

ADDENDUM NO. 1

Hamilton County Department of Education
Dalewood Middle School Re-Roofing (Phase 1)
Derthick Henley & Wilkerson Architects

Date: January 12, 2023
HCDE Bid No. 23-15
DHW Project No. 82211-B

The following amendments to the specifications and/or revisions to the drawings shall be a part of the contract documents. Bidders, therefore, shall consider them when preparing cost estimates, and the contractors shall be bound by them.

GENERAL ITEMS & CLARIFICATIONS:

1. The Sign in sheet for the Mandatory Pre-Bid Conference is attached.
2. The Contingency Allowance of \$25,000 and the Abatement Allowance of \$13,000 are to be included in the BASE BID.
3. All materials required for the execution of the work in this Contract are to be purchased by the Contractor and not by the Hamilton County Department of Education (HCDE). Therefore, HCDE's tax exempt status does not apply to the work of this Contract.
4. Material sampling & testing included in Unit Price No. 1 pertains to determining the structural & physical properties (compressive strength & density) of the existing lightweight concrete topping. These properties will be used to select a Type III high-early strength mix design for the 'new' lightweight concrete topping. Mix design is to be submitted to the Architect for approval. Construction testing of the 'new' lightweight concrete is not required.

SPECIFICATIONS:

00 01 15 ~ List of Drawing Sheets

Section issued as part of this Addendum (see attached).

01 23 00 ~ Alternates

Revised Section issued as part of this Addendum (see attached).

01 50 00 ~ Temporary Facilities and Controls

A 'Field Office' is not required, delete all reference to 'Field Office' from this section.

07 42 13 ~ Metal Wall Panels

Revise 2.01 - B. - 5. as follows:

5. *Color - As selected by Architect from manufacturer's fluoropolymer line. Selection will be based on one of the following 'basis of design' colors:*
 - a. *Stone White*
 - b. *Granite*
 - c. *Sandstone*
 - d. *Musket Gray*
 - e. *City Scape*

07 52 00 ~ Modified Bituminous Membrane Roofing

Revise 1.06 - B. as follows:

- B. *Installer Qualifications: Company specializing in performing the work of this section with a minimum of ten years' experience installing the specified roof systems. The use of Labor Only Subcontractors for all roofing scope is prohibited. Roof installers shall be direct employees of the Prime Roofing Contractor and properly trained for the systems*

being installed. Upon the Architect's request, the Prime Roofing Contractor shall submit payroll records & training certifications as proof that laborers being used are direct employees of the Prime Roofing Contractor and properly trained for the systems being installed.

09 51 00 ~ Acoustical Ceilings

Delete this section as it is outside the scope of this project.

DRAWINGS:

G000 ~ Cover Sheet

Sheet with clouded revisions issued as part of this Addendum.

A100 ~ Roof Plan

Sheet with clouded revisions issued as part of this Addendum.

A300 ~ Roof Details

Sheet with clouded revisions issued as part of this Addendum.

A300 ~ Soffit Plans & Details

Sheet with clouded revisions issued as part of this Addendum.

End of Addendum No. 1

SECTION 00 01 15
LIST OF DRAWING SHEETS

HAMILTON COUNTY DEPARTMENT OF EDUCATION
Dalewood Middle School Re-Roofing (Phase 1)

General

G000 Cover Sheet

Architecture

A100 Roof Plan

A300 Roof Details

A301 Roof Details

A302 Soffit Plans & Details

SECTION 01 23 00

ALTERNATES

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Description of Alternates.

1.02 ACCEPTANCE OF ALTERNATES

- A. Alternates quoted on Bid Forms will be reviewed and accepted or rejected at Owner's option. Accepted Alternates will be identified in the Owner-Contractor Agreement.
- B. Coordinate related work and modify surrounding work to integrate the Work of each Alternate.

