

**ADDENDUM NUMBER ONE**

**REPLACEMENT ROOFING SYSTEM FOR  
GLENWOOD YFD CENTER ROOF**

**FOR THE CITY OF CHATTANOOGA, TENNESSEE  
Contract Number Y-19-002**

The project is being renamed to the Glenwood YFD Center Re-Roofing Project, at the request of the YFD Department.

**NOTES FROM THE PRE-BID MEETING**

A Pre-Bid Meeting was held at the Glenwood YFD Center, 2610 E. 3<sup>rd</sup> Street, Chattanooga, TN 37404, on Thursday, August 20, 2019 at 10:00. A sign-in sheet from the meeting is attached.

At the meeting, the summary of work from Section 01010 of the specifications was read, and the Bid Schedule was reviewed. The attendance sheet is attached. Revised versions of both are attached to this addendum. After that, everyone present who was interested went up onto the roof to look at the rooftop to review the existing roof conditions and discuss particulars of the scope of work. Items that were pointed out and/or discussed are listed below, as are any decisions reached.

- Item 1.** As shown on the plans, keyed note #1, of the roof requires construction of a sloped deck section to match the remainder of that section of roof. one section
- Item 2.** As mentioned at the meeting and further discussed after the visit to the rooftop, the plans now call for the fabrication and installation of a ships ladder between the lower roof section and the upper section. Ladder should be supported by the deck, and capable of supporting a minimum of 350 pounds (plus safety factor). Handrails should extend at least 14" foot over the upper deck for safety reasons.
- Item 3:** Item 1 of the Bid Schedule has been revised to remove mention of the skylights. Any work to the existing skylights is being addressed in a separate contract.
- Item 4:** **Question:** A question was asked about whether this contract includes the roof overhanging the front entrance to the building.  
**Answer:** To clarify, this contract DOES include that small area. The plans have been revised to show approximate dimensions of that overhang.
- Item 5:** **Question:** A question was asked about the contract duration, and if 60 days was sufficient to complete the work.  
**Answer:** After discussion, it was decided to revise the contract duration to 90 days.

**Please replace the original sheets 2 and 3 from the plan set with the attached revised sheets 2 and 3.**

**Please replace the original bid schedule with the attached revised bid schedule, Rev 2.**

A reminder: the plans were laid out to be printed on 11"x17" paper, not 24"x36" sheets as is common in construction. This was done for ease of carrying the plans into the field.

**Let me re-emphasize:**

**Note to Bidders: Make sure that section 00201-1 is completely filled out and is placed on the outside of the bid envelope on the bid opening date. If that form is not on the outside of the bid envelope, the bid will not be opened.**

August 29, 2019

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/s/ Justin C. Holland, Administrator  
City of Chattanooga  
Department of Public Works

## Pre-Bid Meeting Agenda

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**Subject:** Glenwood Re-Roofing Y-19-002

**Date:** 08/20/2019

**Time:** 10:00 AM

**Location:** 2610 E 3<sup>rd</sup> Street, Chattanooga, TN 37404

**Organizer:** City of Chattanooga – Alan Ogle

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### Topics Discussed

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Everyone is requested to sign in on the Attendance Sheet.

Introductions.

- Read thru 01010, Summary of Work. Review 00301-1b, Bid Schedule.
- Visits to the site are strongly encouraged to assess access requirements. If you cannot make it after this meeting, feel free to visit at a time of your own choosing. If you do visit at a later time, you'll need to check in at the front desk once you arrive at the Center to let the center manager know you are accessing the roof. All access is via ladder; you'll need to bring your own.
- All questions should be supplied in writing to the Purchasing Agent as instructed on the bid form 1-0009, "Request for bidder information".
- The Bid Date for the project is Thursday, September 5, 2109 at 2:00 pm.
- Questions will not be accepted after 4:00 PM on August 30, 2019, which is the Friday before the Bid Date.
- The Final Addendum (if needed) will be distributed no later than 2:00 PM on September 3, 2019, which is the Tuesday before the Bid Date.
- The expected date of the Notice to Proceed is October 10, 2019, with an expected construction start date October28, 2019.
- The project is schedule to be completed in 60 calendar days, with liquidated damages listed in the contract of \$500.00 per day.
- **Make sure that section 00201-1 is completely filled out and is placed on the outside of the bid envelope on the bid opening date. If that form is not on the outside of the bid envelope, the bid will not be opened.**

