

**ADDENDUM NUMBER TWO**

**REPLACEMENT ROOFING SYSTEM FOR  
TYNER YFD CENTER**

**FOR THE CITY OF CHATTANOOGA, TENNESSEE  
Contract Number Y-19-021**

**Please note that the Bid Date for this project has been extended until Thursday, August 20, 2020.**

**NOTES FROM THE PRE-BID MEETING**

A Pre-Bid Meeting was held at the Tyner YFD Center, 6900 Ty Hi Drive, Chattanooga, TN 37421, on Tuesday, August 4, 2020 at 10:00. A sign-in sheet from the meeting is attached.

At the meeting, the summary of work from Section 01010 of the specifications was read, and the Bid Schedule was reviewed. After that, everyone present who was interested went up onto the roof to look at the rooftop to review the existing roof conditions and discuss particulars of the scope of work. Items that were pointed out and/or discussed are listed below, as are any decisions reached.

Q1: The A/C unit on the north side of the building will need to be raised in order to have sufficient curb height to meet manufacturer's requirements. Is this part of the contractor's scope of work?

A1: No, the City will take care of that before re-roofing begins.

Q2: The evergreen tree at the north corner needs to be trimmed back away from the gutters to replace them. Is that the contractor's responsibility?

A2: That is to be included with the contractor's scope of work, as the City has no easy means to accomplish tree trimming at this time.

Q3: The gas line will probably need to be raised in order to accommodate new insulation requirements. Is that in the contractor's scope of work?

A3: Yes. Raising the gas line to need height above insulation is the contractor's responsibility.

Q4: Does the project include replacement of the fascia board around the gymnasium portion of the building?

A4: Yes. There are two fascia boards. The one on the surface is 8" wide, the one beneath that is an additional 7" wide. Replacement should be Hardie Board.

Q5: Does the scope of work include cleaning and caulking the control joint in the brick between the lower building and the higher gymnasium building?

A5: Yes. The bid schedule and scope of work have been amended to include this item.

Q6: There appears to be some discrepancy between the insulation requirements on the drawings and what is in the specs, as well as some discrepancy between the requirements for HD cover board. Could you clarify these items?

A6: Insulation requirement is R-25, per current city code. Cover board is to be ½" Iso with coated glass or fiberglass facer, compressive strength of 80 psi.

Q7: At the end of the pre-bid there was discussion that masonry work and adding helical piers may be needed to address structural issues and settling. Is this type of work to be included in this project?

A7: There will be no masonry work included in this project, and no structural work included in this project.

Q8: In pre-bid Mr. Mark Moreland with the City mentioned the gym HVAC units being replaced and raised to acceptable height and electrical ran through side of curbs being properly routed through roof with new penetrations (Both issues are unacceptable to receive roof manufacture warranty). Can you confirm that the units/curbs will be raised to accommodate roofing manufacture minimum height requirements prior to roof project and electrical re-routed through new satisfactory roof penetrations by the City? New tapered roof insulation thicknesses per code energy/R-value requirements may require curbs be raised to achieve roofing industry standard 8" minimum flashing requirements.

A8: Current plans are to replace the A/C units on top of the gymnasium before this project begins, and the electrical wires will be run inside of the roof penetrations instead of through the curbs. Curbs will be raised to meet minimum requirements of 8". This work should be completed before the re-roofing project begins.

Q9: Can you confirm that the City will have the lower roof HVAC curbs raised/replaced to provide adequate roof flashing heights same as above?

A9: After learning that the lower A/C units will need to be raised, the City has decided to replace these units as well as the upper units, and to add new curbs or curb extensions to meet the minimum height requirements for re-roofing. This should be completed before the re-roofing project begins.

Q10: The gas lines on the roof need to be raised to accommodate new roof insulation thicknesses. Is this to be performed by the roofing contractor or the City?

Q10: Any raising of the gas lines is to be performed by the contractor as part of the project.

Q11: The specification states a base layer of 2-1/2" ISO with a Full Tapered package and a 1/2" HD cover board. Is this what you want or do you want a minimum of R-25 at the gutter?

Q11: The specification was written based on the 2009 IECC, which is the reason for the 2-1/2" minimum specification. Since the City has adopted the 2012 IECC, this needs to be revised. For this project, please use a minimum of R-25 at the lowest point.

Q12: Bid documents mention walk-pads yet none are shown on the drawings. Is the intent for contractor to install them from fixed ladder access point on roof to upper roof fixed ladder, to HVAC units and around service sides of HVAC units?