1.03 SCHEDULE OF ALTERNATES-SEE SHEET G000 FOR GRAPHIC ILLUSTRATION OF ROOF AREAS NOTED BELOW.

- A. **Additive Alternate 1** - Roof Area A - Remove existing roofing and reroof Area A, including fascia, flashings and detailing to complete work Scope in this Area, inclusive of a \$5,400.00 allowance for removal of asbestos by HCDE Abatement Contractor.
- B. **Additive Alternate 2** - Roof Area B - Remove existing roofing and reroof Area A, including fascia, flashings and detailing to complete work Scope in this Area, inclusive of a \$8,100.00 allowance for removal of asbestos by HCDE Abatement Contractor.
- C. **Additive Alternate 3** - Roof Area C - Remove existing roofing and reroof Area A, including fascia, flashings and detailing to complete work Scope in this Area, inclusive of a \$8,100.00 allowance for removal of asbestos by HCDE Abatement Contractor.
- D. **Additive Alternate 4** - Roof Area D - Remove existing roofing and reroof Area A, including fascia, flashings and detailing to complete work Scope in this Area, inclusive of a \$5,400.00 allowance for removal of asbestos by HCDE Abatement Contractor.
- E. **Additive Alternate 5** - Upgrade Roof Warranty to 30-year roof system & warranty for Roof Areas G, F and H (Base Bid Areas).
- F. **Additive Alternate 6** - Upgrade Roof Warranty to 30-year roof system & warranty for Roof Area A (Acceptance of Additive Alternate 6 is contingent upon acceptance of Additive Alternate 1).
- G. **Additive Alternate 7** - Upgrade Roof Warranty to 30-year roof system & warranty for Roof Area B (Acceptance of Additive Alternate 7 is contingent upon acceptance of Additive Alternate 2).
- H. **Additive Alternate 8** - Upgrade Roof Warranty to 30-year roof system & warranty for Roof Area C (Acceptance of Additive Alternate 8 is contingent upon acceptance of Additive Alternate 3).
- I. **Additive Alternate 9** - Upgrade Roof Warranty to 30-year roof system & warranty for Roof Area D (Acceptance of Additive Alternate 9 is contingent upon acceptance of Additive Alternate 4).

PART 2 PRODUCTS - NOT USED

PART 3 EXECUTION - NOT USED

END OF SECTION

Dalewood Middle School Roof Replacement (Phase 1)

1300 Shallowford Road

Chattanooga, Tennessee 37411

Derthick, Henley & Wilkerson Architects

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Chattanooga, Tennessee 37402

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DH&W

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1001 Carter Street - Chattanooga - 37402
423 | 266 | 4816 www.dhw-architects.com



HCDE BID 23-15

Dalewood Middle School Roof Replacement (Phase 1)

1300 Shallowford Road
Chattanooga,
Tennessee 37411

November 15, 2022
Drawn: Oakley
File: 82211-B

Revisions
Addendum No. 1 01/12/2023



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BID ISSUE

Title:
Cover Sheet

Scale:
Sheet No.

G000

GENERAL ROOF REPLACEMENT NOTES

- Contractor shall field verify all dimensions, elevations, and locations of existing conditions affecting this project, prior to fabrication or installation of new work. Notify architect of any discrepancies from dimensions shown, noted, or required. Adjust dimensions of new construction at direction of architect to allow for actual field conditions.
- Where a detail is shown or note is described for one condition, it shall apply for all like or similar conditions even though not specifically noted on the drawings.
- Provide continuous separation between dissimilar materials as required to prevent galvanic corrosion.
- Extend duct work as required for connection of roof top equipment scheduled to be removed and reinstalled on new taller curbs. Duct extensions to match size & materials of existing. Field verify ducts sizes and locations requiring modifications.
- Extend wiring as required for connection of roof top equipment scheduled to be removed and reinstalled on new taller curbs. Electrical extension wiring to match sizes & materials of existing (unless prescribed as otherwise by applicable codes). Provide code compliant junction boxes at all electrical connections. Field verify existing wiring configurations and locations requiring modifications.
- Extend plumbing vents pipes (VTR's) as required to maintain 8" min. above the adjacent finished roof surface. Extension pipes shall be of schedule 80 PVC with same diameter as existing pipe. Pipe connections shall be watertight & consist of no hub couplings (reeprene with stainless steel clamp rings & rigid stainless steel shield). Existing pipes shall be modified so that new connections occur below the pipe boot. Field verify pipe sizes and locations requiring modifications.
- Provide new galvanized cast iron roof drain baskets at each existing roof drain. Field coordinate compatible manufacturers, configurations, and sizes required.
- Existing roof drains and compression rings are to be cleaned per SSPC-SP2 - Hand Tool Cleaning. After cleaning apply one coat oil/alkyd enamel primer & two coats oil/alkyd enamel paint.
- Protect VTR from demo & roof replacement debris by securing 1/4" mesh x 23 gauge hardware cloth across top of plumbing vent pipes. Remove hardware cloth at Substantial Completion.
- Existing roof top equipment is to be removed and reinstalled on new equipment curbs as specified. Reconnect & recommission units once reinstalled.
- All edge metal to be ANSI-SPRI ES-1 tested and approved.
- All roof copings to be ANSI-SPRI ES-1 tested and approved with factory mitered, welded, & finished corners.
- All wood blocking to be kiln dried after preservative treatment (KDAT) installed to meet 200 lbs. per linear foot applied in any direction per FM1-49 and ANSI-SPRI ES-1.
- Where work or access to work areas occur over new and existing roofing, provide minimum roof protection consisting of loose laid 5/8" plywood sheathing over loose laid 3/4" XPS insulation boards over 6 mil polyethylene.
- Replace all liquid-tight flexible metal conduit (LFMC) with new LFMC and weathertight j-box assemblies. Provide drip loop so that LFMC slopes down & away from connection points.

