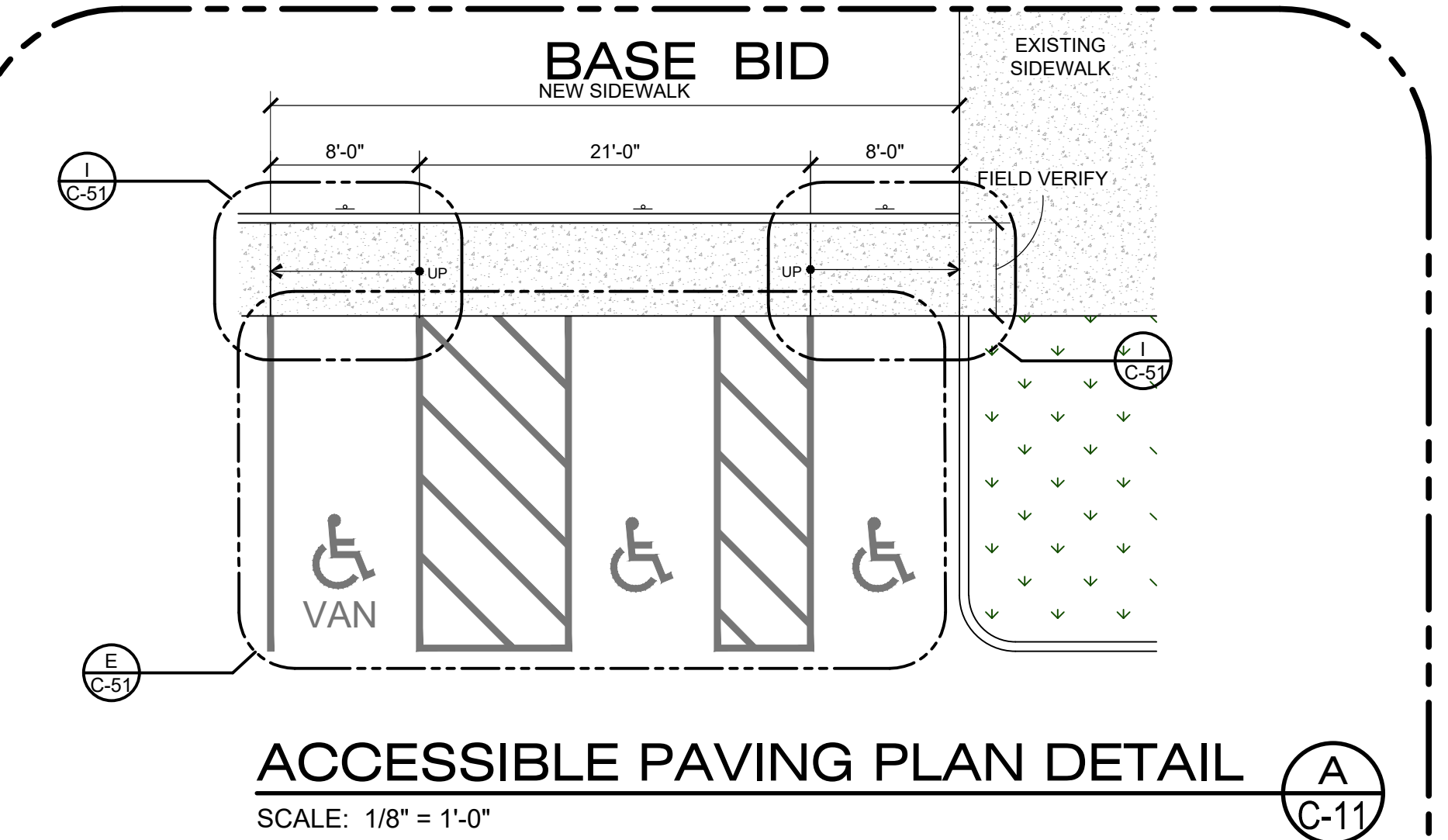
TOTAL EXISTING ASPHALT PARKING AREA TO BE SEALED AND STRIPED: 53,228 SQFT.

LEGEND

- DEMO
- NEW PAVEMENT ~ 1,250 SQFT. BASE BID
- NEW ADA PAVEMENT AREA ~ 820 SQFT. BASE BID
- EXISTING PAVEMENT
- NEW 4'-0" FENCING - SEE "A/C-52" FOR DETAILS

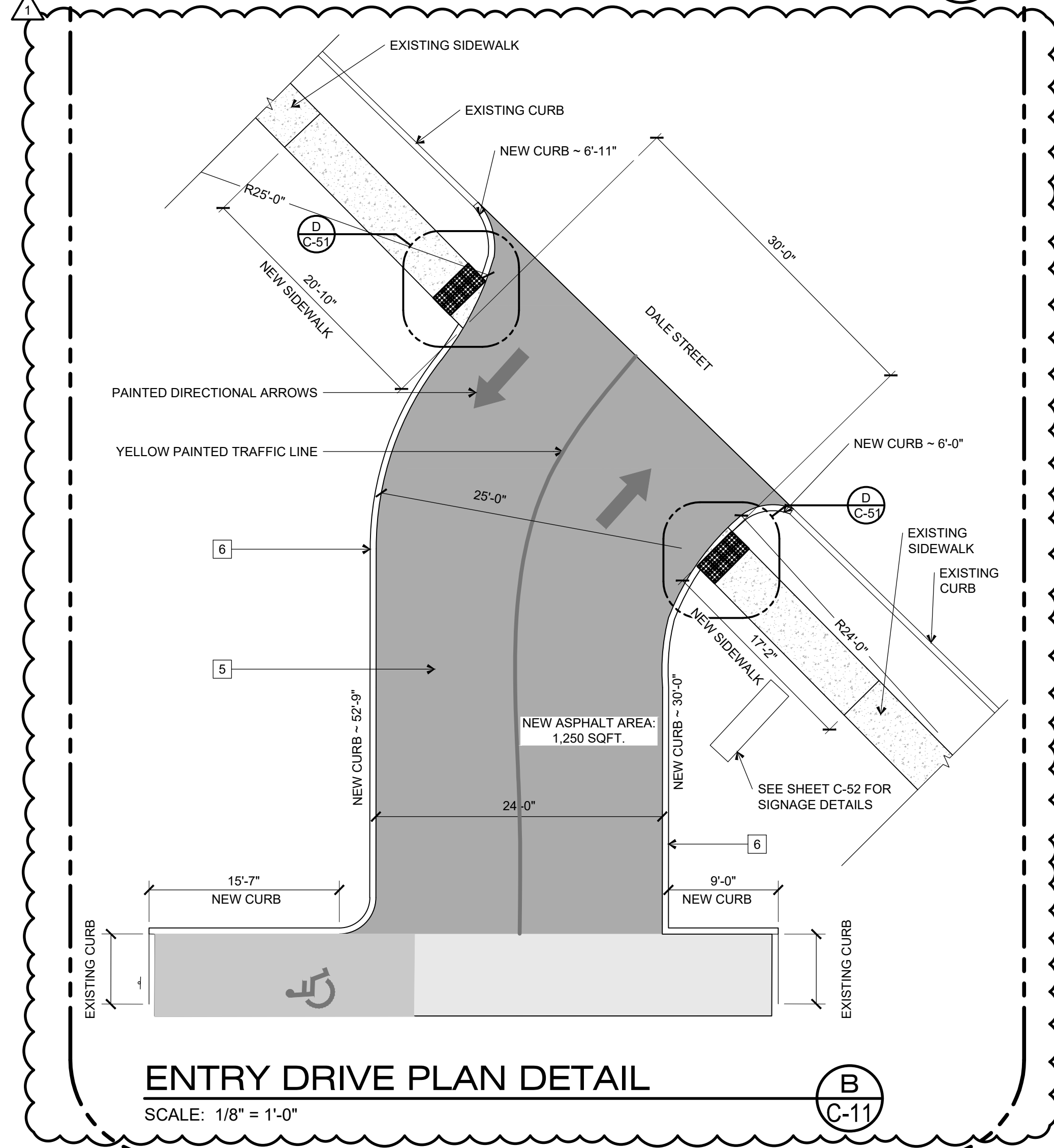
SITE PLAN

SCALE: 1" = 30'-0"



ACCESSIBLE PAVING PLAN DETAIL

SCALE: 1/8" = 1'-0"

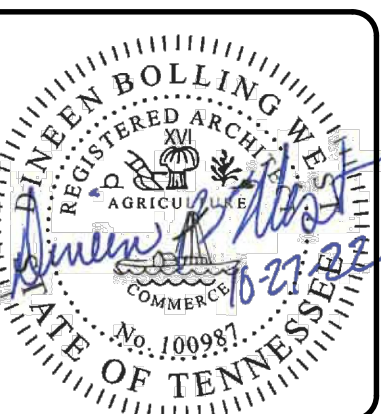


ENTRY DRIVE PLAN DETAIL

SCALE: 1/8" = 1'-0"

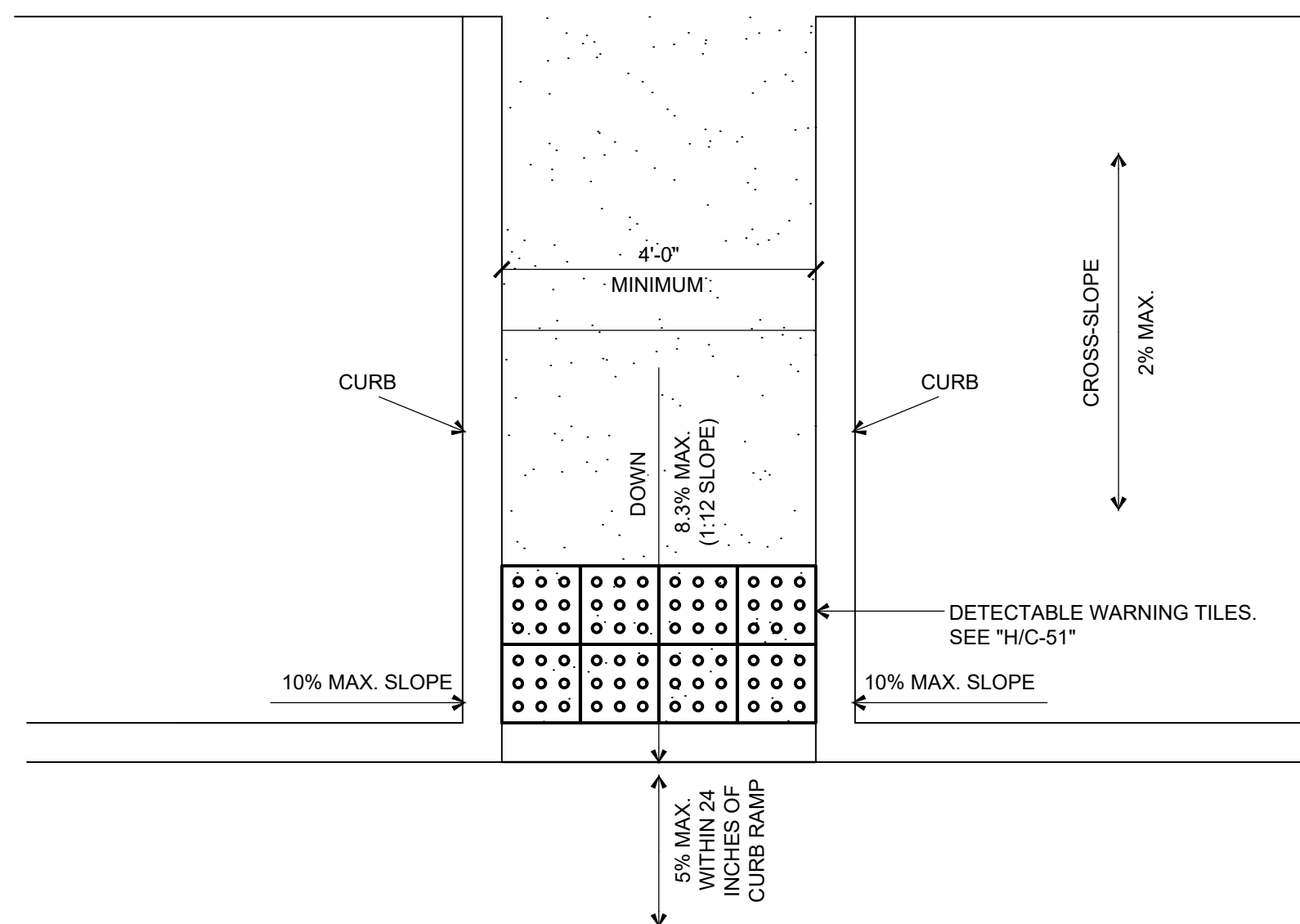
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no.	date	rev.	description
1	11-11-22		ADDENDUM #1

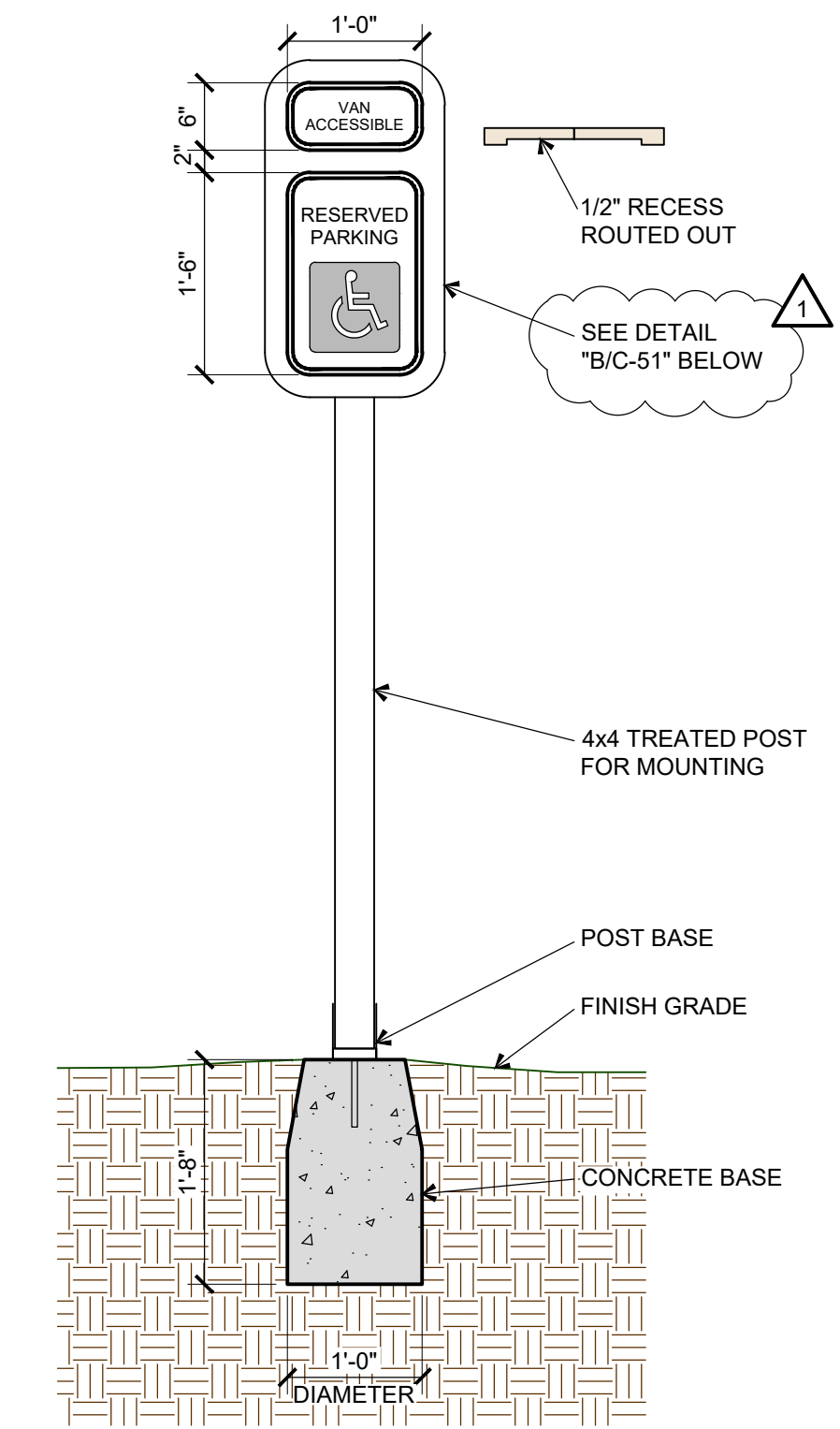


issued	27 OCT. 2022
checked	TR
drawn	RKL
project no.	202256

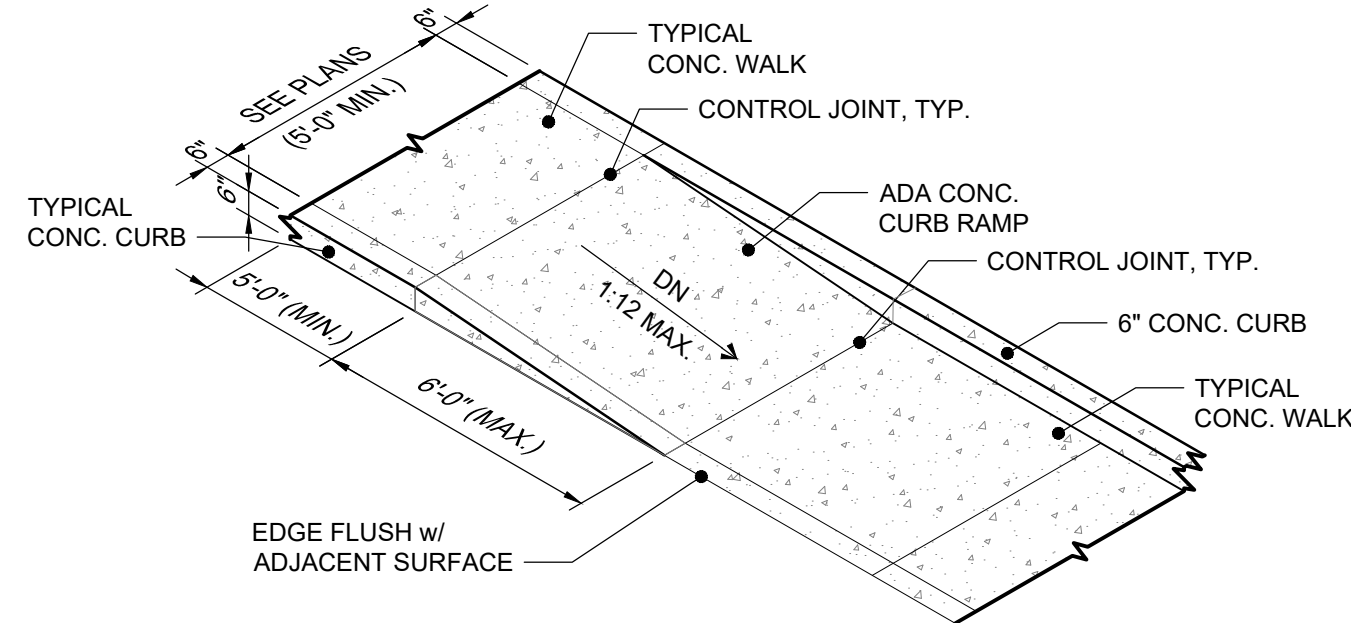
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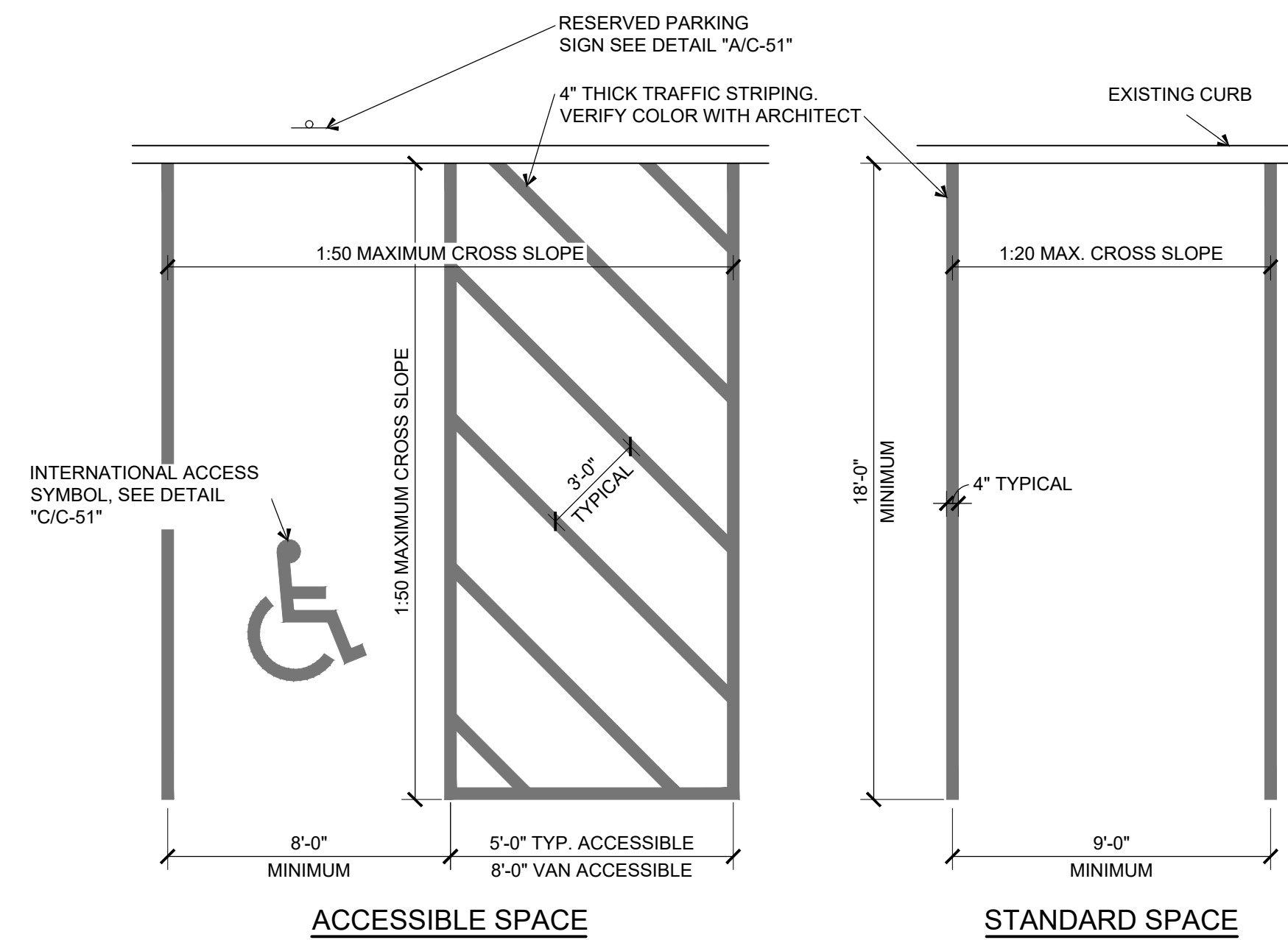
ADA CURB RAMP DETAIL (D)
SCALE: 1/2" = 1'-0"



SIGN DETAIL (A)
SCALE: 3/4" = 1'-0"

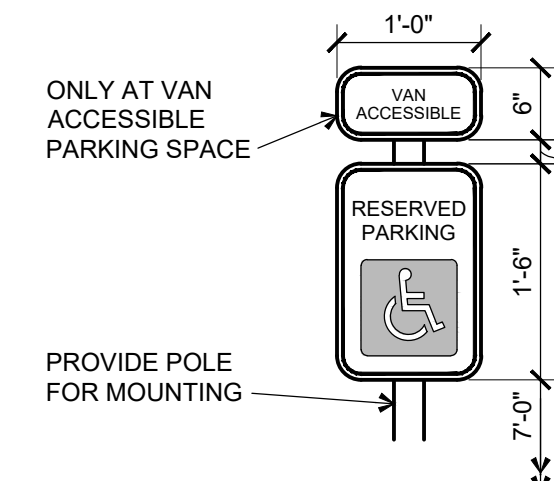


INTERMEDIATE CURB RAMP DETAIL (I)
SCALE: 1/4" = 1'-0"



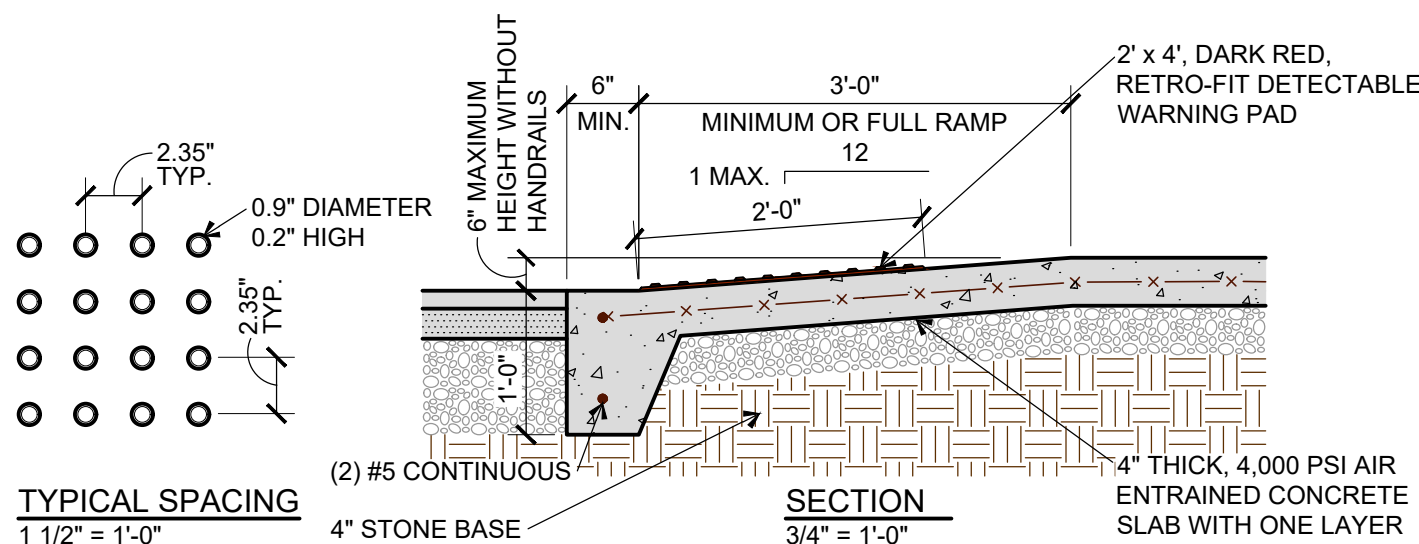
PAVEMENT STRIPING (E)
SCALE: 1/4" = 1'-0"

- SIGN NOTES**
- LOCATIONS SHALL BE DETERMINED IN THE FIELD. ALL MARKING, SIGNAGE, AND PARKING SPACE SIZES SHALL COMPLY WITH THE DEPT. OF JUSTICE 2010 ADA STANDARDS.
 - THIS IS A STANDARD USDOT R7-8 SIGN AND MAY BE ORDERED FROM ANY TRAFFIC SIGN SUPPLIER BY NUMBER. THE SIGN MUST BE SUPPLEMENTED WITH A "VAN ACCESSIBLE" SIGN IN LOCATIONS SHOWN ON THE SITE PLAN.
 - LOCAL REGULATIONS MAY REQUIRE A SIGN WITH THE FINE AMOUNT FOR ILLEGALLY PARKING IN THE RESERVED SPACE(S).