A12: A revised layout drawing is being issued with this addendum which shows the locations of proposed walk pads.

Q13: We are certified installers of Firestone and Versico TPO roof products, however we are not certified for Carlisle or Fiber-Tite. Do you know which TPO roof manufacturers are approved for the YFD Center re-roof?

Q13: Per the TPO specification, approved manufacturers are Firestone, Carlisle, and Johns Manville.

**Other Items to note:**

**The original bid schedule is replaced by the attached revised bid schedule, Rev 2020-08-10.**

**This addendum also contains the following documents:**

The Pre-Bid Meeting Agenda

The Pre-Bid Meeting Sign-In Sheet

The roofing core report.

Revised sheet 3 of the plan set, showing the locations of new walk pads on the new roofing system. Please replace the original sheet 3 with the new sheet 3, revision 1.

A reminder: the plans were laid out to be printed on 11"x17" paper, not 24"x36" sheets as is common in construction. This was done for ease of carrying the plans into the field.

**Let me re-emphasize:**

**Note to Bidders: Make sure that section 00201-1 is completely filled out and is placed on the outside of the bid envelope on the bid opening date. If that form is not on the outside of the bid envelope, the bid will not be opened.**

August 17, 2020

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/s/ Justin C. Holland, Administrator  
City of Chattanooga  
Department of Public Works

# SIGN-IN SHEET (Page 1)

PROJECT: Y-19-021

Roof Replacement at Tyner YFD Center

	NAME	COMPANY	PHONE	EMAIL
1	Alan Ogle	City of Chattanooga	423-643-5898	aogle@chattanooga.gov
2	JOSH HELTON	Willoughby Roofing & Siding	423-598-8715	josh.helton@wasmine.com
3	Tommy Miller	Foam-Crete	423-267-2478	tommym@foam-crete.net
4	TOM GRAHAM	wright Brothers	423 243 8 999	tgraham@wbcci.com
5	Micah Schreiner	JDH Co Inc	423-858-0281	micah.schreiner@jdhcompany.com
6	Sean Park	TOSU Construction	404-429-9448	max@tosogroup.com
7	Gregory Markham	DUSTY GRAY ROOFING	770-207-5277	DUSTYGRAYROOFING@YAHOO.COM
8	Stacy Sanders	Porter Roofing	931-668-2298	stacy@porter-roofing.com
9	JIM HIGDON	COE	643 6164	JHIGDON@CHATTANOOGA.GOV
10	KADIR AMEEN	COE	643 6179	KAMEEN@CHATTANOOGA.GOV
11	BONNIE MUMPOWER DOBSON	COE	643 6031	Bmumpower@CHATTANOOGA.GOV
12	ALAN OGLE	COE	643 5898	AOGLE@CHATTANOOGA.GOV
13	DEBBIE TALLEY	COE	643 7230	DTALLEY@CHATTANOOGA.GOV
14	Christopher Fethy	Tri-state Roofing	362-1654	cfethy2@tstateroofing.com
15				

CHECK  
COMING  
FOR  
TYNER  
+ LIBRARY  
MORG PASH  
DRIVES FOR  
BETH

**BID SCHEDULE**  
 REPLACEMENT ROOFING SYSTEM FOR TYNER YFD CENTER  
 Project No. Y-19-021  
 City of Chattanooga, Tennessee

Item No.	Description	Unit	Est. No. of Units	Unit Price	Total
1	Replacement existing roofing system, roofing and labor including: removal and disposal of old roofing, insulation, flashings, coping and metal trim down to decking, new wood blocking, membrane, insulation, HD cover board, walk pads, raising of gas line, replacement gutters and downspouts in kind, replacement of fascia with new Hardie Board fascia in kind, metal trim and coping as needed to complete roof system per plans, specs, and manufacturer's requirement, and furnish 20 year warranty.	LS	1		
2	Surface clean, install one coat of primer, and one coat of elastomeric coating to all galvanized sheet metal and steel piping on the roof in order to protect and preserve these details.	LS	1		
3	Trim evergreen tree away from building a minimum of three feet.	LS	1		
4	Removal of old caulking from control joint separating the low building from the high gymnasium wall, replacement with new caulking.	LF	40		
<b>Total Base Bid</b>					
<b>Conditional Repairs</b>					
3	Repair / Replace Deteriorated of Damaged Concrete Deck	50	S.F		
4	Repair / Replace Deteriorated of Damaged Metal Deck	50	S.F.		
6	Replace deteriorated wood blocking as needed	50	L.F.		
<b>Total Conditional Repairs</b>					
<b>Total Base Bid + Conditional Repairs</b>					

## Pre-Bid Meeting Agenda

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**Subject:** Tyner YFD Center Re-Roofing Y-19-021

**Date:** 08/04/2020

**Time:** 10:00 AM

**Location:** Tyner YFD Center – 6900 Ty Hi Drive

**Organizer:** City of Chattanooga – Alan Ogle

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### Topics Discussed

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Everyone is requested to sign in on the Attendance Sheet.