CONTACTS

DERTHICK, HENLEY AND WILKERSON, ARCHITECTS
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Email: doakley@dhw-architects.com
Phone: 423-266-4816

SHEET LIST

Sheet Number	Sheet Name	Current Revision Description	Current Revision Date
General			
G000	Cover Sheet	Addendum No. 1	01/12/2023
Architecture			
A100	Roof Plan	Addendum No. 1	01/12/2023
A300	Roof Details	Addendum No. 1	01/12/2023
A301	Roof Details	Addendum No. 1	01/12/2023
A302	Soffit Plans & Details	Addendum No. 1	01/12/2023

PROJECT SUMMARY

This project consist of: full tear-off and replacement of Roof Areas F, G, and H; installation of metal wall panel at existing above roof masonry walls adjoining Roof Areas F & H; and resealing the existing eave/soffit system below Roof Area G. Scope also includes: mechanical curb replacement; gas piping replacement; abatement/replacement of the soffit panels; infill of the existing light well; removal of abandoned roof top equipment; and infill of unused roof openings. Roof replacement & soffit work at Roof Areas A, B, C, & D is to be priced as Additive Alternates. All metal wall panel work shown in to be included in the Base Bid

GAS PIPING REPLACEMENT NOTES

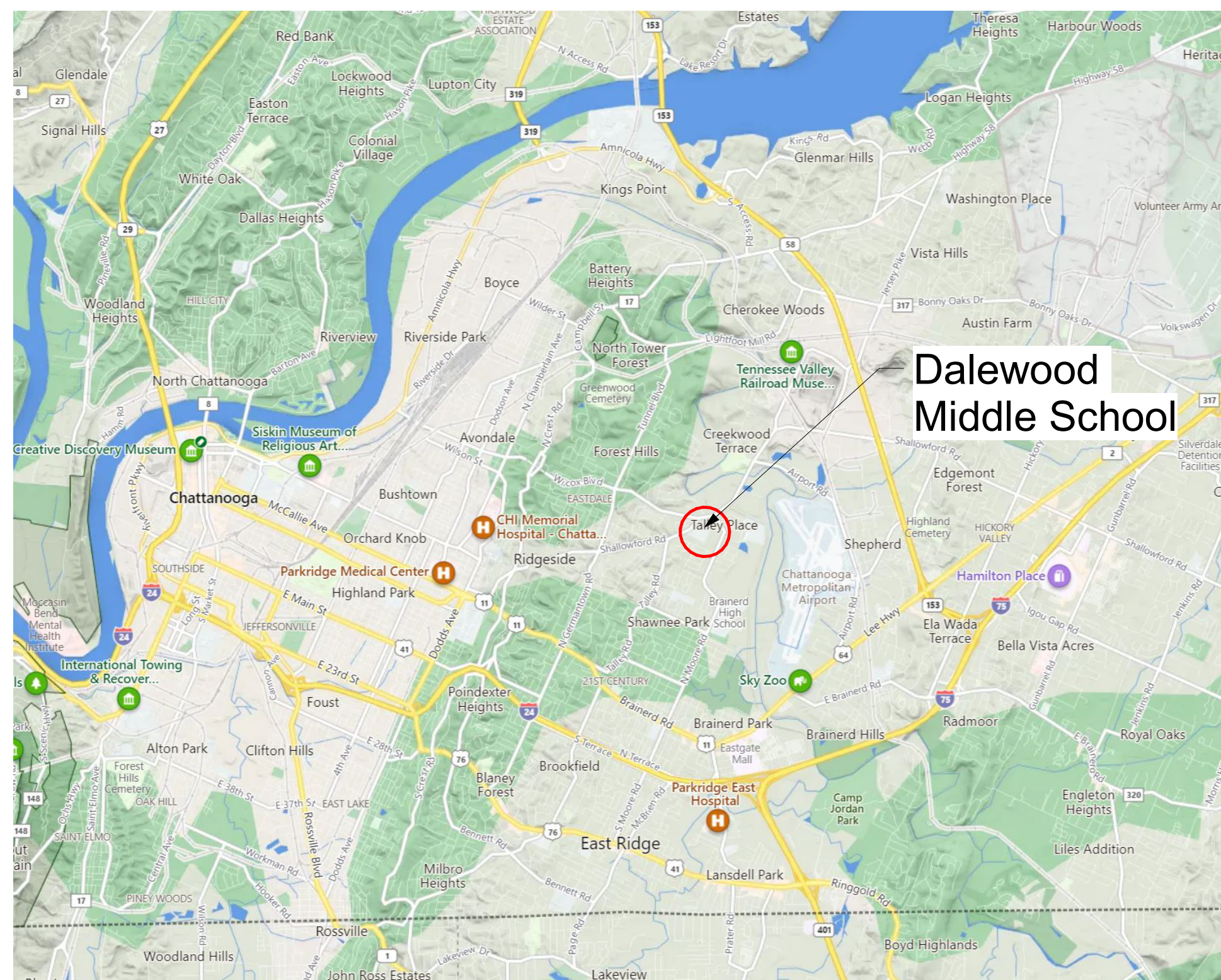
- Mechanical equipment is shown for reference only. Refer to field conditions for exact locations.
- Coordinate pipe routing with existing equipment and confirm all pipe sizes prior to purchase/fabrication.
- All existing fixtures/equipment not being removed under this contract shall remain in operation.
- Coordinate utility interruptions with owner a minimum of 72 hours before interruption.
- Gas piping sized for 2 PSI delivered gas pressure with a pressure drop of 1.0 PSIG. 0.6 specific gravity and schedule 40 pipe; notify designer if that gas pressure cannot be delivered. Provide new regulators and other fittings if required to match equipment to delivered gas pressure. Every regulator installed inside the building shall be equipped with leak-limiting devices. Prior to installation, contractor shall determine the delivered pressure at the site and compare with the design pressure of the proposed system. Advise designer if resizing of pipes is necessary. Provide regulators if required.
- Provide gas cock, drip leg, regulator, and dielectric union at each unit where pipe is being replaced. See detail.
- Gas service connection locations shown are based on the best available information. Gas contractor shall confirm the gas service connection location with the gas provider prior to construction. Contractor shall determine the delivered pressure at the site and compare with the design pressure of the proposed system. Advise designer if resizing of pipes is necessary. Provide regulators if required.
- Portions of fuel gas piping installed in concealed locations shall not have unions, tubing fittings, right and left couplings, bushings, compression couplings and swing joints made by combinations of fittings or otherwise the fuel gas piping must be sleeved and the sleeve must vent to atmosphere. Venting of the sleeve shall be accomplished to prevent the entrance of water, vermin, and insects.
- All fuel gas piping installed outdoors shall be elevated not less than 3 1/2" above ground and where installed across roof surfaces, shall be elevated not less than 3 1/2" above the roof surface.
- Gas piping to be cleaned per SSPC-SP2 - Hand Tool Cleaning. After cleaning apply one coat oil/alkyd enamel primer & two coats oil/alkyd enamel paint (Safety Yellow).
- The contractor shall furnish all labor, obtain all required permits, inspections, and pay all fees required, install all material and equipment and include services and incidentals to the installation of work involved for a complete and operating facility.