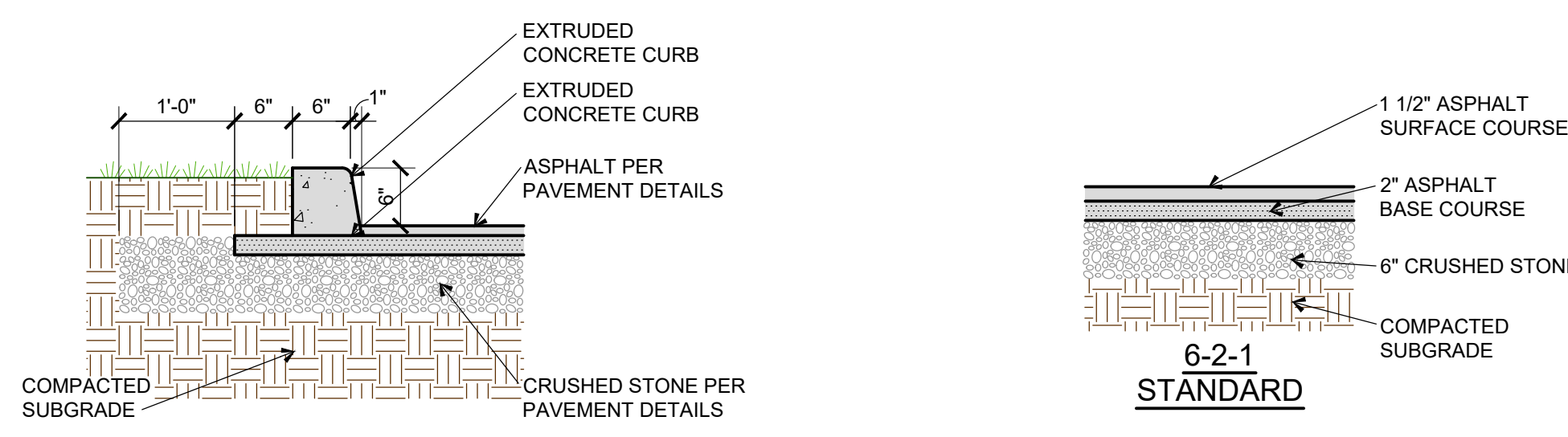


SIGN DETAIL (B)
SCALE: 3/4" = 1'-0"

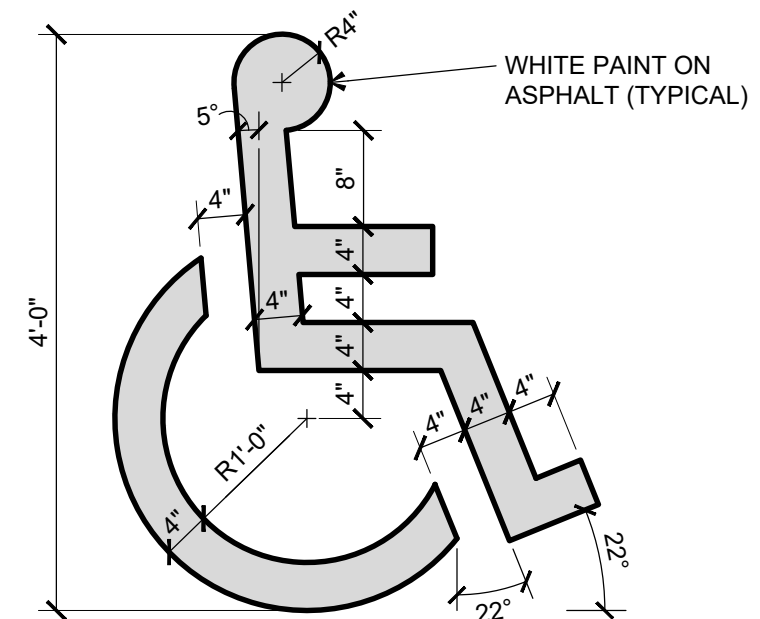
- TRUNCATED DOME NOTES:**
- CURB RAMP MUST HAVE A DETECTABLE WARNING FEATURE EXTENDING THE FULL WIDTH OF THE RAMP. (SEE PLAN)
 - DOMES SHALL BE ALIGNED IN THE PREDOMINANT DIRECTION OF TRAVEL.
 - DETECTABLE WARNING AREA CAN BE SQUARE WHERE USED IN A CURB RADIUS.



TRUNCATED DOME (H)
SCALE: 3/4" = 1'-0"



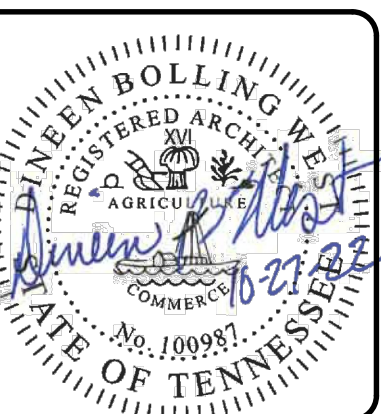
CURB DETAIL (G) SCALE: 3/4" = 1'-0"
NEW PAVING DETAIL (F) SCALE: 3/4" = 1'-0"



PAINTED SYMBOL (C)
SCALE: 3/4" = 1'-0"



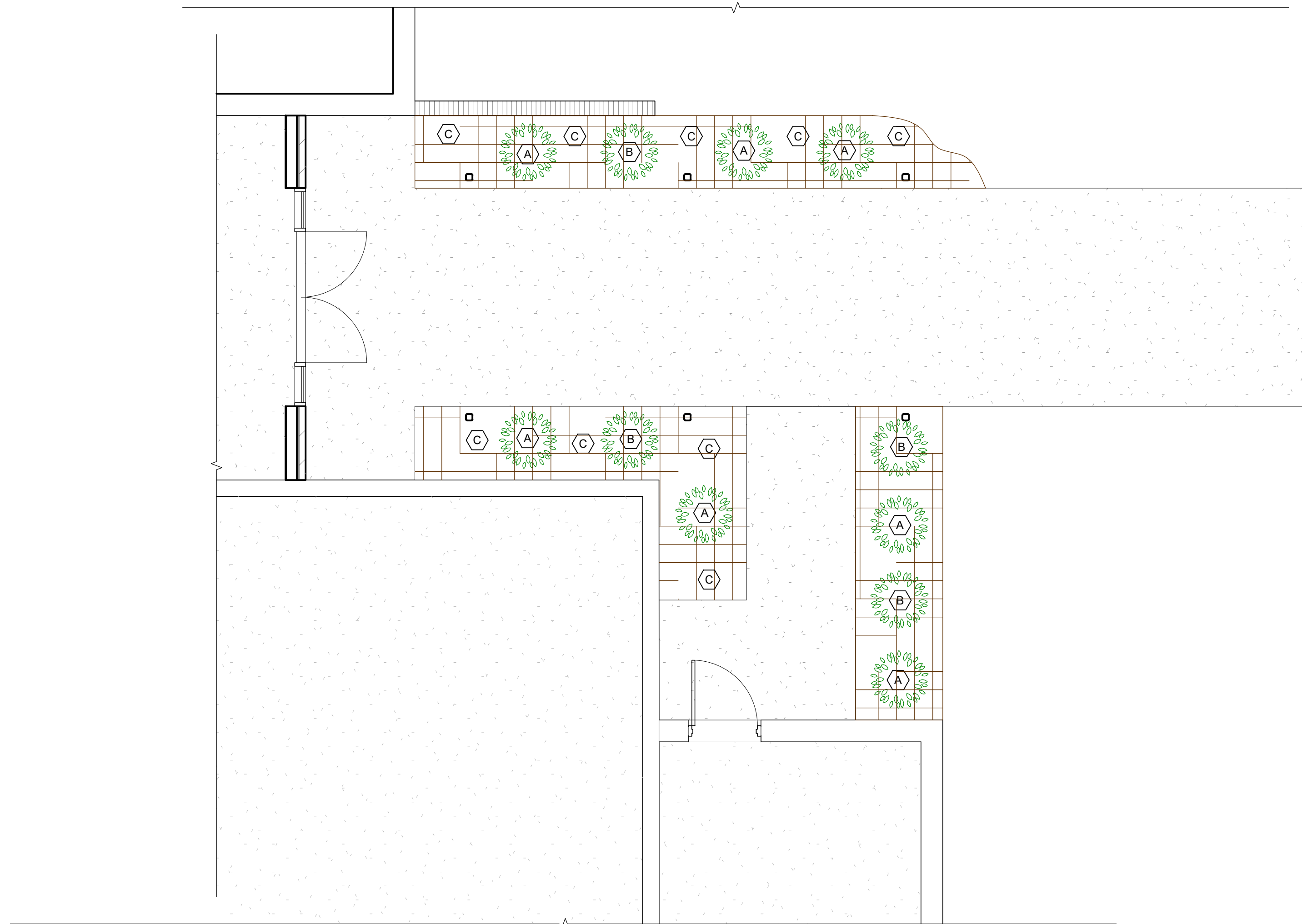
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1	11-11-22		ADDENDUM #1



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drawn	RKL
project no.	202256

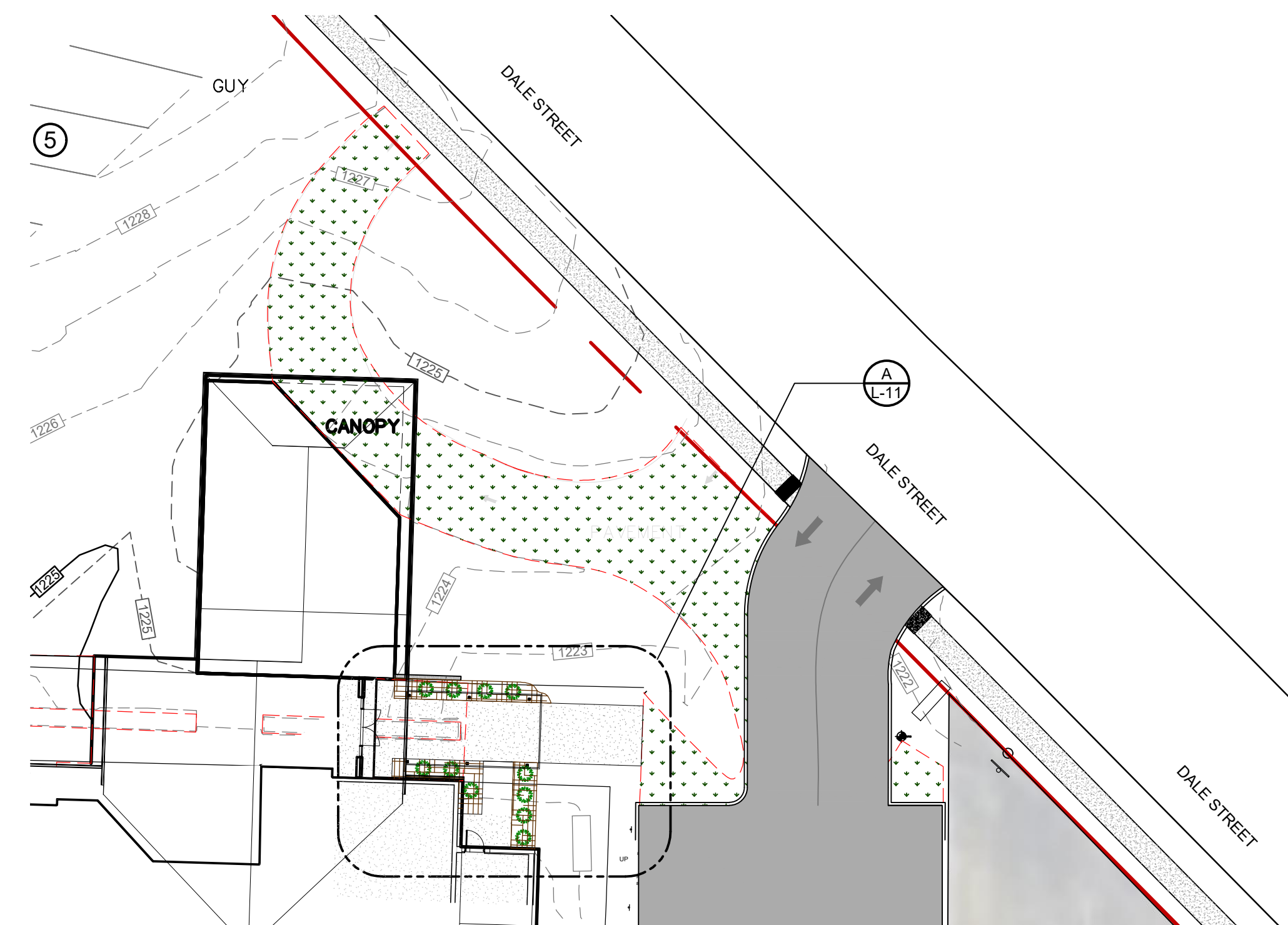
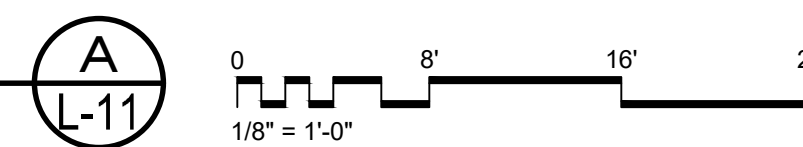
SITE DETAILS

C-51



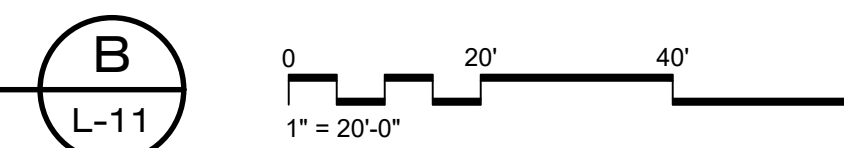
PARTIAL LANDSCAPE PLAN

SCALE: 1/4" = 1'-0"



LANDSCAPE SITE PLAN

SCALE: 1" = 20'-0"



LANDSCAPING NOTES

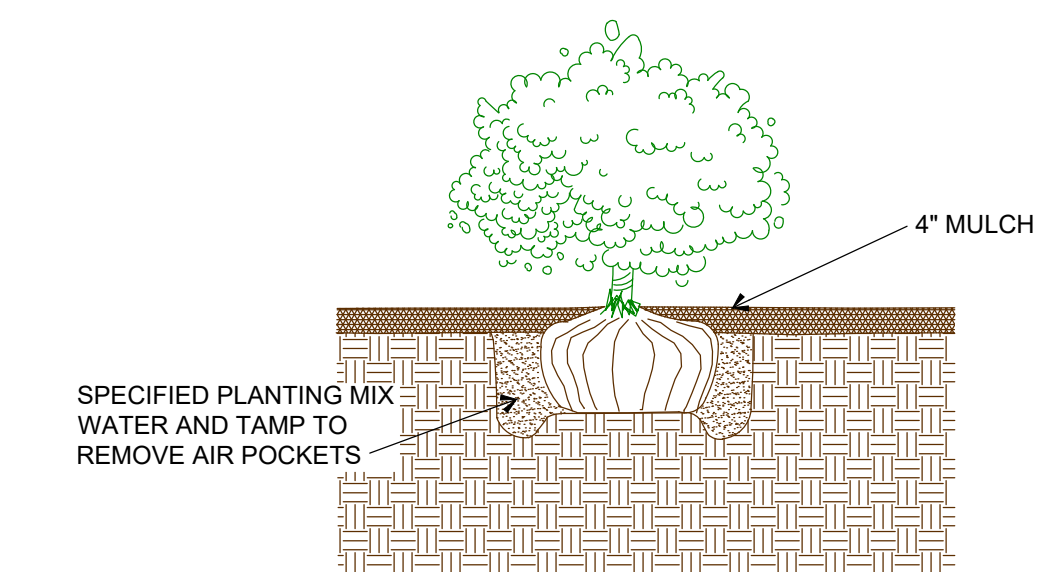
- RESURFACING EXISTING PARKING, NO NEW PARKING SPACES
- SEE SITE LAYOUT FOR BUILDING SETBACKS, EASEMENTS, ZONING, AND LAND USE.
- SEE SHEET C-11 FOR ALL PAVED AREAS. NEW AND EXISTING PAVED AREAS MAY NOT BE DELINEATED FROM ONE ANOTHER ON THIS SHEET.
- ALL AREA INSIDE CURB LINE OF ADJACENT CITY STREETS WHICH HAVE BEEN DISTURBED BY CONSTRUCTION (AND NOT DELINEATED TO RECEIVE PLANTING BED) SHALL BE SEEDED.
- NO PLANTING MATERIAL SHALL BE SUBSTITUTED WITHOUT ARCHITECT'S PRIOR WRITTEN CONSENT.
- UNLESS NOTED OTHERWISE, ALL PLANTING BEDS SHALL BE MOUNTED 4" ABOVE TOP OF ADJACENT CURB OR WALK.
- LANDSCAPE CONTRACTOR SHALL ARRANGE ALL PLANTS AND STAKE LOCATIONS OF ALL TREES, AND CONTACT ARCHITECT FOR APPROVAL PRIOR TO PLANTING.
- PLANTING METHODS SHALL BE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES.
- ALL EXISTING ON-SITE VEGETATION NOT SPECIFICALLY DENOTED TO REMAIN OR BE RELOCATED SHALL BE REMOVED.
- IN LOCATIONS WHERE MULCHED PLANTING BEDS ABUT GRASSY AREAS, EDGE OF BED SHALL RECEIVE 1/8" x 4" ALUMINUM (MILL FINISH) EDGING EQUAL TO "PERMALOC" OR "RYERSON STEEL". INSTALL PER MANUFACTURER'S RECOMMENDATIONS, WITH TOP OF EDGING MAXIMUM 1" ABOVE EARTH.
- ALL NEW PLANTING MATERIAL SHALL BE FERTILIZED WITH "STA-GREEN NURSERY SPECIAL" OR ARCHITECT APPROVED FERTILIZER IN DOSAGE SUGGESTED BY MANUFACTURER. ALL NEW AND EXISTING TREES SHALL ADDITIONALLY RECEIVE ONE-YEAR FERTILIZER CAPSULES BY SAME MANUFACTURER IN RECOMMENDED DOSAGE.
- ALL AREAS DENOTED AS GRASS SHALL RECEIVE FESCUE SEED STRAW.
- ALL MATERIAL TO BE REMOVED SHALL BE DISPOSED OF BY CONTRACTOR'S FORSEC TO MEET ALL APPLICABLE CODES AND ORDINANCES.
- ALL PLANTING BEDS SHALL RECEIVE ONE LAYER TO FULL COVERAGE OF WEED CONTROL FABRIC EQUAL TO "DEWITT WEED BARRIER", COMMERCIAL GRADE.
- ALL PLANTING BEDS SHALL RECEIVE 3" MINIMUM DEPTH OF "MINI-PINE BARK NUGGETS".
- DEFORESTED AREA IS TO BE SEEDED THE SAME AS PAVEMENT AREA BEING DEMOLISHED. SEE SHEET C-11.

LEGEND

- SEED AREA WHERE PAVEMENT IS BEING DEMOLISHED
- AREA TO BE MULCHED

LANDSCAPING SCHEDULE

	MARK	SCIENTIFIC NAME	COMMON NAME	SIZE
SHRUBS	A	LIRIOPE SPICATA	MONKEY GRASS	9-12"
	B	NANDINA DOMESTICA	HARBOUR DWARF NANDINA	2' W, 18" H
FLOWERS	C	ACHILLEA "COLORADO MIX"	MIX PERENNIALS	1 GAL.



SHRUB PLANTING DETAIL

SCALE: 1/2" = 1'-0"

LANDSCAPE CALCULATIONS:
 1. ONLY RESURFACING EXISTING PAVEMENT AND NO NEW PARKING SPACES, THEREFORE NO LANDSCAPING REQUIREMENTS PER CITY ORDINANCE.

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SULLIVAN COUNTY IMMUNIZATION



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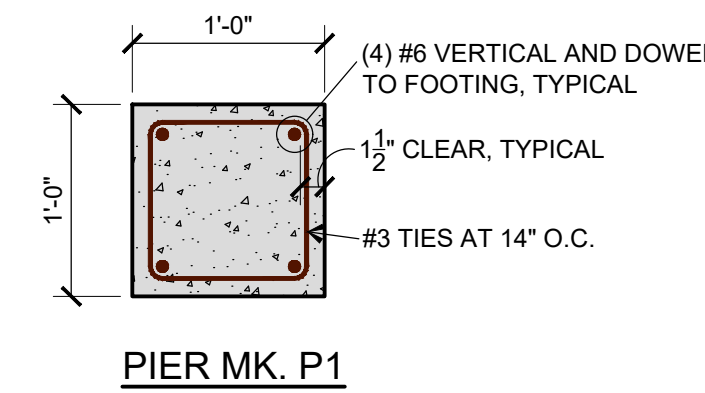
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project no. 202256

LANDSCAPE PLAN

L-11

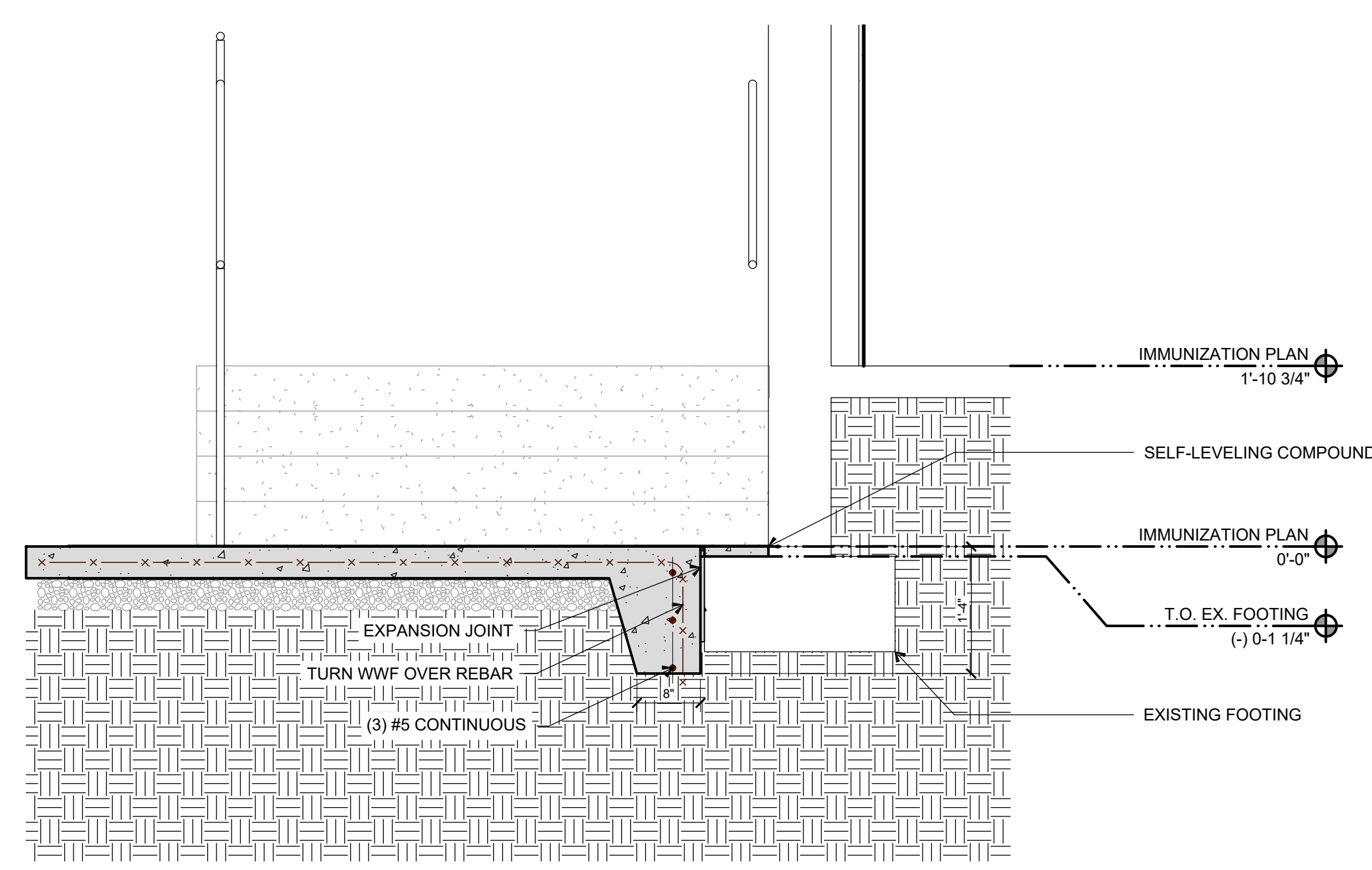


CONCRETE SLAB-ON-GRADE SCHEDULE						
MARK	THICKNESS	28 DAY COMP. STRENGTH	REINFORCING	VAPOR BARRIER	STONE BASE	FINISH
C4	4"	f _c = 4,000 PSI	6x6-W2.9/W2.9 WWF	10 MIL. POLYETHYLENE CLASS A ASTM E 1745	4" COMPACTED CRUSHED STONE	TROWEL
EC4	4"	f _c = 4,000 PSI AIR ENTRAINED	6x6-W2.9/W2.9 WWF		4" COMPACTED CRUSHED STONE	LIGHT BROOM

