



**05/2HIGHLANDS COUNTY BOARD OF COUNTY
 COMMISSIONERS (HCBCC)
 PURCHASING DIVISION
 600 S. Commerce Ave
 Sebring, FL 33870
 (863) 402-6500**

DATE: May 30, 2023

BID NO. ITB-23-024-LKD ADDENDUM No. Choose an item.

Project.: SALE OF PROPERTY, PLACID LAKES SPECIAL BENEFIT DISTRICT: 315 Adam Rd
 NW, Lake Placid, FL 349 Parker St NE, Lake Placid, FL

The following represents clarification, additions, deletions, and/or modifications to the above referenced solicitation. This addendum shall hereafter be regarded as part of the solicitation. Items not referenced herein remain unchanged. Words, phrases or sentences with a strikethrough represent deletions to the original solicitation. Underlined words and bolded, phrases or sentences represent additions to the original solicitation, as applicable.

Questions and Answers

CORRECTION	315 Adams Road NW, Lake Placid FL (remove "s")
INFORMATIONAL	It is the responsibility of the potential buyer to conduct their due diligence research prior to bidding. These properties are being sold as-is.
Q1	What are the total property taxes on the land?
A1	Currently \$0. The Lake Placid Special Benefit District is exempt from property taxes. This applies to both properties listed.
Q2	What are the total property taxes on the land?
A2	See A1.
Q3	What is zoning classification?
A3	Zoning is shown in GovDeals Advertisement. See attached page 2 for each property.
Q4	Do you know the approximate value of taxes on this property?
A4	See A1. This research is to be conducted by the potential buyer. The property is being sold as-is.
Q5	I only ask if there is sewer and water 'hookup' available? Electric?
A5	It is the potential buyer's responsibility to determine accessibility of utilities. This research is to be conducted by the potential buyer. The property is being sold as-is.

Q6	<p>A) on 315 Adam Rd NW Lake Placid, FL 33852. Can I ask, was it used as a power station at any time and if so, has it been deemed as unbuildable due to potentially hazardous materials?</p> <p>B) Also, I believe it is zoned R1A which allows a residential home per how many square feet?</p>
A6	<p>A) This information is unknown by the County. It is the responsibility of the potential buyer to conduct their due diligence research prior to bidding.</p> <p>B) In accordance with the Building Dept: R1A zoning requires 1000 livable square feet.</p>
Attachments:	<p>A1-1 GovDeals.Com Advertisement 349 Parker</p> <p>A1-2 GovDeals.Com Advertisement</p>

GovDeals' online marketplace provides services to government, educational, and related entities for the sale of surplus assets to the public. Auction rules may vary across sellers.



Search Auctions



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349 Parker St NE Lake Placid, FL 33852

Auction Ends **6/6/23 3:30 PM ET**

Reserve Not Met

Starting Bid **\$1.00**

Bid Increment **\$2.00**

Minimum Bid **\$1.00**

[Terms and Conditions](#)

Sign In to Place Bid

0 visitors

Condition

Category

Used/See Description

Real Estate / Land Parcels

A1-1 GovDeals.Com Advertisement 349 Parker

The Highlands County Florida Board of County Commissioners (HCBC) Real Estate offers the following property for auction:
ADDRESS: 349 Parker St NE Lake Placid, FL 33852; Parcel C-14-37-29-071-0760-0550 RESUB OF PORTION OF SEC 7 PLACID LAKES
PB 8 PG 72 LOT 55 BLK 76; Lot size Dimensions: Front: 92.00 Depth: 144.00; Land only

Buyer is responsible to conduct due diligence review for the following, but not limited to land use, zoning, and available utilities.

County Deed; Zoning Type: RIA;

This property is owned by Highlands County, Florida, a political subdivision of the State of Florida, acquired by Deed, in accordance with the laws of the State of Florida. This Property is offered for sale "AS IS, WHERE IS." Highlands County, Florida makes no warranty, guarantee or representation of any kind, expressed or implied, as to the marketability or chain of title to the property, legal access to the property, zoning, road frontage, water/sewer/electric availability, environmental conditions, or physical attributes of the property. The buyer is not entitled to any payment for loss of profit or any other money damages – special, direct, indirect, or consequential.

Auctions are for county deed sales on properties obtained through escheatment or those determined no longer needed for public purpose and having been declared as surplus.

It is strongly recommended that you inspect the property and complete a title search before bidding. Additionally, any or all photographs or other representations are for informational purposes only and may not or do not factually represent the current day; due to date differences, vegetation growth and so forth. All dimensions are approximate.