GENERAL NOTES

- Contractor shall field verify all dimensions, elevations, and locations of existing conditions affecting this project, prior to fabrication or installation of new work. Notify architect of any discrepancies from dimensions shown, noted, or required. Adjust dimensions of new construction at direction of architect to allow for actual field conditions.
 - Drawings are based on Owner provided record drawings from 1962, selective roof cores, and casual field observations. Actual quantities and dimensions may vary and are to be field verified by the Contractor prior to bid submission.
 - Where a detail is shown or note is described for one condition, it shall apply for all like or similar conditions even though not specifically noted on the drawings.
 - Provide continuous separation between dissimilar materials as required to prevent galvanic corrosion.
 - At Contractor's Option:** Soffit Panels similar to the Metal Wall Panels specified in Section 07 42 13 & Metal Fascia & Trim as specified in Section 07 62 03 are acceptable substitutions for the Fiberglass Soffits, Fascia, & Trim specified in Section 07 46 46 & as detailed on Sheet A302. If the Metal Panel, Fascia, & Trim option is chosen by the Contractor, details will be confirmed during the submittal review process without change to the Contract Sum. Regardless of the chosen option, the wood framing & blocking are to be installed as shown.
- Note: Detailing shown within these documents is specific to 20 Year Warranty.
Additive Alternates include 30 year warranty.
Contractor to submit Roof Manufacturer's detailing for 30 year Warranty if Alternates are Accepted by Owner.