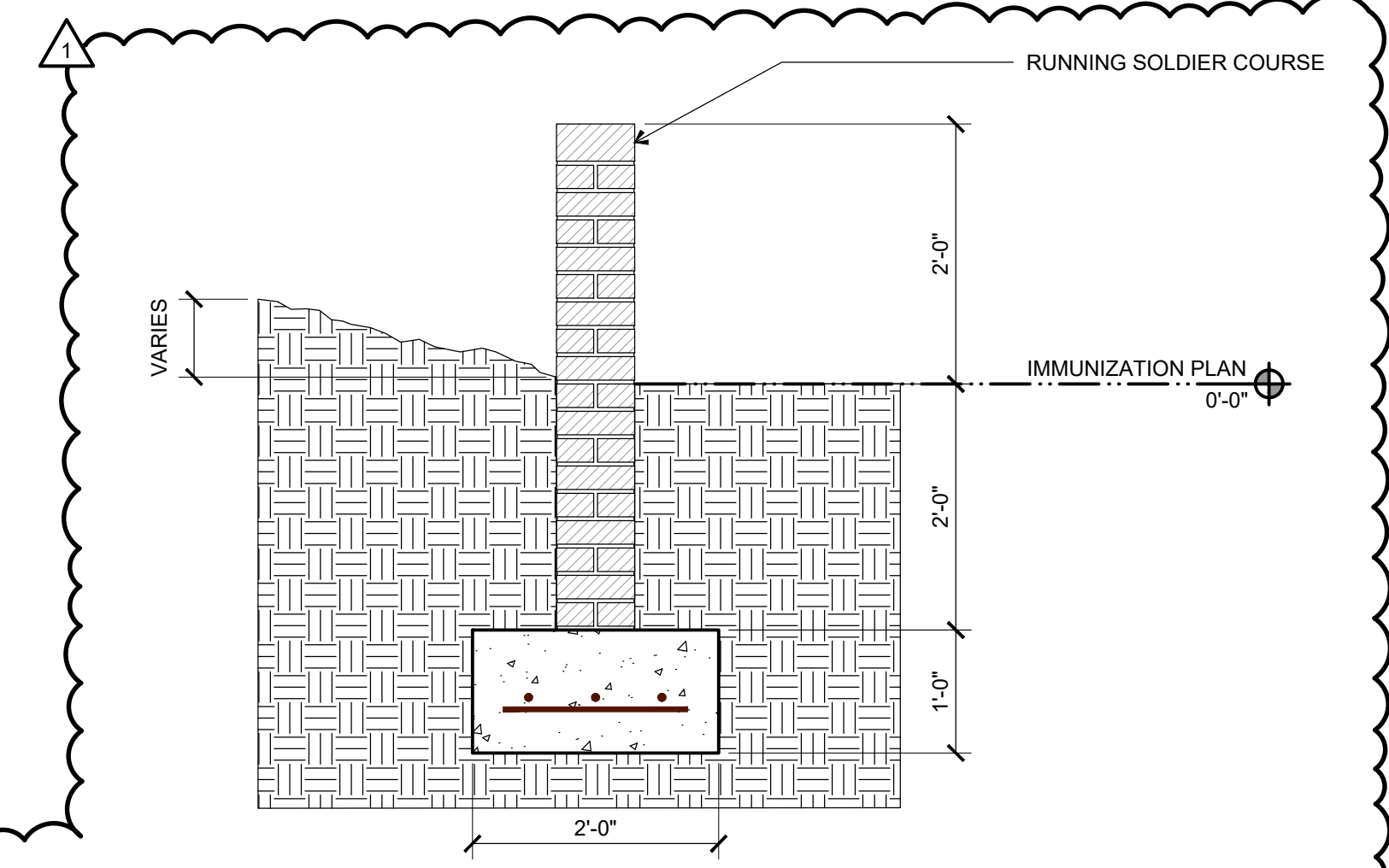
COLUMN PIER DETAILS

SCALE: 1" = 1'-0"

P1
S-10



1
S-11



2
S-11

FOUNDATION LEGEND

- NEW CONCRETE FOOTING
- ASSUMED LOCATION OF EXISTING FOOTING, FIELD VERIFY
- NEW CONCRETE SLAB ON GRADE
- NEW TURNDOWN FOOTING
- FOUNDATION MASONRY
- EXISTING FOUNDATION WALL
- C.J. INDICATES FULL DEPTH CONSTRUCTION JOINT. LOCATE CONSTRUCTION JOINTS (C.J.) FOR SLAB-ON-GRADE ON EITHER SIDE OF INTERIOR CMU WALLS OR AS SHOWN IN FOUNDATION AND FOOTING PLAN, THIS SHEET
- S.J. INDICATES SAWED CONTROL JOINTS

COLUMN FOOTING SCHEDULE			
Concrete f _c = 3,000 psi			
Reinf.: ASTM A615, Grade 60			
MARK	SIZE	REINF. E.W., B.F.	
4'-0"	4'-0" x 4'-0" x 1'-0"	5 - #4	
3'-8"	3'-8" x 3'-8" x 1'-0"	4 - #4	
3'-0"	3'-0" x 3'-0" x 1'-0"	4 - #4	

EXISTING FOOTING - NEW SLAB -DETAIL

SCALE: 3/4" = 1'-0"

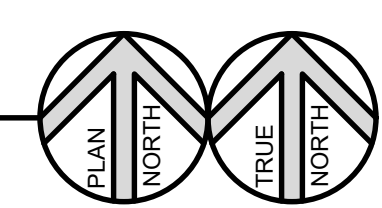
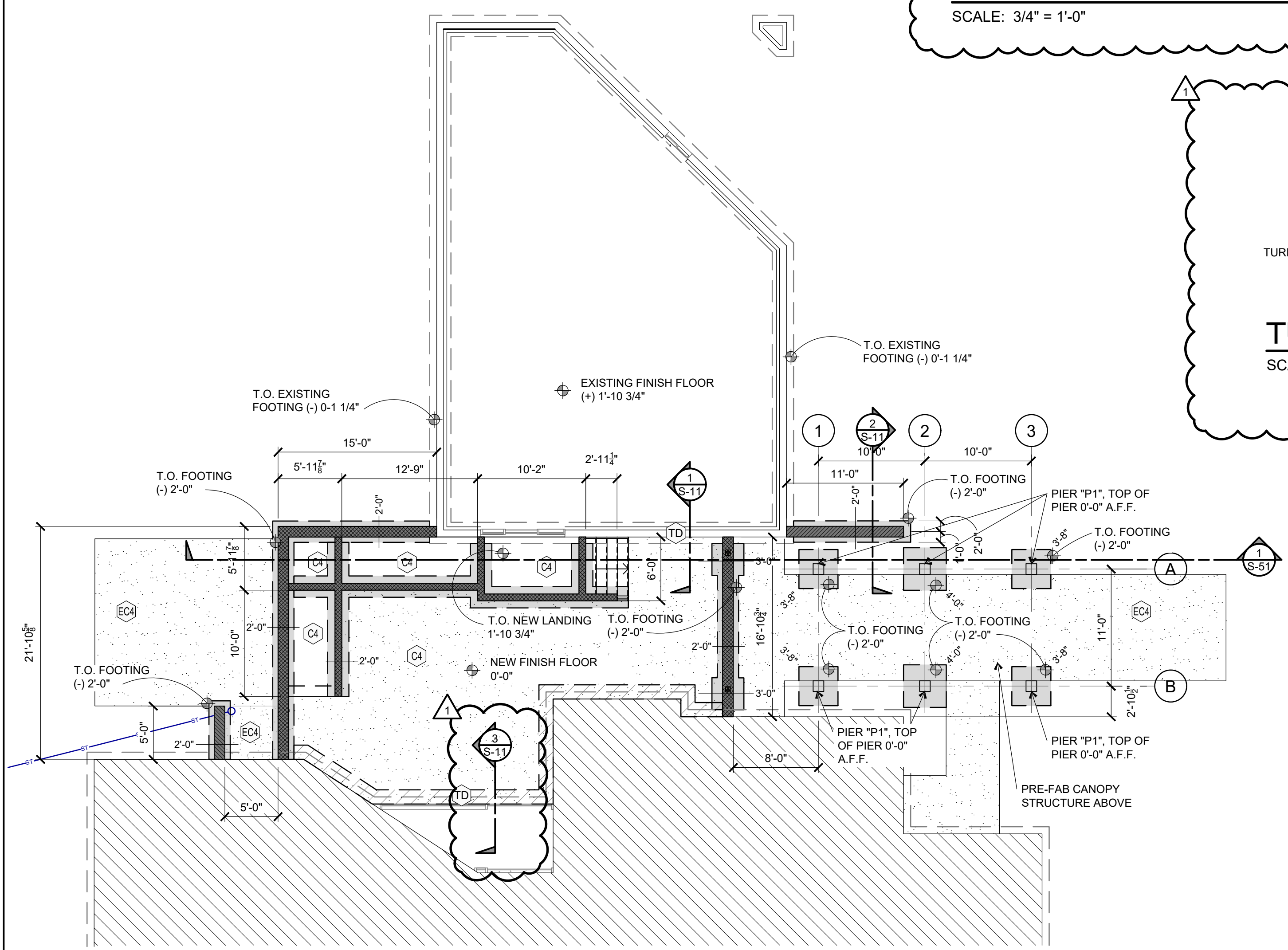
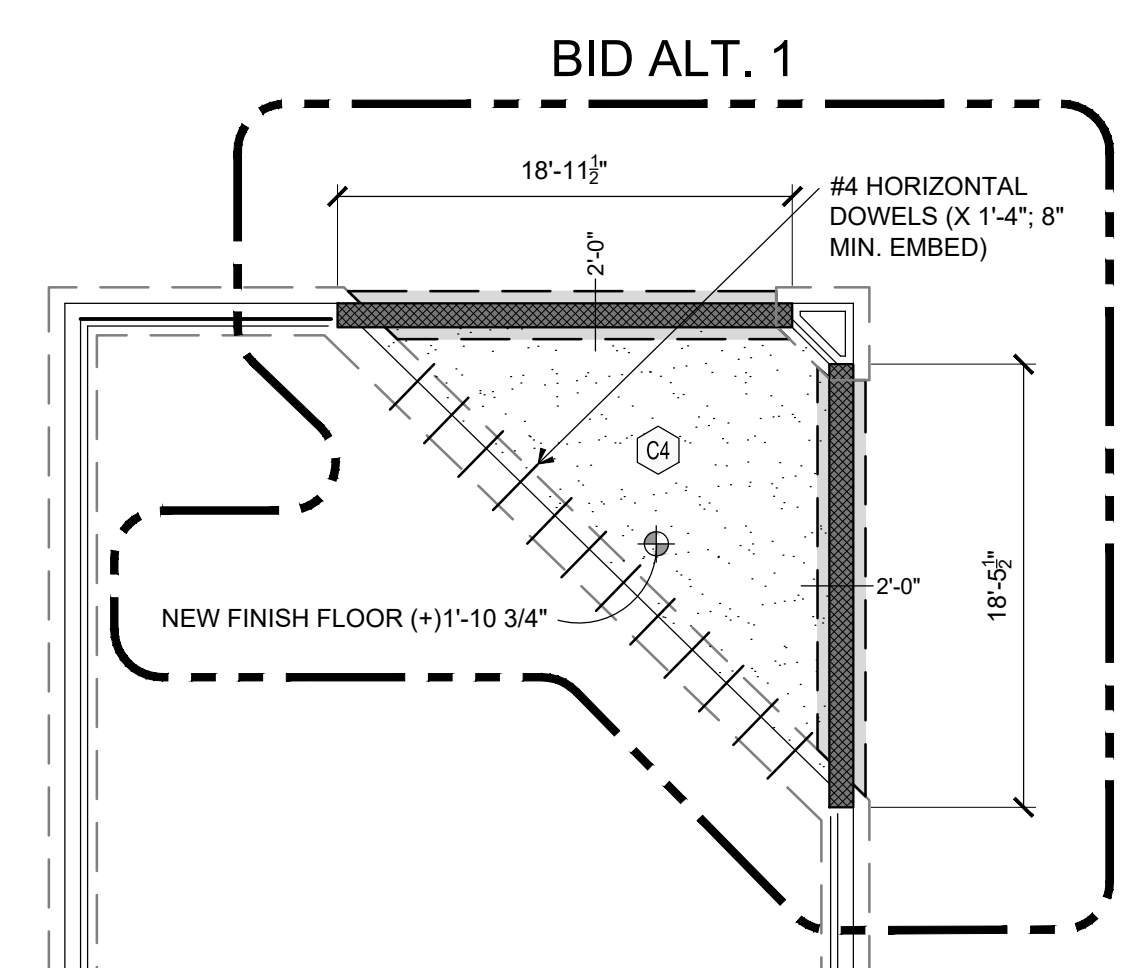
NEW RETAINING WALL -DETAIL

SCALE: 3/4" = 1'-0"

TURNDOWN SLAB -DETAIL

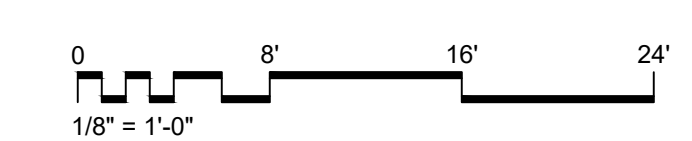
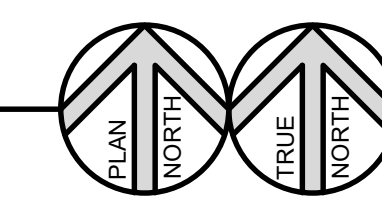
SCALE: 3/4" = 1'-0"

3
S-11



FOUNDATION PLAN - ALT. 1

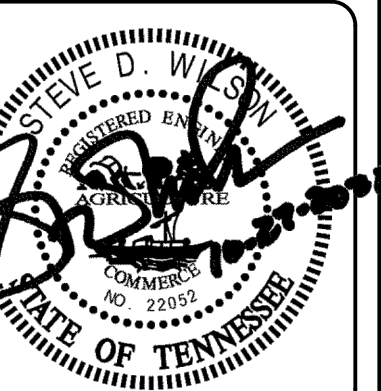
SCALE: 1/8" = 1'-0"



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Drawn by TR
Project number 202256

FOUNDATION PLAN

S-11

FRAMING LEGEND

- NEW OVERBUILD / VALLEY TRUSSES
- ▨ LOADBEARING WALL BELOW
- HORIZONTAL BRIDGING
- NEW ENGINEERED FLOOR JOIST
- 1-1 CMU LINTEL

SEE GENERAL STRUCTURAL NOTES ON SHEET S-01

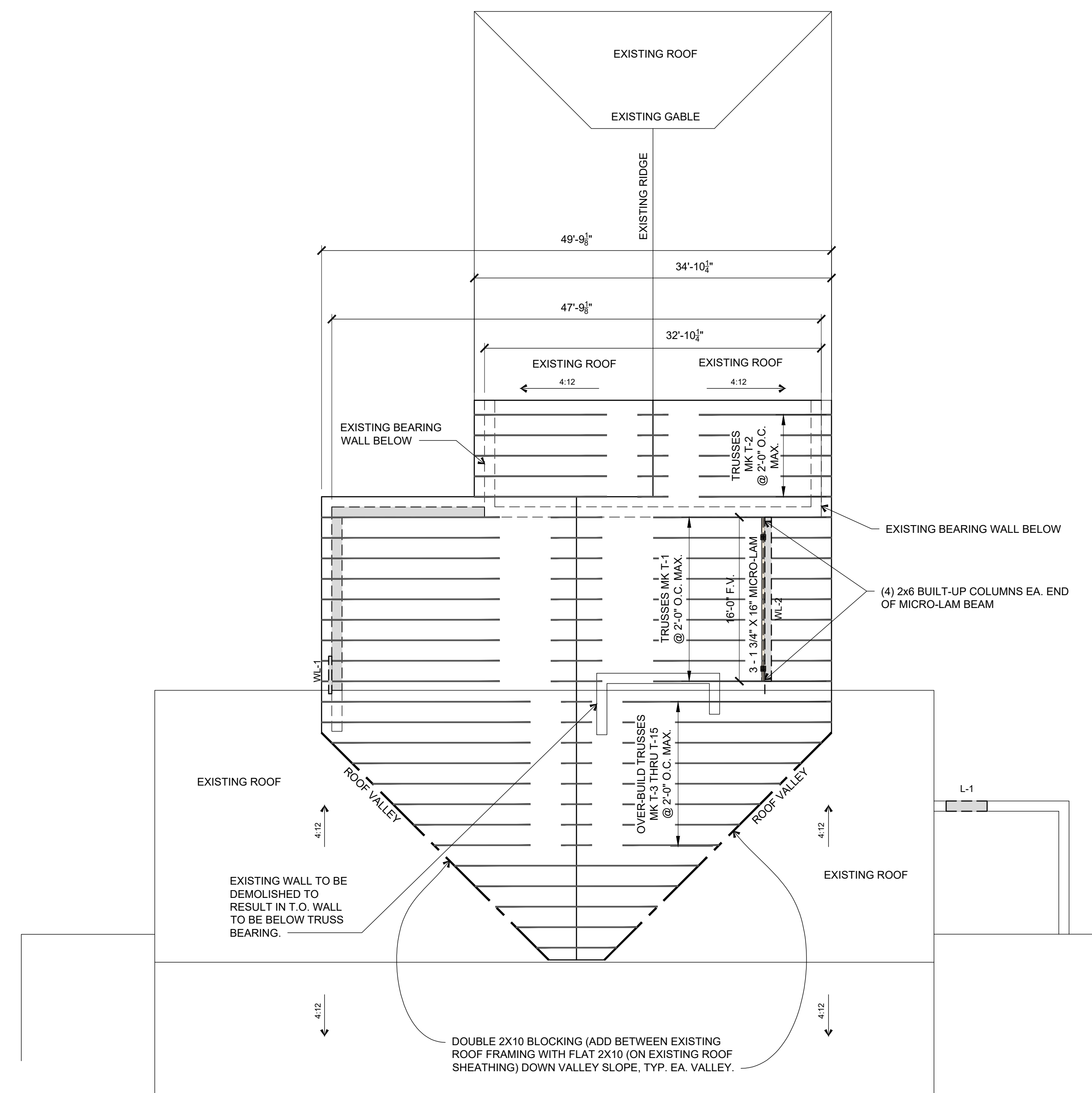
ROOF TRUSSES DESIGN CRITERIA	
Pre-fabricated Wood Trusses.	
Truss spacing 2'-0" max. (Except as shown or noted)	
Top Chord Load:	40 psf (30 psf LL; 10 psf DL)
Bot. Chord Load:	20 psf (10 psf DL; 10 psf Coll. Load)
Total Roof Load:	60 psf
Provide Diagonal "X" Bridging (In Vert. (±) Plane) between Trusses @ 1/3 or 1/4 Panel Pts. and @ Center Panel Pt.	
Fabricator to provide complete design calculations and Framing Shop Drawings (including Bracing), sealed, dated and signed by design professional registered in State of Tennessee, for review and approval by Structural Engineer and Architect before fabrication.	

LINTEL SCHEDULE (WOOD STUD WALLS)

This Schedule shall apply for all Wood Stud Wall Lintels as shown and noted on the Drawings and shall also apply where Wood Stud Wall Lintels are not shown and noted on the drawings.

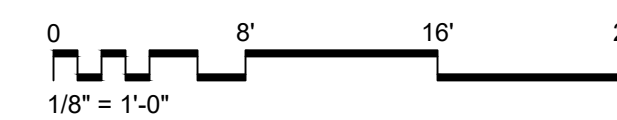
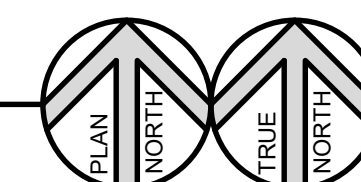
LINTEL MK.	OPENING	MINIMUM BEARING LENGTH	LINTEL
WL-1	0" thru 6'-0"	N/A	Double 2x10 w/ 2x Top & Bot.
WL-2	6'-1" thru 8'-0"	N/A	Double 2x10 w/ 2x Top & Bot.
WL-3	8'-1" thru 10'-0"	N/A	Double 2x12 w/ 2x Top & Bot.
WL-4	10'-1" thru 12'-0"	N/A	Triple 2x12 w/ 2x Top & Bot.
WL-5	12'-1" thru 14'-0"	N/A	Triple 2x12 w/ 2x Top & Bot.
WL-6	14'-1" thru 18'-4"	N/A	Triple 2x12 w/ 2x Top & Bot.

Note: All Brick "Shelf" Angles / Lintels to be L5x5x $\frac{3}{8}$ (8" min. brng. each end)

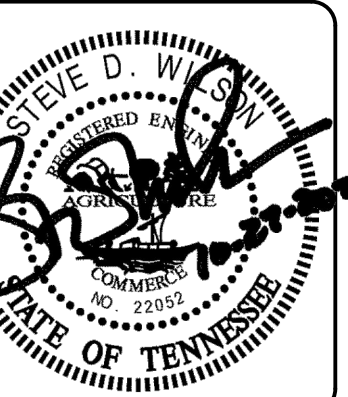


ROOF FRAMING PLAN

SCALE: 1/8" = 1'-0"

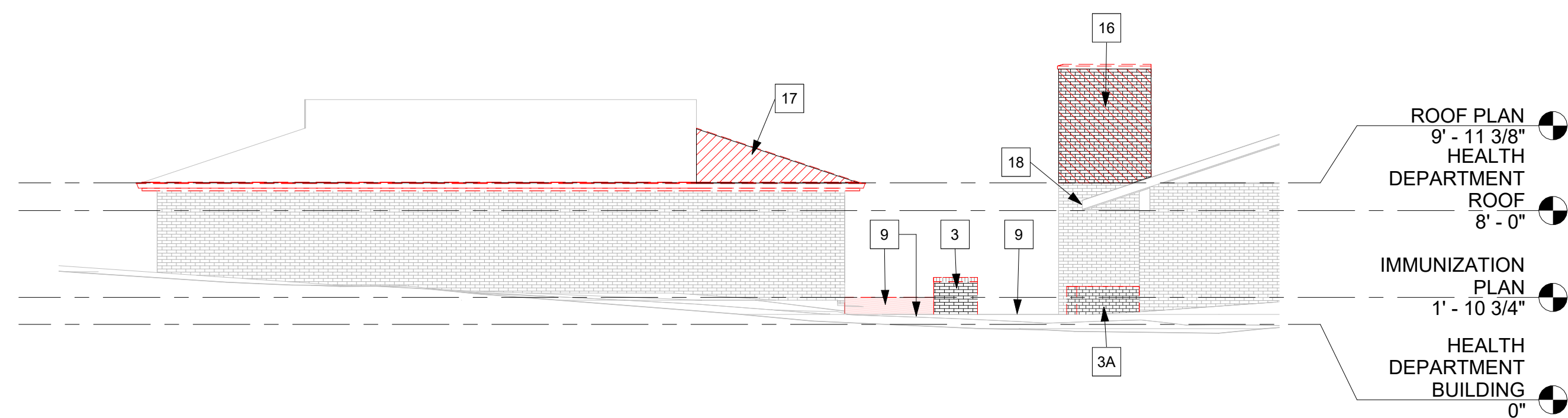


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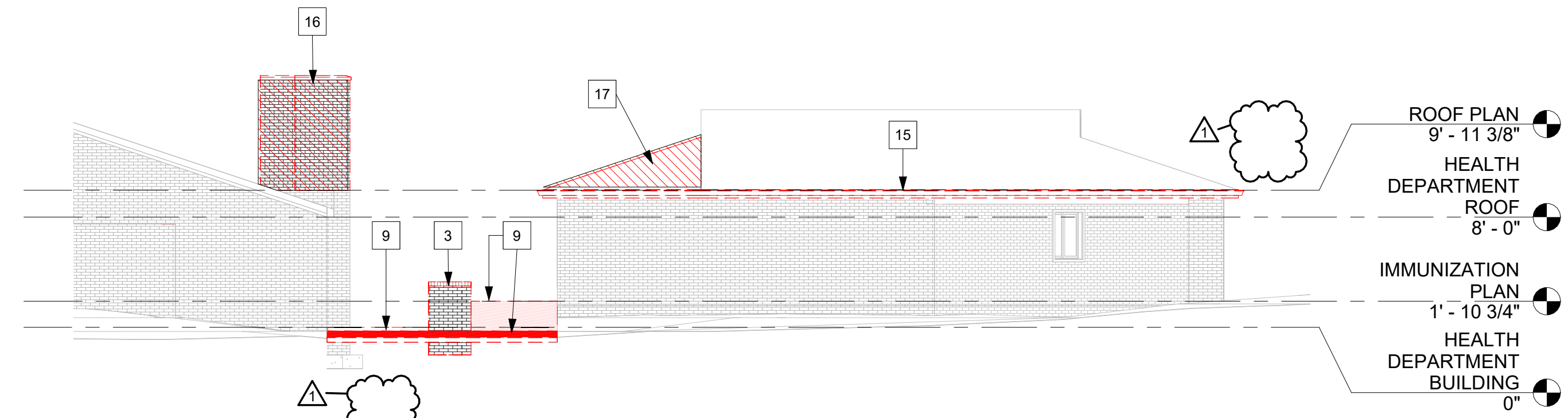


