



## Architectural Services

130 Regional Park Drive  
Kingsport, TN 37660  
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Fax (423) 349-7413  
[www.grcinc.com](http://www.grcinc.com)

# ADDENDUM ONE

Project: **Sullivan County Schools Central Middle School STEM Classroom Renovations**

Address: **4180 Weaver Pike, Bluff City, TN**

April 17, 2024

This Addendum is part of the Contract Documents for the above referenced project and modifies the original drawings and/or specifications, dated **April 3, 2024**, as noted below. The bidder shall acknowledge receipt of this Addendum in the place provided in the Bid Form. The published bid date and time shall remain the same.

#### GENERAL:

1. See attached Pre-Bid Meeting sign in sheet.

#### CLARIFICATION:

1. None

#### DRAWINGS:

1. **G-00** Code Revisions
2. **G-01**
3. **G-12**
4. **A-01** Code Revisions
5. **A-10** Code Revisions
6. **I-10**
7. **I-40** Code Revisions
8. **ME-1** Code Revisions
9. **PE-1** Code Revisions
10. **MPE-1** Code Revisions

#### SPECIFICATIONS:

1. **None**

**Cain Rash West Architects**

Richard Lutz



OFFICE OF THE SULLIVAN COUNTY PURCHASING AGENT  
 3411 HIGHWAY 126--SUITE 201  
 BLOUNTVILLE, TN 37617-0569

KRISTINIA DAVIS  
 PURCHASING AGENT

PHONE 423-323-6400  
 FAX 423-323-7249  
 kris.davis@sullivancountytn.gov

PRE-BID ATTENDANCE RECORD

DATE: 04.11.24 TIME: 2:00PM  
 PROJECT DESCRIPTION: Sullivan Central MS STEM Classroom Renovation  
 LOCATION OF PROJECT: Sullivan Central Middle School

\*NOTE: MANDATORY PRE-BID MEETING REQUIRES REPRESENTATION OF COMPANY AGENT, VERIFIED BY REGISTRATION, TO AFFORD AN OPPORTUNITY FOR COMPANY TO OFFER A PRICED PROPOSAL.

Purchasing Dept: Michelle Ramsey

YOUR NAME	COMPANY / AGENCY	PHONE NUMBER	EMAIL ADDRESS
Richard Wtz	CRW	423-349-7760	RICKL @ GRCLWC.COM
Joe Riggs	Holston Engineering	423-926-5991	Joe.Riggs@ Holsengy.com
Andrew Bond	Skilled Services	865 839 0490	andrew @ skservicesllc.com
NIK Folsome	MAVEN	727-470-5639	nfolste@maconstruction.en
Jason Smith	MCC	423-930-4996	JSmith@mitHcox.com
Drewl Cantner	Holston Engy Subcontractor	423-926-5991	Drewl.Cantner@ HolsEng.com
Jeremiah Trowbridge	MCC Mitch Cox Construction	423-956-0448	J.Trowbridge@ mitHcox.com

Date: April 18, 2024

To: Mr. Rickey Cottrell, Plans Examiner

Re: TFM #01676  
Project #2024-03-28-02  
Sullivan County



Sullivan County Central Middle School STEM Classroom  
Renovations  
131 Shipley Ferry Road,  
Blountville, Tennessee 37617

Mr. Cottrell,

Thank you for the review of the above listed project. Please find below the revisions per your review.

1. All Layers within the PDF have been deleted to the best of our ability.
2. Please see the revised drawings ME-1, PE-1 and MPE-1 for clarification of engineering responsibility.
4. The Issued Dates have been included within the Drawing Index.
5. Please see attached Drawing I-10.
9. Drawing I-40 has been revised to address the door hardware requirements.
10. Drawing I-40 has been revised to remove the demonstration wall and create a new wall with metal studs furred to an existing wall.
11. Drawing A-10 has been revised to incorporate an enlarged opening with Bullnose CMU jambs.
12. Drawing PE-1 has been revised to include egress lighting.
13. Drawing PE-1 has been revised to include additional exist lighting.
14. Drawings ME-1 and PE-1 have been revised to existing panel information.
20. The existing building does NOT have a Sprinkler System within the building. There are no changes to this condition.

Sincerely,

Richard Lutz

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# S.T.E.M. Classroom Renovation: Sullivan Central Middle School

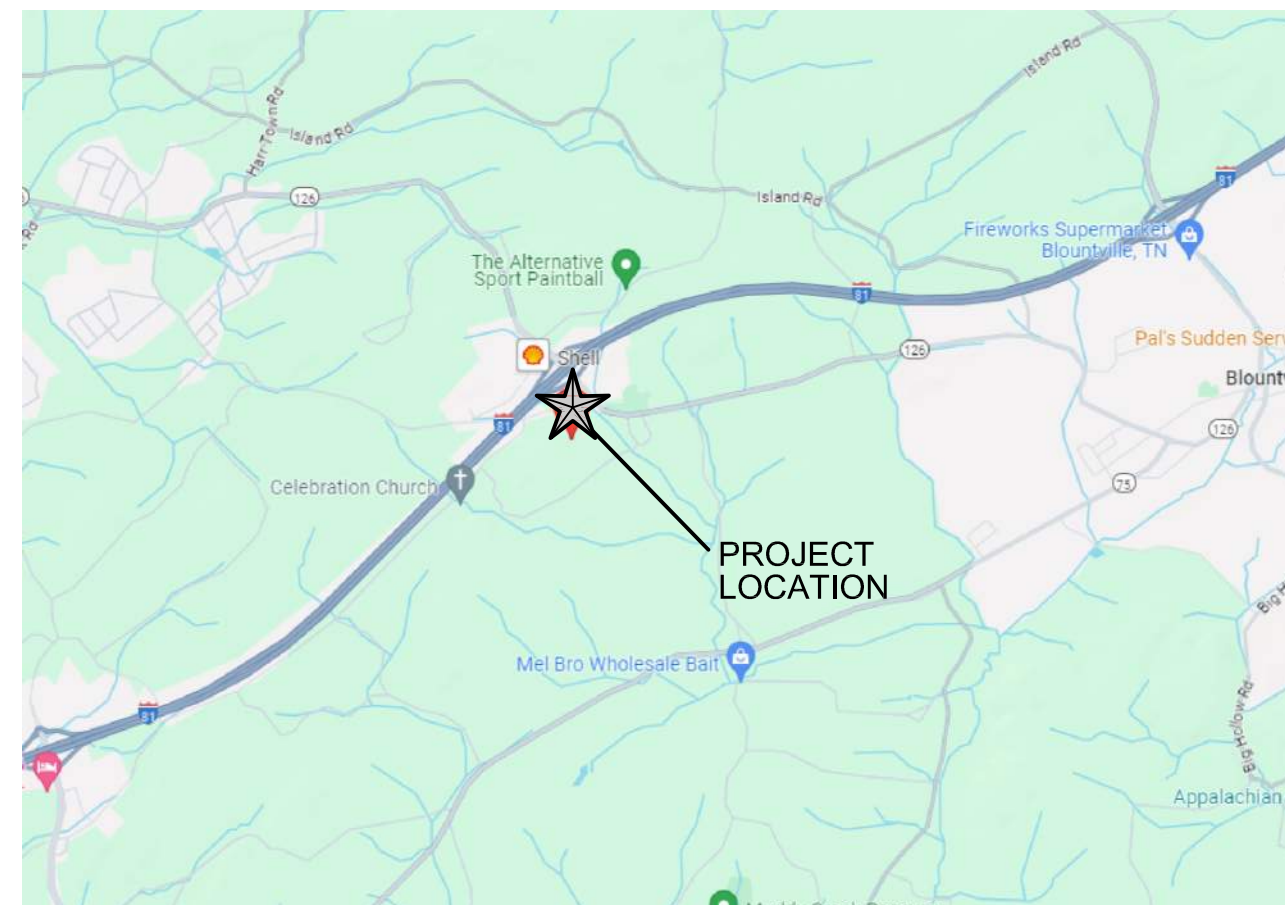
131 Shipley Ferry Road  
Blountville, TN

April 3, 2024

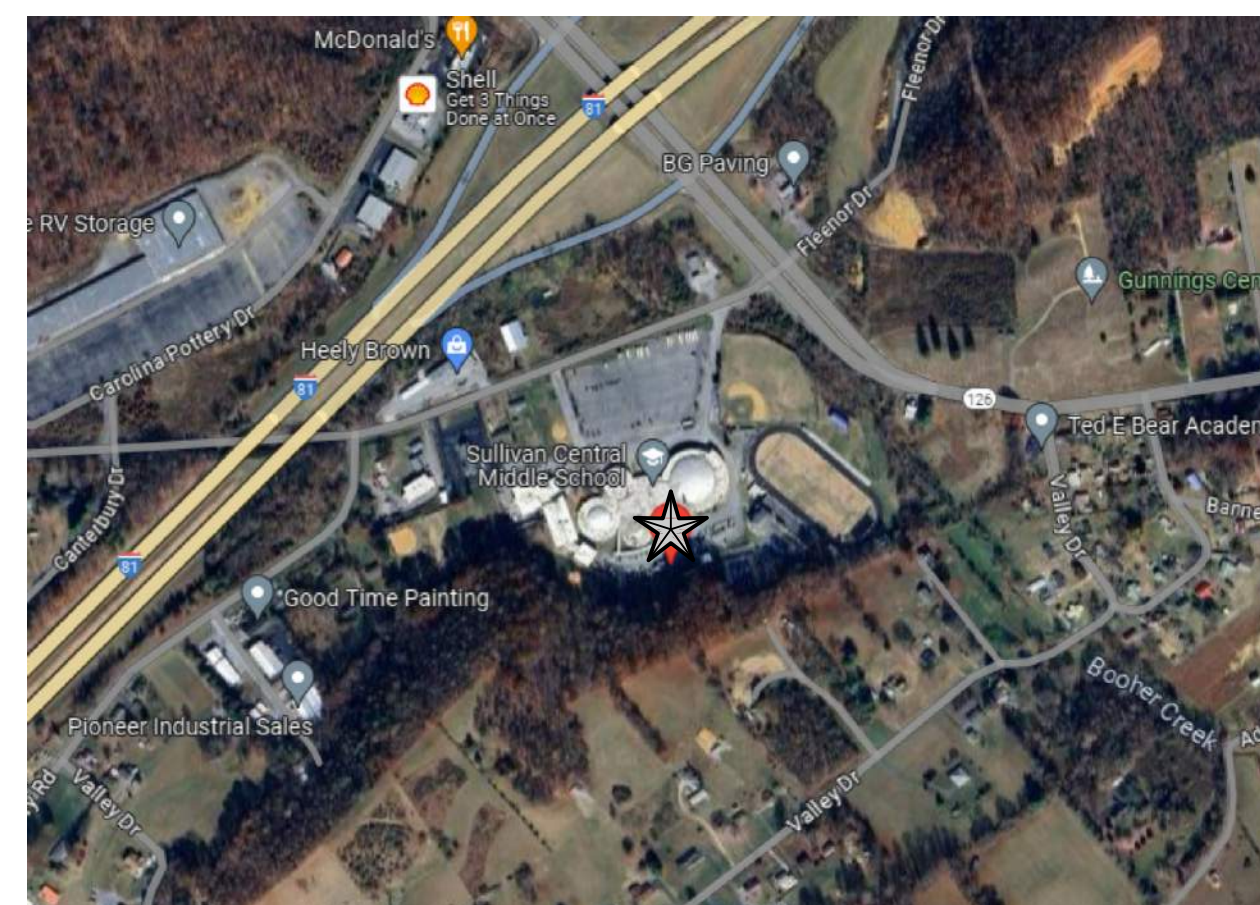
CRW Project # 202395

TFM # 01676

VICINITY MAP



LOCATION MAP



## DRAWING INDEX

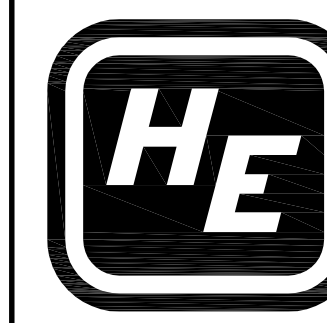
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<b>GENERAL</b>				
G-00	COVER SHEET	4/3/24	4/18/24	CODE REVISIONS
G-01	GENERAL INFORMATION SHEET	4/3/24		
G-12	LIFE SAFETY PLAN	4/3/24		
<b>SITE / CIVIL</b>				
NONE				
<b>STRUCTURAL</b>				
NONE				
<b>ARCHITECTURAL</b>				
A-01	DEMOLITION PLAN	4/3/24	4/18/24	CODE REVISIONS
A-10	FLOOR PLANS	4/3/24	4/18/24	CODE REVISIONS
<b>INTERIORS</b>				
I-10	REFLECTED CEILING PLAN	4/3/24		
I-40	SCHEDULES	4/3/24	4/18/24	CODE REVISIONS
<b>MECHANICAL ELECTRICAL AND PLUMBING</b>				
ME-1	DEMOLITION PLAN	4/3/24	4/17/24	CODE REVISIONS
PE-1	PLUMBING & ELECT. FLOOR PLAN	4/3/24	4/17/24	CODE REVISIONS
MPE-1	SPECIFICATIONS	4/3/24	4/17/24	CODE REVISIONS



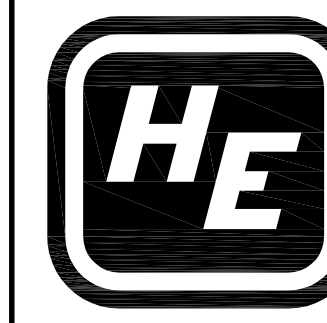
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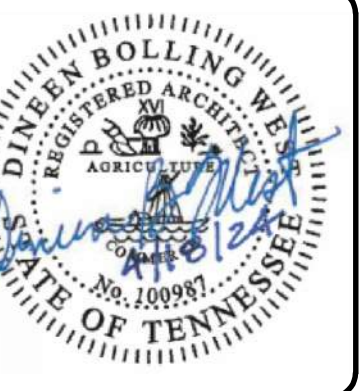
no.	date	rev. description
1	4/26/24	ADDENDUM #1