ATTENDING PRE-BID CONFERENCE

Bid/Proposal Number: 188483

Replacement Roofing System for Glenwood  
Community Center Gymnasium

Opening Date: 09/05/19

Pre-Bid Date: 08/20/19

Name & Company

Email

Christopher Felty Tri-state Roofing cFelty2@tstateroofing.com

Brian Helton JDH Company brianhelton@jdhco.com

Tommy Miller Foam Crete tommy@foam-crete.net

Miguel Leblanc Pater Roofing Eric Cason@pater-roofing.com

JEFFREY PATRICK BAKER Roofing jpatrick@bakeroofing.com

Bob Foster BFoster@BECH.com

Alan Ogle aogle@chattanooga.gov

Quabba Tilley qtilley@chattanooga.gov

Dayle Brown wdbrown2@chattanooga.gov

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**SECTION 01010**  
**SUMMARY OF WORK**

PART 1 – GENERAL

1.1 Section Includes

- A. Description of Work
- B. Items regulating the execution of the Work

1.2 Description of the Work

A. The work covered by this Contract consists of :

1. Replace existing built-up roof with new 60 mil TPO roofing system.
2. Remove all existing stone aggregate, existing insulation, and existing roofing down the roof deck. Examine decking to insure satisfactory condition before re-roofing. Bring any deficiencies to the attention of the engineer or project manager. Replace or repair damaged decking as needed before installing new roofing system.
3. Add wood blocking at roof perimeter where needed to match new insulation/deck board heights as needed.
4. Install new insulation boards (tapered or flat as needed) and ½” HD Iso Cover Board to decking to meet City Building Codes. New insulation to be fully adhered; no mechanical fasteners allowed.
5. Install new drain inserts at all internal roof drains.
6. Install new 60 mil TPO roof membrane, fully adhered.
7. Existing flashings, metal edging, coping, external gutters, gravel stop, fascia and fascia extension to be removed and replaced with new 24 gauge Kynar finished metal in color of owner’s choice. External gutters and collector heads on the north side of the building are to remain.
8. Install one coat of primer and one coat of elastomeric coating to all galvanized sheet metal and steel piping on the roof in order to protect and preserve these details.
9. Extend pipes and curbs to meet minimum height above finished roof elevation as required by manufacturer.
10. Replace all existing pipe and conduit supports on roof with manufactured appropriate manufactured rooftop supports.
11. Provide and install external vertical ladder to outside of building to allow access to the lower roof section.
- 12. Provide and install an external ship’s ladder between the lower roof section and the upper roof section.**
13. Owner will conduct a pre-construction meeting before work will be able to start. The location of laydown areas and dumpsters will be determined at this meeting.
14. Provide a Manufactures NDL warranty for 20 years, including all products.

15. Contractor must abide by all specification requirements.
- B. The City Engineer reserves the right to substitute, add, delete, increase, decrease in any form or fashion as necessary the scope of work under the provisions of this Contract, including the projects noted above.
  - C. This project shall be assigned a unique project number by the Engineer. The Contractor shall execute this project in complete compliance with the requirements of this contract. All records of the Contractor shall conspicuously identify them to be associated with the unique project number assigned by the Engineer.
  - D. The Engineer shall provide a set of standard City details, as needed, which shall be applicable to this project. The Contractor shall be called in for a Pre-Construction meeting at which time the Engineer shall issue notice to proceed. The Contractor shall have ten (10) days or an agreed to start date to start construction.