Introductions.

- Read thru 01010, Summary of Work. Review 00301-1b, Bid Schedule.
- Visits to the site are strongly encouraged to assess access requirements. If you cannot make it after this meeting, feel free to visit at a time of your own choosing. All access is via ladder; you'll need to bring your own.
- All questions should be supplied in writing to the Purchasing Agent as instructed on the bid form 1-0009, "Request for bidder information".
- The Bid Date for the project is Tuesday, August 18, 2020 at 2:00 pm. Currently bids are being opened in the rear parking lot at City Hall.
- Questions will not be accepted after 4:00 PM on Thursday, August 13, 2020, which is the Thursday before the Bid Date.
- The Final Addendum (if needed) will be distributed no later than 2:00 PM on August 14, 2020, which is the Friday before the Bid Date.
- The expected date of the Notice to Proceed is September 30, 2020, with an expected construction start date of October 10, 2020.
- The project is schedule to be completed in 60 calendar days, with liquidated damages listed in the contract of \$500.00 per day.
- **Make sure that section 00201-1 is completely filled out and is placed on the outside of the bid envelope on the bid opening date. If that form is not on the outside of the bid envelope, the bid will not be opened.**

**SECTION 01010**  
**SUMMARY OF WORK**

**PART 1 – GENERAL**

**1.1 Section Includes**

- A. Description of Work
- B. Items regulating the execution of the Work

**1.2 Description of the Work**

A. The work covered by this Contract consists of :

1. Replace existing built-up roof with new 60 mil TPO roofing system.
2. Remove all existing stone aggregate, existing insulation, and existing roofing down the roof deck. Examine decking to insure satisfactory condition before re-roofing. Bring any deficiencies to the attention of the engineer or project manager. Replace or repair damaged decking as needed before installing new roofing system.
3. Add wood blocking at roof perimeter where needed to match new insulation/deck board heights as needed.
4. Install new insulation boards (tapered or flat as needed) and ½” HD Iso Cover Board to decking to meet City Building Codes. New insulation to be fully adhered; no mechanical fasteners allowed.
5. Install new drain inserts at all internal roof drains.
6. Install new 60 mil TPO roof membrane, fully adhered.
7. Existing flashings, metal edging, coping, external gutters, collector heads, gravel stop, fascia and fascia extension to be removed and replaced with new 24 gauge Kynar finished metal in color of owner’s choice.
8. Existing wooden fascia around upper roof is to be removed and replaced with new fascia, Hardie Board or approved equal.
9. Install one coat of primer and one coat of elastomeric coating to all galvanized sheet metal and steel piping on the roof in order to protect and preserve these details.
10. Extend pipes and curbs to meet minimum height above finished roof elevation as required by manufacturer.
11. Replace all existing pipe and conduit supports on roof with appropriate manufactured rooftop supports. No wooden or concrete blocks are to be used.
12. Owner will conduct a pre-construction meeting before work will be able to start. The location of laydown areas and dumpsters will be determined at this meeting.
13. Provide a Manufactures NDL warranty for 20 years, including all products.
14. Contractor must abide by all specification requirements.

- B. The City Engineer reserves the right to substitute, add, delete, increase, decrease in any form or fashion as necessary the scope of work under the provisions of this Contract, including the projects noted above.
- C. This project shall be assigned a unique project number by the Engineer. The Contractor shall execute this project in complete compliance with the requirements of this contract. All records of the Contractor shall conspicuously identify them to be associated with the unique project number assigned by the Engineer.
- D. The Engineer shall provide a set of standard City details, as needed, which shall be applicable to this project. The Contractor shall be called in for a Pre-Construction meeting at which time the Engineer shall issue notice to proceed. The Contractor shall have ten (10) days or an agreed to start date to start construction.