HOLSTON ENGINEERING INC.  
301 MONTGOMERY STREET  
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JOHNSON CITY, TN 37604  
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## ARCHITECT / CIVIL



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COVER SHEET

G-00

# ABBREVIATIONS

ABV. ABOVE	ACT ACOUSTICAL TILE	ADA AMERICANS WITH DISABILITIES ACT	A.F.F. ABOVE FINISHED FLOOR	ALUM. ALUMINUM	@ AT OR AT THE RATE OF	APPROX. APPROXIMATELY	BLDG. BUILDING	BLKG. BLOCKING	BOTT. BOTTOM	BRG. BEARING	C.B. CATCH BASIN	CJ CENTERLINE	CL. CONTROL JOINT	CLG. CEILING	CMU CONCRETE MASONRY UNIT	C.O. CLEAN OUT	CONC. CONCRETE	CONT. CONTINUOUS	COORD. COORDINATE	CORR. CORRIDOR	CTR. CENTER	DTL. DETAIL	D.F. DRINKING FOUNTAIN	DIA. Ø DIAMETER	DWG. DRAWING	D.W. DISH WASHER	(E) EXISTING	EA. EACH	E.I.F.S. EXTERIOR INSULATION AND FINISH SYSTEM	EJ EXPANSION JOINT	EL. ELEVATION	ELEC. ELECTRICAL	EQ. EQUAL	EXIST. EXISTING	EXP. EXPANSION	EXT. EXTERIOR	F.D. FLOOR DRAIN	FDTN. FOUNDATION	F.E. FIRE EXTINGUISHER	F.F. FINISHED FACE	FIN. FINISHED	FLR. FLOOR	FOF FACE OF FINISH	FTG. FOOTING	F.V. FIELD VERIFY	GA. GAUGE	GALV. GALVANIZED, HOT DIPPED	G.H.M. GALVANIZED HOLLOW METAL	GYP. BD. GYPSUM BOARD	H.B. HOSE BIBB	H.C. HANDICAPPED	HDWE. HARDWARE	H.M. HOLLOW METAL	HSV HOMOGENEOUS SHEET VINYL	HT. HEIGHT	INSUL. INSULATING, INSULATION	JT. JOINT	LAV. LAVATORY	MANUF. MANUFACTURER	MATL. MATERIAL	MAX. MAXIMUM	MECH. MECHANICAL	MDF MEDIUM DENSITY FIBERBOARD	MFD MULTIFUNCTION DEVICE	M.H. MAN HOLE	MIN. MINIMUM, OR MINUTES	MIRR. MIRROR IMAGE OF TYPICAL DETAIL	M.O. MASONRY OPENING	M.R. METAL	M.TL. METAL	N.I.C. NOT IN CONTRACT	NOM. NOMINAL	O.C. ON CENTER	OCC. OCCUPANTS	PH. PHASE	PKG. PACKAGE	PLATE PLATE	POLY POLYETHYLENE	PR. PAIR	PSI POUNDS PER SQUARE INCH	P.T. PRESSURE TREATED	PT. PAINT, OR PAINTED	R RADIUS, RISER	RD ROOF DRAIN	RDL ROOF DRAIN LEADER	REQD REQUIRED	R.O. ROUGH OPENING	□ SQUARE	SCHED. SCHEDULE	SIM. SIMILAR	SQ. SQUARE	STD. STANDARD	STL. STEEL	STRUCT. STRUCTURE, OR STRUCTURAL	SUSP. SUSPENDED	TK THICK	TLT. TOILET	T.O. TOP OF	T.O.F. TOP OF FOOTING	T.O.S. TOP OF STEEL	TYP. TYPICAL	U.L. UNDERWRITER'S LABORATORIES, INC.	W. WIDE	W/ WITH	WD. WOOD	WDW. WINDOW	W.H. WATER HEATER	WOW WORKSTATION ON WHEELS	WWF WELDED WIRE FABRIC
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# LEGEND

	EXISTING WALL CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE REMOVED
	CONCRETE MASONRY (NEW, VIEWED IN PLAN & SECTION)
	METAL STUD AND GYPSUM BOARD WALL (NEW)
	METAL STUD AND GYPSUM BOARD WALL (PARTIAL HEIGHT WALL WITH CAP) (NEW)
	BRICK
	GYPSUM BOARD CEILING (IN PLAN)
	CASEWORK (IN PLAN VIEW)
	GLASS OR MIRROR (ELEVATION)
	BATT INSULATION
	VAPOR BARRIER
	CONCRETE (SECTION)
	CRUSHED STONE
	EARTH
	DENOTES 2-HR RATED FREE STANDING FIRE WALL
	DENOTES 2-HR RATED FIRE SEPARATION WALL / SMOKE BARRIER
	DENOTES 1-HR RATED FIRE BARRIER
	DENOTES NON-RATED SMOKE PARTITION

# BID ALTERNATES

ALTERNATE #1  
NONE

# SYMBOLS

	SECTION IDENTIFICATION	IDENTIFICATION MARK LETTER (SECTIONS AND ELEVATIONS)
	DRAWING WHERE SECTION IS SHOWN	IDENTIFICATION MARK NUMBER (DETAILS)
	DETAIL IDENTIFICATION	DRAWING WHERE SECTION IS CUT OR ELEVATION OR DETAIL IS CALLED OUT
	DRAWING WHERE DETAIL IS SHOWN	DRAWING WHERE SECTION IS SHOWN
	WALL TYPE IDENTIFICATION	
	WINDOW TYPE IDENTIFICATION	
	DOOR MARK NUMBER (CORRESPONDS WITH ROOM NUMBER)	
	INDICATES QUANTITY OF DOORS PER SPACE/ROOM (A, B, C, ETC.)	
	ROOM/SPACE IDENTIFICATION	
	ROOM NUMBER	
	GRAY TEXT DENOTES EXISTING ROOM	
	COLUMN IDENTIFICATION	
	COLUMN LINE	
	REVISION NUMBER	

# ITEMS NOT IN CONTRACT

COMPUTERS	CHAIRS	TABLES
ROOM SIGNAGE	DESKS	FILING CABINETS
PRINTERS	TELEVISIONS	REFRIGERATORS
WINDOW TREATMENTS	MICROWAVES	DISHWASHERS
SHELVES (NOT SHADED)	EQUIPMENT	COAT RACKS
FREEZERS	CUBICLE WALLS	PAPER TOWEL DISPENSERS
OVERHEAD PROJECTOR	LOCKERS	SOAP DISPENSERS
PHLEBOTOMY CHAIRS	EXAM TABLES	SCALES
ANY ITEMS LABELED "NIC" OR "BY OWNER"		

THESE ITEMS MAY BE SHOWN FOR REFERENCE AND COORDINATION PURPOSES ONLY.

# GENERAL NOTES

- CONTRACTOR SHALL CONFINE HIS OPERATIONS TO THE IMMEDIATE VICINITY OF THE WORK SITE AS DIRECTED BY THE OWNER.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE VERIFICATION OF ACTUAL CONDITIONS SURROUNDING THE PROJECT, INCLUDING THE AS-BUILT LOCATIONS AND CONDITIONS OF EXISTING UTILITIES AND THE BUILDING STRUCTURE.
- CONTRACTOR SHALL COORDINATE THE LOCATIONS FOR THE STORAGE OF EQUIPMENT AND BUILDING MATERIALS WITH THE BUILDING OWNER. CONTRACTOR SHALL NOT BLOCK OR IMPEDE ACCESS TO THE BUILDING BY EXISTING TENANTS, CUSTOMERS OR EMERGENCY VEHICLES.
- CONTRACTOR SHALL COORDINATE ANY REQUIRED SHUT-DOWN OF UTILITIES WITH THE LOCAL BODIES HAVING JURISDICTION. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO PERFORMING ANY EXCAVATION OPERATIONS. ANY DAMAGE TO EXISTING UNDERGROUND UTILITIES, INADVERTENT OR OTHERWISE, RESULTING FROM CONSTRUCTION OPERATIONS, SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- UNLESS OTHERWISE NOTED, INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 20 GA., 3 5/8" STEEL STUDS AT 16" ON CENTER WITH ONE (1) LAYER OF 5/8" THICK, TYPE "X", GYPSUM BOARD ON EACH FACE. (TOTAL WALL THICKNESS = 4 7/8") PROVIDE VERTICAL CONTROL JOINT AT ONE SIDE OF DOOR HEADS (TYPICAL). SET TRACK IN ACOUSTICAL SEALANT FOR SOUND CONTROL. (TYPICAL ALL WALLS.)
- PLAN DIMENSIONS DENOTE FACE OF NEW STUD TO FACE OF NEW STUD (OR FACE OF FINISH IF CONCRETE OR CMU) UNLESS OTHERWISE NOTED. (TYPICAL FOR NEW, INTERIOR STUD WALL CONSTRUCTION.)
- PLAN DIMENSIONS DENOTE FINISHED FACE OF EXISTING WALL TO FINISHED FACE OF EXISTING WALL UNLESS OTHERWISE NOTED. (TYPICAL FOR EXISTING WALLS.)
- ALL PARTITIONS SHALL BE CONTINUOUS FROM TOP OF FLOOR SLAB TO MIN. 6" ABOVE FIN. CEILING UNLESS OTHERWISE NOTED OR DETAILED. PROVIDE FIBERGLASS SOUND ATTENUATION BLANKETS IN ALL WALLS. (TYPICAL FULL HEIGHT OF WALL.) (SEE WALL TYPES.)
- PROVIDE ALL WALL BLOCKING AS REQUIRED FOR FIXTURES, CASEWORK, COMMUNICATIONS EQUIPMENT, ETC. ALL WOOD BLOCKING SHALL BE FIRE TREATED LUMBER. (CONTRACTOR MAY PROVIDE 20 GA. STEEL STUDS, IN LIEU OF WOOD BLOCKING, IN METAL STUD WALL CONSTRUCTION.) CONTRACTOR TO REVIEW LOCATIONS OF ALL WOOD BLOCKING WITH THE OWNER.
- CONTRACTOR SHALL PROVIDE 4"x4", 3/4" TREATED PLYWOOD BLOCKING IN ALL COMMUNICATIONS CLOSETS.
- CONTRACTOR SHALL PROVIDE TEMPORARY CONSTRUCTION WALLS AND CLOSURES AS REQUIRED TO PREVENT THE SPREAD AND INFILTRATION OF DUST AND DEBRIS TO OTHER OCCUPIED AREAS OF THE BUILDING.
- ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE BY THE CONTRACTOR AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS. DEBRIS SHALL BE REMOVED FROM THE SITE DAILY.
- THE CONTRACTOR SHALL ACCESS THE BUILDING ONLY FROM LOCATIONS APPROVED BY THE OWNER'S REPRESENTATIVE. CONSTRUCTION OPERATIONS SHALL NOT IMPEDE THE NORMAL FLOW OF TRAFFIC AT OTHER ENTRYWAYS.
- CONTRACTOR SHALL NOTIFY BUILDING OWNER, AND ALL TENANTS, OF ANY REQUIRED UTILITY SHUT-DOWN NOT LESS THAN 48 HOURS IN ADVANCE OF THE SCHEDULED INTERRUPTION OF UTILITY SERVICES.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE BUILDING AND ITS CONTENTS FROM THE ELEMENTS AND FROM UNAUTHORIZED ENTRY. CONTRACTOR SHALL PROVIDE TEMPORARY CLOSURES AND BARRICADES AS REQUIRED TO MAINTAIN A SECURE ENVIRONMENT.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS, LOCATIONS, SIZES, ETC. OF ALL BUILDING COMPONENTS, STRUCTURAL MEMBERS, EQUIPMENT, AND ACCESSORIES TO REMAIN.
- CONTRACTOR SHALL NOT IMPEDE TRAFFIC FLOW IN ROADWAYS OR PARKING AREAS. COMPLETE ACCESS TO THE BUILDING BY EMERGENCY VEHICLES SHALL BE MAINTAINED AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION OPERATIONS.
- DOORS CONSTRUCTED AGAINST AN ADJACENT WALL SHALL BE PLACED 3" FROM THE OUTSIDE OF THE FRAME TO THE ADJACENT WALL (TYPICAL FOR STUD WALLS). DOORS IN MASONRY WALLS SHALL BE 8" (ONE BLOCK COURSE) FROM ADJACENT WALL. DOORS SHOWN IN THE CENTER OF A WALL SHALL BE CENTERED WITHIN THAT SPACE UNLESS OTHERWISE NOTED.
- VERTICAL CHANGES IN FLOOR LEVEL MAY NOT EXCEED 1/4" UNLESS HALF OR ALL OF THE VERTICAL PORTION IS BEVELED 1/4".
- CONTRACTOR IS RESPONSIBLE FOR PATCHING AND FINISHING ALL EXISTING WALLS THAT ARE DAMAGED DURING DEMOLITION OPERATIONS OR THROUGH THE INSTALLATION OF NEW ITEMS AND APPURTENANCES TO A UNIFORM APPEARANCE TO MATCH THAT OF ADJACENT FINISHES.
- THIS DRAWING SET UTILIZES COLOR FOR CLARITY AND IS BEST INTERPRETED WHEN VIEWED OR PRINTED IN COLOR.
- THIS DRAWING SET IS INTENDED TO BE PRINTED AT 24"x36" SHEET SIZE. DO NOT SCALE DRAWINGS FROM ANY OTHER SIZE PRINT.