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Project number	202256

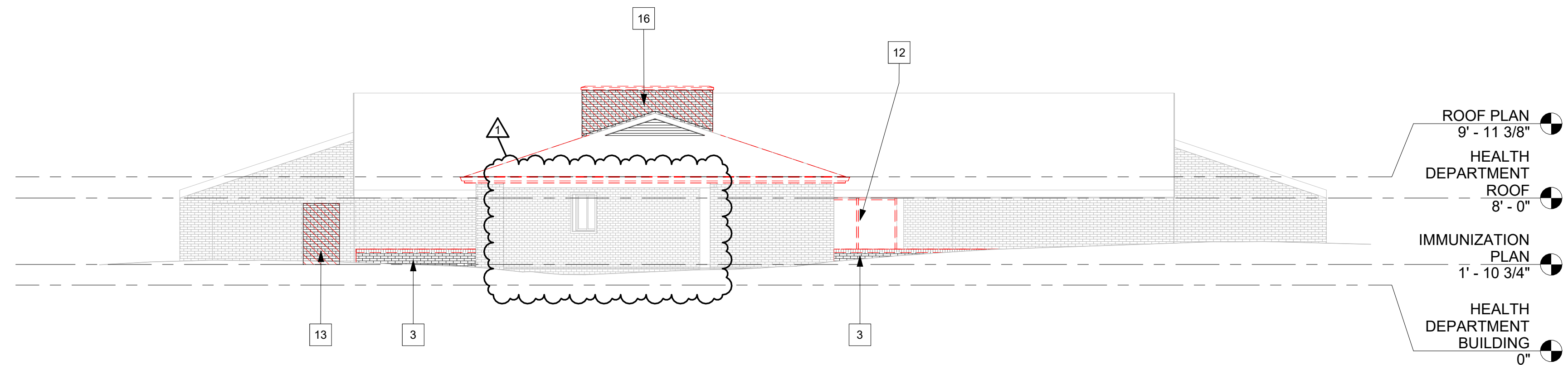
ROOF FRAMING PLAN



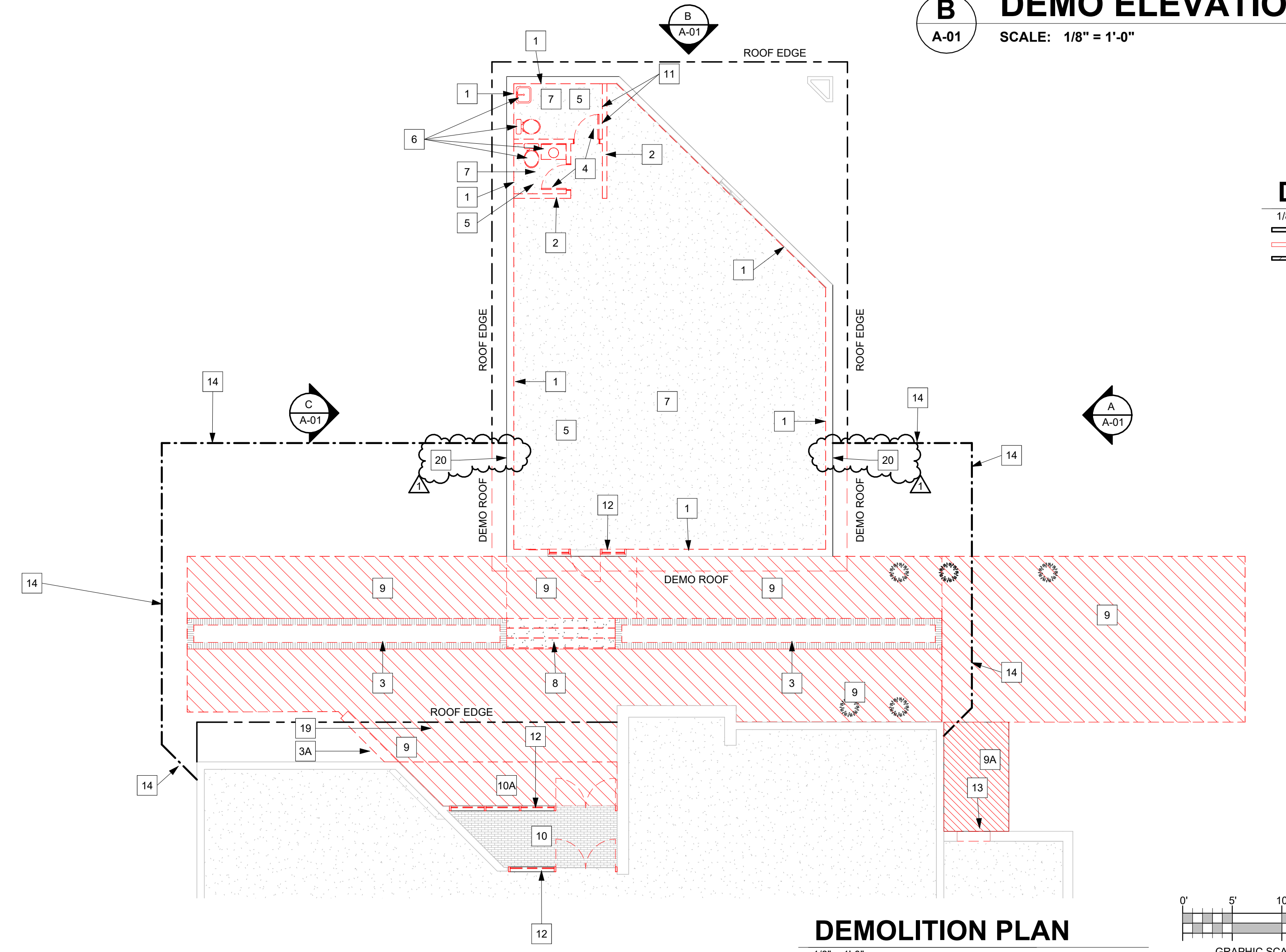
C DEMO ELEVATION - WEST
A-01 SCALE: 1/8" = 1'-0"



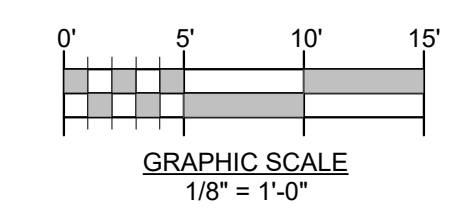
A DEMO ELEVATION - EAST
A-01 SCALE: 1/8" = 1'-0"



B DEMO ELEVATION - NORTH
A-01 SCALE: 1/8" = 1'-0"



DEMOLITION PLAN
1/8" = 1'-0"



DEMOLITION LEGEND

- 1/8" = 1'-0"
- EXISTING WALL CONSTRUCTION TO REMAIN
 - EXISTING WALL CONSTRUCTION TO BE REMOVED
 - BRICK

DEMOLITION NOTES

1. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE PROJECT SITE PRIOR TO COMMENCEMENT OF DEMOLITION OPERATIONS. CONTRACTOR SHALL SATISFY HIMSELF AS TO THE ACTUAL AS-BUILT CONDITION OF ALL BUILDINGS, STRUCTURES, IMPROVEMENTS, UTILITIES, ETC. THE LAYOUT OF THE EXISTING BUILDING IS DERIVED FROM OWNER FURNISHED DRAWINGS OF A SIMILAR STRUCTURE AND FROM SITE OBSERVATION. NEITHER THE OWNER NOR THE ARCHITECT MAKE ANY CLAIMS REGARDING THE COMPLETE ACCURACY OF SUCH EXISTING DRAWING INFORMATION COMPARED TO THE ACTUAL, CURRENT CONDITIONS OF THE BUILDING AND RELATED STRUCTURES.
2. FOR GENERAL NOTES SEE DRAWING G-01.
3. CONTRACTOR SHALL PROVIDE SIGNAGE, BARRICADES, ETC., AS REQUIRED TO MAINTAIN TRAFFIC CONTROL AND TENANT/CLIENT SAFETY IN AND AROUND THE CONSTRUCTION AREA.
4. EXISTING IMPROVEMENTS TO REMAIN, WHICH ARE DAMAGED BY DEMOLITION OPERATIONS, SHALL BE RESTORED TO THEIR PRE-DEMOLITION CONDITION BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
5. THE CONDITION OF EXISTING IMPROVEMENTS SHALL BE REVIEWED WITH THE OWNER PRIOR TO COMMENCEMENT OF DEMOLITION OPERATIONS.
6. CONTRACTOR SHALL PHOTOGRAPHICALLY RECORD THE CONDITION OF EXISTING CONDITIONS TO REMAIN PRIOR TO COMMENCEMENT OF DEMOLITION OPERATIONS.
7. WORK INDICATED TO BE REINSTALLED OR RELOCATED SHALL BE CAREFULLY REMOVED SO AS NOT TO BE DAMAGED, AND SHALL BE STORED AND PROTECTED UNTIL SUCH TIME AS NEW INSTALLATION IS TO BE MADE.
8. UNLESS NOTED OTHERWISE, ALL SYSTEMS, COMPONENTS, AND MATERIALS INDICATED FOR DEMOLITION SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING ALL APPURTENANCES.
9. ALL EXISTING UTILITIES IMPACTED BY THE REMOVAL OF MECHANICAL OR ELECTRICAL COMPONENTS SHALL BE CAPPED OR OTHERWISE APPROPRIATELY TERMINATED BY THE CONTRACTOR.
10. FOR DEMOLITION INSTRUCTIONS FOR MECHANICAL, PLUMBING AND ELECTRICAL COMPONENTS, REFER TO ENGINEERING DRAWINGS.
11. REMOVE EXISTING FLOOR FINISHES AND BASES WHERE NEW CONSTRUCTION OCCURS. AREAS SHOULD BE LEFT IN A CONDITION SUITABLE FOR NEW CONSTRUCTION.
12. COORDINATE WITH FINISH SCHEDULE TO DETERMINE REQUIRED PREPARATIONS SUCH AS GRINDING, LEVELING, AND/OR ADDITIONAL DEMOLITION NECESSARY TO PREPARE AREA(S) FOR NEW FINISHES SUCH AS FLOOR TILE.
13. DEMOLITION OPERATIONS INCLUDE FLOOR ROUGH-IN'S FOR ALL NEW PLUMBING LINES, SAW CUTTING AS NEEDED, AND/OR ELECTRICAL CONDUIT PER ENGINEER'S DIRECTION. SEE ENGINEERING DRAWINGS FOR FURTHER DIRECTION.
14. ALL DOORS, FINISH HARDWARE, PLUMBING FIXTURES, LIGHT FIXTURES, FURNISHINGS, OR ANY OTHER MISCELLANEOUS SALVAGED BUILDING COMPONENTS AND APPURTENANCES, REMOVED DURING THE COURSE OF DEMOLITION, SHALL BE TURNED OVER TO THE BUILDING OWNER.

DEMOLITION KEY NOTES

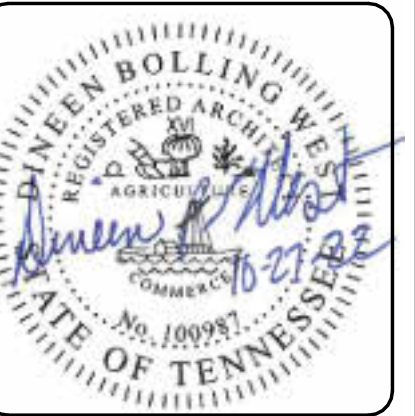
- 1 REMOVE EXISTING PANEL WALL FINISH AND GYPOBOARD DOWN TO THE EXISTING WOOD STUD. WOOD STUDS ARE TO REMAIN.
- 2 REMOVE WOOD STUD WALL IN ITS ENTIRETY
- 3 REMOVE EXISTING BRICK PLANTER IN ITS ENTIRETY.
- 3A REMOVE BRICK RETAINING WALL THIS LOCATION. REMOVE PORTION OF CONCRETE BERM SILL FOR NEW CONSTRUCTION. GRID SMOOTH AND POWERWASH AS NEEDED.
- 4 REMOVE EXISTING DOOR, FRAME, AND HARDWARE.
- 5 REMOVE EXISTING FLOOR FINISH THIS LOCATION.
- 6 REMOVE EXISTING PLUMBING FIXTURE. REFER TO PLUMBING SHEETS FOR MORE DETAILS.
- 7 REMOVE EXISTING GYP. BOARD CEILING THIS LOCATION.
- 8 REMOVE EXISTING CONCRETE STAIRS.
- 9 REMOVE EXISTING CONCRETE SIDEWALK THIS LOCATION.
- 9A REMOVE EXISTING EARTH BERM THIS LOCATION FOR NEW SIDEWALK. TO BE USED FOR TEMPORARY HEALTH DEPARTMENT ENTRANCE DURING CONSTRUCTION. POWERWASH ADJACENT MASONRY WALLS AS NEEDED.
- 10 EXISTING BRICK PAVERS TO REMAIN.
- 10A PORTION OF EXISTING BRICK PAVERS TO BE REMOVED FOR NEW CONCRETE FLOOR UP TO FIRST VISIBLE GROUT LINE DEMO SIDE OF STOREFRONT
- 11 REMOVE EXISTING ELECTRICAL PANELS. REFER TO ELECTRICAL SHEETS FOR MORE DETAILS.
- 12 REMOVE EXISTING STOREFRONT, DOOR, AND HARDWARE; PATCH FLOOR BELOW AS NEEDED.
- 13 REMOVE PORTION OF EXISTING MASONRY WALL FOR NEW H.M. DOOR TO BE USED AS TEMPORARY HEALTH DEPARTMENT ENTRANCE DURING CONSTRUCTION. PROVIDE SHORING FOR MASONRY. REFER TO STRUCTURAL FOR NEW LITEL.
- 14 TEMPORARY BARRIER DURING PRIMARY CONSTRUCTION
- 15 DEMO EXISTING GUTTER IN ITS ENTIRETY AT THIS LOCATION
- 16 REMOVE PORTION OF EXISTING MASONRY WALL TO BOTTOM OF NEW TRUSSES
- 17 REMOVE PORTION OF EXISTING ROOFING AND TRUSSES THIS AREA FOR NEW ROOF STRUCTURE.
- 18 DEMO CONCEALED GUTTERS. SEE DETAIL 1/A-16
- 19 REMOVE EXISTING SOFFIT FOR NEW CONSTRUCTION
- 20 REMOVE EXISTING EXTERIOR WALL SIGNAGE IN ITS ENTIRETY THIS LOCATION. CLEAN BRICK AS NEED TO MATCH ADJACENT BRICK.



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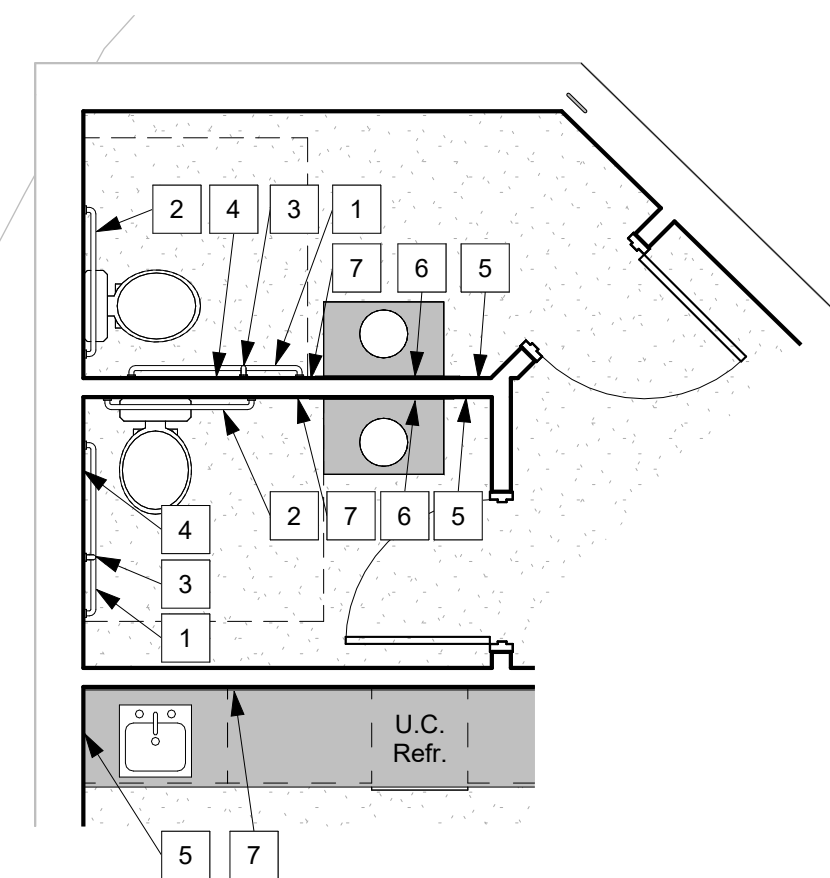
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 Drawn by TR
 Project number 202256

DEMOLITION PLAN - BASE BID

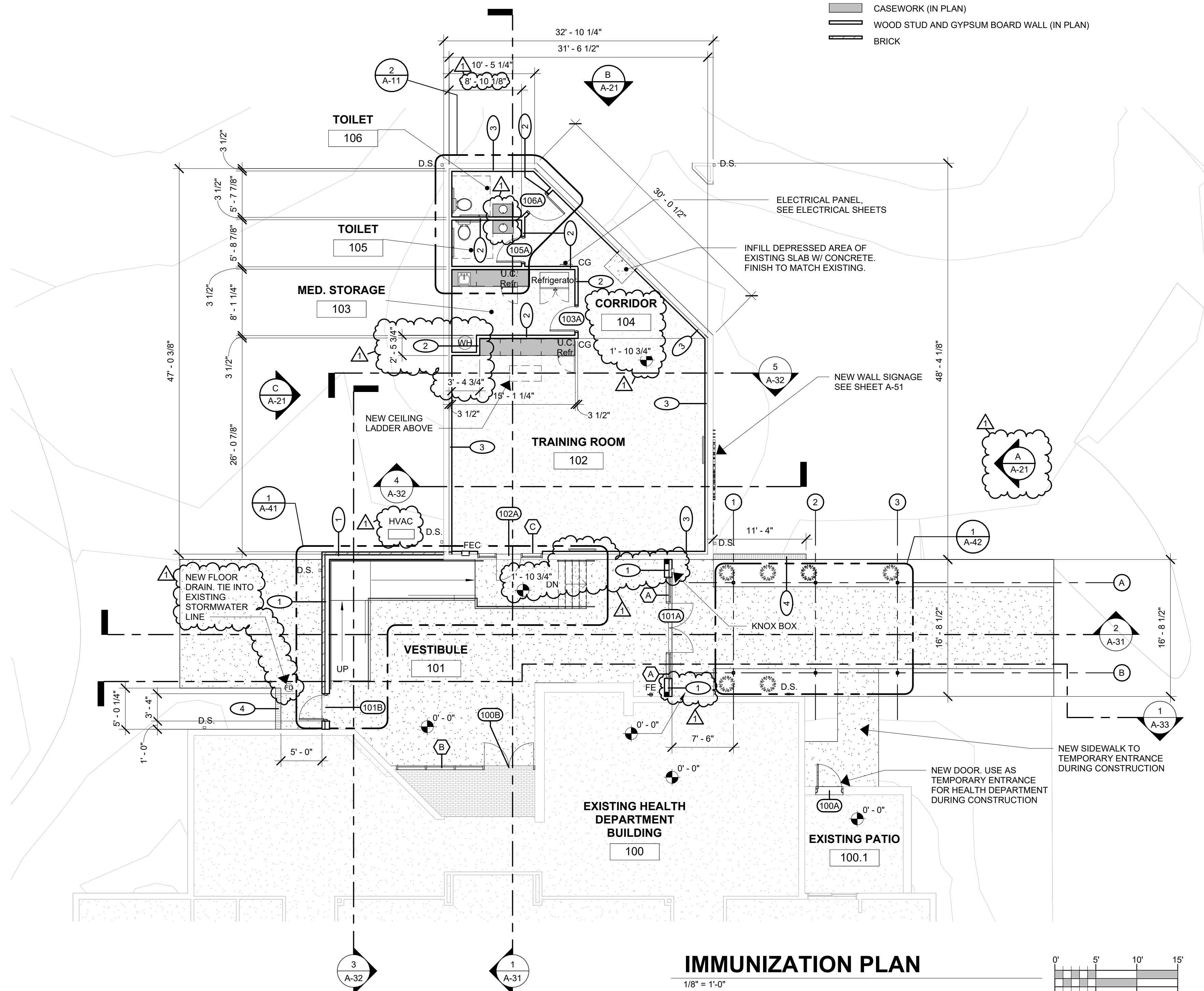
A-01



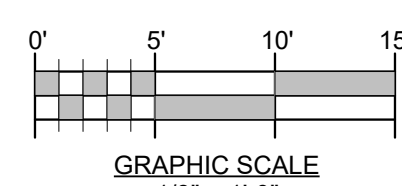
2 IMMUNIZATION PLAN - Callout 2
A-11 SCALE: 1/4" = 1'-0"

PLAN LEGEND

- 1/8" = 1'-0"
- EXISTING WALL CONSTRUCTION TO REMAIN
 - CONCRETE MASONRY (NEW, VIEWED IN PLAN AND SECTION)
 - CASEWORK (IN PLAN)
 - WOOD STUD AND GYPSUM BOARD WALL (IN PLAN)
 - BRICK



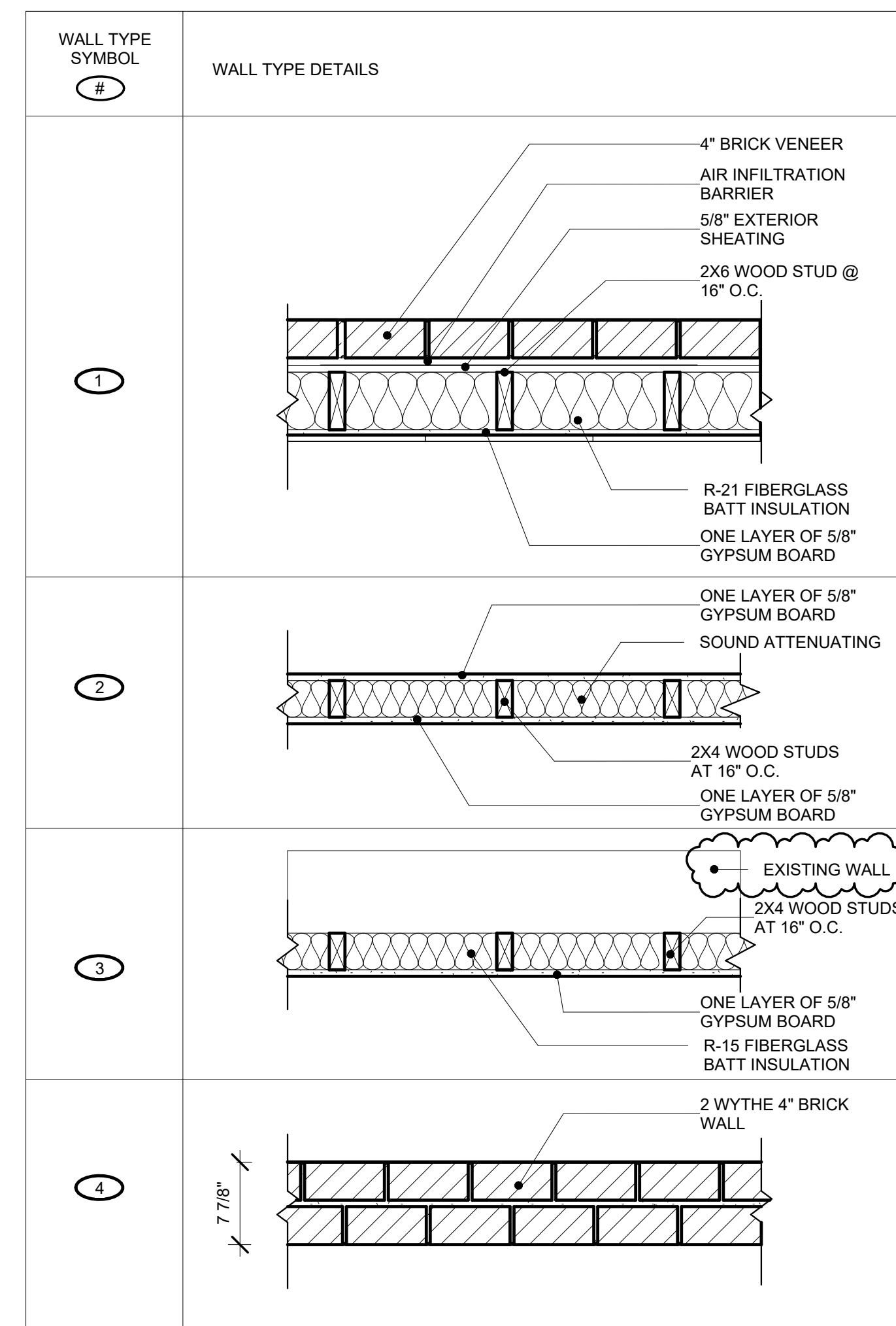
IMMUNIZATION PLAN
1/8" = 1'-0"



MARK	DESCRIPTION	MFG / MODEL	REMARKS
1	42" GRAB BAR	BOBRICK / B6806 X 42	
2	36" GRAB BAR	BOBRICK / B-6806 X 36	
3	18" GRAB BAR	BOBRICK / B-6806 X 18	
4	TOILET TISSUE DISPENSER	BY OWNER	SURFACE MOUNTED, SHOWN FOR CLARITY, OWNER PROVIDED, CONTRACTOR INSTALLED
5	PAPER TOWEL DISPENSER	BY OWNER	SURFACE MOUNTED, SHOWN FOR CLARITY, OWNER PROVIDED, CONTRACTOR INSTALLED
6	MIRROR	BOBRICK / B-290	WELDED FRAME MIRROR
7	SOAP DISPENSER	BY OWNER	SURFACE MOUNTED, SHOWN FOR CLARITY, OWNER PROVIDED, CONTRACTOR INSTALLED

PLAN NOTES

- FOR GENERAL NOTES SEE DRAWING G-01.
- ALL ROOM SIGNAGE SHALL BE PROVIDED AND INSTALLED BY OWNER
- A KNOX-BOX (INDICATED "KXB" ON PLANS), 3200 SERIES, RECESSED MOUNT USING RECESSED KIT, HINGED DOOR MODEL, BLACK IN COLOR, SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS AT THE LOCATION INDICATED ON PLAN AND SHALL BE MOUNTED SO THAT THE BOTTOM OF THE BOX IS AT 6'-0" A.F.F. BOX WILL NOT TIE INTO BUILDING ALARM SYSTEM. CONTRACTOR IS TO VERIFY EXACT LOCATION WITH BODIES HAVING JURISDICTION.
- PROVIDE ALL WALL BLOCKING AS REQUIRED FOR FIXTURES, CASEWORK, EQUIPMENT, ETC. ALL WOOD BLOCKINGS SHALL BE FIRE TREATED LUMBER (CONTRACTOR MAY PROVIDE 20 GA. STEEL STUDS IN LIEU OF WOOD BLOCKING, IN METAL STUD WALL CONSTRUCTION).
- ALL ROOM FURNISHINGS AND EQUIPMENT TO BE SUPPLIED BY THE OWNER EXCEPT FOR CASEWORK INDICATED ON THE PLAN.
- PATCH EXISTING WALLS AS REQUIRED TO ACHIEVE A UNIFORM APPEARANCE, TYPICAL WALLS SHALL MATCH EXISTING ADJACENT CONSTRUCTION.
- FIRE EXTINGUISHERS SHALL BE PROVIDED AND INSTALLED BY THE OWNER.
- FIRE EXTINGUISHERS ARE NOTED AS "F.E." ON THE PLAN. (LOCATE EXTINGUISHERS AS DIRECTED BY THE LOCAL AUTHORITY HAVING JURISDICTION.)
- DIMENSIONS ARE FROM FACE OF STUD OR FACE OF MASONRY, UNLESS OTHERWISE NOTED F.O.F. (FACE OF FINISH).
- ALL TECH. EQUIPMENT WILL BE INSTALLED BY OWNER, INCLUDING ALL TVS, SMART BOARDS AND OTHER PRESENTATION EQUIPMENT.
- NEW OUTLETS & DATA TO BE INSTALLED. SEE ELECTRICAL SHEETS FOR LOCATIONS AND DETAILS.