### 1.3 Items regulating the Execution of the Work.

- A. Attention to Work  
For this project, the Contractor shall give his personal attention to and shall supervise the work to the end that it shall be prosecuted faithfully; and, when he is not personally present on the work, he shall at all times be represented by a competent superintendent or foreman who shall be present at the work and who shall receive and obey all instruction or orders given under this Contract, and who shall have full authority to execute the same, and to supply materials, tools and labor without delay, and who shall be the legal representative of the Contractor. The Contractor shall be liable for the faithful observance of any instructions delivered to him or to his authorized representatives.
- B. Access to Work  
The Contractor shall at all times provide proper facilities for access and inspection of the work by representatives of the Owner and of such official Governmental agencies as may be designated by the Owner as having jurisdictional rights to inspect the work.
- C. No Parking Signs  
The Contractor shall place “NO PARKING” signs 48 hours prior to beginning work at a project location. The Contractor shall notify the City’s designated Inspector/ Project Manager when the signs have been placed and if vehicles have not been moved at such time as work is scheduled to begin. No additional cost shall be paid to the Contractor while the Owner is making arrangements to get the vehicle moved or towed.
- D. Work on Private Property  
Where the work on this project encroaches upon private property, the Owner shall provide easements and/or right-of-entry in or onto said property. Work performed in such easements is subject to the provisions of the easement agreement on file with the City of Chattanooga Engineering Department.

The Contractor shall be responsible for obtaining any additional agreements which may be deemed necessary for the storage of equipment or materials outside of public easements or rights of ways for this project. The Contractor shall obtain



a written agreement between the Contractor and Land Owner and forward it to the Engineer prior to use of said property.

The Contractor shall be responsible for the preservation of and shall use every precaution to prevent damage to all trees, shrubbery, fences, culverts, mailboxes, bridges, pavements, driveways, sidewalks, houses or building and all water, sewer, gas, telephone and electric lines thereto and all other private and public property along or adjacent to the work.

Any damage that occurs will be restored to a like condition as existed prior to construction, in the Contract Documents, unless otherwise indicated or specified.

Forty-eight (48) hours prior to construction on any easement or streets the Contractor shall notify in writing the affected property owners in the area. This notification shall include the Contractor's name and the name and phone number of the contact person.

E. Monthly Job Site Meetings

Once a month, on a date mutually agreed upon by the Contractor and the Engineer, a job site meeting shall be held for review of the Project, including, but not limited to: The construction schedule, traffic control, pending submittals, and any other issues that may arise. This meeting shall be used to review the contractor's monthly applications for payment.

F. Contract Working Hours

All work shall be performed during regular working hours unless mutually agreed upon and approved in writing by the City Engineer. The Contractor will not permit overtime work or the performance of work on Sunday or any legal holiday without the Owner's written consent given after prior 24 hour written notice to the Engineer. Saturday work shall also require prior 24 hour written notice. Regular working hours are Monday through Saturday from 7:00 A.M. to 8:00 P.M. The actual costs of the Owner's and Engineer's inspection of the work performed outside of regular working hours will be billed to the Contractor and deducted from the Contractor's application for payment as they occur.

END OF DOCUMENT

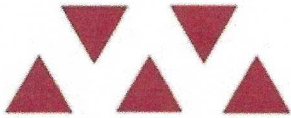
**Tyner YFD Center Re-Roofing**

**Project # Y-19-021**

**Appendix A – Miscellaneous Items**

**Table of Contents**

<u>Description</u>	<u>Page</u>
Inspection Report	2
Roof / Core Diagram	3



# WILLOUGHBY ROOFING & SHEET METAL, INC

Date: July 2nd , 2020

TO: Alan Ogle

RE: Tyner East Brainerd Recreation Center  
6900 Ty-Hi Drive  
Chattanooga, Tn 37421

CORE #1: AGAINST BRICK WALL ON LOWER ROOF: FULLY ADHERED .045 MIL EPDM MEMBRANE: OVER 7.5" OF POLY ISO INSULATION MECHANICALLY ATTACHED OVER 3.0" OF LIGHTWEIGHT CONCRETE METAL DECK.

CORE #2: EDGE OF GUTTER ON LOWER ROOF: FULLY ADHERED .045 MIL EPDM MEMBRANE: OVER 2.0" OF POLY ISO MECHANICALLY ATTACHED OVER 3.0" OF LIGHTWEIGHT CONCRETE METAL DECK.