S.T.E.M. Classroom Renovation for:

Blountville, Tennessee

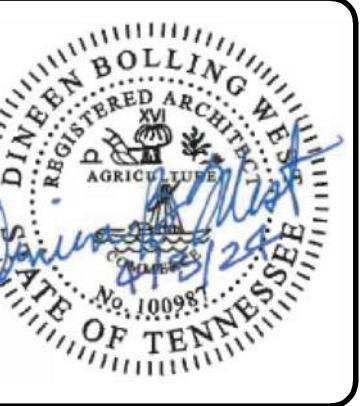
**Cain  
Rash  
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Architects

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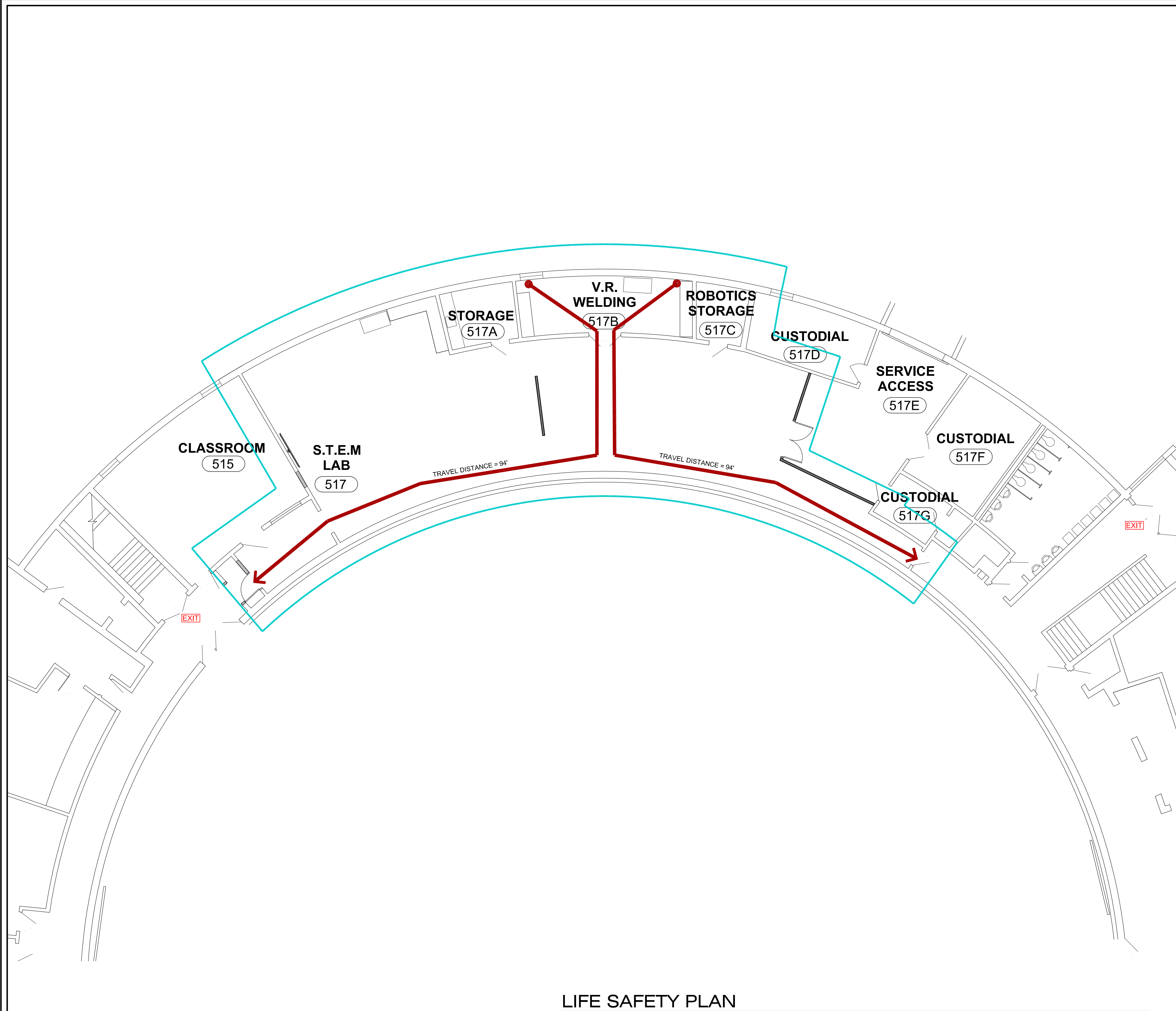
no.	date	rev.	description
1	DATE		DESCRIPTION



issued	April 3, 2024
checked	RDL
drawn	RDL
project no.	202395

GENERAL INFORMATION

G-01



**LIFE SAFETY PLAN**  
SCALE: 1/8" = 1'-0"

**CODE DATA**

**SCOPE OF WORK SUMMARY**  
THIS PROJECT CONSISTS OF RENOVATIONS TO CREATE A S.T.E.M. CLASSROOM WITHIN THE EXISTING BUILDING.

**APPLICABLE CODES**

NFPA 101 LIFE SAFETY CODE (2012 EDITION)  
ICC INTERNATIONAL BUILDING CODE, 2012 EDITION (EXCLUDING CHAPTER 11 & SECTION 3411)  
INTERNATIONAL EXISTING BUILDING CODE, 2012 EDITION (SCOPE OF WORK RELATED TO EXISTING BUILDINGS)  
ICC INTERNATIONAL FIRE CODE (2012 EDITION)  
ICC INTERNATIONAL MECHANICAL CODE (2012 EDITION)  
ICC INTERNATIONAL FUEL GAS CODE (2012 EDITION)  
ICC INTERNATIONAL PLUMBING CODE (2012 EDITION)  
ICC INTERNATIONAL ENERGY CONSERVATION CODE (2012 EDITION)  
NATIONAL ELECTRIC CODE (NFPA70) (2017 EDITION)  
U.S. PUBLIC HEALTH FOOD CODE (2009 EDITION)  
ACCESSIBILITY CODE: 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.

NOTE: IN INSTANCES WHERE THE SPECIFIC REQUIREMENTS OF ICC AND NFPA 101 DIFFER, THE MORE STRINGENT OF THE TWO CODES SHALL APPLY.)

**OCCUPANCY**

EDUCATIONAL - GROUP E NON-SEPARATED

**CONSTRUCTION TYPE**

TYPE II - B NON-COMBUSTABLE FULLY SPRINKLERED

**GENERAL BUILDING LIMITATIONS**

ALLOWABLE HEIGHT - 75'  
TOTAL ACTUAL HEIGHT UNCHANGED AT  
ALLOWABLE STORIES - 3 STORIES  
ACTUAL STORIES UNCHANGED AT 2 STORIES  
ALLOWABLE AREA - 43,500 SF PER STORY  
ACTUAL SQUARE FEET UNCHANGED

**OCCUPANT LOAD**

BUILDING OCCUPANCY IS UNCHANGED.  
PROPOSED S.T.E.M. CLASSROOM = 2,180 SF @ 20SF/PERSON = 109 PERSONS  
PROPOSED V.R. WELDING ROOM = 256 SF @ 20SF/PERSON = 13 PERSONS  
TOTAL ROOM OCCUPANCY = 122 PEOPLE

**EGRESS**

250' WITH SPRINKLER SYSTEM PER TABLE 1017.2

**INTERIOR FINISHES**

TABLE 803.9 - INTERIOR FINISHES FOR GROUP B, NON-SPRINKLERED FACILITIES, SHALL BE CLASS "A"  
MATERIALS AT ALL VERTICAL EXITS AND EXIT PASSAGEWAYS. EXIT ACCESS CORRIDORS SHALL BE CLASS "B"  
AND OTHER ROOMS OR ENCLOSED SPACES MAY BE CLASS "C" MATERIALS.  
(CLASS "A" = FLAMESPREAD 0-25, SMOKE 0-450)  
(CLASS "B" = FLAMESPREAD 26-75, SMOKE 0-450)  
(CLASS "C" = FLAMESPREAD 76-200, SMOKE 0-450)

804 - INTERIOR FLOOR FINISHES  
CLASS II INTERIOR FLOOR FINISH - CRITICAL RADIANT FLUX NOT LESS THAN 0.22 W/cm<sup>2</sup> BUT LESS THAN 0.45

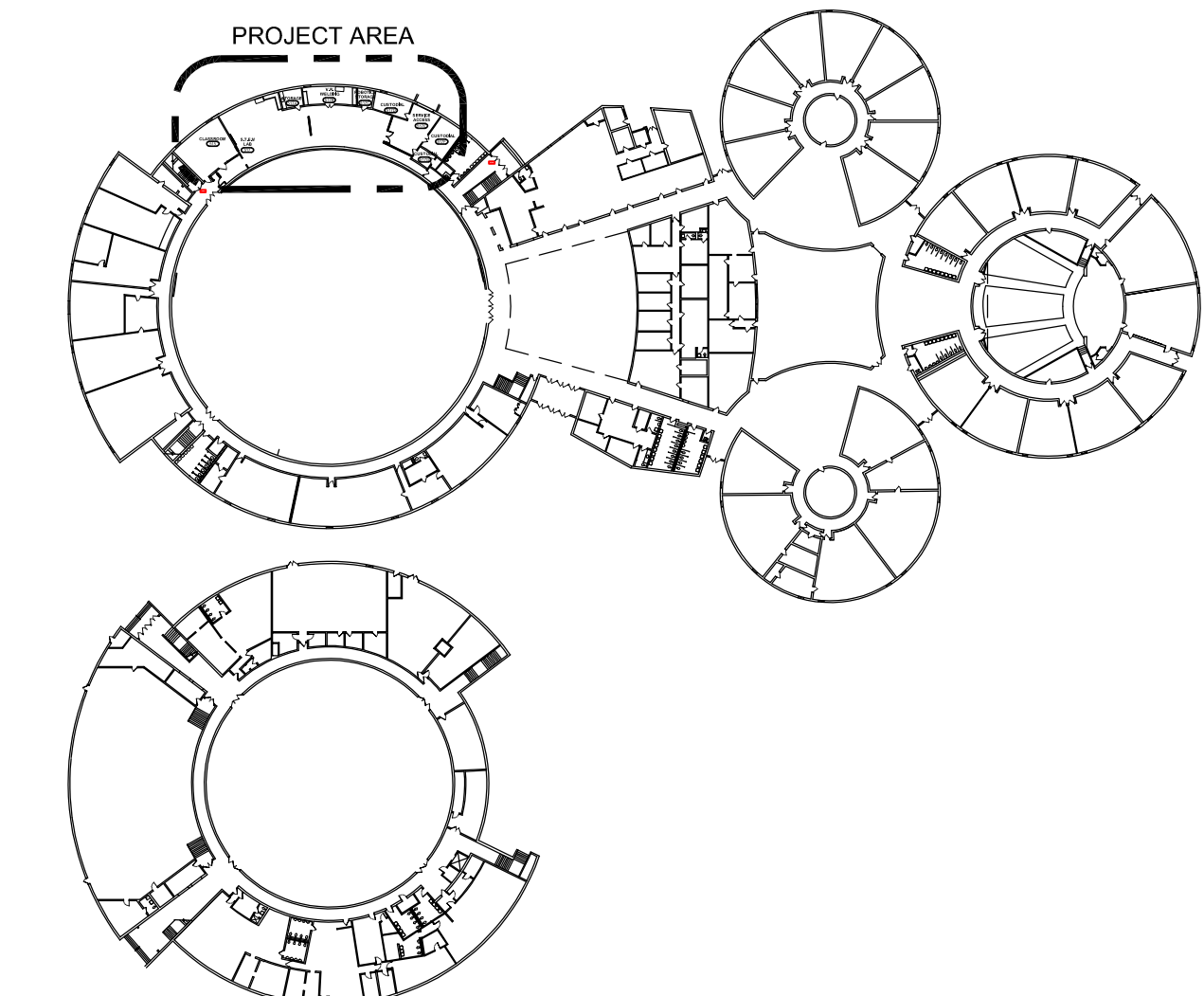
**LOCAL FIRE DEPARTMENT**

SULLIVAN COUNTY VOLUNTEER FIRE DEPARTMENT  
1679 BLOUNTVILLE BOULEVARD  
BLOUNTVILLE, TN  
NON-EMERGENCY PHONE: 423-323-3421  
FIRE CHIEF: BRUCE WILSON

**LEGEND**

- EXISTING CONSTRUCTION TO REMAIN
- NEW WALL CONSTRUCTION
- DENOTES AREA OF WORK
- DENOTES 1-HR RATED FIRE BARRIER
- T.D. = 100 FT. TRAVEL DISTANCE TO EXIT (NOTE: TRAVEL DISTANCES INDICATED ON PLAN HAVE BEEN ROUNDED UP TO THE NEAREST WHOLE FOOT.)
- FIRE EXTINGUISHER / FIRE EXTINGUISHER CABINET

**KEY PLAN**



S.T.E.M. Classroom Renovation for:



Blountville, Tennessee



Architects

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LIFE SAFETY PLAN

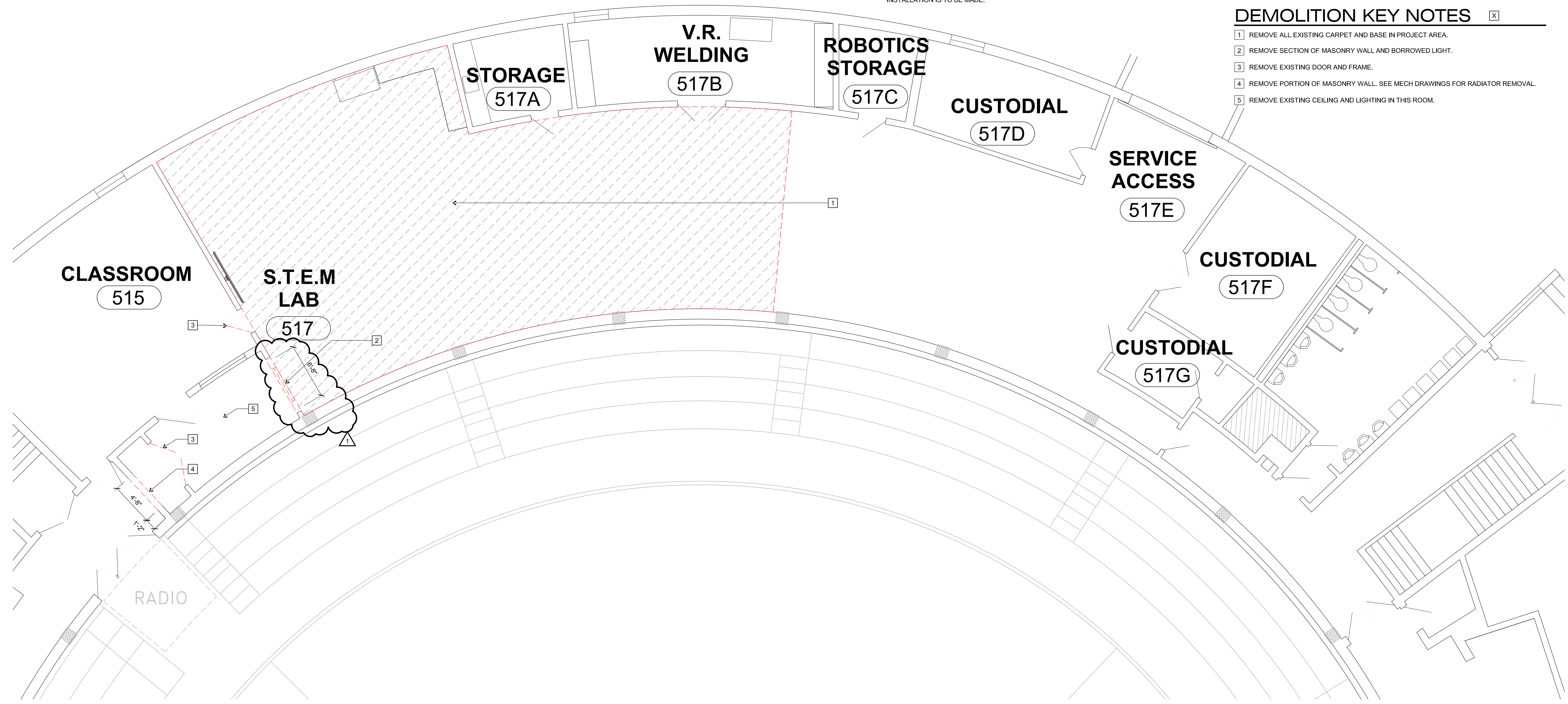
G-12

**GENERAL DEMOLITION NOTES**

1. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE PROJECT SITE PRIOR TO COMMENCEMENT OF DEMOLITION OPERATIONS. CONTRACTOR SHALL SATISFY HIMSELF AS TO THE ACTUAL AS-BUILT CONDITION OF ALL BUILDINGS, STRUCTURES, IMPROVEMENTS, UTILITIES, ETC. THE LAYOUT OF THE EXISTING BUILDING IS DERIVED FROM OWNER FURNISHED DRAWINGS OF A SIMILAR STRUCTURE AND FROM SITE OBSERVATION. NEITHER THE OWNER NOR THE ARCHITECT MAKES ANY CLAIMS REGARDING THE COMPLETE ACCURACY OF SUCH EXISTING DRAWING INFORMATION COMPARED TO THE ACTUAL, CURRENT CONDITIONS OF THE BUILDING AND RELATED STRUCTURES.
2. FOR GENERAL NOTES SEE DRAWING G-01.
3. CONTRACTOR SHALL PROVIDE SIGNAGE, BARRICADES, ETC., AS REQUIRED TO MAINTAIN TRAFFIC CONTROL AND TENANT/CLIENT SAFETY IN AND AROUND THE CONSTRUCTION AREA.
4. EXISTING IMPROVEMENTS TO REMAIN, WHICH ARE DAMAGED BY DEMOLITION OPERATIONS, SHALL BE RESTORED TO THEIR PRE-DEMOLITION CONDITION BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
5. THE CONDITION OF EXISTING IMPROVEMENTS SHALL BE REVIEWED WITH THE OWNER PRIOR TO COMMENCEMENT OF DEMOLITION OPERATIONS.
6. CONTRACTOR SHALL PHOTOGRAPHICALLY RECORD THE CONDITION OF EXISTING CONDITIONS TO REMAIN PRIOR TO COMMENCEMENT OF DEMOLITION OPERATIONS.
7. WORK INDICATED TO BE REINSTALLED OR RELOCATED SHALL BE CAREFULLY REMOVED SO AS NOT TO BE DAMAGED, AND SHALL BE STORED AND PROTECTED UNTIL SUCH TIME AS NEW INSTALLATION IS TO BE MADE.
8. UNLESS NOTED OTHERWISE, ALL SYSTEMS, COMPONENTS, AND MATERIALS INDICATED FOR DEMOLITION SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING ALL APPURTENANCES.
9. ALL EXISTING UTILITIES IMPACTED BY THE REMOVAL OF MECHANICAL OR ELECTRICAL COMPONENTS SHALL BE CAPPED OR OTHERWISE APPROPRIATELY TERMINATED BY THE CONTRACTOR.
10. FOR DEMOLITION INSTRUCTIONS FOR MECHANICAL, PLUMBING AND ELECTRICAL COMPONENTS, REFER TO ENGINEERING DRAWINGS.
11. REMOVE EXISTING FLOOR FINISHES AND BASES WHERE NEW CONSTRUCTION OCCURS. AREAS SHOULD BE LEFT IN A CONDITION SUITABLE FOR NEW CONSTRUCTION.
12. COORDINATE WITH FINISH SCHEDULE TO DETERMINE REQUIRED PREPARATIONS SUCH AS GRINDING, LEVELING, AND/OR ADDITIONAL DEMOLITION NECESSARY TO PREPARE AREA(S) FOR NEW FINISHES SUCH AS FLOOR TILE.
13. DEMOLITION OPERATIONS INCLUDE FLOOR ROUGH-INS FOR ALL NEW PLUMBING LINES, SAW CUTTING AS NEEDED, AND/OR ELECTRICAL CONDUIT PER ENGINEER'S DIRECTION. SEE ENGINEERING DRAWINGS FOR FURTHER DIRECTION.
14. ALL DOORS, FINISH HARDWARE, PLUMBING FIXTURES, LIGHT FIXTURES, FURNISHINGS, OR ANY OTHER MISCELLANEOUS SALVAGED BUILDING COMPONENTS AND APPURTENANCES, REMOVED DURING THE COURSE OF DEMOLITION, SHALL BE TURNED OVER TO THE BUILDING OWNER. IF OWNER DECLINES TO TAKE THESE ITEMS THE CONTRACTOR SHALL PROPERLY DISPOSE OF THEM.

**DEMOLITION KEY NOTES**

- 1 REMOVE ALL EXISTING CARPET AND BASE IN PROJECT AREA.
- 2 REMOVE SECTION OF MASONRY WALL AND BORROWED LIGHT.
- 3 REMOVE EXISTING DOOR AND FRAME.
- 4 REMOVE PORTION OF MASONRY WALL. SEE MECH DRAWINGS FOR RADIATOR REMOVAL.
- 5 REMOVE EXISTING CEILING AND LIGHTING IN THIS ROOM.



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 Blountville, TN

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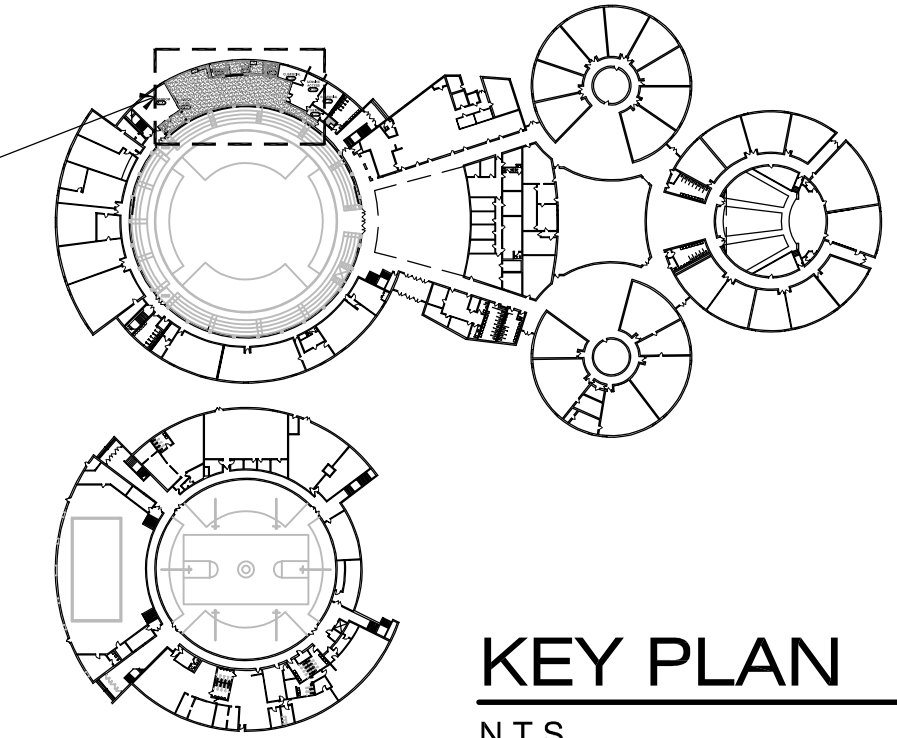
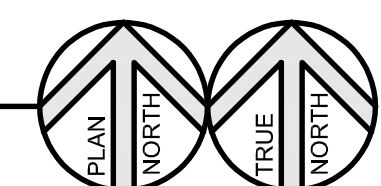
issued	April 3, 2024
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drawn	RDL
project no.	202395

**DEMOLITION PLAN**

**A-01**

**DEMOLITION PLAN**

SCALE: 3/16" = 1'-0"



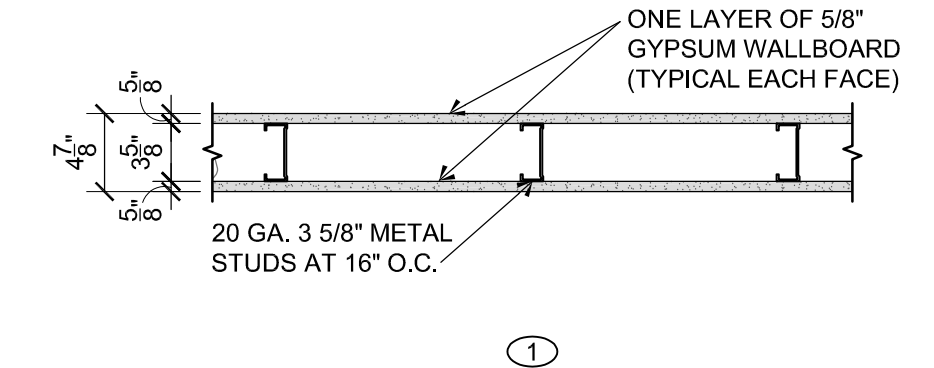
plotted: 4/17/2024 10:52:09 AM file: A-01 DEMOLITION PLAN CENTRAL.DWG

**GENERAL PLAN NOTES**

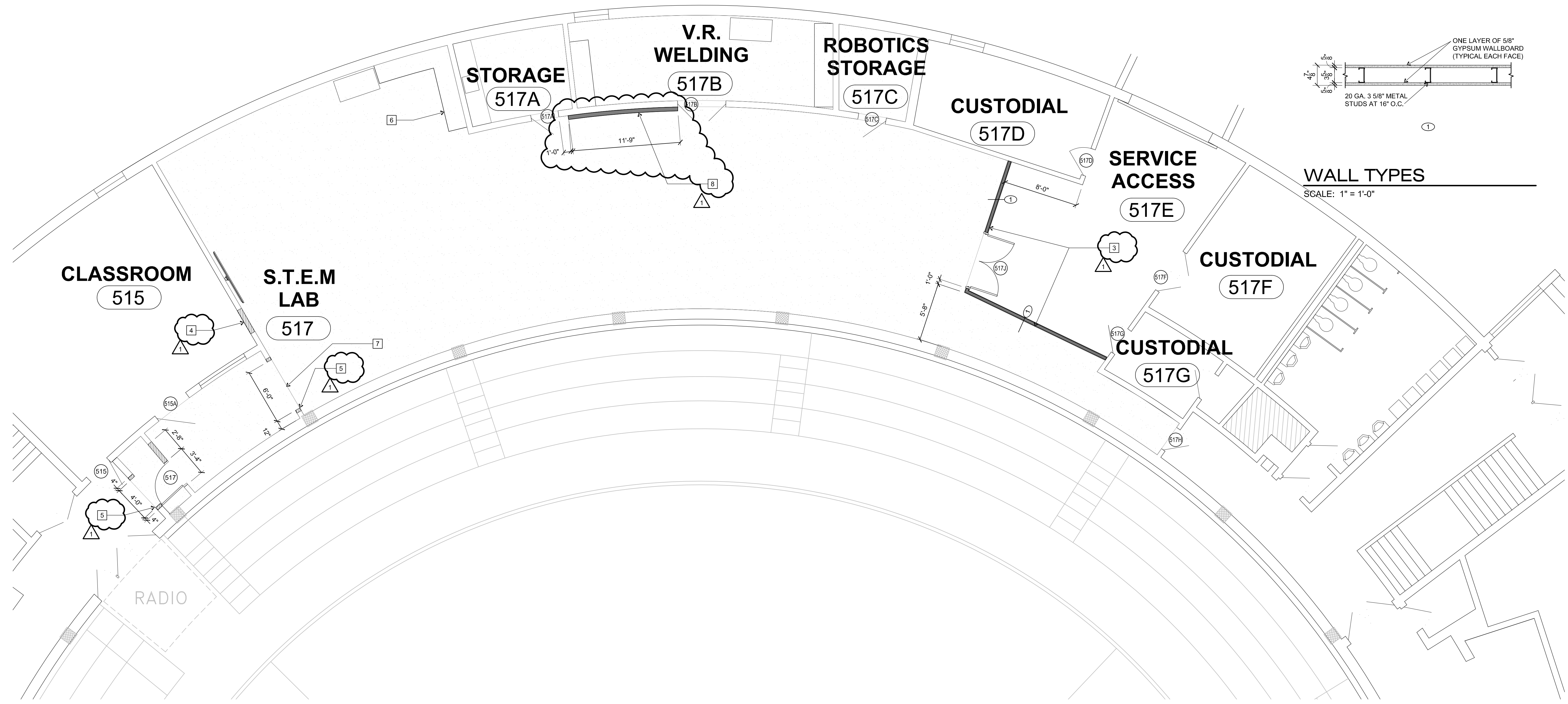
1. ALL ROOM SIGNAGE SHALL BE PROVIDED AND INSTALLED BY THE OWNER.
2. PROVIDE ALL WALL BLOCKING AS REQUIRED FOR FIXTURES, CASEWORK, EQUIPMENT, ETC. ALL WOOD BLOCKING SHALL BE FIRE RETARDANT TREATED WOOD. (CONTRACTOR MAY PROVIDE 20 GA. STEEL STUDS, IN LIEU OF WOOD BLOCKING, IN METAL STUD WALL CONSTRUCTION.)
3. ALL ROOM FURNISHINGS AND EQUIPMENT TO BE SUPPLIED BY THE OWNER, EXCEPT FOR CASEWORK WORK INDICATED ON THE PLAN.
4. FOR GENERAL NOTES SEE DRAWING G-01.
5. PATCH EXISTING WALLS AS REQUIRED TO ACHIEVE A UNIFORM APPEARANCE, TYPICAL WALLS SHALL MATCH EXISTING ADJACENT CONSTRUCTION.
6. DIMENSIONS ARE FROM FACE OF STUD OR FACE OF MASONRY, UNLESS OTHERWISE NOTED F.O.F. (FACE OF FINISH)