WALL TYPES
1" = 1'-0"



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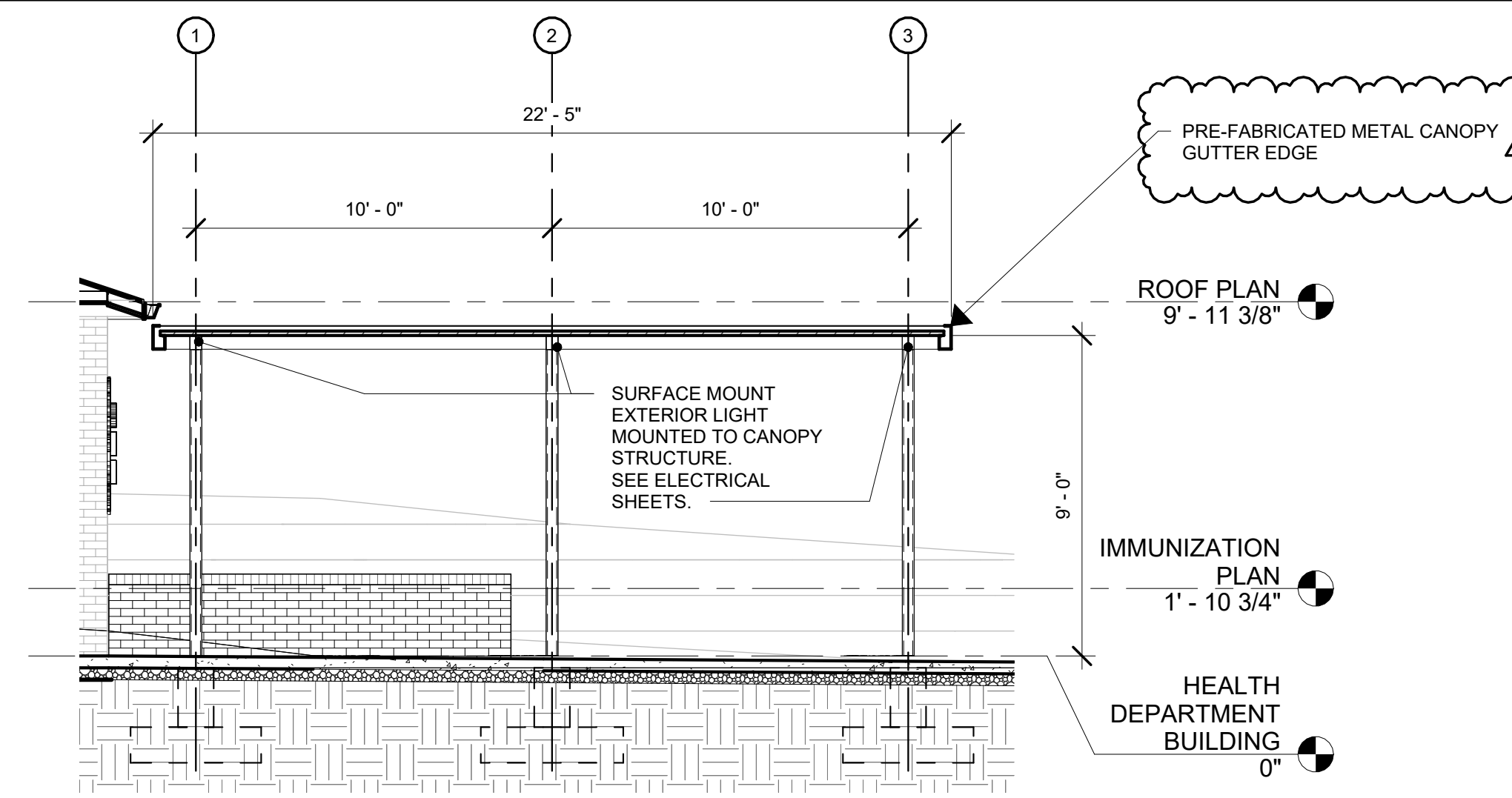
no.	date	rev. description
1	11-11-22	ADDENDUM #1



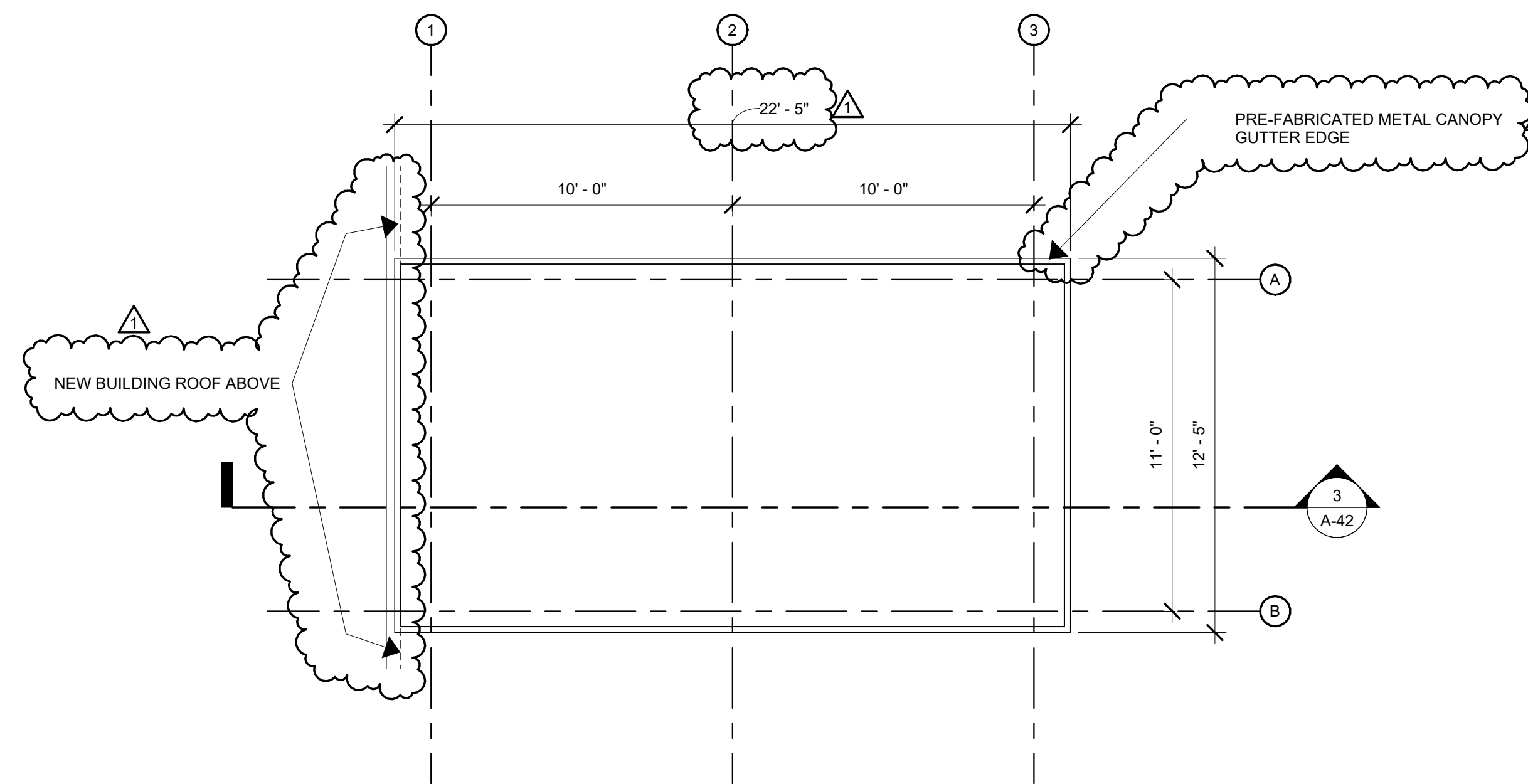
Issued Date OCTOBER 27, 2022
Checked by RL
Drawn by TR
Project number 202256

FLOOR PLAN - BASE BID

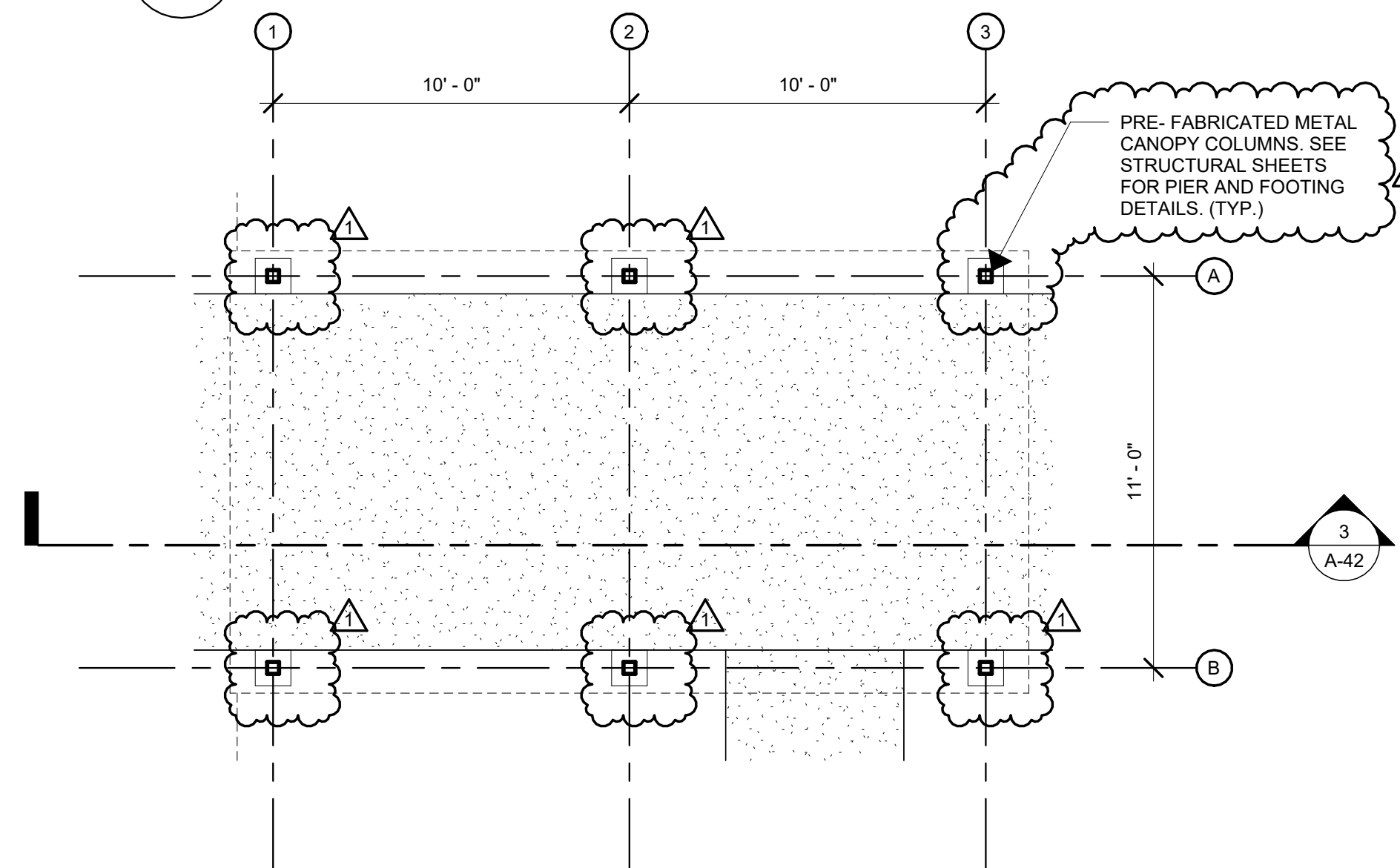
A-11



3 CANOPY SECTION
A-42 SCALE: 1/4" = 1'-0"



2 CANOPY ROOF PLAN
A-42 SCALE: 1/4" = 1'-0"



1 PARTIAL FLOOR PLAN - CANOPY PLAN
A-42 SCALE: 1/4" = 1'-0"

GENERAL CANOPY NOTES

- CANOPY IS TO BE A PRE-FABRICATED METAL CANOPY INDEPENDANT OF BUILDING COMPONENTS.
- REFER TO ELECTRICAL SHEETS FOR POWER AND LIGHTING DETAILS.
- COLOR TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S STANDARD COLORS.

SULLIVAN COUNTY
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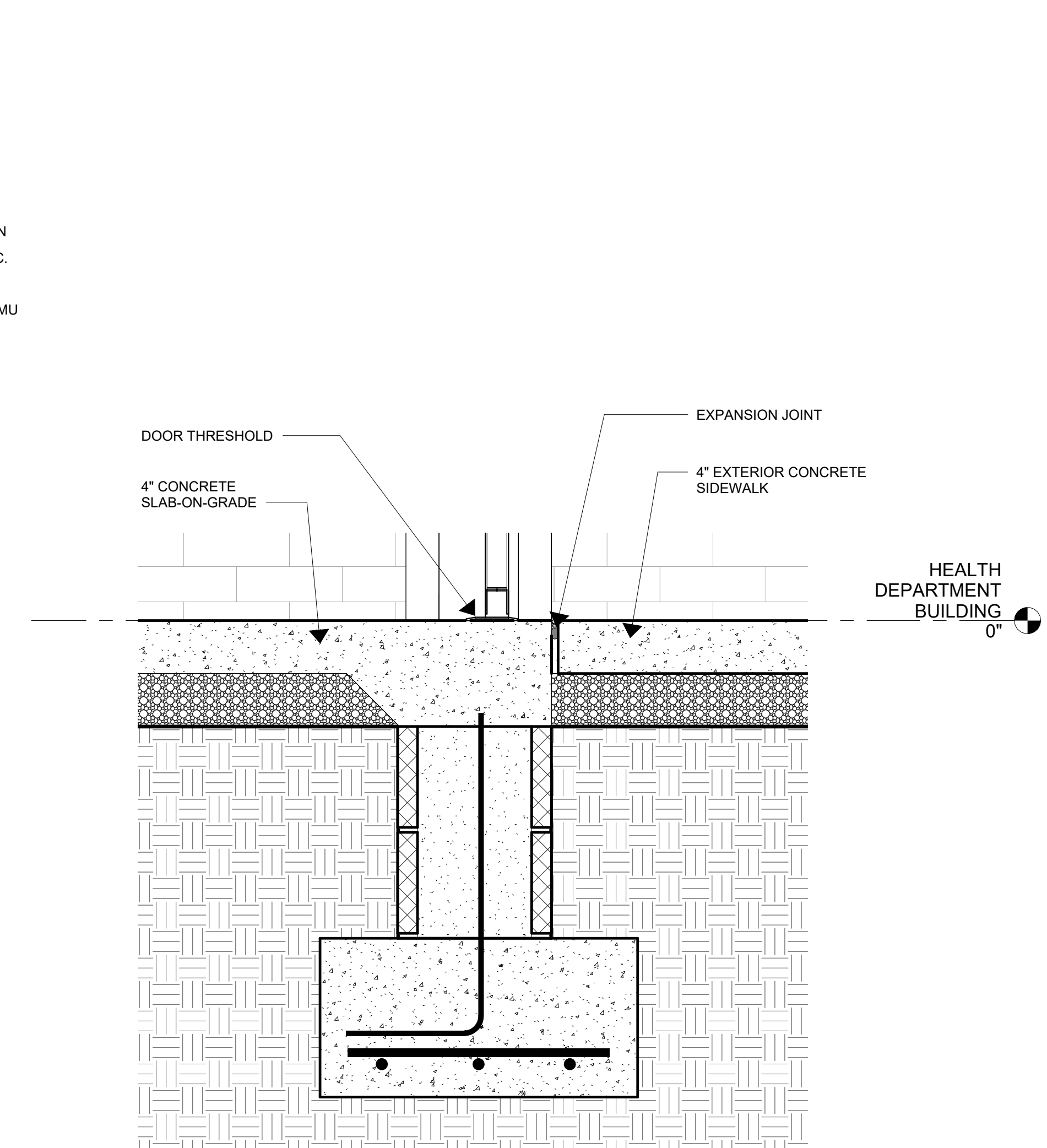
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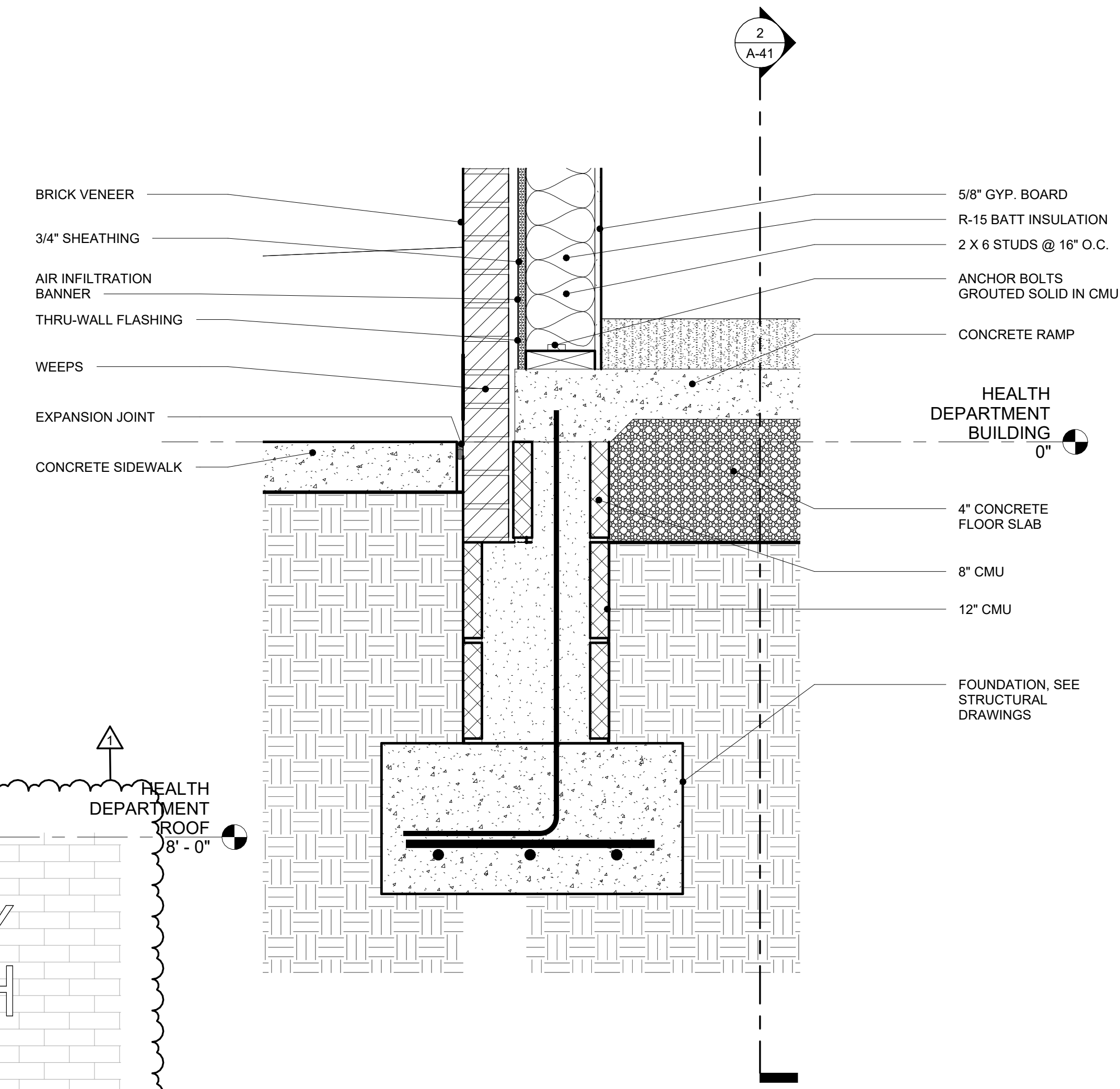
Project number 202256

CANOPY
DETAILS

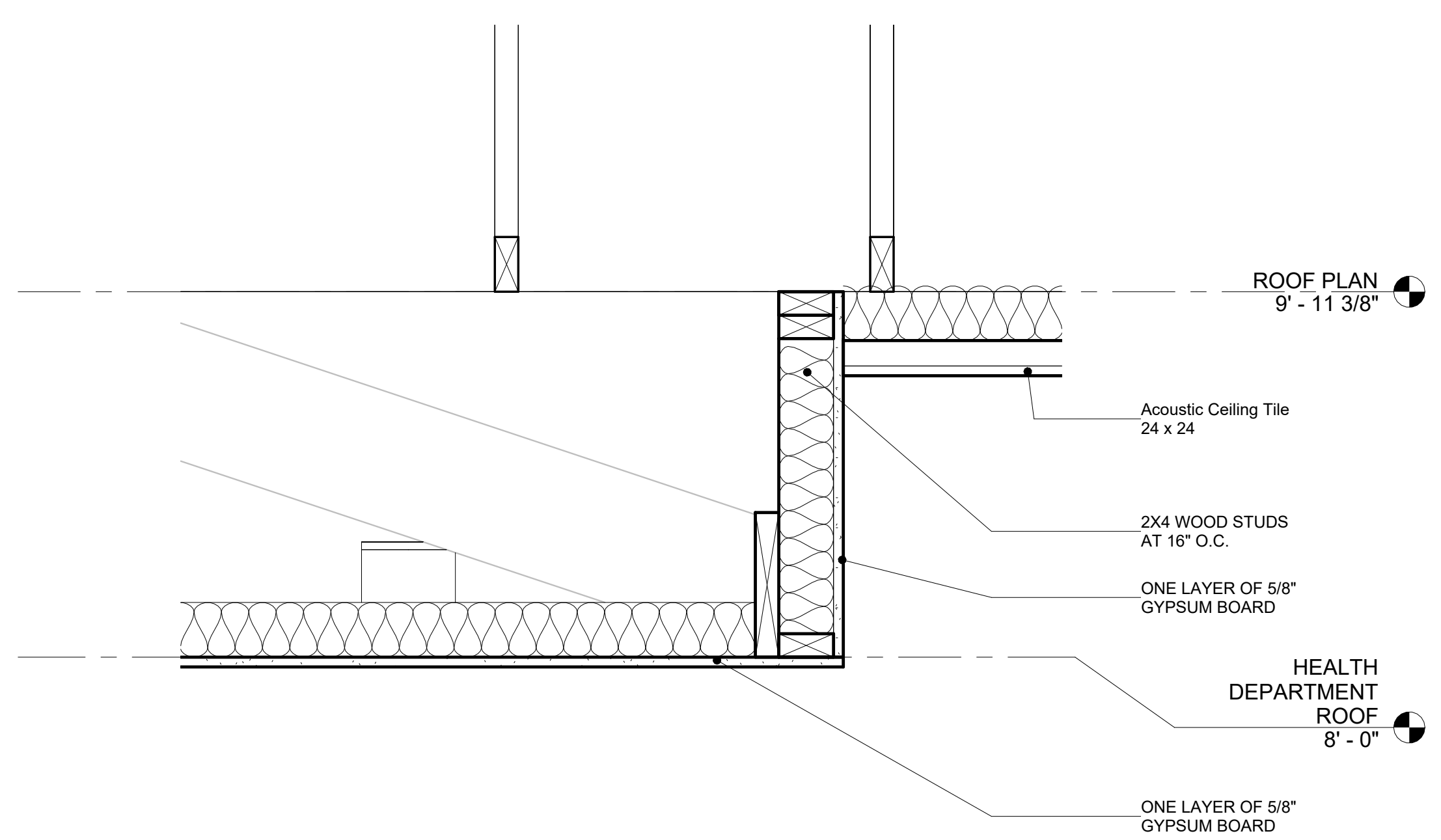
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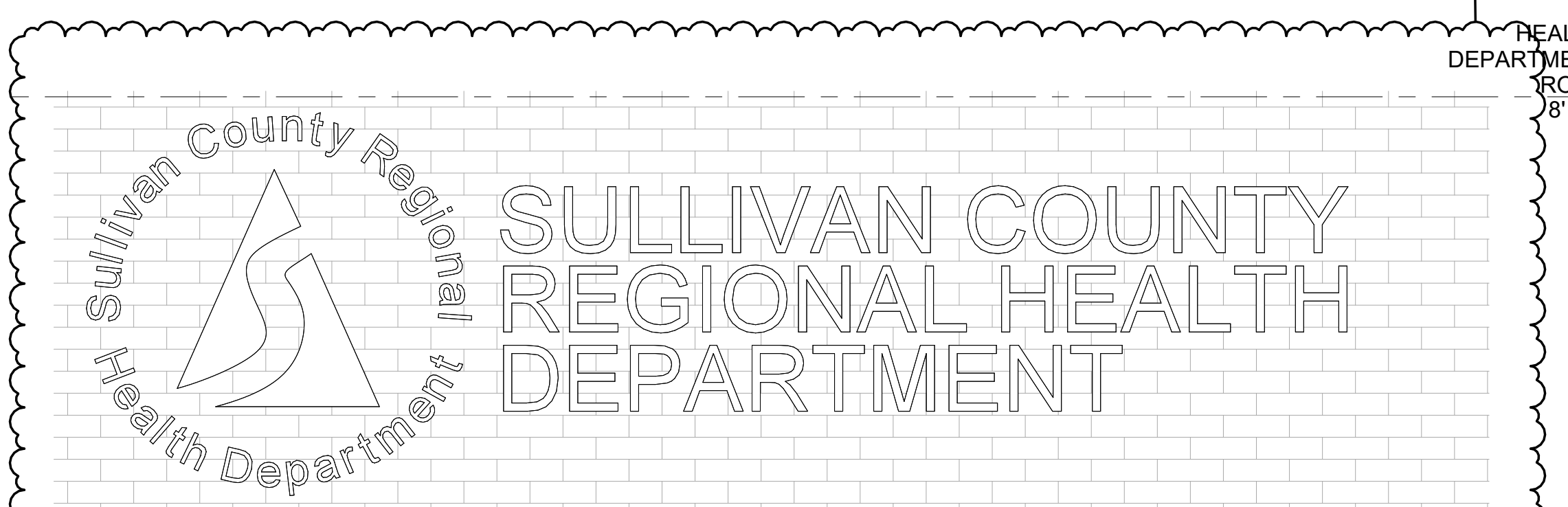
4 WALL DETAIL 4
A-51 SCALE: 1 1/2" = 1'-0"