CORE#3: AT RIDGE LINE UPPER ROOF: FULLY ADHERED .045 MIL EPDM MEMBRANE OVER 6.5" POLY ISO MECHANICALLY ATTACHED OVER VENTED DEEP RIB METAL DECK.

CORE#4 AT GUTTER UPPER ROOF: FULLY ADHERED .045 MIL EPDM MEMBRANE OVER 2.0" POLY ISO MECHANICALLY ATTACHED OVER VENTED DEEP RIB METAL DECK.

SEE ATTACHED DRAWING FOR EXACT LOCATION OF CORES.  
ZERO ASBESTOS FOUND IN ANY CORE SAMPLES

111 2<sup>nd</sup> Avenue NE 2125 Mullen Circle 4560 Newcomb Ave  
Cullman, AL 35055 Nashville, TN 37217 Montgomery, AL 36108  
Phone (256) 734-1387 800-239-8594 800-239-8594  
Fax (256) 734-1190

Other Locations:  
Gulf Shores, AL

Sheet Metal Division  
17871 Hwy 31 N  
Atlanta, GA  
Chattanooga, TN

South Vinemont, AL 35058



Date: \_\_\_\_\_

Job Name: \_\_\_\_\_

Address: \_\_\_\_\_  
\_\_\_\_\_

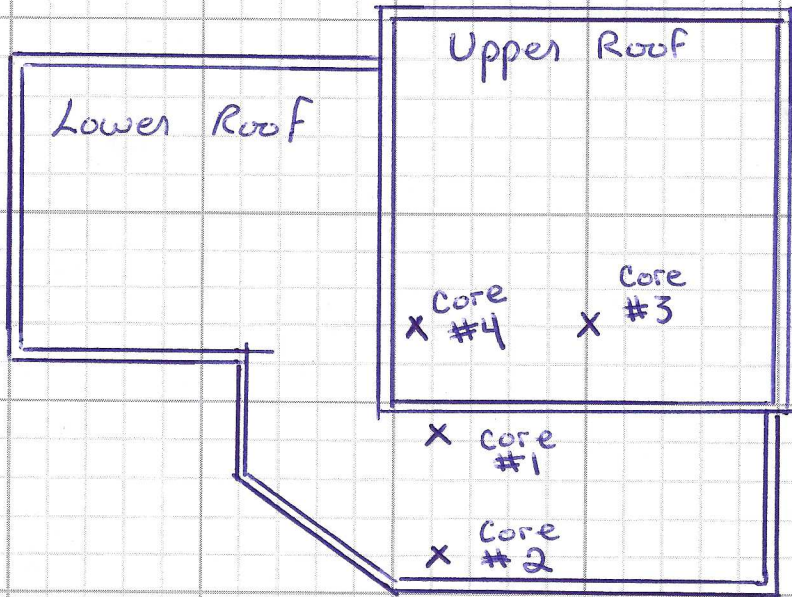
Parapet Wall Height: \_\_\_\_\_ Downspout Length: \_\_\_\_\_

Pitch Pockets: \_\_\_\_\_ Pipes: \_\_\_\_\_

Scuppers: \_\_\_\_\_ Leaderheads: \_\_\_\_\_

Roof Access: \_\_\_\_\_ [       ] \_\_\_\_\_

Core locations for  
Tyner E. Brainerd Recreation Center.  
6900 Ti-Hi Dr.  
Chattanooga, TN 37421



Roof Core: \_\_\_\_\_

\*\*Make sure and mark drains, curbs, curb size, gutters, downspouts, gravel guard, coping, and CF.



**CITY OF CHATTANOOGA**  
 DEPARTMENT OF PUBLIC WORKS

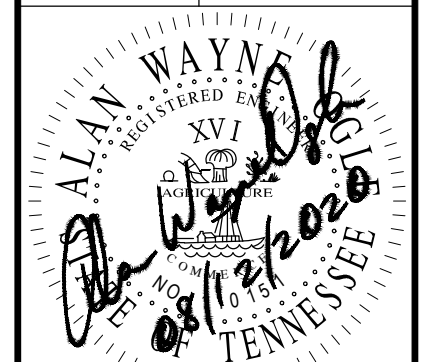
ADMINISTRATOR:  
 JUSTIN C. HOLLAND

CITY ENGINEER:  
 WILLIAM C. PAYNE, P.E.