**KEY NOTES**

1. ENTIRE AREA OF WORK TO RECEIVE NEW FLOOR COATING.
2. ALL WALLS TO RECEIVE NEW 4" COVED RUBBER BASE.
3. NEW WALL, EXTEND TO DECK ABOVE.
4. INFILL CMU WALL, TOOTH INTO EXISTING MASONRY AND PAINT BOTH SIDES. PROVIDE BASE TO MATCH OUTSIDE OF WORK AREA.
5. BUILD END OF WALL WITH CMU. NEW UNITS TO HAVE BULNOSE EDGES.
6. NEW BASE CABINETRY.
7. PATCH FLOOR AT REMOVED WALLS AND PREP FOR NEW EPOXY FLOORING. TYPICAL ALL LOCATIONS.
8. DEMONSTRATION WALL, 3 5/8" METAL STUDS AT 16" O.C. PROVIDE SINGLE BTM PLATE AND DOUBLE TOP PLATE, PARTIALLY COVERED WITH 5/8" GYPSUM BOARD. EXTEND TO 7'-0" A.F.F.

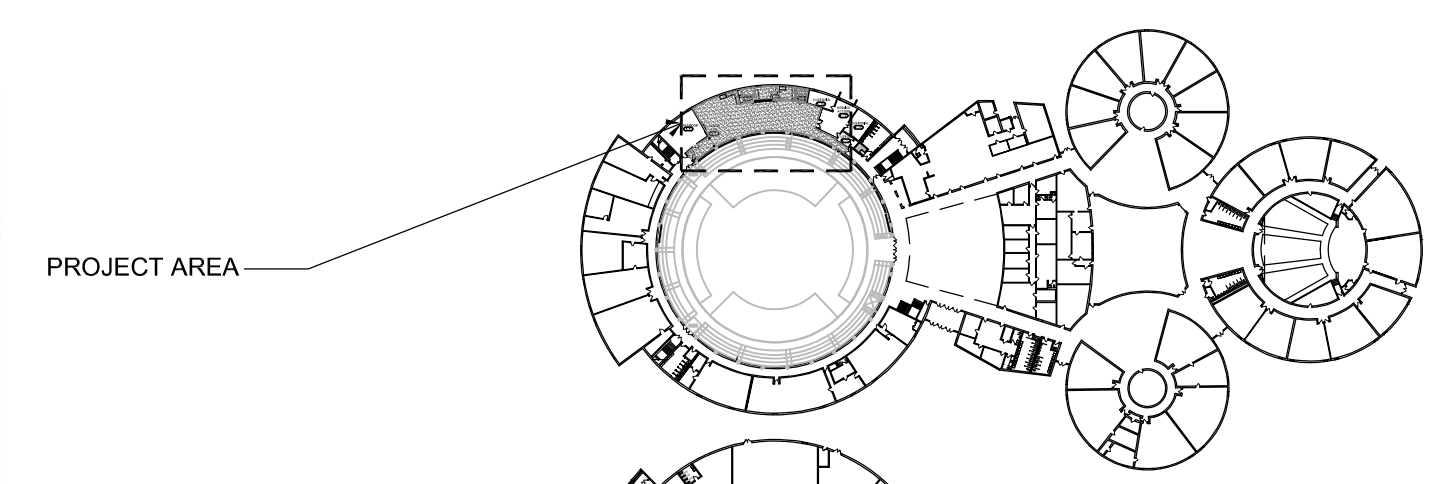


**WALL TYPES**  
SCALE: 1" = 1'-0"



**FLOOR PLAN**

SCALE: 3/16" = 1'-0"



**KEY PLAN**

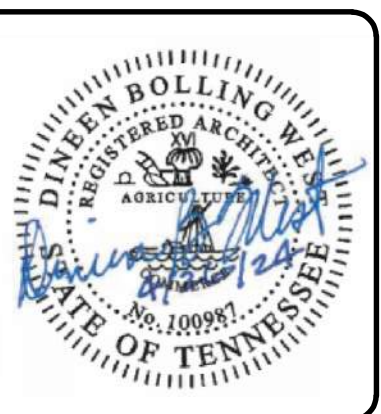
N.T.S.

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**Cain Rash West**  
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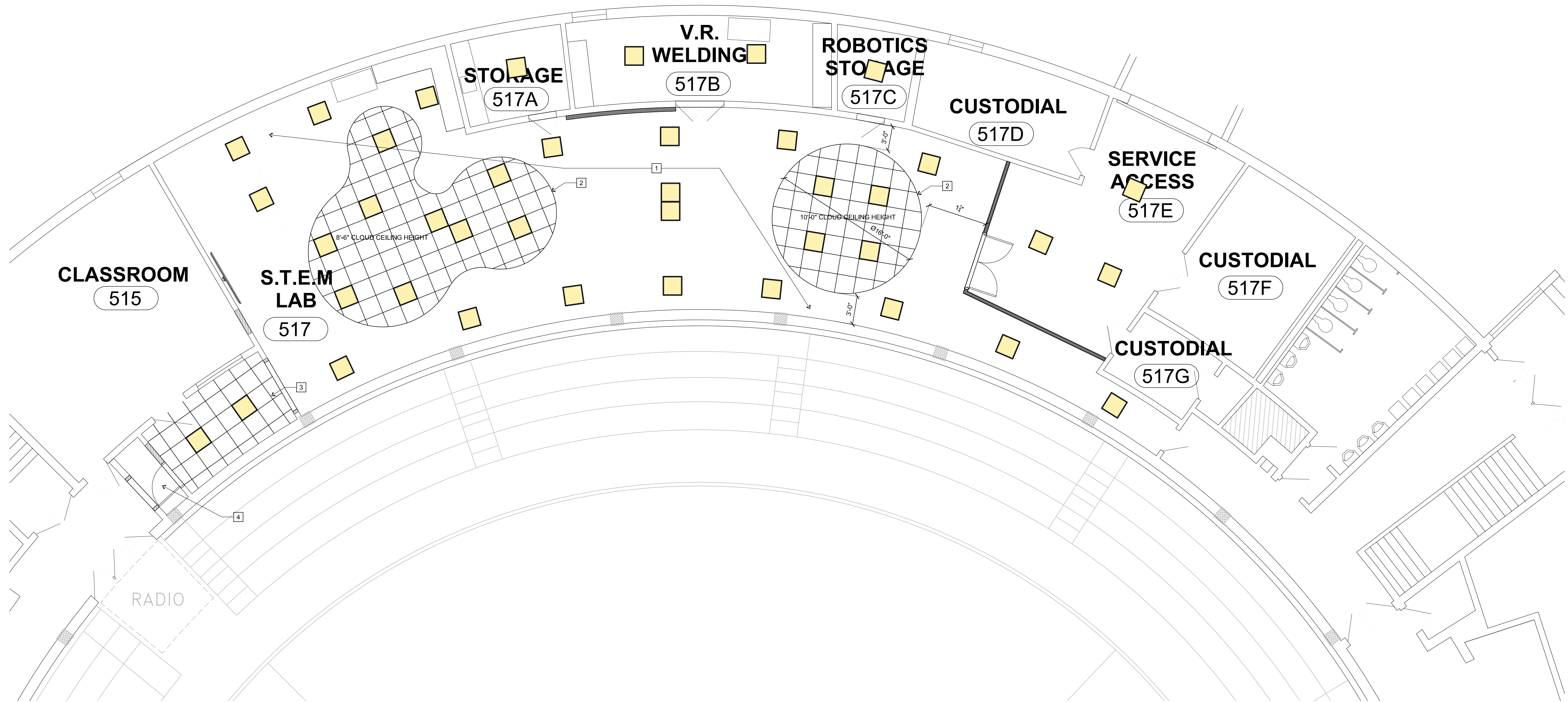
FLOOR PLAN

**A-10**



**KEY NOTES** ☒

1. EXISTING EXPOSED STRUCTURE TO HAVE ALL MISCELLANEOUS UNUSED PIPING AND WIRING REMOVED. STEEL ROOF DECK AND BAR JOIST ARE TO BE PAINTED.
2. SUSPENDED ACOUSTICAL TILE CEILING CLOUD.
3. NEW SUSPENDED ACOUSTICAL TILE CEILING MATCH EXISTING CEILING HEIGHT.
4. EXISTING CEILING TO REMAIN.



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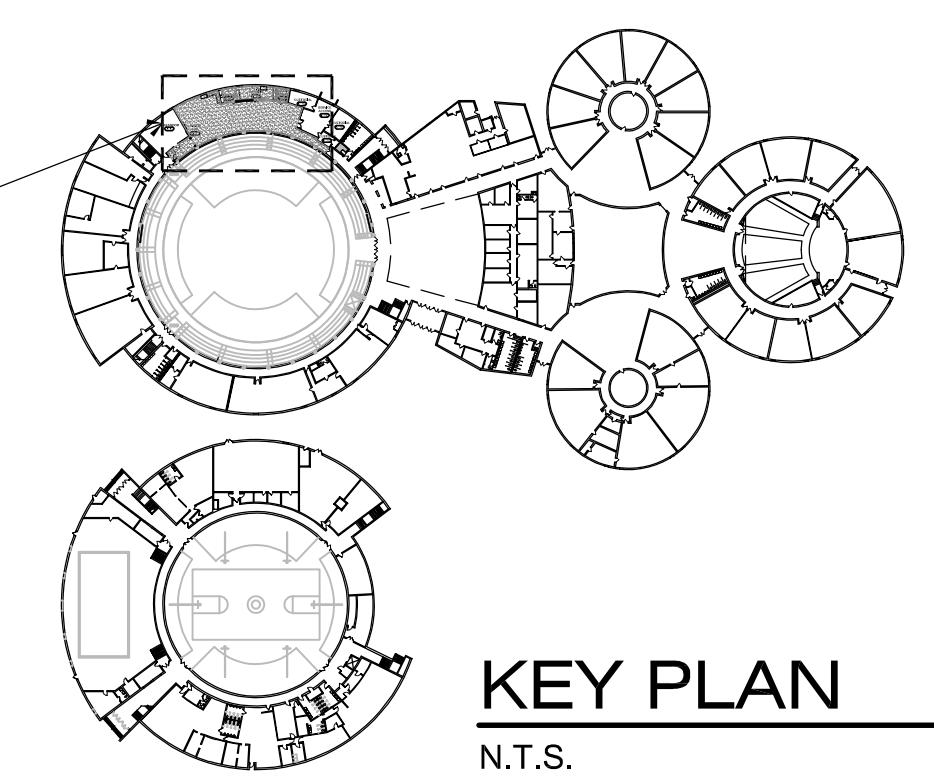
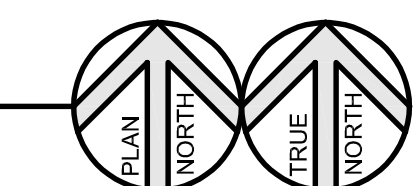
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REFLECTED CEILING PLAN

**I-10**  
 N.T.S.

**REFLECTED CEILING PLAN**

SCALE: 3/16" = 1'-0"



**KEY PLAN**  
 N.T.S.

plotted: 4/17/2024 11:15:03 AM file: I-10 REFLECTED CEILING PLAN CENTRAL.DWG

## DOOR AND FRAME SCHEDULE

DOORS							FRAMES				
MARK	SIZE (WxHxT)	MATERIAL	TYPE	FIRE LABEL	GLAZING	HDWE. SET	TYPE	MATERIAL	HEAD	JAMB	REMARKS
517H	EXISTING	WOOD	-	-	-	-	-	-	-	-	REVISE LOCKSET TO INCLUDE PANIC HARDWARE
517	3'-0" x 7'-0" x 1 3/4"	WOOD	F	-	-	1	2	H. M.	H2	J2	DOORS TO BE PRE-FINISHED TO MATCH EXISTING
517J	(2) 3'-0" x 7'-0" x 1 3/4"	WOOD	F	-	-	1	2	H. M.	H1	J1	DOORS TO BE PRE-FINISHED TO MATCH EXISTING