1.3 Items regulating the Execution of the Work.

- A. Attention to Work  
For this project, the Contractor shall give his personal attention to and shall supervise the work to the end that it shall be prosecuted faithfully; and, when he is not personally present on the work, he shall at all times be represented by a competent superintendent or foreman who shall be present at the work and who shall receive and obey all instruction or orders given under this Contract, and who shall have full authority to execute the same, and to supply materials, tools and labor without delay, and who shall be the legal representative of the Contractor. The Contractor shall be liable for the faithful observance of any instructions delivered to him or to his authorized representatives.
- B. Access to Work  
The Contractor shall at all times provide proper facilities for access and inspection of the work by representatives of the Owner and of such official Governmental agencies as may be designated by the Owner as having jurisdictional rights to inspect the work.
- C. No Parking Signs  
The Contractor shall place “NO PARKING” signs 48 hours prior to beginning work at a project location. The Contractor shall notify the City’s designated Inspector/ Project Manager when the signs have been placed and if vehicles have not been moved at such time as work is scheduled to begin. No additional cost shall be paid to the Contractor while the Owner is making arrangements to get the vehicle moved or towed.
- D. Work on Private Property  
Where the work on this project encroaches upon private property, the Owner shall provide easements and/or right-of-entry in or onto said property. Work performed in such easements is subject to the provisions of the easement agreement on file with the City of Chattanooga Engineering Department.

The Contractor shall be responsible for obtaining any additional agreements which may be deemed necessary for the storage of equipment or materials outside of public easements or rights of ways for this project. The Contractor shall obtain a written agreement between the Contractor and Land Owner and forward it to the Engineer prior to use of said property.

The Contractor shall be responsible for the preservation of and shall use every precaution to prevent damage to all trees, shrubbery, fences, culverts, mailboxes, bridges, pavements, driveways, sidewalks, houses or building and all water, sewer, gas, telephone and electric lines thereto and all other private and public property along or adjacent to the work.

Any damage that occurs will be restored to a like condition as existed prior to construction, in the Contract Documents, unless otherwise indicated or specified.

Forty-eight (48) hours prior to construction on any easement or streets the Contractor shall notify in writing the affected property owners in the area. This notification shall include the Contractor's name and the name and phone number of the contact person.

E. Monthly Job Site Meetings

Once a month, on a date mutually agreed upon by the Contractor and the Engineer, a job site meeting shall be held for review of the Project, including, but not limited to: The construction schedule, traffic control, pending submittals, and any other issues that may arise. This meeting shall be used to review the contractor's monthly applications for payment.

F. Contract Working Hours

All work shall be performed during regular working hours unless mutually agreed upon and approved in writing by the City Engineer. The Contractor will not permit overtime work or the performance of work on Sunday or any legal holiday without the Owner's written consent given after prior 24 hour written notice to the Engineer. Saturday work shall also require prior 24 hour written notice. Regular working hours are Monday through Saturday from 7:00 A.M. to 8:00 P.M. The actual costs of the Owner's and Engineer's inspection of the work performed outside of regular working hours will be billed to the Contractor and deducted from the Contractor's application for payment as they occur.

END OF DOCUMENT

**BID SCHEDULE**  
REPLACEMENT ROOFING SYSTEM FOR GLENWOOD YFD CENTER  
Project No. Y-19-010  
City of Chattanooga, Tennessee

Item No.	Description	Unit	Est. No. of Units	Unit Price	Total
1	Replacement existing roofing system, roofing and labor including: removal and disposal of old roofing, insulation, flashings, coping and metal trim down to metal decking, new wood blocking, membrane, insulation, HD cover board, walk pads, replacement gutters in kind, metal trim and coping as needed to complete roof system per plans, specs, and manufacturer's requirement, and furnish 20 year warranty	LS	1		
2	Surface clean, install one coat of primer, and one coat of elastomeric coating to all galvanized sheet metal and steel piping on the roof in order to protect and preserve these details.	LS	1		
3	Install plywood decking in corner on west side of sloped roof as shown on the plans to match existing sloped roof and eliminate dead corner	LS	1		
4	Provide and install external vertical ladder to outside of building to allow access to the lower roof section.	LS	1		
5	Provide and install ships ladder to outside of building to allow access from the lower roof section to the upper roof section.	LS	1		
<b>Total Base Bid</b>					
<b>Conditional Repairs</b>					
6	Remove and replace deteriorated metal deck as needed	100	Square foot		
7	Remove and replace deteriorated tectum deck as needed	100	Square foot		
8	Replace deteriorated wood blocking as needed	20	L.F.		
<b>Total Base Bid + Conditional Repairs</b>					



NOTES:

1. INDICATED ROOF SLOPES SHALL BE ACCOMPLISHED BY TAPERED INSULATION WHERE BUILDING IS NOT STRUCTURALLY SLOPED. ALL TAPERED INSULATION SHALL SLOPE  $\frac{1}{8}$ ", EXCEPT WHERE NOTED OTHERWISE FOR POSITIVE DRAINAGE.
2. INSTALL TAPERED INSULATION AND COVER BOARD OVER TOP. TAPER INSULATION AS INDICATED TO DRAIN WATER TO EDGES OF EXISTING BUILDING. ADD GUTTERS AND DOWNSPOUTS AS NOTED TO ACCOMMODATE DRAINAGE.
3. ALL MATERIALS ARE TO BE INSTALLED FOLLOWING MANUFACTURERS SPECIFICATIONS, NOTIFY OWNER IF THERE ARE ANY DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS & MANUFACTURERS SPECIFICATIONS.
4. ALL BUILDINGS TO HAVE R-25 WITH A WHITE TPO 60 MIL.
5. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTOR.
6. REMOVE ALL EXISTING STONE AGGREGATE, EXISTING INSULATION & EXISTING MEMBRANE DOWN TO THE ROOF DECK. EXAMINE DECKING TO INSURE SATISFACTORY CONDITION BEFORE RE-ROOFING. BRING ANY DEFICIENCIES TO THE ATTENTION OF THE ENGINEER.
7. CONTRACTOR RESPONSIBLE FOR BOTH THE REMOVAL AND DISPOSAL OF EXISTING ROOFING MATERIALS, METAL TRIM, GUTTERS, DOWNSPOUTS, AND EDGING.
8. INSULATION AND TPO MEMBRANE SHALL BE FULLY ADHERED TO EXISTING DECKING. NO MECHANICAL FASTENERS SHALL BE PERMITTED.
9. INSTALL TPO WALKPADS AROUND ALL ROOFTOP AIR CONDITIONING UNITS.
10. REPLACE ALL EXISTING EXTERNAL GUTTERS AND EXTERNAL DOWNSPOUTS, EXCEPT THE DOWNSPOUTS AND COLLECTOR HEADS ON THE NORTHSIDE OF THE BUILDING.
11. REPLACE ALL EXISTING PIPE AND CONDUIT SUPPORTS WITH APPROPRIATE PROFESSIONALLY DESIGN ROOFTOP SUPPORTS, MIRO INDUSTRIES OR EQUIVALENT.



**CITY OF CHATTANOOGA**  
 DEPARTMENT OF PUBLIC WORKS

ADMINISTRATOR:  
 JUSTIN C. HOLLAND

CITY ENGINEER:  
 WILLIAM C. PAYNE, P.E.

NO.	DATE	REVISION	DES	SIG.
1	7/31/19	ORIGINAL		AWO
2	8/29/19	SEE REVISION NOTE		AWO

GLENWOOD COMMUNITY CENTER ROOF REPLACEMENT

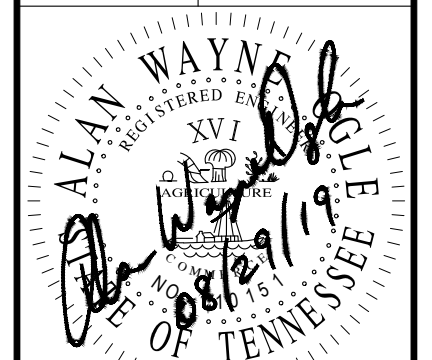
CONTRACT# Y-19-009

SCALE: 1' = 20'

DRAWN: JAH

DESIGN:

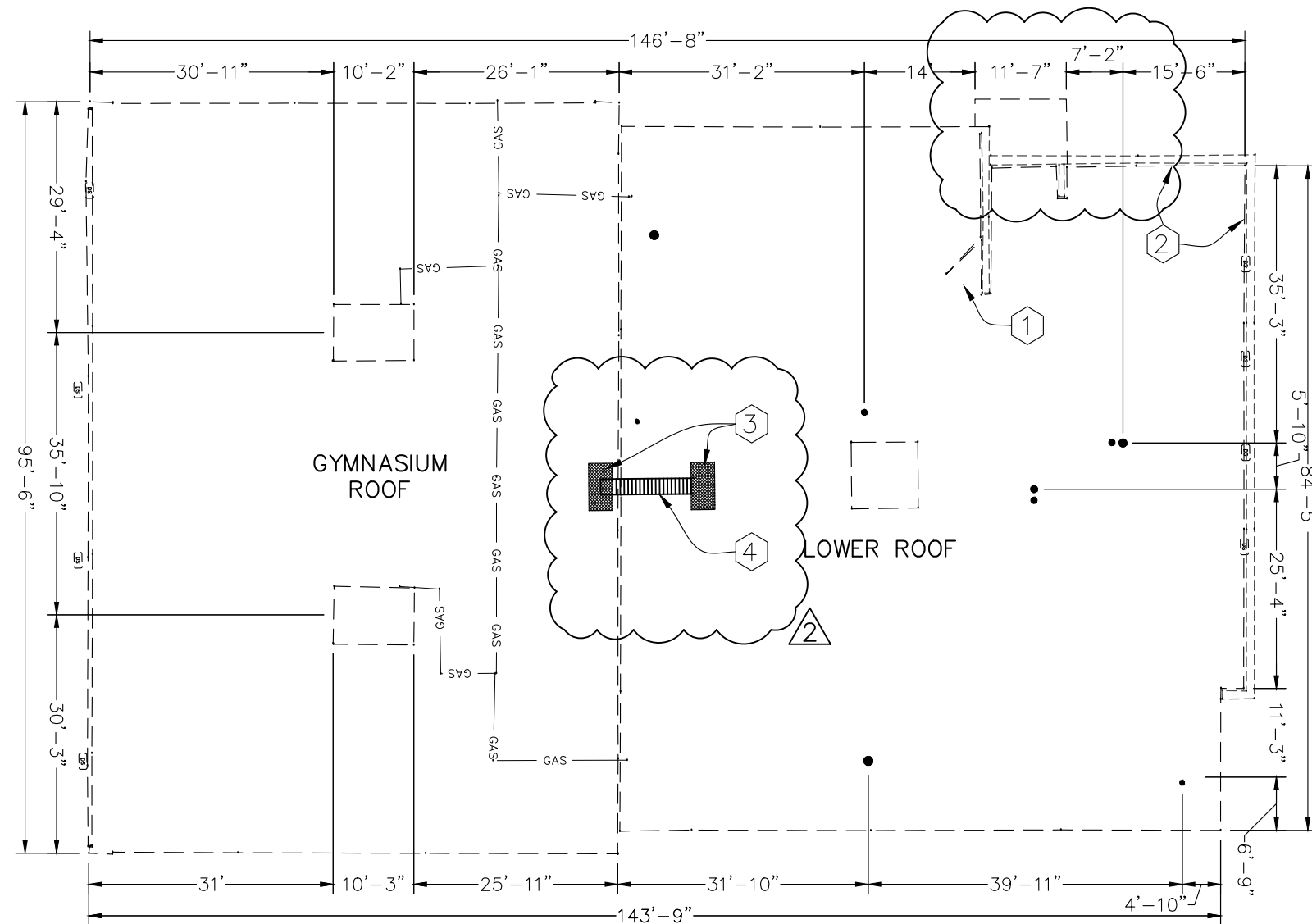
CHECKED: AWO



TN REGISTRATION NO. 110151

ROOF PLAN

SHEET: 2 OF 5



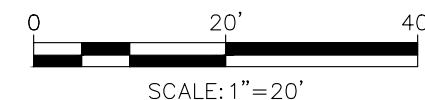
KEYED NOTES:

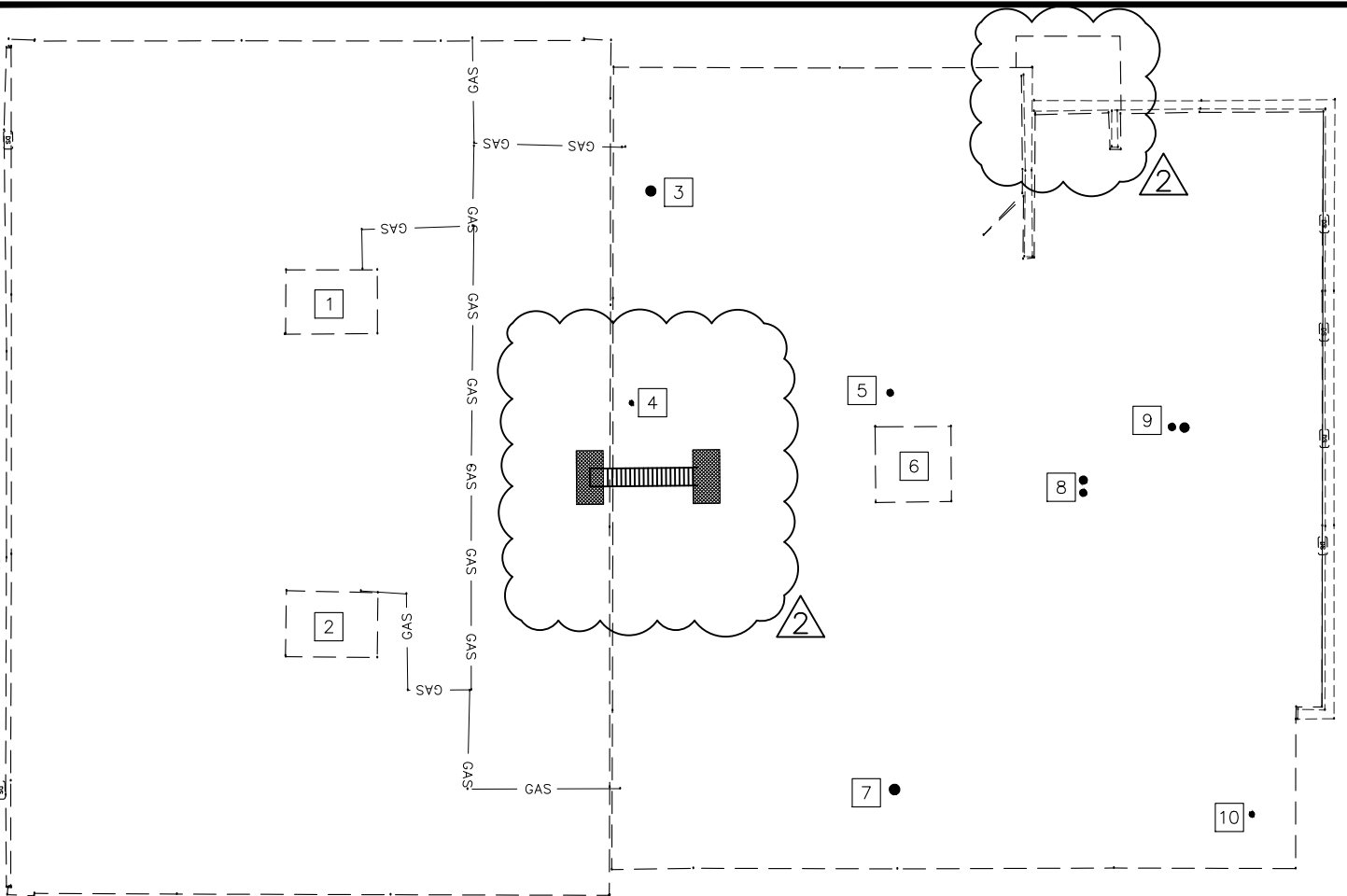
- ① CONSTRUCT SLOPED ROOF SECTION TO MATCH EXISTING TO PUSH WATER OUT OF CORNER AND TOWARD ROOF DRAINS.
- ② PROVIDE AND INSTALL EXTERNAL ACCESS LADDER TO SIDE OF THE BUILDING. EXACT LOCATION TO BE DETERMINED IN THE FIELD.
- ③ INSTALL 6' SECTION OF WALK PAD AT BASE AND AT TOP OF NEW SHIPS LADDER. EXACT LOCATION TO BE DETERMINED IN THE FIELD.
- ④ INSTALL NEW SHIPS LADDER, DESIGN CAPACITY 350 POUNDS, DESIGNED TO BE ATTACHED TO DECKING. LADDER TO HAVE MINIMUM 14" HANDRAIL EXTENSION ONTO UPPER ROOF OF AT LEAST 46" HEIGHT. (SAME REQUIREMENT AS SHOWN ON THE VERTICAL LADDER, SHEET 3). SHIPS LADDER TO BE DESIGNED TO BE SECURED TO ROOF DECKING ONLY, NO ATTACHMENT TO VERTICAL WALL. BOTTOM OF LADDER SHOULD EXTEND BEYOND THE SLOPED PORTION OF THE ROOF, AND BE SECURED TO FLAT PORTION OF THE DECK.