NO.	DATE	REVISION	DES	SIG.
1	8/12/20	SEE NOTES		AWO

**TYNER RECREATION CENTER ROOF REPLACEMENT**

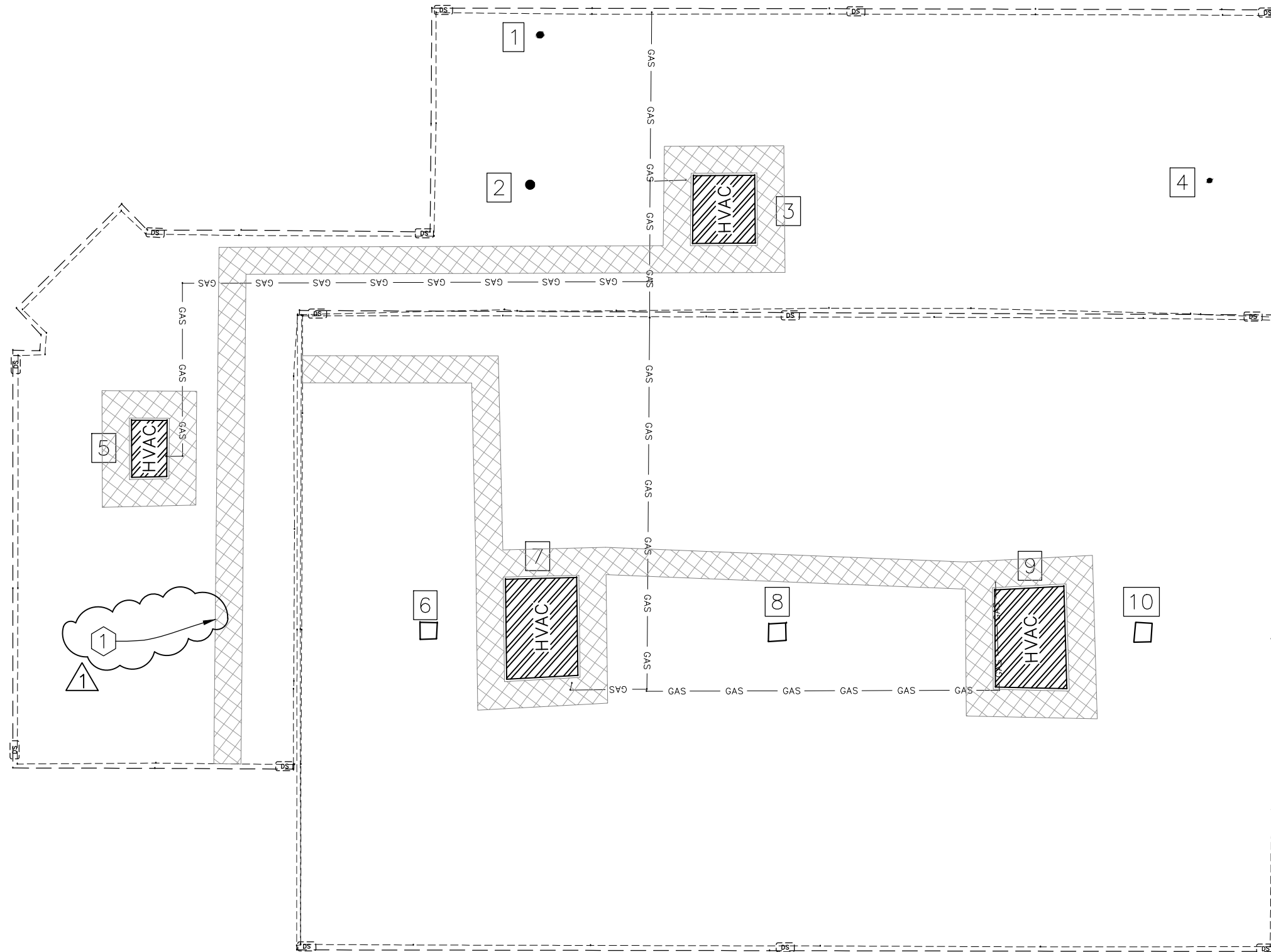
CONTRACT#	Y-19-021
SCALE:	N.T.S.
DRAWN:	JAH
DESIGN:	
CHECKED:	AWO



TN REGISTRATION NO. 110151

**ROOF LEGEND**

SHEET: 3 OF



**REVISION NOTES:**

REV. 1: ADDED WALK PADS TO THE DRAWING.

**KEYED NOTES:**

① LOCATIONS OF NEW WALK PADS. START WALK PADS AT TOP OF EXISTING LADDERS.

**1 ROOF LEGEND**  
 Scale: N.T.S.