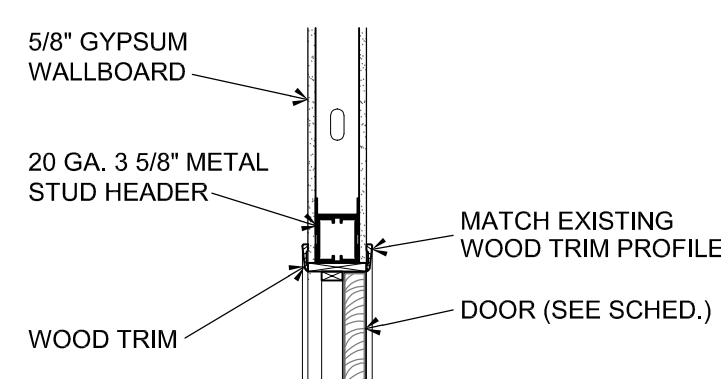
## HARDWARE SCHEDULE

**SET 1**

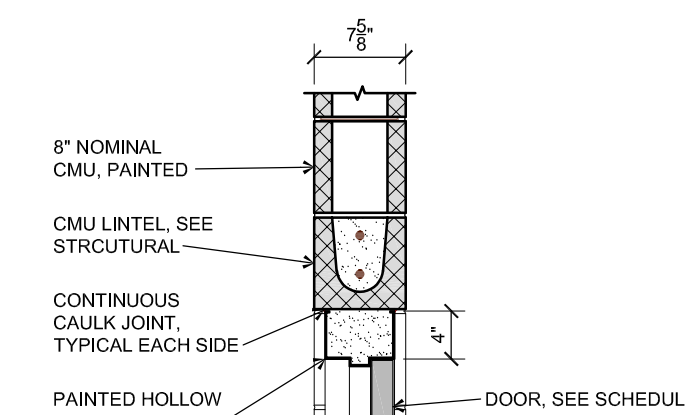
3	EA. FULL MORT HINGE	ECBB1100 4.5 X 4.5	US26D	(HI-1) HAGER
1	EA. CYL. PASSAGE	2510 2-3/4" US26D WTN TEE	US26D	(LO-12) HAGER
1	EA. WALL STOP	236W	US32D	(ST-1) HAGER
3	EA. SILENCER	307D	GREY	(SH-1) HAGER
1	EA. PANIC HARDWARE	ED5000 SERIES		CORBIN RUSSWIN

## HARDWARE NOTES

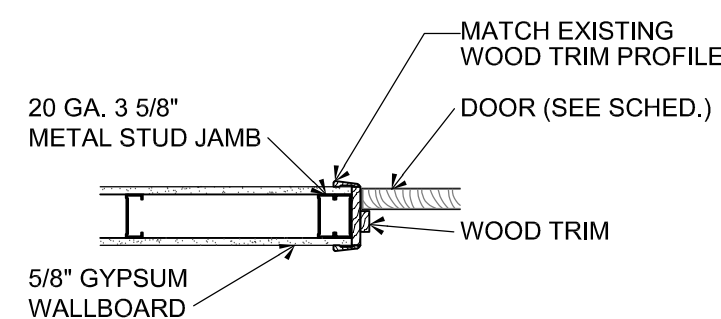
- ALL LOCKSETS SHALL BE EQUAL TO CORBIN RUSSWIN SERIES CL 3000.
- A HARDWARE=TYPICAL FINISH US26D UNLESS NOTED.
- LEVER DESIGN EQUAL TO CL3000, ARMSTRONG.
- ALL CLOSERS SURFACE MOUNTED, HEAVY DUTY, EQUAL TO LCN.



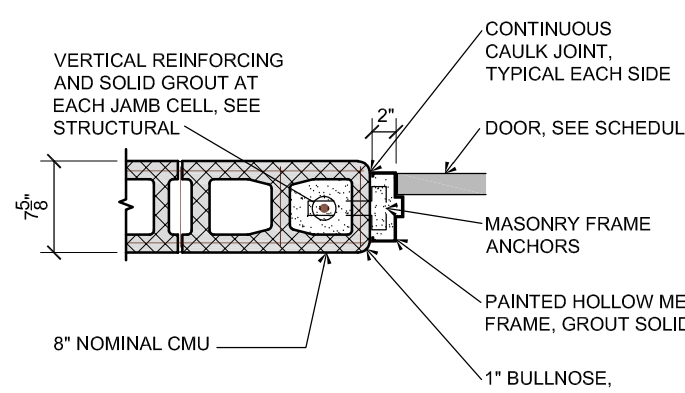
**HEAD H1**



**HEAD H2**



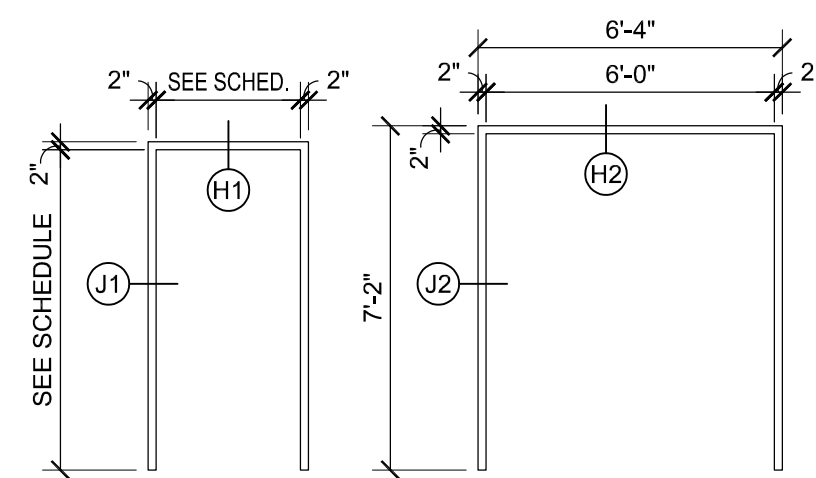
**JAMB J1**



**JAMB J2**

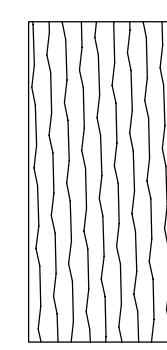
## FRAME DETAILS

SCALE: 3/4" = 1'-0"



**FRAME TYPES**

SCALE: 1/4" = 1'-0"



**DOOR TYPES**

SCALE: 1/4" = 1'-0"

## FINISH KEY

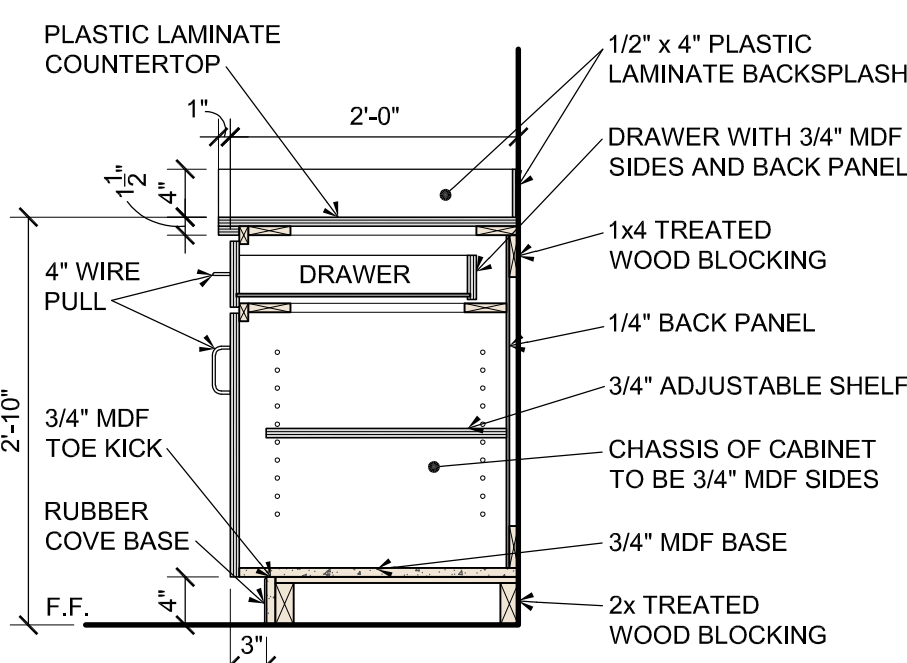
CODE	ITEM	MANUFACTURER & DESCRIPTION
<b>FLOORING &amp; BASE</b>		
EPOXY-1	EPOXY FLOOR COATING	RUSTOLEUM 9100 EPOXY FLOOR COATING WITH BROADCAST COLOR CHIPS
RB1	RUBBER BASE	JOHNSONITE (OR EQUAL); 4" RUBBER COVE BASE
<b>WALLS &amp; TRIM</b>		
P1	PAINT	SHERWIN WILLIAMS (OR EQUAL); COLOR: TO BE SELECTED; FINISH: EGGSHELL (OVERALL)
<b>FRAMES, DOORS, &amp; GLAZING</b>		
P1	PAINT	SHERWIN WILLIAMS (OR EQUAL); COLOR: COLOR TO BE SELECTED; FINISH: SEMI-GLOSS (TRIM, & FRAMES)
<b>CEILINGS</b>		
P5	CEILING PAINT	SHERWIN WILLIAMS (OR EQUAL); COLOR: BLACK; FINISH: FLAT (OVERALL)
<b>CASEWORK</b>		
PL-1	PLASTIC LAMINATE	WILSONART
PL-2	PLASTIC LAMINATE	WILSONART

## FINISH NOTES

- REFER TO REFLECTED CEILING PLANS ON SHEET I-11 FOR ALL CEILING COLORS, HEIGHTS, SOFFIT HEIGHTS, AND DIMENSIONS.
- ALL INTERSECTIONS OF DISSIMILAR WALL MATERIALS, THAT INCLUDES GYPSUM BOARD, SHALL RECEIVE CONTINUOUS KNURLED EDGE METAL J-BEAD.
- UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, ALL INTERIOR WALL SURFACES SHALL RECEIVE A MINIMUM OF ONE COAT OF PREMIUM WALL PRIMER AND TWO FINISH COATS OF LATEX "EGGSHELL" PAINT. SEE SPECIFICATIONS FOR PRODUCTS.
- ALL HOLLOW METAL DOORS AND FRAMES SHALL RECEIVE ONE COAT OF RUST CONTROL METAL PRIMER AND TWO COATS OF ALKYD INDUSTRIAL ENAMEL.
- PROVIDE AND INSTALL APPROPRIATE RUBBER OR ALUMINUM TRANSITION STRIPS AT INTERFACE OF DISSIMILAR FLOOR FINISHES.
- ALL EXISTING WALL RECEPTACLES, SWITCHES, AND PLATES SHALL MATCH EXISTING UNLESS NOTED.
- HATCHING DENOTES FLOORING TYPES, NOT GRAIN DIRECTION OR PATTERN, NOT ALL FLOORING TYPES ARE SHOW FOR CLARITY.
- EXISTING WALLS THAT ARE TO RECEIVE NEW COATS OF PAINT SHALL BE PREPARED IN A MANNER AND REFINISHED, IF NECESSARY, TO ACHIEVE AN ACCEPTABLE APPEARANCE.
- CAULK AROUND BOTTOM OF DOOR FRAMES WHERE FLOORING MEETS HOLLOW METAL DOOR FRAMES. CAULK TO MATCH FLOOR COLOR.
- SEE INTERIOR ELEVATIONS ON SHEETS A-20 & A-21 FOR ACCENT PAINT LOCATIONS.

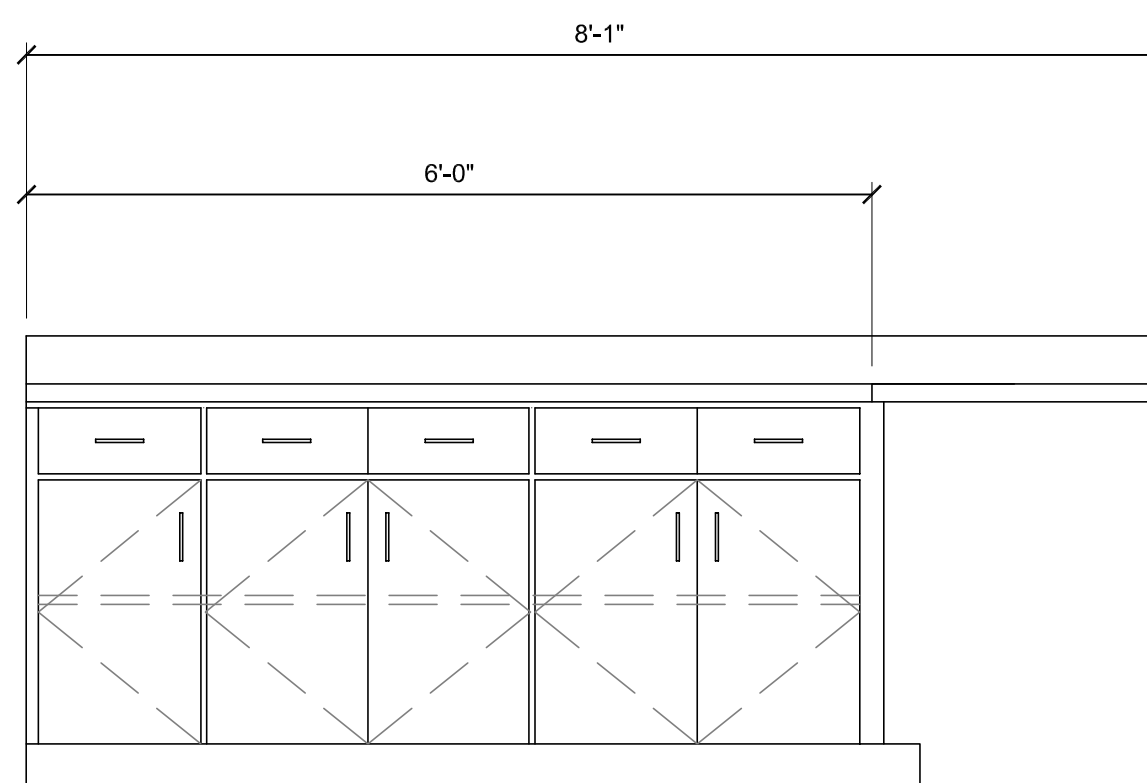
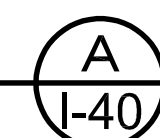
## FINISH SCHEDULE