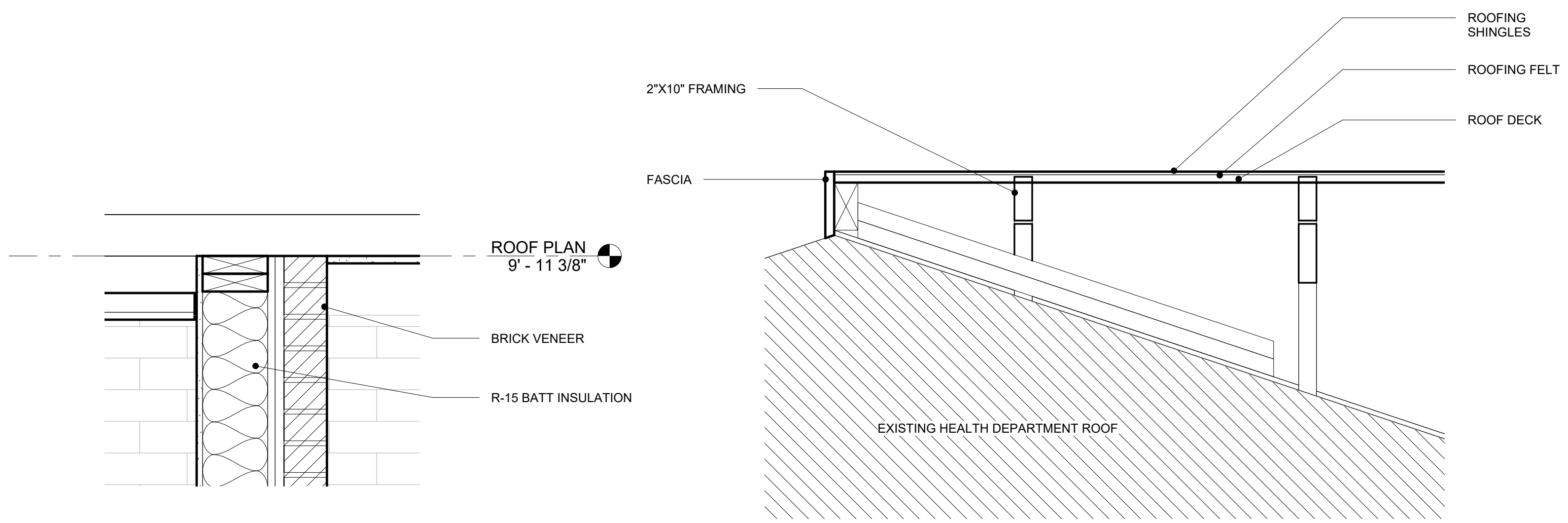
5 WALL DETAIL 5
A-51 SCALE: 1 1/2" = 1'-0"



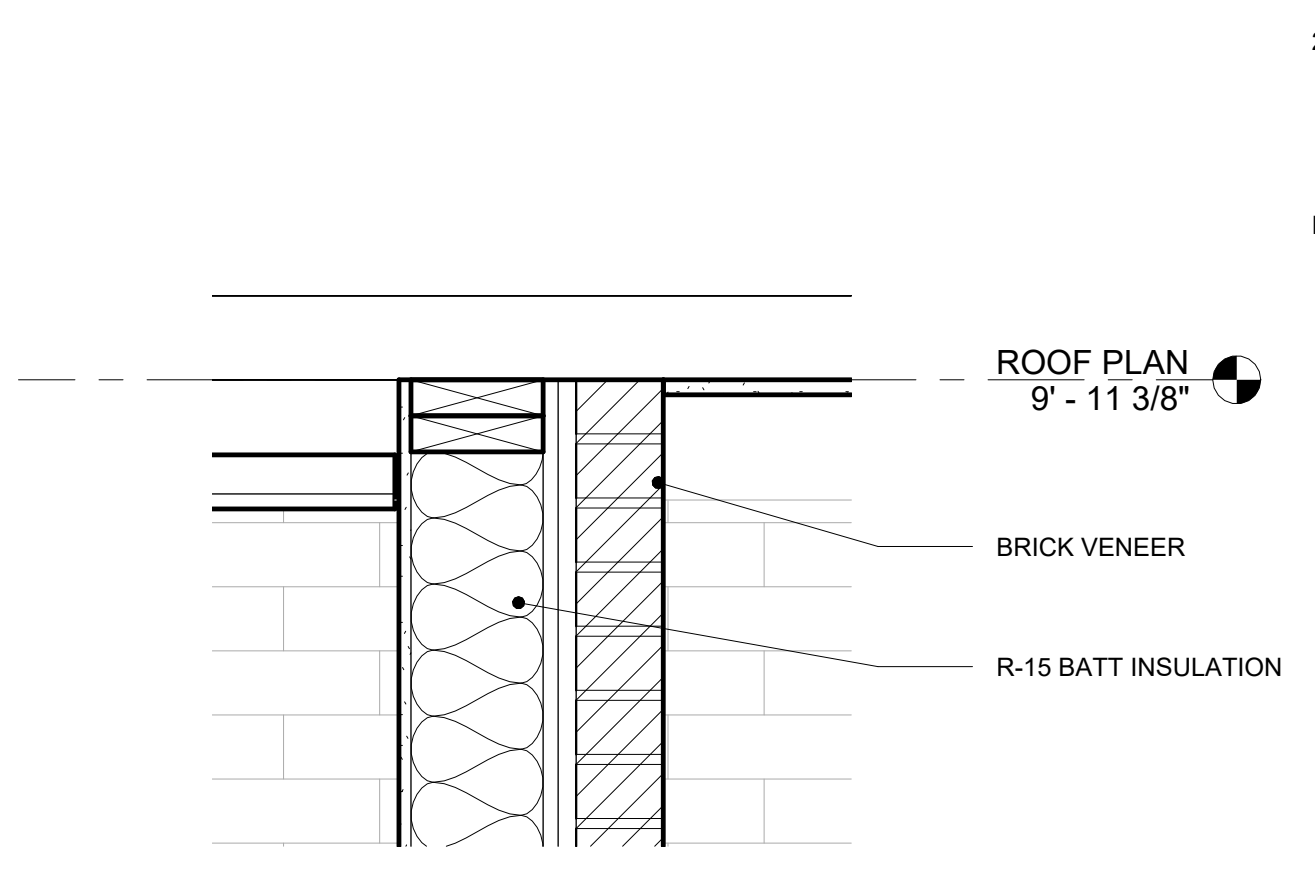
1 EXISTING SOFFIT - DETAIL
A-51 SCALE: 1 1/2" = 1'-0"



6 NEW FRONT SIGNAGE
A-51 SCALE: 3/4" = 1'-0"



2 ROOF DETAIL
A-51 SCALE: 1 1/2" = 1'-0"



3 WALL DETAIL 3
A-51 SCALE: 1 1/2" = 1'-0"

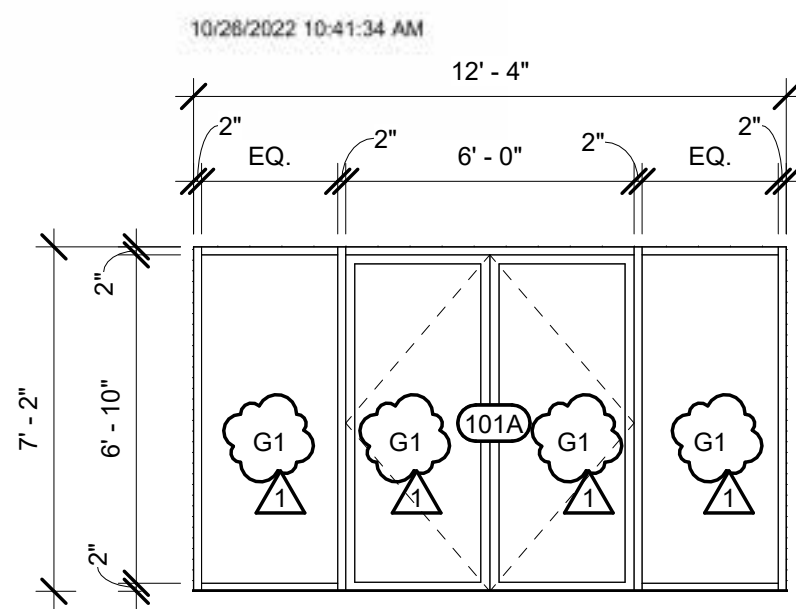
DOOR AND FRAME SCHEDULE - BASE BID

DOORS				FRAMES										COMMENTS
MARK	W	H	T	MATERIAL	TYPE	RATING	GLAZING	HDWE SET	TYPE	MATERIAL	HEAD	JAMB	DETAILS	
100A	3'-0"	7'-0"	1 3/4"	WD	F	NA	-	2	1	HM	H2	J2	J2	TO BE INSTALLED AT THE START OF CONSTRUCTION TO BE USED AS TEMPORARY ENTRANCE TO HEALTH DEPARTMENT DURING CONSTRUCTION
100B	6'-0"	7'-0"	1 3/4"	ALUMN.	FG	N/A	G2	1	WDW. B	ALUMN.	H1	J1	J1	ALL OTHER HARDWARE PROVIDED BY DOOR MANUFACTURER
101A	6'-0"	7'-0"	1 3/4"	ALUMN.	FG	N/A	G1	1	WDW. A	ALUMN.	H1	J1	J1	ALL OTHER HARDWARE PROVIDED BY DOOR MANUFACTURER
101B	3'-0"	7'-0"	1 3/4"	WD	F	NA	-	2	1	HM	H2	J2	J2	
102A	3'-0"	7'-0"	1 3/4"	ALUMN.	FG	N/A	G2	1	WDW. C	ALUMN.	H1	J1	J1	ALL OTHER HARDWARE PROVIDED BY DOOR MANUFACTURER
103A	3'-0"	7'-0"	1 3/4"	WD	F	NA	-	4	2	HM	H3	J3	J3	
105A	3'-0"	7'-0"	1 3/4"	WD	F	NA	-	3	2	HM	H3	J3	J3	
106A	3'-0"	7'-0"	1 3/4"	WD	F	NA	-	3	2	HM	H3	J3	J3	

Hardware Schedule Project ID: 102622-7 SULLIVAN CO. IMMUNIZATION

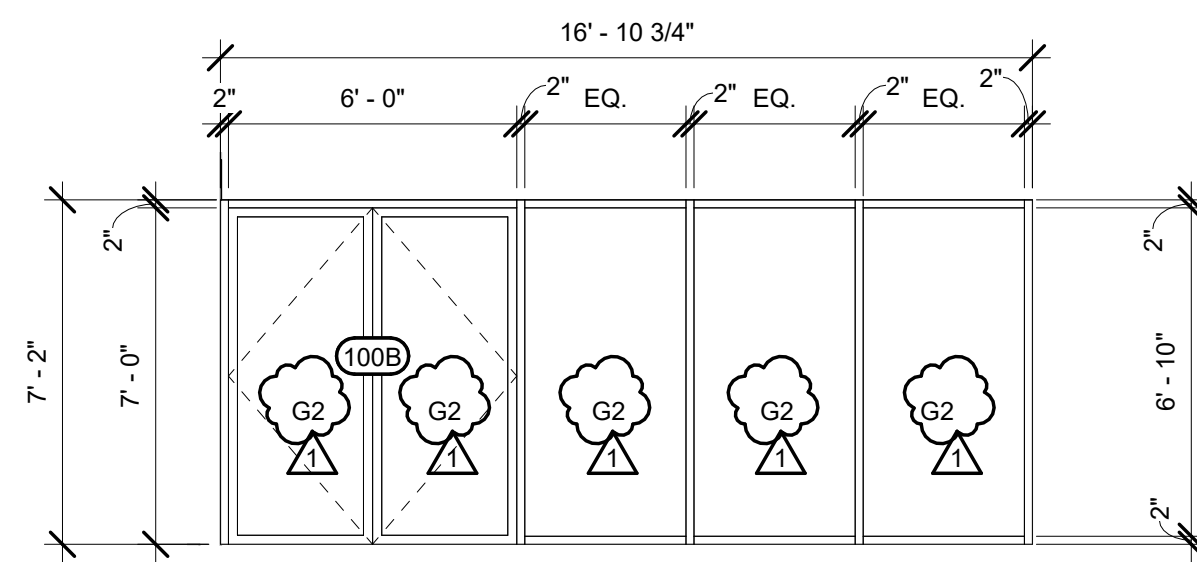
Heading #: 1			
1	SGL	Door: 102A	
30" x 70" x 1 3/4" AD/AF			
1	SGL	Door: 100B	
1	SGL	Door: 101A	
60" x 70" x 1 3/4" AD/AF			
3	EA	CYLINDER 21-41	26D (CY-2) SARGENT
PLEASE VERIFY FINISH AND TYPE OF CYLINDER REQUIRED WITH ALUMINUM STOREFRONT PROVIDER. BALANCE OF HARDWARE BY ALUMINUM STOREFRONT SUPPLIER.			
Heading #: 2			
1	SGL	Door: 100A	
1	SGL	Door: 101B	
30" x 70" x 1 3/4" HMD/HMF			
6	EA	HINGE MPB91 4.5 X 4.5 NRP	32D (HI-15) MC KINNEY
2	EA	RIM EXIT 21-8813 ETL	32D (ED-4) SARGENT
2	EA	CLOSER 351-CPS TB	EN (CL-1) SARGENT
2	EA	KICKPLATE K1050 6 x 34 X CSK	32D (KP-2) ROCKWOOD
2	EA	THRESHOLD 171A-30"	A (TH-3) PEMKO
2	EA	RAIN DRIP 346C 40"	C (GA-1) PEMKO
2	EA	DOOR SWEEP 315CN 36 DOOR SWEEP NEOPRENE	C (GA-5) PEMKO
2	EA	GASKETING 45041CNB 3070 BRUSH	C (GA-6) PEMKO
6	EA	SILENCERS 606-RKW	GRAY (SI-1) ROCKWOOD
Heading #: 3			
1	SGL	Door: 105A	
1	SGL	Door: 106A	
30" x 70" x 1 3/4" HMD/HMF			
6	EA	HINGE MPB79 4.5 X 4.5	26D (HI-1) MC KINNEY
2	EA	PRIVACY BORED 28-10065 LL	26D (LO-6) SARGENT
2	EA	CLOSER 351-UO TB	EN (CL-3) SARGENT
2	EA	KICKPLATE K1050 6 x 34 X CSK	32D (KP-2) ROCKWOOD
2	EA	MOP PLATE K1050 4 x 35 X CSK	32D (KP-4) ROCKWOOD
2	EA	WALL STOP 409 CONCAVE	32D (ST-2) ROCKWOOD
6	EA	SILENCERS 606-RKW	GRAY (SI-1) ROCKWOOD
Heading #: 4			
1	SGL	Door: 103A	
30" x 70" x 1 3/4" HMD/HMF			
3	EA	HINGE MPB79 4.5 X 4.5	26D (HI-1) MC KINNEY
1	EA	STOREROOM 21-28-1004 LL	26D (LO-1) SARGENT
1	EA	CLOSER 351-UO TB	EN (CL-3) SARGENT
1	EA	KICKPLATE K1050 6 x 34 X CSK	32D (KP-2) ROCKWOOD
1	EA	MOP PLATE K1050 4 x 35 X CSK	32D (KP-4) ROCKWOOD
1	EA	WALL STOP 409 CONCAVE	32D (ST-2) ROCKWOOD
3	EA	SILENCERS 606-RKW	GRAY (SI-1) ROCKWOOD

Page 1 of 1



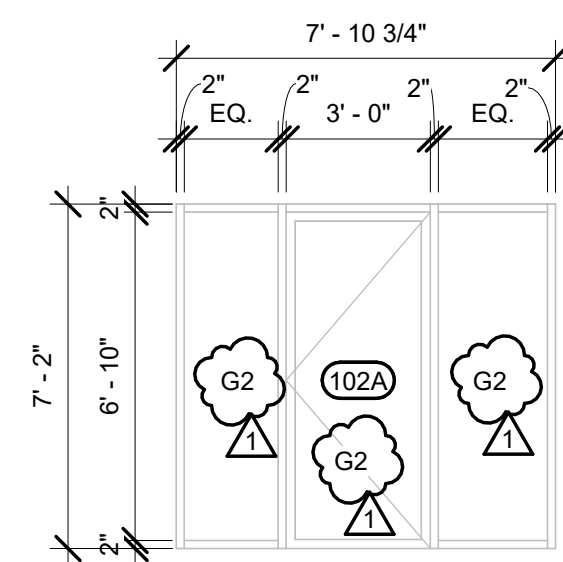
WINDOW A

1/4" = 1'-0"



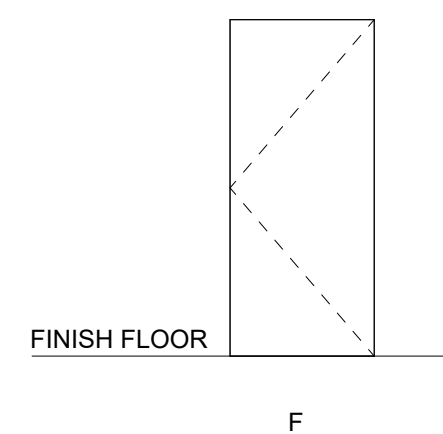
WINDOW B

1/4" = 1'-0"



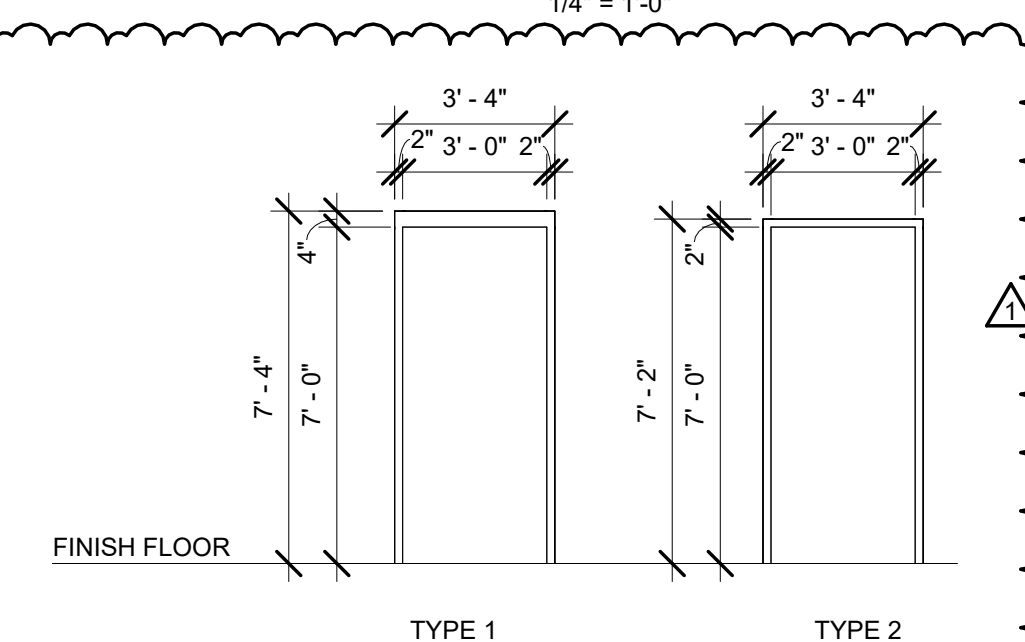
WINDOW C

1/4" = 1'-0"



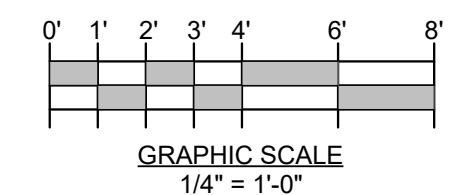
DOOR TYPES

1/4" = 1'-0"



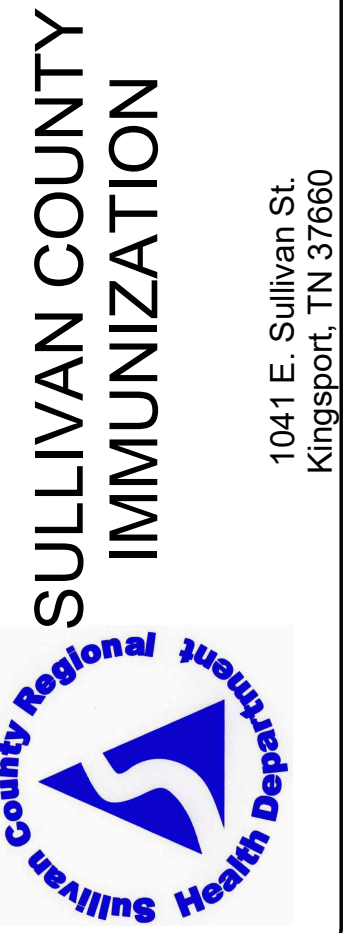
FRAME TYPES

1/4" = 1'-0"



DOOR AND HARDWARE NOTES

- ALL DOOR LOCKING AND LATCHING HARDWARE SHALL BE FURNISHED WITH ADA COMPLIANT LEVER SETS UNLESS OTHERWISE NOTED.
- ALL HOLLOW METAL DOOR FRAMES SHALL BE FURNISHED WITH SILENCERS. (3 PER STRIKE SIDE JAMB OR 2 PER HEAD FOR PAIRS OF DOORS.)
- ALL HOLLOW METAL FRAMES SHALL BE CONSTRUCTED OF 16 GA. STEEL.
- ALL HOLLOW METAL WORK SHALL COMPLY WITH SDI SPECIFICATIONS SDI-105, SDI-117, AND SDI-124.
- ALL HOLLOW METAL SHALL CONFORM TO ASTM A366/A366M AND ASTM A653/A653M.
- ALL HARDWARE SHALL BE FURNISHED WITH US26D FINISH UNLESS OTHERWISE NOTED. (SATIN CHROME)
- ALL HARDWARE LOCATIONS SHALL CONFORM TO THE RECOMMENDATIONS OF THE "DOOR AND HARDWARE INSTITUTE".
- DOOR AND FRAME MANUFACTURERS SHALL PROVIDE FULL SHOP DRAWINGS INCLUDING LAYOUT, PROFILES, PRODUCT COMPONENTS, ANCHORAGES AND ACCESSORIES.
- SHOP DRAWINGS SHALL INDICATE DOOR TYPE, FRAME, MATERIALS, THICKNESSES, MORTISES, REINFORCEMENTS, EXPOSED FASTENER LOCATIONS, OPENINGS (GLAZED OR LOUVERED), AND HARDWARE ARRANGEMENTS. (SHOP DRAWINGS SHALL UTILIZE ARCHITECT'S DOOR AND FRAME MARK NUMBERS FROM CONSTRUCTION DOCUMENTS.)
- ALL INTERIOR HINGES SHALL BE STEEL, BALL BEARING TYPE. ALL EXTERIOR H.M. DOOR HINGES SHALL BE STAINLESS STEEL, BALL BEARING TYPE, WITH NON-REMOVABLE PIN.
- HOLLOW METAL FRAMES, WHICH ARE TO RECEIVE SURFACE APPLIED HARDWARE, SHALL BE REINFORCED. (DRILLING AND TAPPING FOR SURFACE-APPLIED FINISH HARDWARE MAY BE PERFORMED ON THE PROJECT SITE.)
- ALL HOLLOW METAL DOOR FRAMES SHALL BE INSTALLED WITH A MINIMUM OF 3 ANCHORS PER JAMB AT HINGE AND STRIKE LEVELS.
- ALL HOLLOW METAL DOORS SHALL BE CONSTRUCTED OF 18 GA. STEEL, AND SHALL EMPLOY MANUFACTURER'S STANDARD CORE CONSTRUCTION THAT COMPLIES WITH SDI STANDARDS FOR A FULL FLUSH DOOR.
- ALL DOORS SHALL BE PROVIDED BY A SINGLE MANUFACTURER.
- ALL LOCKS SHALL BE KEYED INTO THE OWNER'S SYSTEM.
- THE FOLLOWING PRODUCTS AND/OR MANUFACTURERS HAVE BEEN SELECTED TO ESTABLISH A BASIS OF DESIGN AND A STANDARD OF QUALITY. ALTERNATE PRODUCTS OF EQUAL OR GREATER QUALITY MAY BE PROVIDED BY THE CONTRACTOR UPON APPROVAL OF THE OWNER AND THE ARCHITECT. THE EQUALITY OF PROPOSED SUBSTITUTIONS SHALL BE DETERMINED SOLELY BY THE ARCHITECT.
 - STEEL DOORS AND FRAMES -
 - a. AMWELD BUILDING PRODUCTS, INC.
 - b. CECO DOOR PRODUCTS
 - c. STEELCRAFT
 - WOOD DOORS -
 - a. MARSHFIELD DOOR SYSTEMS
 - b. AMPCO PRODUCTS, INC.
 - c. ALGOMA HARDWOODS, INC.
 - ALUMINUM DOORS -
 - a. KAWNEER
 - FINISH HARDWARE -
 - a. HINGES : HAGER
 - b. LOCKS / LATCHES : SARGENT 7-LINE SERIES
 - c. EXIT DEVICES : SARGENT "P" SERIES
 - d. OPERATING TRIM : HAGER, SARGENT
 - e. CLOSERS : SARGENT (MED. GRADE)
 - f. TRIM UNITS : HAGER
 - g. STOPS / HOLDERS : HAGER, IVES, ROCKWOOD
 - h. SILENCERS : HAGER, IVES, ROCKWOOD
 - i. THRESHOLDS : NATIONAL GUARD, ZERO, PEMKO
- ALL INTERIOR WOOD DOORS SHALL BE SOLID CORE, FLUSH, DOORS WITH 7-PLY WOOD VENEER FACES UNLESS OTHERWISE NOTED. (FACES SHALL BE WHITE BIRCH VENEER, ROTARY CUT, FACTORY PRE-FINISHED. STAIN SHALL BE SELECTED BY THE ARCHITECT FROM MANUFACTURER'S FULL RANGE.
- PROVIDE SAFETY GLAZING WHERE NOTED. SAFETY GLAZING MUST BE TEMPERED AND PASS THE TEST REQUIREMENTS OF CPSC 16 CFR, PART 1201.
- REFER TO SHEET A-62 FOR FRAME DETAILS.
- REFER TO SHEET A-63 FOR BID ALTERNATE 2. DOOR SCHEDULE.