CODE SUMMARY

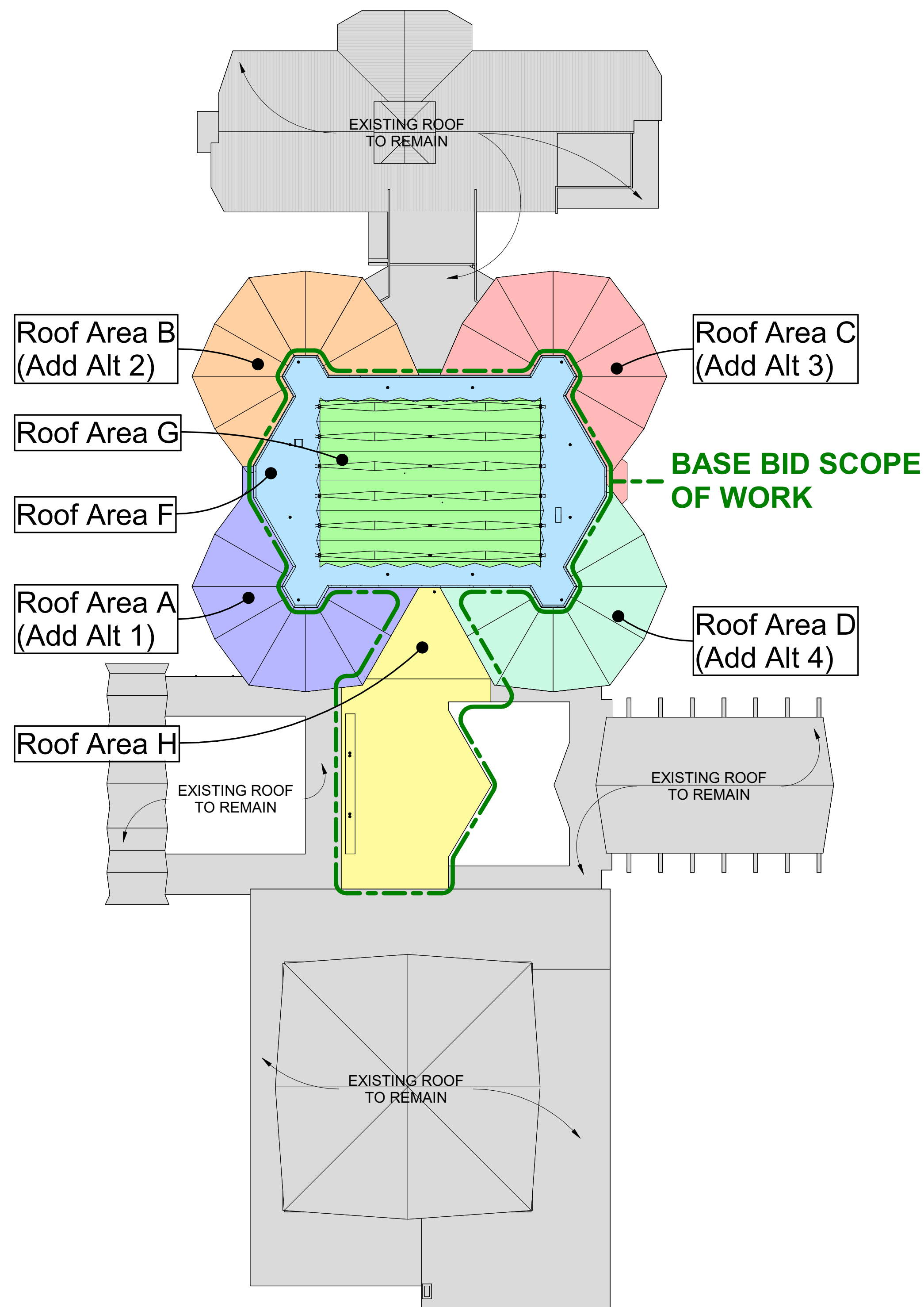
Code Analysis
Applicable Codes:
2012 International Building Code
2012 International Plumbing Code
2012 International Mechanical Code
2012 International Fuel Code
2012 International Fire Code
2011 National Electrical Code
2009 International Energy Conservation Code
2009 ANSI (National Standard) Accessibility Code
Climate Zone 4A
Occupancy Type:
Occupancy Group E



Location Map of Dalewood Middle School



Aerial View of Dalewood Middle School



Project Area Key Plan
1
G000 1" = 40'-0"