MARK	ROOMS	FLOORS	WALLS				CEILING		REMARKS
			BASE	NORTH	SOUTH	EAST	WEST	FINISH	
515	CLASSROOM	-	RB-1	-	-	P1	-	0'-0"	
517	STEM CLASSROOM	EPOXY-1	RB-1	P1	P1	P1	P1	P5/AC1	VARIES
517A	STORAGE	EPOXY-1	RB-1	P1	P1	P1	P1	P5	0'-0"
517B	V.R. WELDING	EPOXY-1	RB-1	P1	P1	P1	P1	P5	0'-0"
517C	ROBOTICS STORAGE	EPOXY-1	RB-1	P1	P1	P1	P1	P5	0'-0"
517D	CUSTODIAL								NO WORK THIS AREA
517E	SERVICE ACCESS								NO WORK THIS AREA
517F	CUSTODIAL								NO WORK THIS AREA
517G	CUSTODIAL								NO WORK THIS AREA



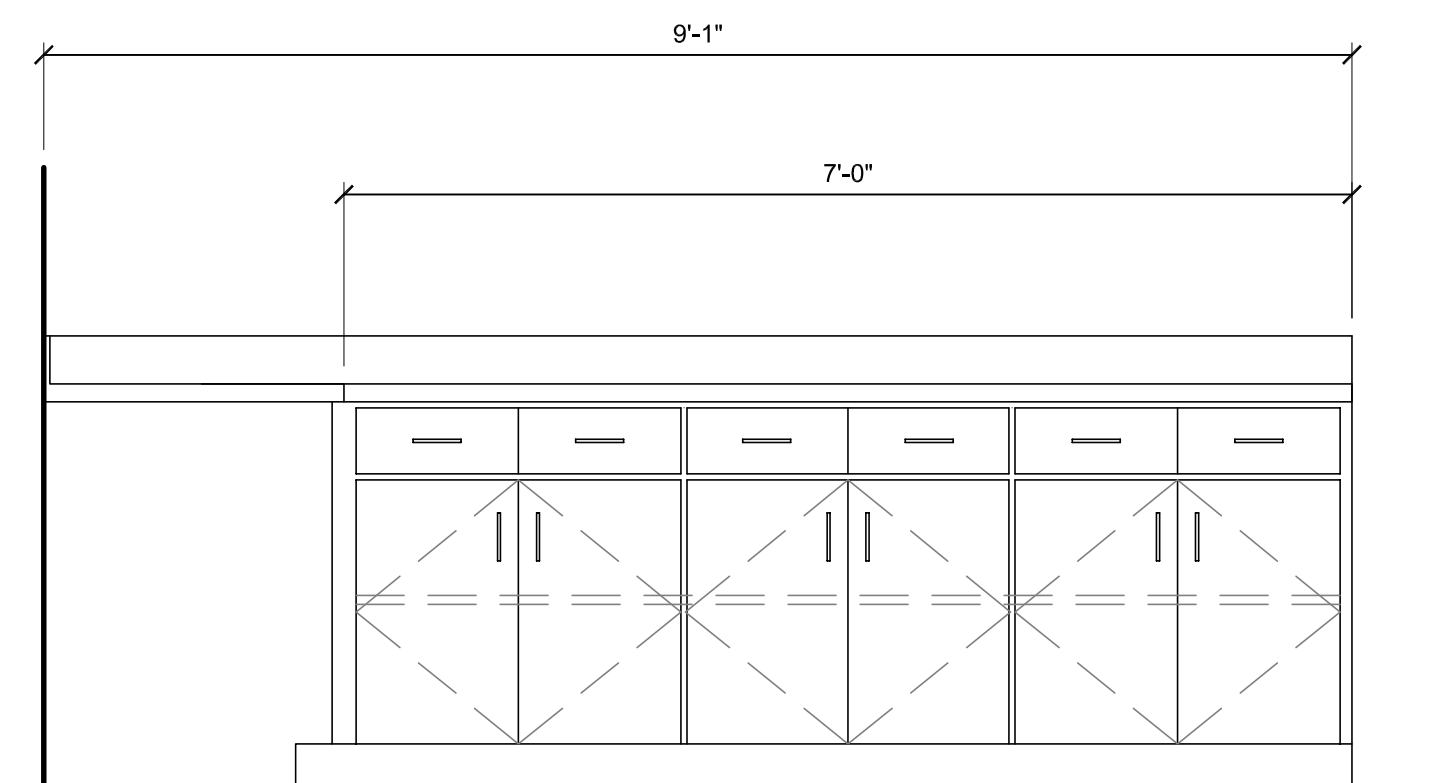
## SECTION

SCALE: 3/4" = 1'-0"  
BASE CABINET



## CABINET ELEVATION B

SCALE: 3/4" = 1'-0"



## CABINET ELEVATION C

SCALE: 3/4" = 1'-0"



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CABINETRY AND SCHEDULES

I-40

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Blountville, TN

Cain  
Rash  
West

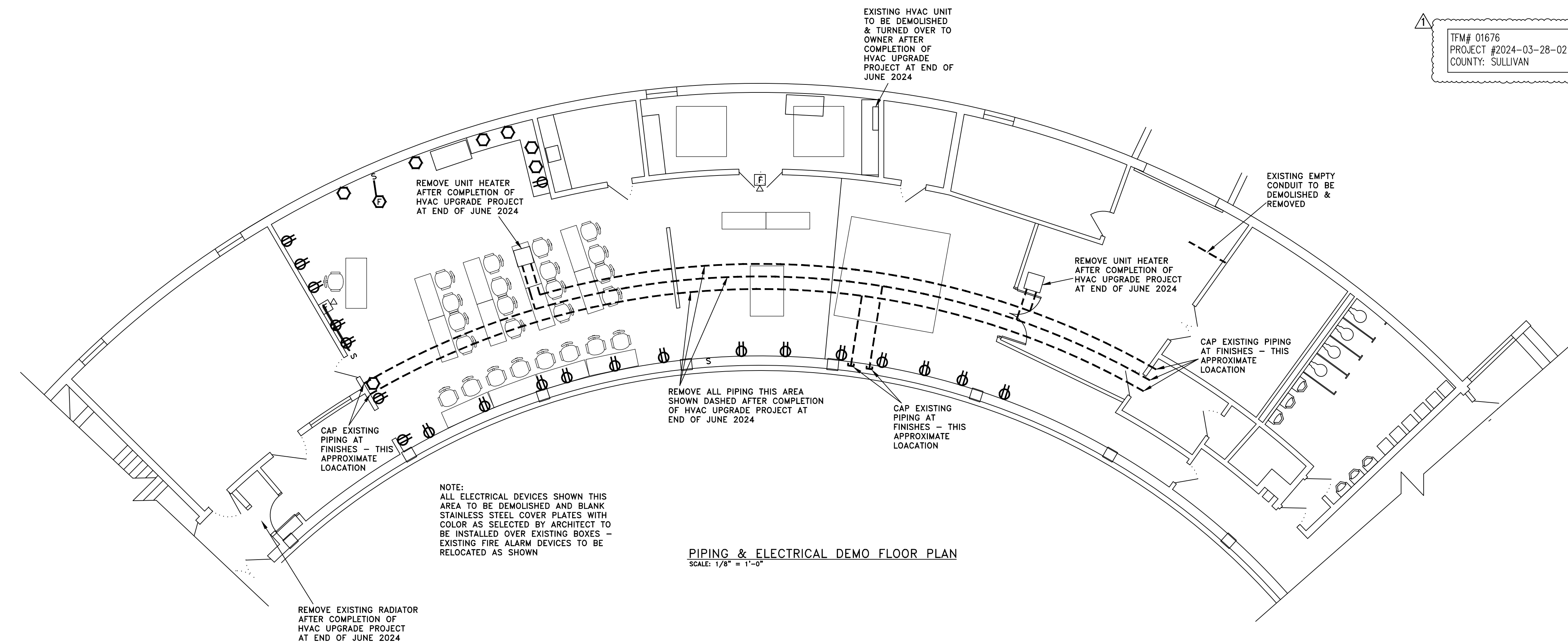
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TFM# 01676  
PROJECT #2024-03-28-02  
COUNTY: SULLIVAN



EXISTING MAIN DISTRIBUTION BOARD					COPPER			PHASE LOADING-KW		
DESC.	FEEDING	AMPS	POLES	FRAME	WIRE	GND	COND.	A	B	C
0	MAIN BREAKER	2,000	3							
1	EXISTING MDP	800	3		SEE RISER			177.5	177.5	177.5
2	IPBO - "P"	300	3					59.1	59.1	59.1
3	GUTTER FEED 1 - "G1"	225	3					66.8	66.8	54.3
4	GUTTER FEED 2 - "M"	400	3					75.1	72.9	72.4
5	GUTTER FEED 3 - "G2"	225	3					59.4	54.6	54.5
6	GUTTER FEED 4 - "E"	300	3					83.8	69.7	69.5
7	GUTTER FEED 5 - "S"	225	3					56.8	52.6	52.6
8	RTU - GYM (25-TON)	110	3	4#2		6	1-1/4"	26.6	26.6	26.6
9	RTU - GYM (25-TON)	110	3	4#2		6	1-1/4"	26.6	26.6	26.6
10	RTU - COMMONS (15-TON)	110	3	4#2		6	1-1/4"	28.1	28.1	28.1
11	RTU - OFFICE (10-TON)	100	3	4#3		8	1-1/4"	23.6	23.6	23.6
12	RTU - LIBRARY (10-TON)	100	3	4#3		8	1-1/4"	23.6	23.6	23.6
13	RTU - THEATER (10-TON)	100	3	4#3		8	1-1/4"	23.6	23.6	23.6
14	PACKAGED UNIT (Z)	80	3	3#4		8	1"	19.1	19.1	19.1
15	HP-1	35	3	3#8		10	3/4"	6.1	6.1	6.1
16	EXISTING PUMP	30	3	3#10		10	3/4"	2.0	2.0	2.0
17	STEM PANEL "A" XFMR	50	3	SEE RISER				5.2	5.1	5.5
18	SPACE	-	3	-				-	-	-
19	NEW CIRCUIT THIS PROJECT	-	3	-				-	-	-
20		-	3	-				-	-	-
TOTALS								751.2	727.8	724.1

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*[Signature]*  
4/17/24  
ELECTRICAL ENGINEER

*[Signature]*  
4/17/24  
MECHANICAL ENGINEER

**HE HOLSTON ENGINEERING, INC.**  
301 MONTGOMERY ST., SUITE #4, JOHNSON CITY, TN 37604 (423)926-5991 holston.engineering@holsteng.com

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PLOT DATE: 04/17/2024 HE PROJECT #24-402

issued April 03 2024  
checked JWR  
drawn TWH  
project no. 202395

DEMO FLOOR PLAN

**ME-1**



TFM# 01676  
PROJECT #2024-03-28-02  
COUNTY: SULLIVAN

### ELECTRICAL GENERAL PROVISIONS

**GENERAL:** The General Conditions and Supplemental General Conditions are part of this division. The Contractor shall and hereby agrees that he will read carefully all paragraphs and be bound by their conditions.

**WORK DESCRIPTION:** Provide all labor, equipment, material, (tools, services), etc. required to complete installation specified herein and/or shown or scheduled on the drawings. This section supplements all sections of this Division and shall apply to all phases of work hereinafter specified, shown on the drawings or required to provide a complete installation of systems shown. The specifications and drawings are complementary and are for the complete interpretation of the work. Unless noted or modified by specific notation to the contrary, the modification and/or description of any item in the documents carries with it the instruction to furnish, install and connect same. It shall be understood that the intent governs the work, regardless of whether or not this instruction is explicitly stated. No exclusion from, or limitation in the drawings or specifications, for the work shall be the reason for omitting the appurtenances or accessories necessary to complete any required system or item of equipment.

**SPECIAL CONDITIONS:** By the act of submitting a bid, this Contractor agrees that all of the "Contract Documents" in each of the Divisions of the complete specifications have been reviewed and studied and all requirements and coordination resulting therefrom are included in his proposal. The Contractor further acknowledges that he has visited the site to become familiar with existing conditions. In the Electrical Division, the word "Contractor" means the Electrical Contractor. The word "provide" means furnish, install and connect. Do not scale drawings having 1/4" or smaller scale. Because of small scale, it is not possible to indicate all offsets, fittings and accessories; provide such as are required for complete installation. The right is reserved to move any element as much as ten (10) feet at no increase in cost provided the Contractor is notified before work in question is started. The Contractors shall coordinate between trades responsible for determining and verifying the characteristics of electrical current available to operate all the mechanical and plumbing equipment prior to ordering such equipment.

**RELATED WORK SPECIFIED ELSEWHERE:** Foundations and pads required for equipment furnished under this Division of the Specifications are specified elsewhere. Field painting, except such painting as is required to maintain shop coat painting and factory finish painting are specified elsewhere. Flashing of conduits into roofing and outside walls are specified elsewhere.

**REGISTRATION:** Contractors and Sub-Contractors furnishing and installing work under the Electrical divisions of these specifications shall be registered in the State of Tennessee whether they are bound by legal contracts with the Owner of the project, with the General Contractor or another Sub-Contractor.

**CODES AND STANDARDS:** The intent is that the complete installation shall comply with applicable laws and ordinances, utility company regulations, and applicable requirements of the latest editions of the following:

1. IBC: International Building Code.
2. NFPA: National Fire Protection Association.
3. FM: Association of Factory Mutual Fire Insurance Company.
4. ASTM: American Society of Testing Materials.
5. UL: Underwriters Laboratories.
6. NEC: National Electrical Code.
7. NEMA: National Electrical Manufacturers' Association.
8. ANSI: American National Standard Institute.
9. ADA: Americans with Disabilities Act.
10. NESC: National Electrical Safety Code.
11. OSHA: Occupational Safety and Health Act.