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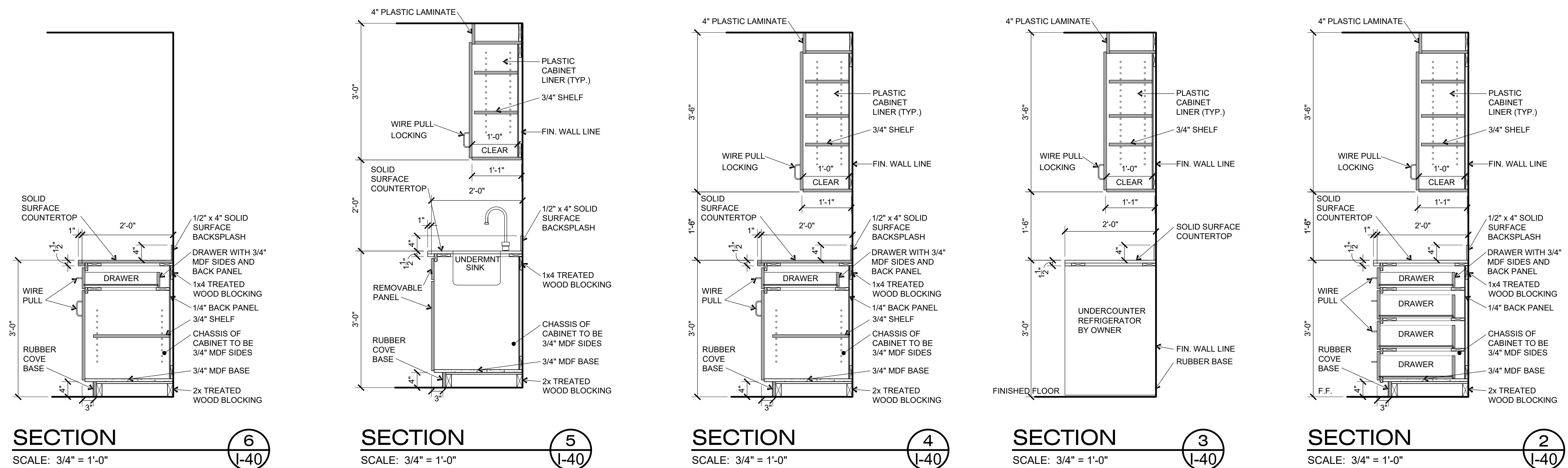
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Checked by RL
Drawn by TR
Project number 202256

DOOR / WINDOW SCHEDULE - BASE BID

A-61

CASEWORK PLAN NOTES

1. ALL DIMENSIONS ON THIS PLAN ARE TO THE FACE OF FINISH UNLESS NOTED OTHERWISE.
2. ALL EXPOSED SURFACES OF CASEWORK (ALSO APPLICABLE TO DRAWER EDGES) SHALL BE COVERED WITH PLASTIC LAMINATE UNLESS OTHERWISE NOTED OR DETAILED ON THE DRAWINGS. SEE FINISH SHEETS FOR EXTERIOR SURFACES. INTERIOR SURFACES SHALL BE COVERED WITH WHITE LAMINATE UNLESS NOTED OTHERWISE.
3. UNLESS NOTED OTHERWISE, CASEWORK SHALL BE CONSTRUCTED OF MDF (MEDIUM DENSITY FIBERBOARD). ALL WET COUNTER LOCATIONS SHALL BE CONSTRUCTED USING MOISTURE RESISTANT MDF.
4. FABRICATOR SHALL FIELD VERIFY ALL CASEWORK DIMENSIONS PRIOR TO FABRICATION.
5. SOME WORK SURFACE SUPPORT BRACKETS MAY NOT BE SHOWN FOR CLARITY. PROVIDE AND INSTALL AS REQUIRED. BRACKETS SHALL BE STEEL, BRUSHED STAINLESS STEEL FINISH.
6. CONTRACTOR SHALL PROVIDE AND INSTALL THE APPROPRIATE BLOCKING AND UTILITY ROUGH-INS AS REQUIRED TO SECURELY ATTACH ALL CASEWORK AND MAKE IT FULLY FUNCTIONAL. ANY PLUMBING FIXTURES, ETC. WITHIN THE CASEWORK SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR COMPLETING FINAL CONNECTIONS TO UTILITIES IN ORDER TO MAKE THEM OPERATIONAL. CENTER SINKS AND LAVATORIES WITHIN BASE CABINETS OR AS DETAILED ON THE DRAWINGS.
7. REFER TO FINISH SCHEDULE ON SHEET I-11 FOR FINISH SPECIFICATIONS.
8. REFER TO ACCESSORY SCHEDULE ON SHEET A-11 FOR COORDINATION.



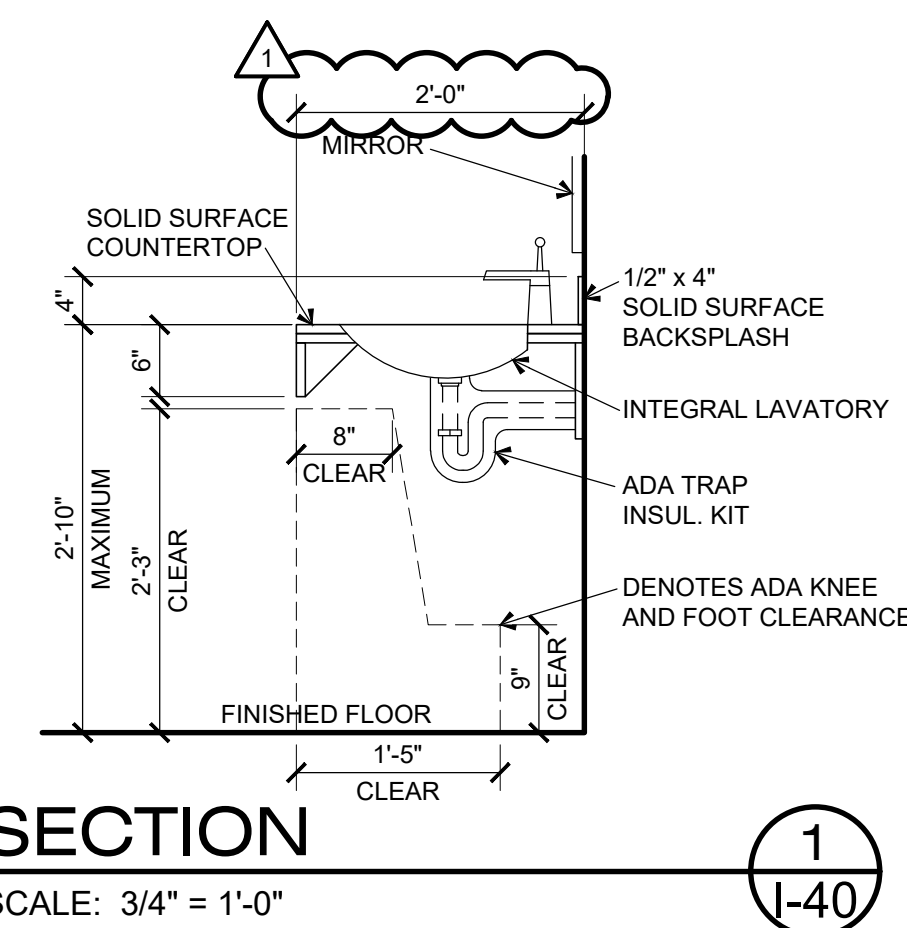
SECTION 6
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I-40

SECTION 5
SCALE: 3/4" = 1'-0"
I-40

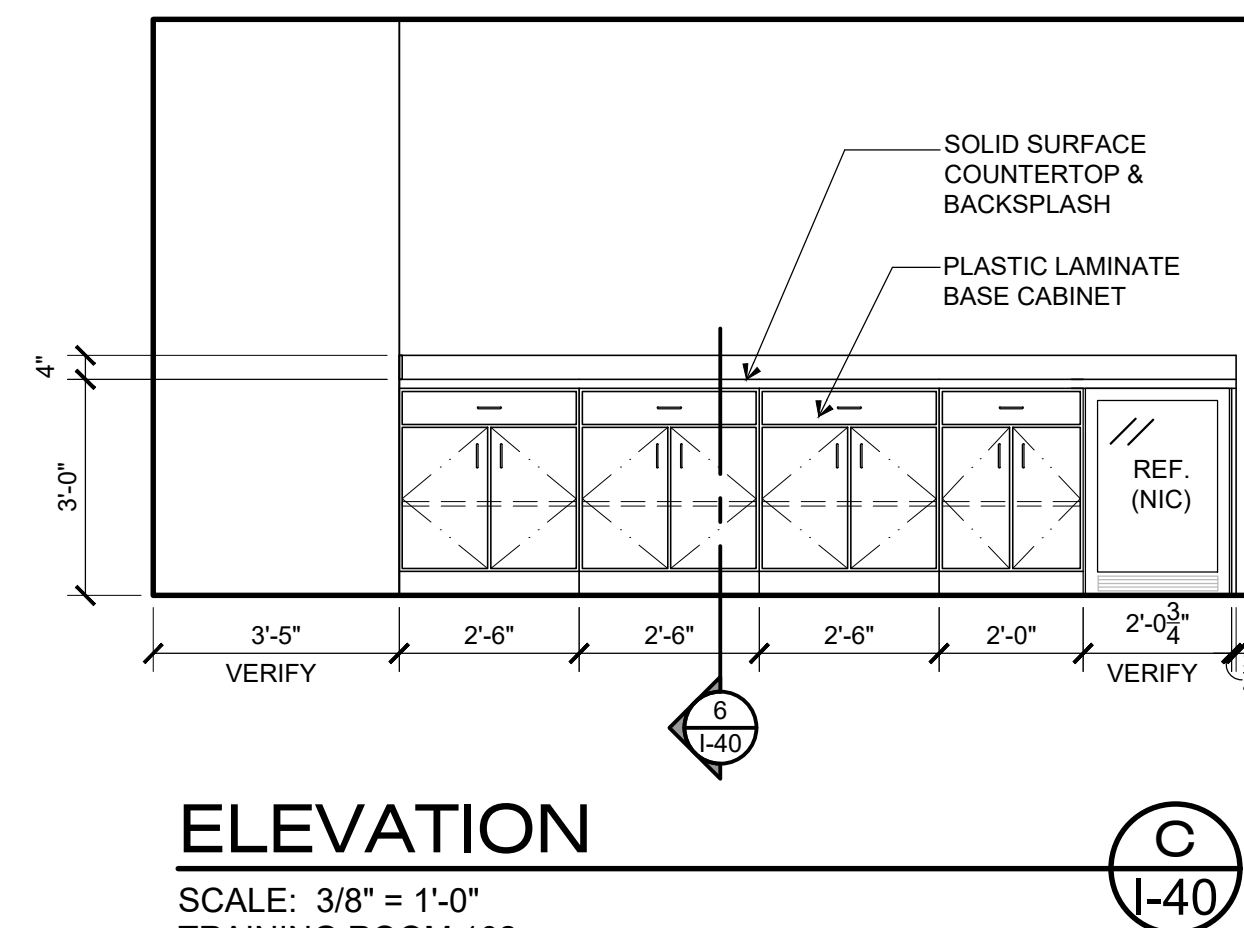
SECTION 4
SCALE: 3/4" = 1'-0"
I-40

SECTION 3
SCALE: 3/4" = 1'-0"
I-40

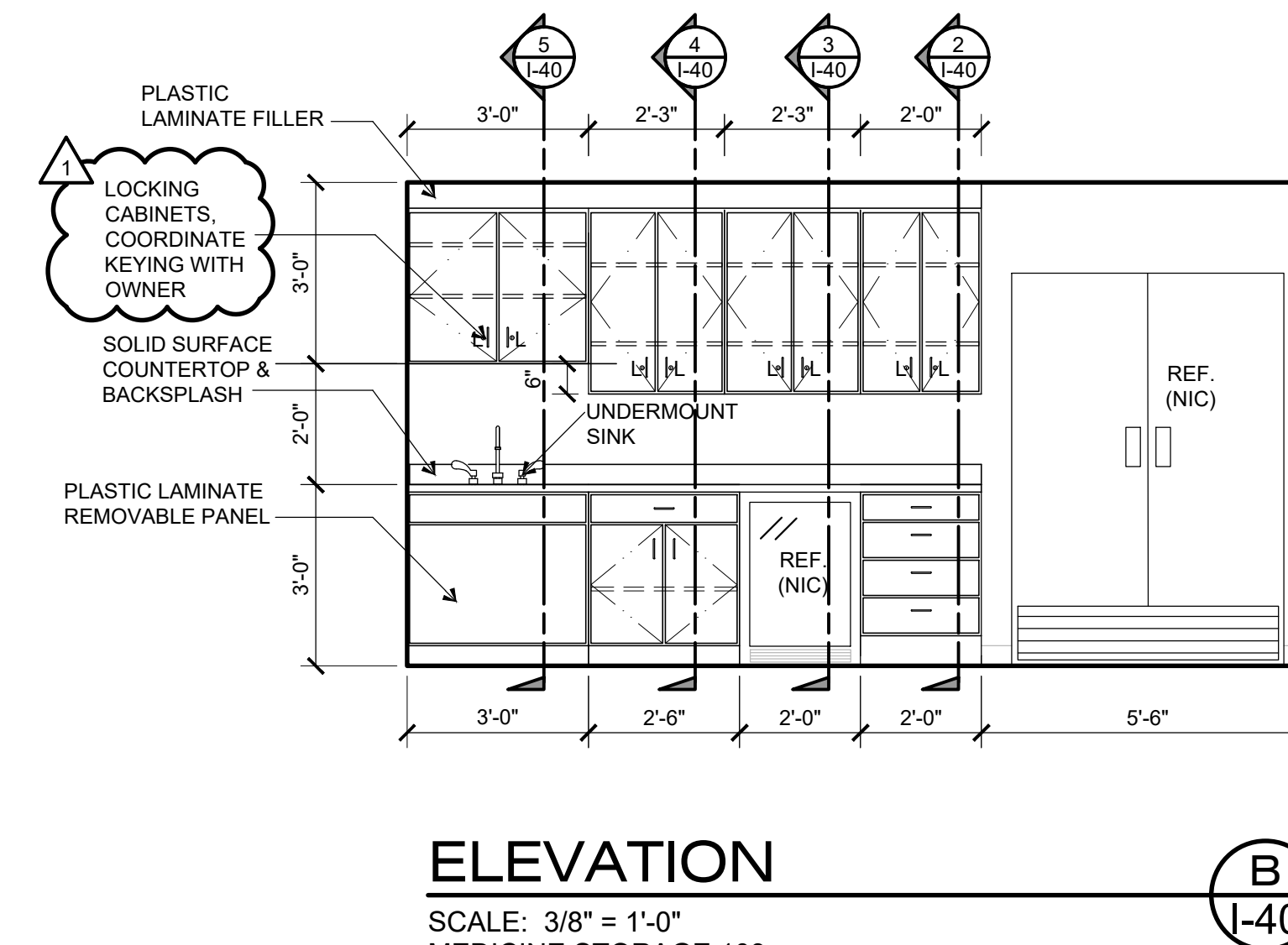
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I-40



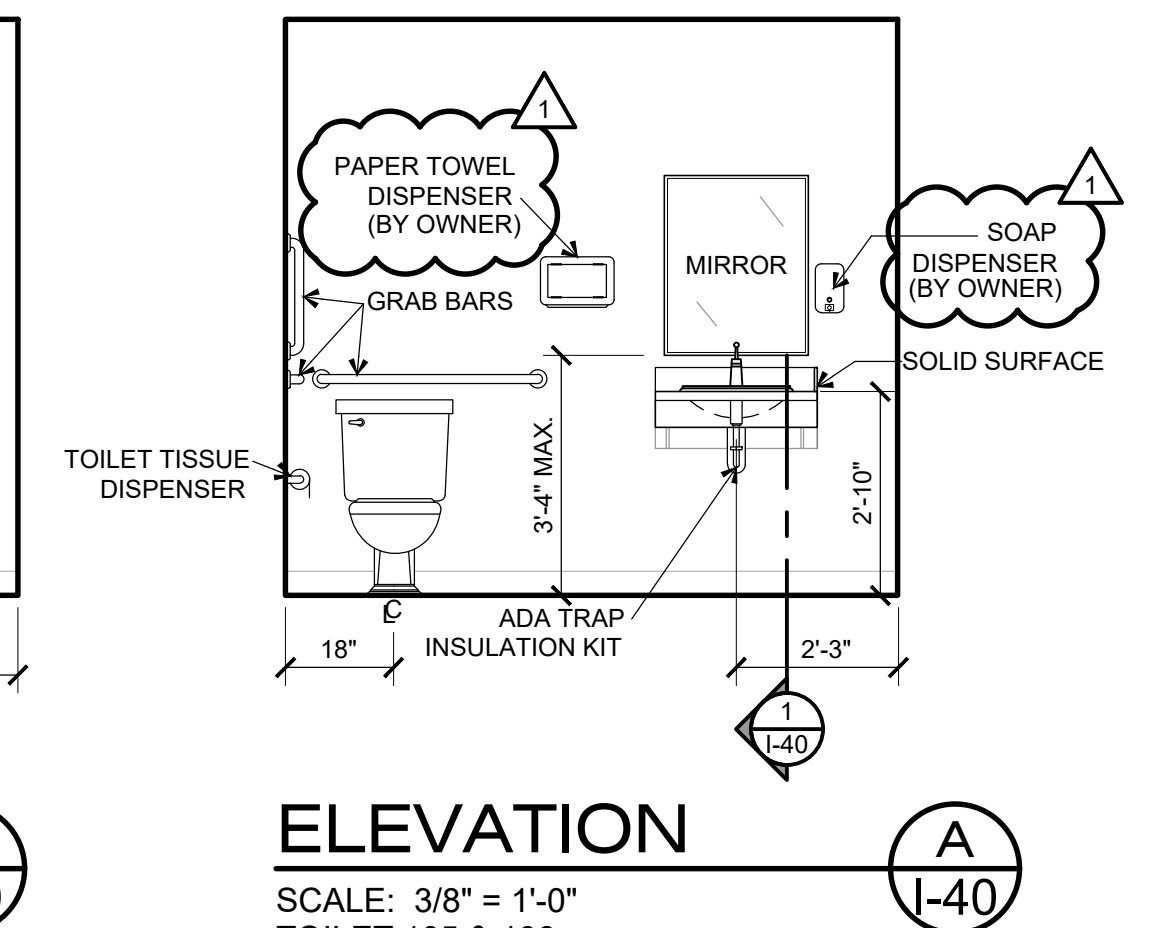
SECTION 1
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I-40



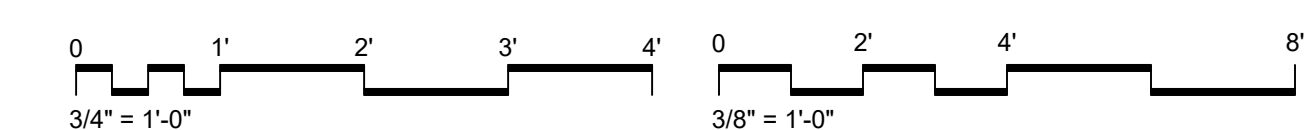
ELEVATION C
SCALE: 3/8" = 1'-0"
TRAINING ROOM 102
I-40



ELEVATION B
SCALE: 3/8" = 1'-0"
MEDICINE STORAGE 103
I-40



ELEVATION A
SCALE: 3/8" = 1'-0"
TOILET 105 & 106
I-40



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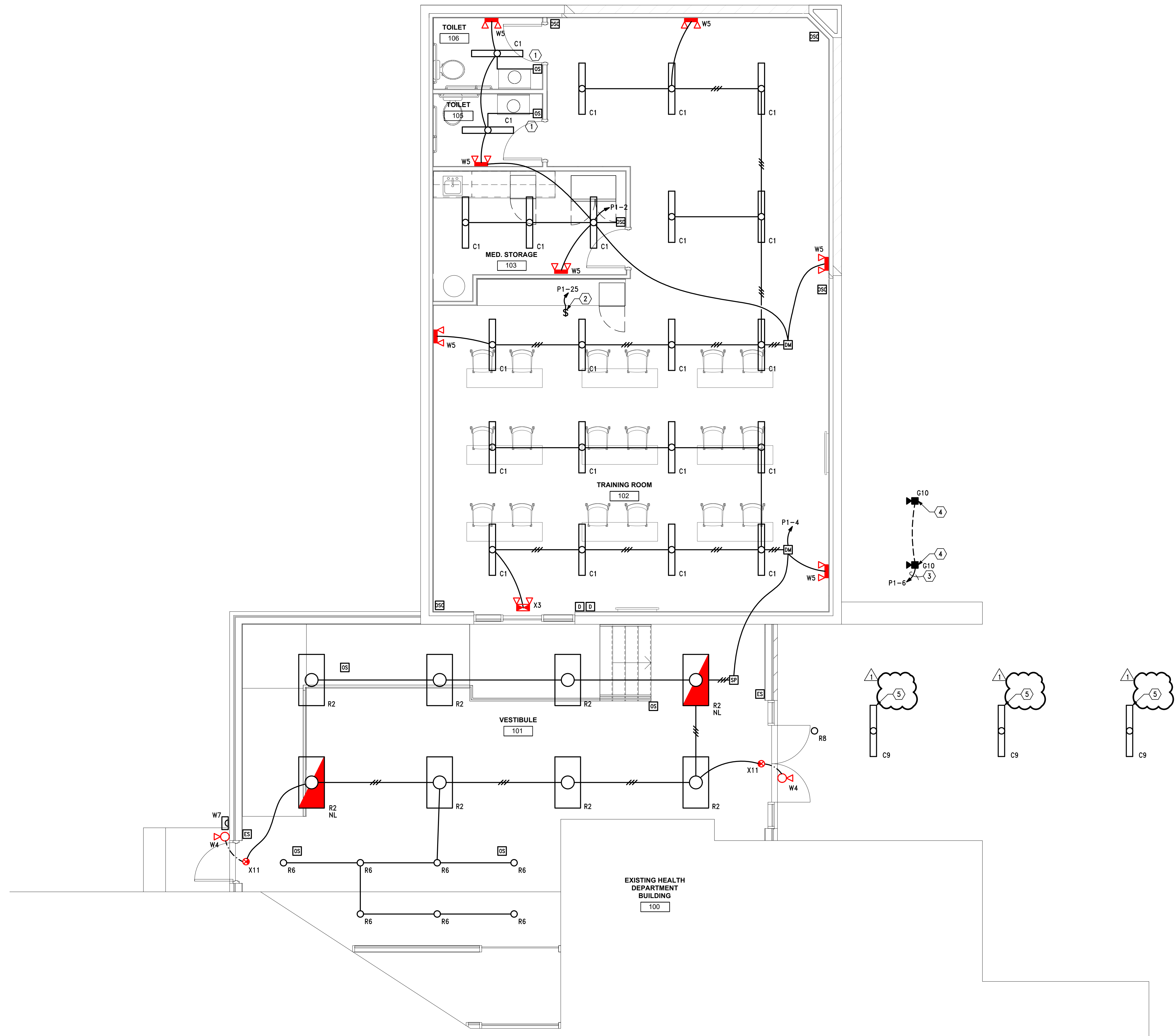


issued 27 OCT. 2022
checked KDP
drawn AMD
project no. 202256

CASEWORK
ELEVATIONS &
SECTIONS

I-40

plotted: 1/11/2022 5:07:34 PM file: 22155 ELECTRICAL.DWG



- GENERAL NOTES**
- REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LOCATION OF LIGHTING FIXTURES.
 - PROVIDE DIMMING STATIONS WHERE SHOWN TO CONTROL THE LIGHTING CONTROL SYSTEM IN EACH AREA/ROOM.
 - THE LIGHTING CONTROL SYSTEM SHALL HAVE ALL COMPONENTS NECESSARY TO MAKE THE SYSTEM OPERATIONAL. THIS INCLUDES THE OCCUPANCY SENSORS, POWER SUPPLIES, SWITCH AND DIMMING PACKS, ALL CAT5 CONTROL WIRING, ETC.
 - ALL UNIT EQUIPMENT (EMERGENCY LIGHTING UNITS, EXIT SIGNS, AND COMBO EXIT SIGNS) SHALL HAVE THE UNSWITCHED POWER TO THE EMERGENCY BATTERY COME FROM THE SAME CIRCUIT SERVING THE NORMAL LIGHTING IN THE AREA FIXTURE PER NEC 700.12(F)(2)(3).
 - INTERIOR LIGHTING DENSITY CALCULATED AT 0.48 W/SQ.FT. IN THE BASE BID, AND 0.52 W/SQFT IN THE ALTERNATE BID.
 - PROVIDE LOW VOLTAGE WIRING BETWEEN OCCUPANCY SENSORS. CIRCUITRY FOR THE SENSORS SHALL FOLLOW THE SAME SWITCHING ZONES AS THE LIGHTING CIRCUITRY.
 - ALL EXTERIOR BUILDING MOUNTED LIGHTING FIXTURES TYPES "W7", "R8", AND "C9" SHALL BE CIRCUITED TO P2-8, #12 AWG CONDUCTORS SHALL BE PULLED THROUGHOUT ENTIRE CIRCUIT. CIRCUIT SHALL BE CONTROLLED BY PHOTOCELL/CONTACTOR. SEE DETAIL.
 - CONTRACTOR SHALL REMOVE ALL WIRING FROM CIRCUITS TO BE DEMOLISHED AND REMOVE ALL UNUSED EXPOSED CONDUITS. ALL PVC CONDUIT, LIGHT FIXTURES, AND SWITCHES SHALL BE REMOVED FROM THE BUILDING.
 - ALL DEVICES SHOWN ON THE DEMOLITION PLAN SHOWN DASHED OR WITH SUBSCRIPT (D) ARE SCHEDULED FOR REMOVAL AND POSSIBLE REUSE. OTHER DEVICES NOTED AS EXISTING TO REMAIN (E) SHALL REMAIN IN PLACE. DEVICES NOTED AS RELOCATED (R) ARE TO BE CAREFULLY REMOVED, STORED AND REINSTALLED WHERE SHOWN.
 - ANY REMOVED EQUIPMENT IS THE PROPERTY OF THE OWNER AND SHALL BE OFFERED TO THE OWNER AS SALVAGE. IF THE OWNER DOES NOT WANT EQUIPMENT, THE CONTRACTOR SHALL RECYCLE OR DISPOSE OF IT PROPERLY, INCLUDING ALL FLUORESCENT LAMPS AND BALLASTS.

- CODED NOTES**
- EXHAUST FAN TO BE CONTROLLED BY ROOM OCCUPANCY SENSOR BY DUAL POLE WALL MOUNTED OCCUPANCY SENSOR SHARED WITH LIGHTING CONTROLS. PROVIDE POWER FOR FAN FROM THE LIGHTING CIRCUIT.
 - RECONNECT EXISTING ATTIC LIGHTING TO CIRCUIT P1-25. PROVIDE SWITCH IN ATTIC AT THE ACCESS STAIR TO CONTROL THE LIGHTING.
 - RUN CIRCUIT THROUGH CONTACTOR / TIME CLOCK. SEE DETAIL.
 - COORDINATE FLOOD LIGHT LOCATION WITH MANUFACTURER RECOMMENDED SETBACK AND SPACING CRITERIA.
 - MOUNT FIXTURE TO CANOPY STRUCTURE. COORDINATE EXACT LOCATION WITH ARCHITECT.