Additional information may be obtained directly from Highlands County www.highlandsfl.gov, purchasing department, current solicitations ITB 23-024-LKD Sale of Property, Placid Lakes Special Benefit District.

Highlands County, Florida reserves the right, in its sole discretion, to remove parcels from the sale and to reject any or all bids submitted. The winning bidder is responsible for: Documentary tax on the Deed (.70 per \$100), recording fees (approximately \$18.50), and auction fee (7.5% of sales price). The auction company (GovDeals.com) will contact the winning bidder with the recording cost, and auction fee amounts and other Deed transfer information.

Any other costs or fees desired or incurred by the winning bidder, for example: private attorney, title insurance, closings, survey, tests or examinations and the like, are the responsibility of the winning bidder.

THE DEED WILL BE PLACED IN THE NAME AND ADDRESS AS IT APPEARS ON YOUR BIDDER CARD. DEEDS WILL BE PROCESSED APPROXIMATELY 90 DAYS AFTER THE WINNER IS NOTIFIED.

? Questions and Answers

There are currently no questions posted for this asset.

» Seller Information

Seller Name Highlands County Board of County Commissioners (HCBC) Real Estate, FL

Asset Location 600 S Commerce Ave
2nd FL
Sebring, Florida 33870-3809
[Map to this location](#)

Q Inspection

Most items offered for sale are used and may contain defects not immediately detectable. Bidders may inspect the property prior to bidding.

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\$ Payment



ALL PROPERTY IS OFFERED "AS IS, WHERE IS AND WITHOUT WARRANTY". Highlands County, Florida makes no warranty, guarantee or representation of any kind, expressed or implied, as to the merchantability or fitness for any purpose of the property offered for sale. The Buyer is not entitled to any payment for loss of profit or any other money damages – special, direct, indirect, or consequential.

If you are the winning bidder and default by failing to adhere to this seller's terms and conditions your account with GovDeals WILL BE LOCKED.

For online payment – Log into your Liquidity Services account and select "My Bids". You may follow the instructions there.

Payment in full is due not later than five (5) business days from the time and date of the Buyers Certificate. Payment must be made electronically through this website.

Acceptable forms of payment are:

- PayPal
- Wire Transfer
- Visa
- MasterCard
- American Express
- Discover

💡 Special Instructions

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Guaranty Waiver: All property is offered for sale "AS IS, WHERE IS." (Seller) makes no warranty, guaranty or representation of any kind, expressed or implied, as to the merchantability or fitness for any purpose of the property offered for sale. Please note that upon removal of the property, all sales are final.

Quick Asset Lookup (QAL) #: 23113-2 (GD)

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Help Desk Hours: Monday - Friday, 8 am - 7 pm ET.
[Contact us](#) with any questions, comments or concerns.

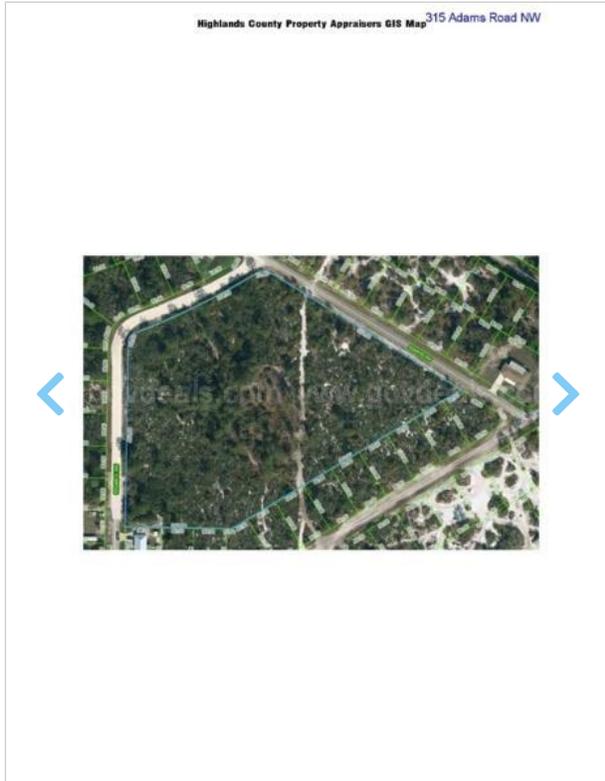
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ADDRESS: 315 Adam Rd NW Lake Placid, FL 33852; PLACID LAKES SEC 14 PB 8 PG 19 TRACT J 7.5 ACRES Parcel C-14-37-29-140-0940-00J0 ACREAGE: 7.5 Acres mol; Land only.

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