Where the contract documents exceed minimum requirements, the contract documents take precedence. Comply with all requirements for permits, licenses, fees and codes. Permits, licenses, fees, inspections and arrangements required for the work under this contract shall be obtained at the completion of the work unless otherwise specified. Comply with the requirements of the applicable utility companies serving this work. Make all arrangements with the utility companies for proper coordination of the work. Pay all charges required by the utility.

**COORDINATION OF WORK:** Plan all work so that it proceeds with a minimum of interference with other trades. Inform all parties concerned of the openings required for equipment or conduit in the building construction for work and provide all special frames, sleeves, inserts, supports, anchor bolts, etc. as required. Coordinate the work with all tradesmen. Conceal all work where possible. All work shall be installed as neatly as possible in the locations shown but shall be subject to such deviations, modifications and relocations as may be necessary to conform to the requirements of the architectural drawings and as necessary to avoid interferences with the structural work and the work of other trades, and interferences between the various trades. This shall be done at no cost to the Owner. No work or equipment shall be installed which would require ceilings to be lower than required by drawings, unless approval is obtained from the Architect. It is the responsibility of the General Contractor to coordinate the work of his subcontractors. To this end, the General Contractor shall require that the various subcontractors carefully examine and familiarize themselves with the architectural and structural drawings and drawings covering all other trades so that the work may be coordinated. If necessary to coordinate and expedite the work, the Contractor shall prepare "interference drawings" and submit them to the Architect for approval. Such drawings shall show the work of the various trades involved, illustrate proposed details of construction and arrangement of equipment and apparatus, and clearly indicate any deviations from contract requirements.

**EXECUTION OF THE WORK:** Prior to installation, submit certified prints and/or descriptive brochures for all major electrical and mechanical pieces of equipment, fixtures, materials, etc. Submittals shall show manufacturer's catalog number, finishes, optional features and modifications. When work in accordance with manufacturer's recommendation is specified, a copy of recommendations will be kept in the job office. Reference shall be made to drawing schedules and details for manufacturer, model, catalog number, size, capacity, performance, installation, etc. of equipment, fixtures and materials. Equipment of manufacturers other than those named will be acceptable provided, in the opinion of the Engineer, it is of equal substance, function, performance and appearance.

**CHOICE OF MATERIALS AND EQUIPMENT:** In submitting substitutions, bidders should note the following minimum considerations:

1. Capacities shown are absolute minimum and must be equaled.
2. Physical size limitations for space allotted.
3. Structural properties.
4. Static and dynamic weight limitation.
5. Noise level.
6. Interchange ability.
7. Vibration generation.
8. Accessibility for maintenance and replacement.
9. Compatibility with other materials, assemblies and equipment.
10. Similar items shall be same manufacturer and style, etc. except where specifically exempted.

All material and equipment, for which a UL Standard, a NEMA Standard, an AGA approval, or an ASME requirement is established, shall be so approved and labeled or stamped. Label or stamp shall be conspicuous and not covered, painted or otherwise obscured from visual inspection. Adhesives are not acceptable as a mounting, supporting, or assembling technique. The Contractor shall pay any costs added to the total contract as a result of any substitutions. Equipment, etc. shall not be purchased without the Engineer's written approval (shop drawings).

**EXISTING SERVICES:** No service shall be interrupted without permission of the Owner. When encountered in work, protect existing active: sewer, water, gas, electric, other utility services; structures: when required for proper execution of work, relocate them as directed. If existing active services are not indicated, request Engineer for instructions. When encountered in work, whether or not indicated, cap or plug or otherwise discontinue existing inactive: sewer, water, gas, electric, other utility services, structures which interfere with work execution. Notify the Engineer of action taken. If removal is required, request instructions.

**DRAWINGS:** Drawings are diagrammatic. The Contractor shall install the work in such manner that the equipment, piping, vents, conduit, panels, ductwork, etc. will fit in space provided, maintain head room, and if in finished areas, be neatly installed and as "out-of-the-way" as physically possible. All equipment, piping, ductwork, conduits, etc., shall be installed to provide needed maintenance and passage space.

**FEES:** The Contractor shall pay for fees and inspections as may be required for electric, H.V.A.C., plumbing, etc. and all other systems requiring inspections by agencies having jurisdiction.

**COMPLETION ITEMS:** Provide all labor, equipment, materials, etc. required to complete installation specified herein and/or shown on the scheduled drawings.

**EQUIPMENT OPERATION:** This Division is responsible for: proper rotation, observing that lubricating has been properly performed, motors operate within nameplate limits, overload heater elements properly sized, and reporting observed discrepancies to the Engineer. Operate all motors for at least one hour. At the end of this hour's run, check for motor temperature. On equipment furnished by other sections, if lubricating is not correct, or if motors do not operate within proper limits, this Division is responsible for notifying the General Contractor as to the deficiencies and for leaving the piece of equipment involved in a locked "off" condition.

**OPERATING INSTRUCTIONS:** Furnish to the Owner written operating and maintenance instructions for each system and each piece of equipment. Include in the equipment data binder specified above, instructions to start and stop each piece of equipment, itemized maintenance schedule and submittals. When systems are completely adjusted, furnish personnel for one full day to instruct the Owner's operators.

**CUTTING AND PATCHING:** All cutting of surfaces will be by the General Contractor except for minor cutting for piping, conduit, etc. which shall be accomplished by these contractors. All major patching back will be by the General Contractor. Minor patching for piping, etc. shall be by these contractors. It will be the contractor's responsibility to advise the General Contractor of all locations and to size all openings. The contractors shall coordinate with the General Contractor for the best routing of piping and ductwork to clear existing construction. The contractors shall provide sleeves where required. The contractors shall coordinate with the General Contractor prior to bid and advise the General Contractor of anticipated requirements for cutting and patching so that the General Contractor may include these in his bid.

**GUARANTEE AND WARRANTY:** Provide all labor, equipment, material, etc. required to complete installation specified herein and/or shown or scheduled on the drawings. Each piece of equipment shall meet performance specifications after one (1) year actual operation. The Contractor shall replace or make good any defect due to faulty workmanship or material which shall develop within one (1) year from date of acceptance. This guaranty shall cover both materials and labor. For the first year after final acceptance, the Contractor shall provide, at no cost to the Owner, any required maintenance and service necessary to assure the proper operation of the system. Date of acceptance shall be that date on which the contract has been satisfactorily completed in accord with contract documents and verified by the Engineer. If a whole or partial system, or equipment, is put into use for benefit of any party, other than the Contractor, and with prior written permission of the Owner, this agreed date shall become the "date of acceptance".

END OF SECTION

### MECHANICAL & PLUMBING PROVISIONS

See plans for mechanical & plumbing requirements.

END OF SECTION

### ELECTRICAL PROVISIONS

**RELATED DOCUMENTS:** Drawings and General Provisions of Contract, including General Conditions and Division I General Requirement Sections, apply to work of this section.

**DESCRIPTION OF WORK:** Furnish and install all labor, materials, and equipment shown on the drawings and specified herein, including all items and specifications required, whether specified or not, for complete working systems. In general, the Electrical Work consists of the following:

1. Secondary distribution with connections as detailed.
2. Wiring and equipment for power, together with lighting fixtures and devices.
3. Wiring and connecting equipment of other trades.

**SECONDARY WIRE AND CABLE:** Except as noted, install minimum #12 AWG 600-volt copper Type THHN/THWN or as noted on the drawings. Install solid conductors for #10 size and smaller. #8 and larger shall be stranded copper. Although not necessarily shown, provide complete "green" ground throughout bonded and grounded as per NEC.

**RACEWAYS:** Install conduit, wireways and surface metal raceways of malleable steel material and with electric or hot dip galvanized or rust resistant finish. Use no aluminum conduit unless otherwise specified. Conceal all raceways where possible. Install liquid-tight "Greenfield" with grounding conductors in outdoor, or wet locations and of all motor connections and other points subject to vibration. Install rigid conduit with threaded fittings as required by the National Electrical Code on service conduits to above the building floor line or as noted. All conduit in any hazardous/classified area shall be rigid & have seal offs installed per NEC. Other conduit runs may be electrofused tubing with malleable steel compression or set screw type connectors. Bushings for conduit 2" and smaller shall be plastic. Bushings for conduit 2-1/2" and larger shall be equal to Applent Efor Series 55 or O2 type "B" with metal ring and insulator as an integral part of the bushing.

**BOXES, CABINETS, SUPPORTS AND SPECIALTIES:** Install of galvanized malleable steel alloy. Install cabinets with gray baked finish on exposed surfaces and removable trim with hinged doors and flush locks, all keyed alike. Install boxes underground, for exterior outlets and as required by the National Electrical Code with threaded cast hubs and gasketed covers attached with screws. Pressure boxes will not be allowed. Unless noted otherwise, install other switches, receptacles, and lighting outlets of pressed steel box with proper cover and size and with ears and studs where required. Ceiling outlet boxes shall be minimum 4" octagon 2-1/8" deep and with extension rings where additional volume is required. Single gang wall boxes shall be minimum 4" high X 2-1/8" wide X 2-1/8" deep except boxes in masonry shall be 2-1/2" deep. Boxes shall be equal to Steel City, Applent or Raco. Use solid gang box for two gangs or more.

**LIGHTING FIXTURES:** Install according to schedule and complete with lamps and any hangers, plaster frames and other accessories. Verify ceiling systems for recessed fixture trim. Ceiling system suspension shall not be used for Luminaire suspension. All Luminaires shall be independently hung by wire or other approved means./ Guarantee electronic's replacement for 12 months after final acceptance of project. Support all lay-in type fixtures from structure above with wire hangers. LED luminaires shall meet or exceed IES LM-79, IES LM-80, and IES TM-21.

**PANELBOARD & BREAKERS:** Install safety dead front breaker type, surface mounting as required and shown. All breakers quick-make and quick-break with trip free handles, thermal-magnetic trip. Two/Three pole breakers shall have a common trip. All breakers ambient compensated and all interiors with integrated capacity bussing. All branch breaker handles shall operate in the same plane. Furnish all "spare" breakers. See the plans for schedules indicating number of branch circuits, ratings, arrangements, etc. Provide neutral bars for all system feeders isolated from the panel box. Provide separate "ground" bars installed with lugs or connectors on the bar grounded to the panel box. Bus bars shall be of sequence phase type arranged for the specified service. All circuits shown as common neutral shall be installed as per N.E.C. Where relays, time clocks or contactors are called for, provide panelboard with oversized can for installation. Separate cans adjacent to the panelboard, and mounted same as the panelboard, are acceptable.

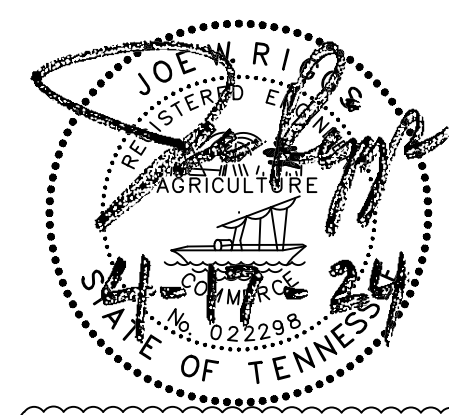
**SAFETY SWITCHES:** Install safety switches of heavy duty rating, and with dual element, time lag, cartridge type fuses. Except as noted, install all units with heavy duty enclosures inside or NEMA 4X outside. Furnish owner with 1 set of "spare" fuses in addition to all required fuses.

**INSTALLATION:** Install gear with operating handles maximum 8-feet from floor and trims in line. Provide typed directory for panelboard and engraved laminated plastic labels for switches and main service breakers. Install raceways parallel or perpendicular to building members. Close conduit runs during construction. Apply waterproofing compound to joints in rigid conduit runs. Install fittings and supports of some material and finish as conduit. Support raceways with brackets, hangers, or other approved devices. Use no perforated strap or wire hangers. Install pull boxes or points for maximum 200' run and 3 quarter bends in wiring conduit runs and 100' of run and 2 quarter bends in signal and communications conduit runs. Install long sweep elbows in signal and communications conduit runs. Use expansion fittings for crossing building expansion joints. Except for terminations in threaded hubs, lock conduit in place with proper fittings and install bushing. Leave bare copper pull wires in all empty conduit runs. Bond and ground all systems in accordance with N.E.C. As required or as shown on plans, install boxes and devices on surface or flush with building finish, with units rigidly fastened in place properly aligned. Box extensions may be used. Verify door swings prior to roughing for lighting switches. Install a plate for all devices, except data, phone, and computer boxes. These will be owner provided. Plates to be in continuous contact with building finish and not to support box. Pull wire only after areas are cleaned and pull with proper lubricants and continuous between boxes without splices. Make up splices in Wire #10 or smaller with Ideal "Wing Nuts" and in larger wire with approved mechanical connectors and tape. After installation, megger electrical work for grounds and shorts and correct as required. Color code conductors as directed by Owner.

- TESTING:** In conjunction with his work, the Contractor shall do the following:
1. Check outlets for proper polarity and correct as required.
  2. Megger all motor and solenoid windings before connection for insulation resistance and record readings. If found low, advise supplier so that steps may be taken to dry insulation or otherwise raise insulation resistance to an acceptable value.
  3. Check running currents of all motors and if there is any major unbalance or variation from rated, determine the cause.

END OF SECTION

### END OF ELECTRICAL PROVISIONS



ELECTRICAL ENGINEER

MECHANICAL ENGINEER

**HE HOLSTON ENGINEERING, INC.**  
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PLOT DATE: 04/17/2024 HE PROJECT #24-402

S.T.E.M. Classroom Renovation for:  
**SULLIVAN CENTRAL MIDDLE SCHOOL**  
Blountville, TN

**Cain Rash West**

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no.	date	rev. description
1	04-17-24	STATE REVIEW

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drawn	TWH
project no.	202395

MECHANICAL, PLUMBING, & ELECTRICAL SPECIFICATIONS

**MPE-1**