REVISION NOTE:

- ② ADDED SHIPS LADDER. ADDED OVERHANG OVER FRONT DOOR AND DIMENSIONS.

**1 ROOF PLAN**  
 Scale: 1" = 20'





REVISION NOTES:  
 2 ADDED SHIPS LADDER.  
 ADDED OVERHANG OVER FRONT DOOR AND DIMENSIONS.



**CITY OF CHATTANOOGA**  
 DEPARTMENT OF PUBLIC WORKS

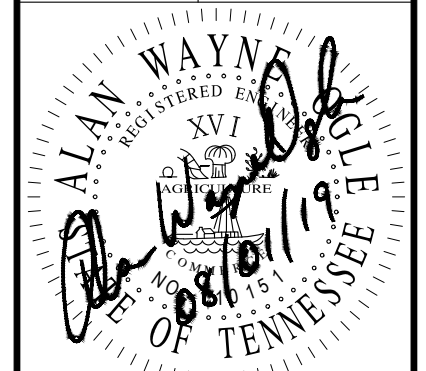
ADMINISTRATOR:  
 JUSTIN C. HOLLAND

CITY ENGINEER:  
 WILLIAM C. PAYNE, P.E.

NO.	DATE	REVISION	DES	SIG.
1	7/31/19	ORIGINAL		AWO
1	8/29/19	SEE REVISION NOTE		AWO

GLENWOOD COMMUNITY CENTER ROOF REPLACEMENT

CONTRACT#	Y-19-009
SCALE:	N.T.S.
DRAWN:	JAH
DESIGN:	
CHECKED:	AWO

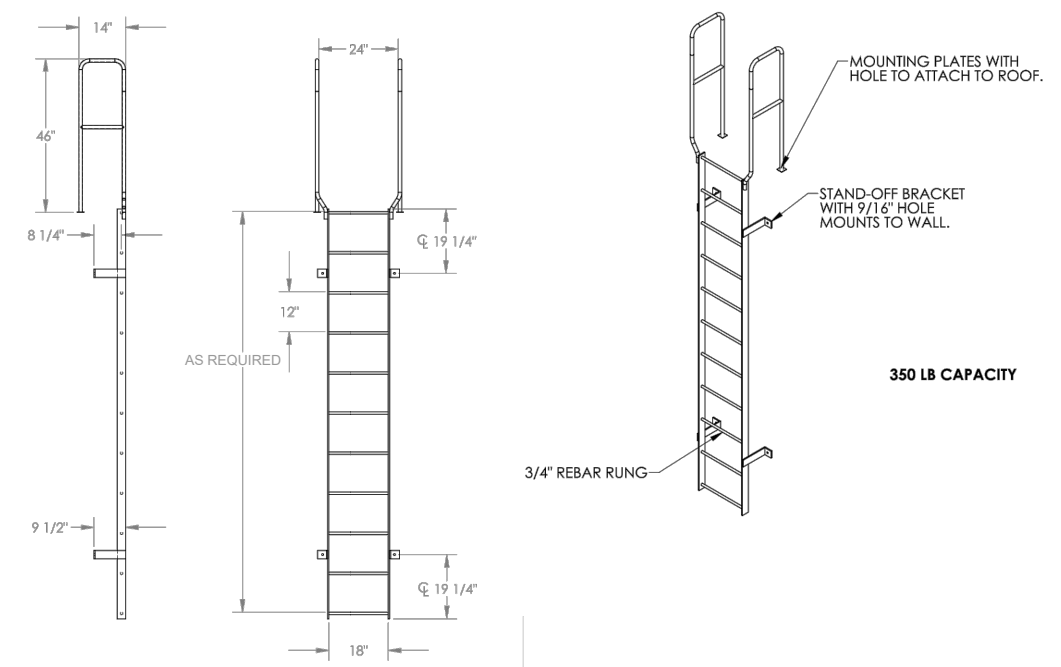


TN REGISTRATION NO. 110151

ROOF LEGEND

SHEET: 3 OF 5

**1 ROOF LEGEND**  
 Scale: N.T.S.



**2 ROOF ACCESS LADDER**  
 Scale: N.T.S.  
 OR APPROVED EQUAL