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issued 10-27-2022
checked J. BLASER
drawn J. BLASER
project no. 202256

LIGHTING PLAN - ALTERNATE BID #1

E-12

LIGHTING PLAN - ALTERNATE BID #1

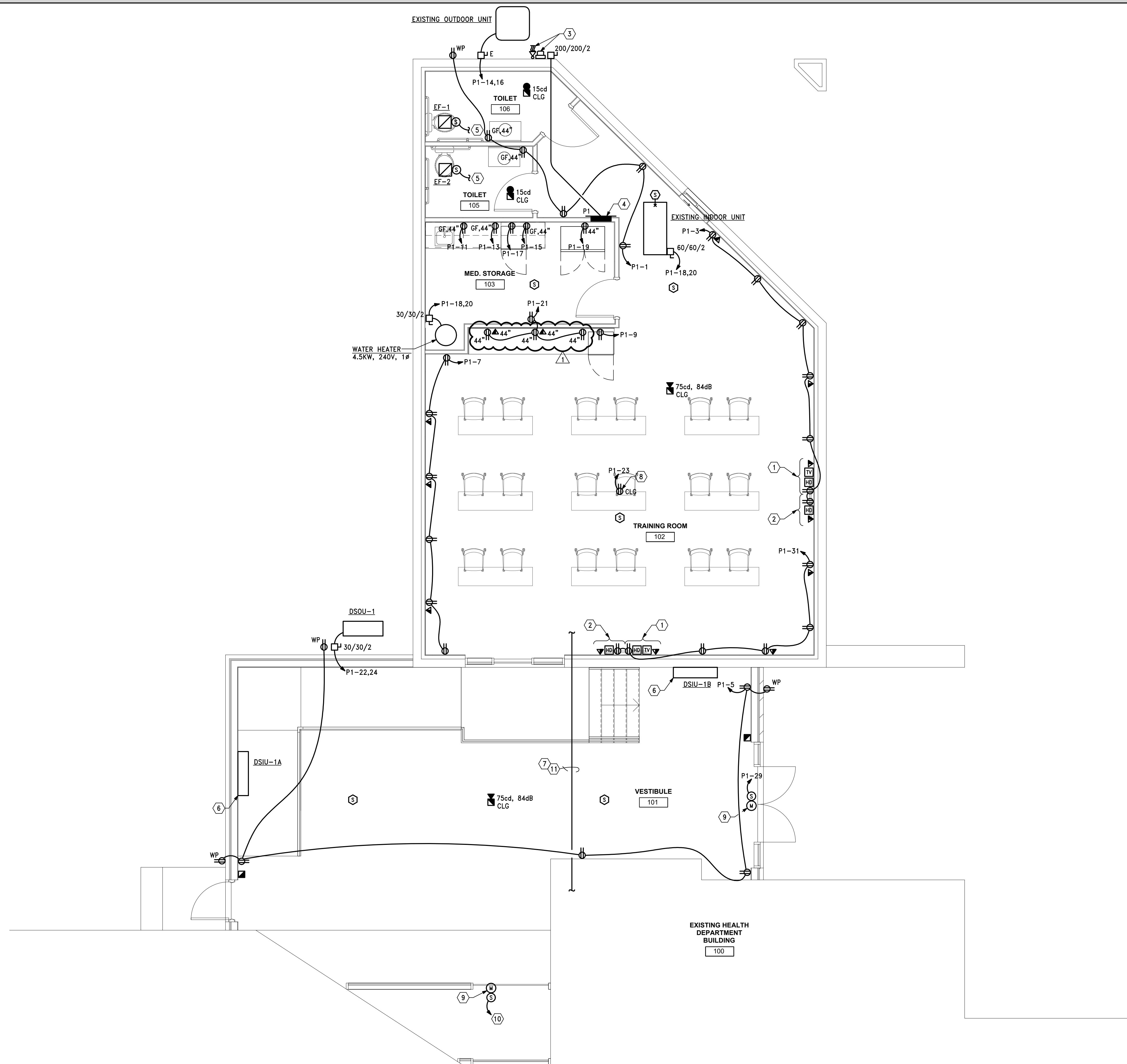
SCALE: 1/4" = 1'-0"

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Bristol, VA 24201
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BLASER ENG JOB# 22-155

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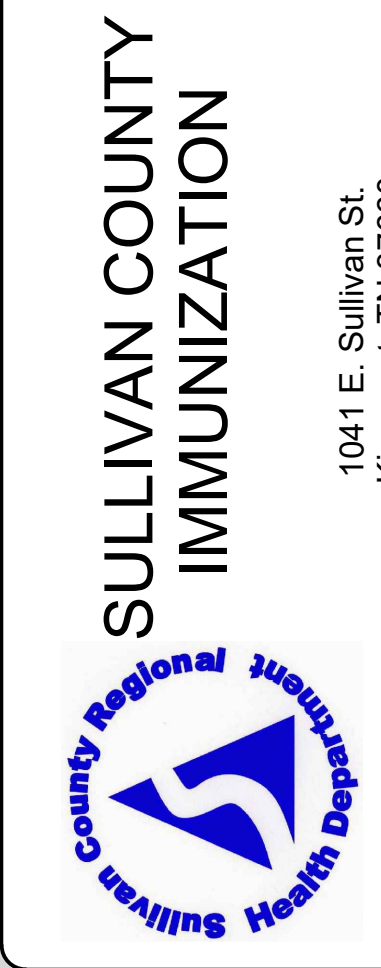
plotted: 1/10/2022 5:07:49 PM file: 22155 ELECTRICAL.DWG



POWER PLAN - BASE BID
SCALE: 1/4" = 1'-0"

- GENERAL NOTES**
- COORDINATE CEILING MOUNTED DEVICES WITH ARCHITECTURAL REFLECTED CEILING PLAN.
 - ALL DEVICES SHALL BE TAMPER RESISTANT.
 - ALL FIRE ALARM SYSTEM DEVICES SHALL BE FULLY COMPATIBLE WITH THE EXISTING FIRE ALARM SYSTEM. EXISTING SYSTEM IS A HONEYWELL ADEMCO VISTA-128FBP PANEL.
 - ALL EMPTY CONDUITS SHALL BE PROVIDED WITH A PULL STRING.
 - CONTRACTOR SHALL COORDINATE ALL ADDITIONAL REQUIREMENTS WITH EACH UTILITY COMPANY AND TO INCLUDE IN THEIR BID ALL COSTS ASSOCIATED WITH CONNECTION TO THE UTILITY SERVICES.
 - PER NEC 210.8, ALL GROUND FAULT RECEPTACLES ARE TO BE IN A READILY ACCESSIBLE LOCATION. IF NOT, PROVIDE A GROUND FAULT CIRCUIT BREAKER IN THE PANEL, OR A DEAD FRONT GROUND FAULT DEVICE IN AN ACCESSIBLE LOCATION SERVING THE INACCESSIBLE DEVICE.
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 - PROVIDE FINAL CONNECTIONS TO ALL EQUIPMENT SUPPLIED BY OTHERS.
 - PROVIDE NEMA 3R RATED SAFETY SWITCHES WHERE LOCATED OUTDOORS.
 - PROVIDE MATCHING PLUG, PIGTAIL, AND CONNECTIONS TO EQUIPMENT FOR ALL SPECIAL PURPOSE RECEPTACLES.
 - CONTRACTOR SHALL REMOVE ALL WIRING FROM CIRCUITS TO BE DEMOLISHED AND REMOVE ALL UNUSED EXPOSED CONDUITS.
 - CONTRACTOR SHALL REMOVE ALL DEVICES, INTERIOR PVC CONDUIT, WIRING, NON-METALLIC SHEATHED CABLE, INTERIOR LIGHTING, EXTERIOR LIGHTING, ETC. FROM THE BUILDING. SEE ARCHITECTURAL PLANS FOR EXTENT OF DEMOLITION.
 - ALL DEVICES SHOWN WITH SUBSCRIPT (D) ARE SCHEDULED FOR DEMOLITION. OTHER DEVICES MAY BE NOTED AS EXISTING TO REMAIN (E), OR RELOCATED (R).
 - EXISTING CONDITIONS WERE TAKEN FROM A SITE VISIT AND MAY NOT REFLECT "AS-BUILT" CONDITIONS. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS. CAREFULLY COORDINATE NEW WORK AND DEMOLITION WITH ALL OTHER DISCIPLINES AND EXISTING CONDITIONS.
 - ANY REMOVED EQUIPMENT IS THE PROPERTY OF THE OWNER AND SHALL BE OFFERED TO THE OWNER AS SALVAGE. IF THE OWNER DOES NOT WANT EQUIPMENT, THE CONTRACTOR SHALL RECYCLE OR DISPOSE OF IT PROPERLY.

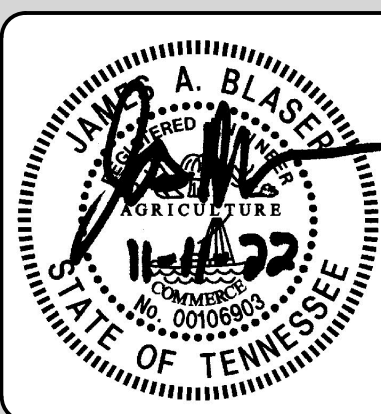
- CODED NOTES**
- PROVIDE WALL BOX AT 78" FOR A DUPLEX RECEPTACLE, HDMI, CATV, AND DATA JACKS MOUNTED BEHIND THE WALL MOUNTED TELEVISION. COORDINATE EXACT MOUNTING LOCATION AND HEIGHT WITH OWNER PRIOR TO ROUGH-IN. PROVIDE 2 - 1" CONDUITS TO ACCESSIBLE ATTIC FOR LOW VOLTAGE WIRING. LEGRAND EVOLUTION SERIES 4 GANG WALL BOX #EFSB4 OR EQUAL.
 - PROVIDE WALL BOXES AT 18" FOR A DUPLEX RECEPTACLE, HDMI, AND DATA JACKS. PROVIDE 1" CONDUIT BETWEEN BOXES AND WALL BOX BEHIND THE TELEVISION FOR LOW VOLTAGE WIRING. DEVICES SHALL BE CENTERED ON THE WALL AND LOCATED DIRECTLY BELOW WALL BOX IN CODED NOTE #1 ABOVE.
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 - EXISTING SIEMENS 200A MLO, 120/240V, 1Ø, 3W ELECTRICAL PANEL TO BE RELOCATED TO THIS LOCATION. LABEL PANEL AS PANEL "P1". PROVIDE CIRCUIT BREAKERS AS REQUIRED FOR NEW CIRCUITS. SEE PANEL SCHEDULE FOR REQUIRED CIRCUIT BREAKERS. NOTE: PANEL WAS MANUFACTURED IN FEBRUARY OF 2019.
 - EXHAUST FAN TO BE CONTROLLED BY ROOM OCCUPANCY SENSOR BY DUAL POLE WALL MOUNTED OCCUPANCY SENSOR SHARED WITH LIGHTING CONTROLS. PROVIDE POWER FOR FAN FROM THE LIGHTING CIRCUIT.
 - INDOOR UNIT IS POWERED FROM THE OUTDOOR UNIT. PROVIDE LOCAL DISCONNECTING MEANS AT THE INDOOR UNIT, AND INTERCONNECTING WIRING TO THE OUTDOOR UNIT. COORDINATE REQUIREMENTS WITH EQUIPMENT SUPPLIER.
 - PROVIDE 2 - 3/4" CONDUITS TO BE USED FOR FIRE ALARM WIRING BACK TO THE MAIN BUILDING.
 - PROVIDE CEILING RECEPTACLE IN THE CENTER OF THE ROOM.
 - PROVIDE POWER CONNECTION TO MOTORIZED DOOR OPENER. (FRACT HP, 120V, 1Ø). PROVIDE INTERCONNECTION WIRING FOR ALL CONTROLS AND SAFETY FEATURES. BID ALTERNATE #2.
 - PROVIDE 20 AMP SINGLE POLE CIRCUIT BREAKER IN NEAREST PANEL IN THE HEALTH DEPARTMENT BUILDING WITH AVAILABLE SPACE. PROVIDE BRANCH CIRCUIT CONSISTING OF 2 - #12 WITH #12 GROUND IN 3/4" CONDUIT.
 - PROVIDE 1 - 2" COMMUNICATIONS CONDUIT FROM ABOVE THE ACCESSIBLE CEILING SPACE IN THE EXISTING BUILDING TO THE ATTIC SPACE IN THE TRAINING ROOM.



130 Regional Park Dr.
Kingsport, TN 37660
Phn (423) 349-7760
Fax (423) 349-7413
www.grcinc.com

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no.	date	rev.	description
1	11-11-22		Addendum 1



issued	10-27-2022
checked	J. BLASER
drawn	J. BLASER
project no.	202256

POWER PLAN - BASE BID

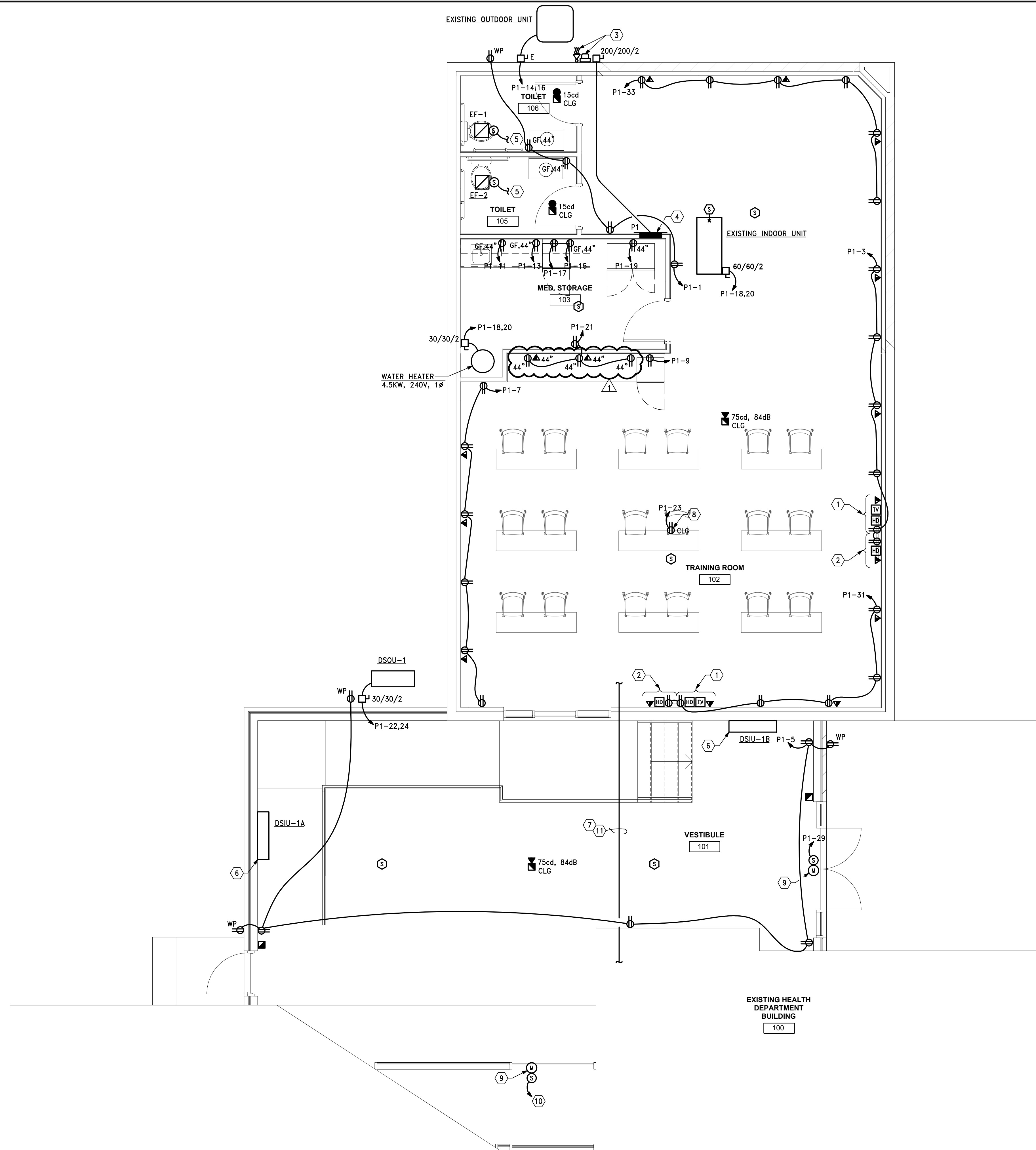
Blaser Engineering
398 Moore Street
Bristol, VA 24201
Phone: (423) 349-8380

E-21

BLASER ENG JOB# 22-155

1041 E. Sullivan St.
Kingsport, TN 37660

plotted: 1/10/2022 5:08:42 PM file: 22155 ELECTRICAL.DWG



POWER PLAN - ALTERNATE BID #1

SCALE: 1/4" = 1'-0"

GENERAL NOTES

- COORDINATE CEILING MOUNTED DEVICES WITH ARCHITECTURAL REFLECTED CEILING PLAN.
- ALL DEVICES SHALL BE TAMPER RESISTANT.
- ALL FIRE ALARM SYSTEM DEVICES SHALL BE FULLY COMPATIBLE WITH THE EXISTING FIRE ALARM SYSTEM. EXISTING SYSTEM IS A HONEYWELL ADEMCO VISTA-128FBP PANEL.
- ALL EMPTY CONDUITS SHALL BE PROVIDED WITH A PULL STRING.
- CONTRACTOR SHALL COORDINATE ALL ADDITIONAL REQUIREMENTS WITH EACH UTILITY COMPANY AND TO INCLUDE IN THEIR BID ALL COSTS ASSOCIATED WITH CONNECTION TO THE UTILITY SERVICES.
- PER NEC 210.8, ALL GROUND FAULT RECEPTACLES ARE TO BE IN A READILY ACCESSIBLE LOCATION. IF NOT, PROVIDE A GROUND FAULT CIRCUIT BREAKER IN THE PANEL, OR A DEAD FRONT GROUND FAULT DEVICE IN AN ACCESSIBLE LOCATION SERVING THE INACCESSIBLE DEVICE.
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POWER PLAN - ALTERNATE BID #1

E-22

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398 Moore Street
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INVITATION TO BID

Sealed bids for the following project will be received by the Sullivan County Purchasing Agent at the Sullivan County Courthouse, 3411 Highway 126, Suite 201, Blountville, TN, until **2:00 P.M.**, Eastern Time, on **November 17, 2022**. Bids received will be publicly opened and read aloud. All bids will be considered for award or rejection at a later date.

PROJECT: Sullivan County Immunization Center Addition and Renovations

Copies of the bid documents in PDF format as downloaded files may be obtained from Cain Rash West Architects. Potential Bidders may request bid documents by email request to Dineen West at Dineen@grcinc.com. Potential Bidders are granted a limited license to print and copy the PDF files for the purpose of preparing Bids. Copies of the documents will also be available at the following locations:

Knoxville Builders Exchange
300 Clark Street
Knoxville, TN 37921

AGC Plan Room
249 Neal Drive
Blountville, TN 37617

A Pre-Bid Conference will be held at the Sullivan County Immunization Center (former Prescription Shop), 1041 E. Sullivan Street, Kingsport, TN 37660, at **3:00pm.**, Eastern Time, on **November 3, 2022**. All questions regarding this project need to be submitted in writing via email to the Architect: Dineen West at dineen@grcinc.com. All questions must be submitted no later than November 9, 2022, by the close of business. Questions will be answered in an addendum that will be issued no later than November 11, 2022.

A bid bond or certified check in an amount equal to five percent (5%) of the total of the bid is required. Certified checks should be made payable to **Sullivan County Trustee**. Certified checks will be deposited and refunded within five (5) days after bid opening except for the two (2) lowest bidders. The remaining bid bonds or refund checks will be returned promptly after the Owner and accepted bidder have executed the contract. The successful bidder will be required to execute acceptable Performance and Payment Bonds in an amount equal to one hundred (100%) percent of the contract price.

This project is being funded by the Epidemiology and Laboratory Capacity (ELC) Grant, which is federal funds. Federal regulations as identified herein must be adhered to in the performance of this project. Qualified Disadvantaged Business Enterprises (DBEs) are encouraged to submit.

By submission of a signed bid, the bidder certifies total compliance with Title VI and Title VII of the Civil Rights Act of 1964, as amended, and all regulations promulgated thereunder. All bidders must be licensed State of Tennessee Contractors as required by the Contractors Licensing Act of 1994 (TCA Title 62, Chapter 6). A Bid Envelope Cover Sheet has been included in the bid documents. The Bid Envelope Cover must be completed and attached to the sealed envelope. No bid will be opened unless the outside of the sealed envelope containing the bid provides the following information: the Bidder's name, license number, classification of license and date of expiration and a quotation of that part of his classification applying to the bid; the Geothermal, HVAC, Masonry, Plumbing, Mechanical, Sprinkler, Electrical and Roofing subcontractor's name, license number expiration date and license classification, if any, must also appear on the Envelope Cover. If no Subcontractors are being used, the outside of the envelope must state, "No Subcontractors are being used on this project".

The Owner reserves the right to reject any or all bids, to waive any informality or irregularity in the bid received and to accept or reject any and all items of any bid. No Bidder may modify, withdraw, or cancel a bid within thirty (30) calendar days after the actual date of the opening thereof.

PUB IT: 10/30/22

Sullivan County Immunization Center
Addition and Renovations
Kingsport, TN

FOR THE WORK SPECIFIED.

GENTLEMEN:

1. Having examined the plans and specifications, having visited the site of the proposed work, and being completely familiar with the local conditions affecting the cost of the work, and having carefully examined the construction bidding documents with addenda prepared by Cain Rash West Architects and entitled "SULLIVAN COUNTY IMMUNIZATION CENTER ADDITION AND RENOVATIONS"

2. I, (We) propose to execute the portion of the work identified as "**Sullivan County Immunization Center Addition and Renovations**" for the stipulated sum of: (sums shall be in written and numerical form)

Lump Sum Base Bid _____ DOLLARS

(\$ _____).

NOTE: BASE BID SHALL INCLUDE 5% ONWERS CONTINGENCY

Proposed Project Duration _____ (_____) Days

3. I, (We) propose to execute the portion of the work identified as "**Sullivan County Immunization Center Addition and Renovations Alternate One (1) Enclose open Drive Thru**" for the stipulated sum of: (sums shall be in written and numerical form)

—
_____ DOLLARS.

(\$ _____)

4. I, (We) propose to execute the portion of the work identified as "**Sullivan County Immunization Center Addition and Renovations Alternate Two (2) Replace two storefront doors with automatic entry doors**" for the stipulated sum of: (sums shall be in written and numerical form)

_____ DOLLARS.

(\$ _____)

5. I, (We) propose to execute the portion of the work identified as "**Sullivan County Immunization Center Addition and Renovations Alternate Three (3) Seal and stripe existing parking lot**" for the stipulated sum of: (sums shall be in written and numerical form)

Sullivan County Immunization Center
Addition and Renovations
Kingsport, TN

_____ DOLLARS

(\$ _____).

6. The undersigned agrees to complete all of the work described by the "Contract Documents" and have the space fully ready for occupancy, including any Alternates.
7. The undersigned agrees to commence work under this contract within three working days of receipt of Notice to Proceed.
8. The undersigned agrees that this bid shall be good and may not be withdrawn for a period of (30) thirty calendar days after the scheduled closing time for receiving bids.
9. The undersigned, upon receipt of written notice of the acceptance of this bid, agrees to deliver, to the owner or his agent, the architect, the required performance bond, labor and material payment bond and certificate of insurance in accordance with the specifications and instructions to bidders.

The undersigned hereby acknowledges receipt of:

ADDENDUM NO.	DATE
_____	_____
_____	_____
_____	_____
_____	_____

This proposal is respectfully submitted

By: _____

Title: _____

Firm name: _____

Sullivan County Immunization Center
Addition and Renovations
Kingsport, TN

Business address: _____

(Seal if this bid is submitted by a Corporation)

This Bid Form consists of three (3) pages.
END OF BID FORM 004113

Sullivan County Immunization Center
Addition and Renovations
Kingsport, TN

DOCUMENT 006325 – REQUEST FOR APPROVAL FORM

Requests for Substitution are accepted from prime Bidders only. Subcontractors and suppliers shall submit requests through a prime Bidder. Bidders are required to submit this completed form with required attachments no later than 10 days prior to opening of Bids. Comply with requirements of the Instructions to Bidders.

Project:	Sullivan County Immunization Center	Project No.:	_____	Date:	_____
To:	CainRashWest Architects 130 Regional Park Drive Kingsport, TN 37660	Spec Section No.:	_____	Spec. Section No.:	_____
Attn:	Dineen West, AIA	Contractor:	_____	Requested by:	_____
Phone:	423.723.1529	Phone:	_____	Phone:	_____
Fax:	423.349.7413	Fax:	_____	Fax:	_____
Email:	Dineen@grcinc.com	Email:	_____	Email:	_____

Reason for not providing specified item: _____

Savings to Owner for accepting Substitution: _____

Specified Product/Fabrication Method

(List name/description; model no., manufacturer): _____

Required Information for Specified Product:	Attached:
Point by Point Comparative Product Data	<input type="checkbox"/>
Tests	<input type="checkbox"/>
Reports	<input type="checkbox"/>
Fabrication Drawings	<input type="checkbox"/>
Samples (Where Applicable)	<input type="checkbox"/>

Proposed Product/Fabrication Method

(List name/description; model no., manufacturer): _____

Required Information for Proposed Product:	Attached:
Point by Point Comparative Product Data	<input type="checkbox"/> (Required)
Tests	<input type="checkbox"/>
Reports	<input type="checkbox"/>
Fabrication Drawings	<input type="checkbox"/>
Samples (Where Applicable)	<input type="checkbox"/>

Sullivan County Immunization Center
Addition and Renovations
Kingsport, TN

List of Related Changes/Modifications: _____

Differences between proposed substitution
and specified product: _____

Do proposed product/fabrication methods
affect other parts of the Work? No Yes: Explain _____

Undersigned certifies:

- Proposed substitution has been fully investigated and determined to be equal or superior in all respects to specified product as utilized for this project, except as noted herein.
- Qualifications of manufacturer, installer, and other specified parties meet the specified qualifications.
- Same special warranty will be furnished for proposed substitution as for specified product.
- Same maintenance service and source for replacement parts, as applicable, is available as that specified.
- Proposed substitution does not affect dimensions and functional clearances, except as noted herein.

For the Bidder:

Submitted by: _____
Signed: _____
Firm: _____
Telephone: _____ Fax: _____ Email: _____

For the Contractor:

Submitted by: _____
Signed: _____
Firm: _____
Telephone: _____ Fax: _____ Email: _____

END OF DOCUMENT 006325