Roof Plan Legend

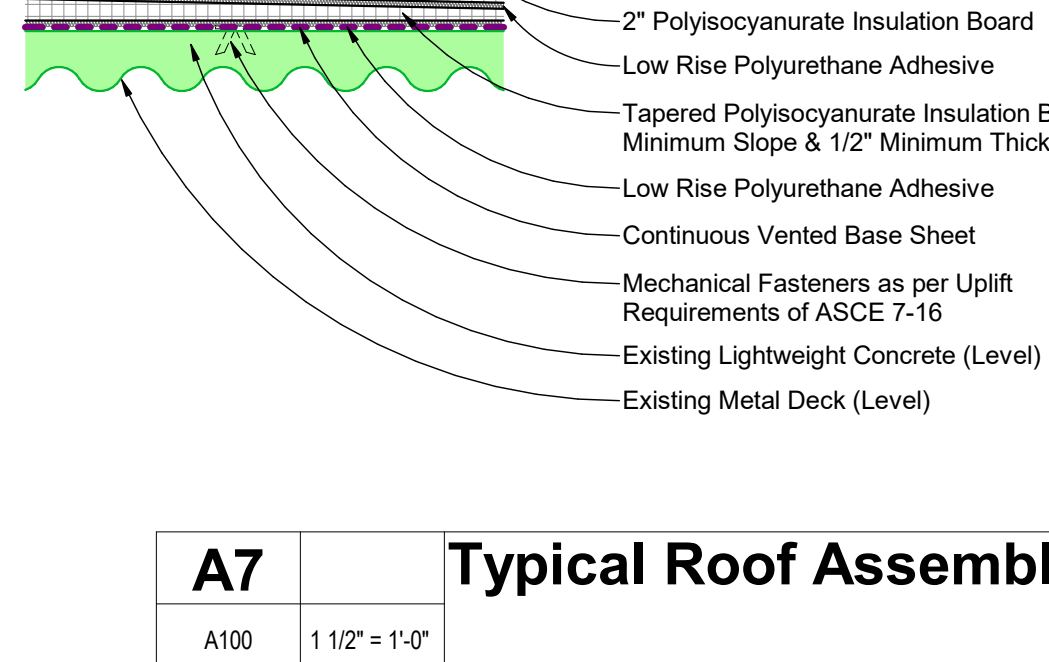
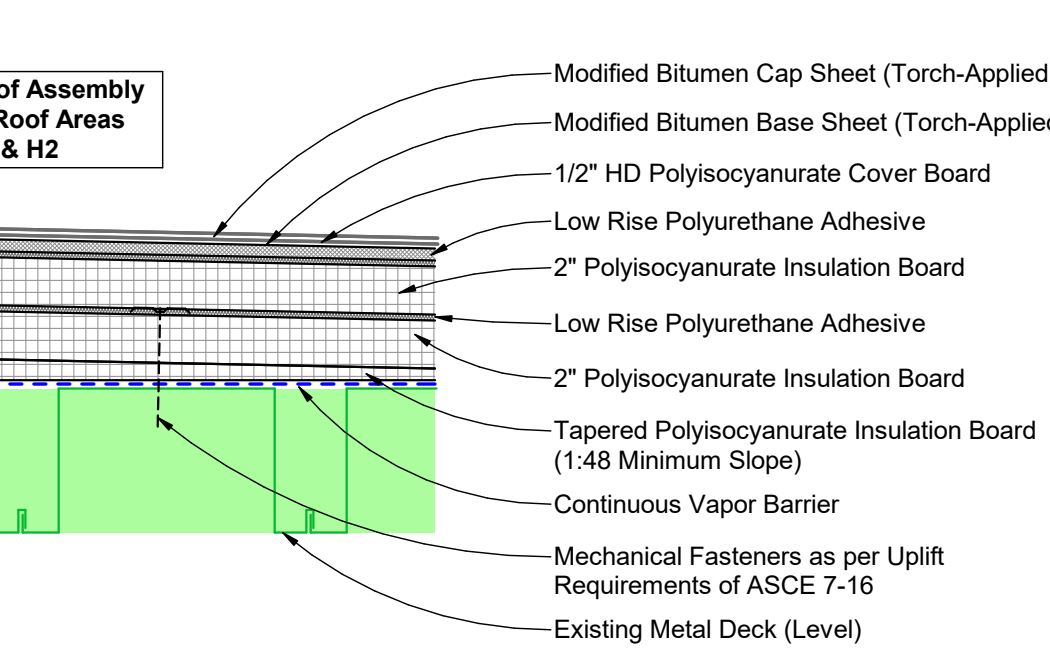
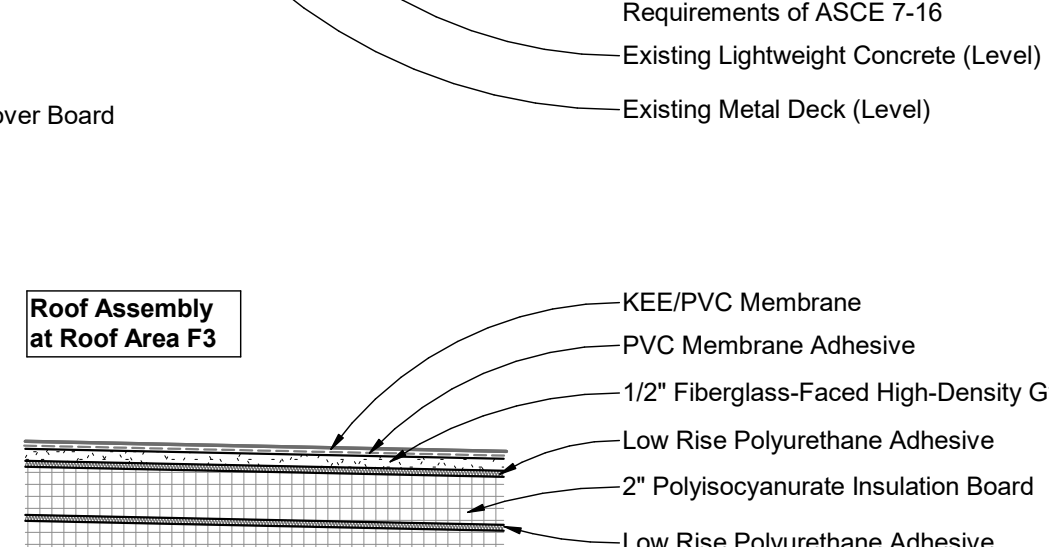
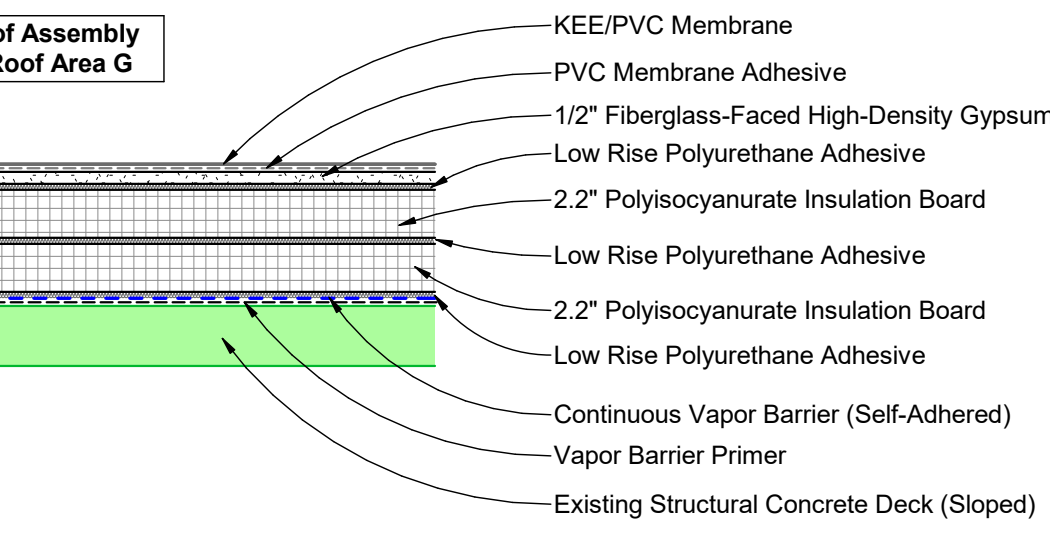
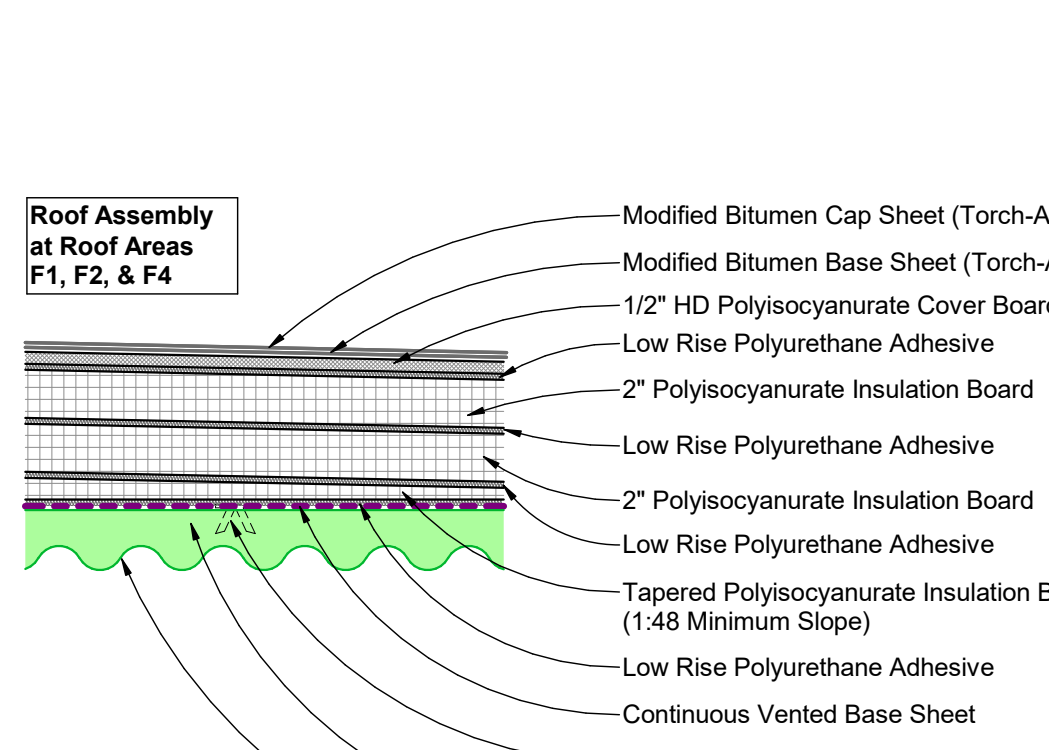
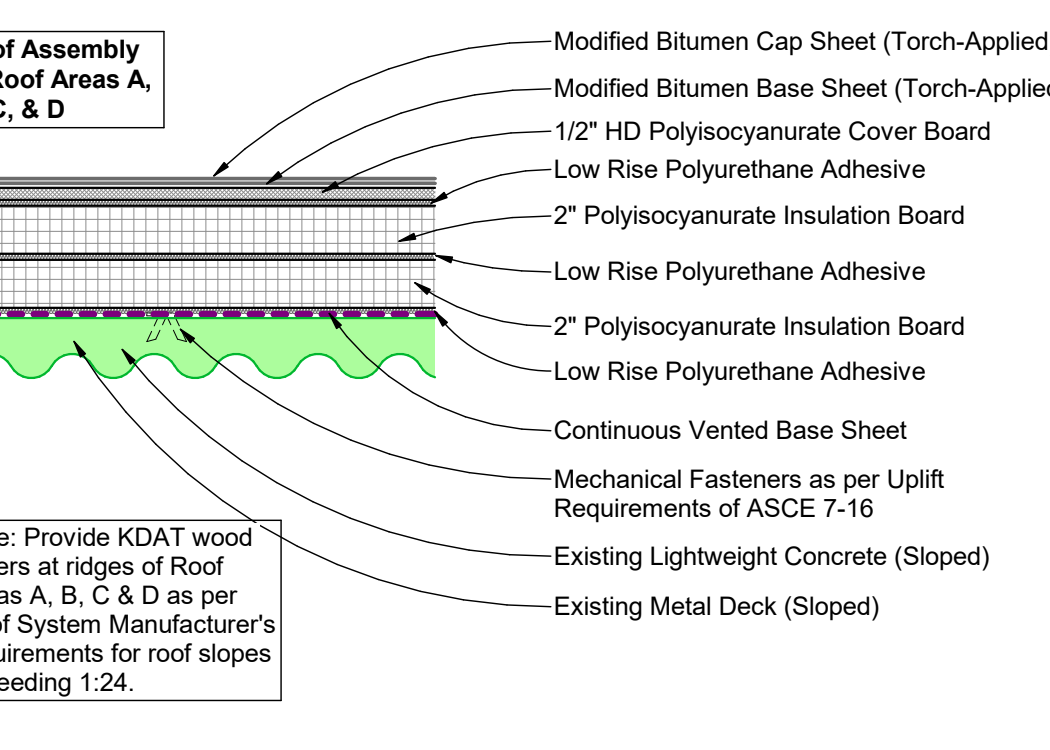
- RC-1: Modified Bitumen, 1" Perlite, 2 1/2" Wood Fiber Board, Vapor Barrier (Sloped), Concrete Deck (Sloped)
- RC-2: Modified Bitumen, 1" Perlite, 2" Expanded Polystyrene, Vapor Barrier, 2 1/2" Lightweight Concrete (No Slope), Metal Deck (No Slope)
- RC-3: Modified Bitumen, 1" Perlite, 2" Expanded Polystyrene, Vapor Barrier, 2 1/2" Lightweight Concrete (No Slope), Metal Deck (No Slope)
- RC-4: Modified Bitumen, 1" Perlite, 2" Expanded Polystyrene, Vapor Barrier, 2 1/2" Lightweight Concrete (No Slope), Metal Deck (No Slope)
- RC-5: Modified Bitumen, 1" Perlite, 2" Expanded Polystyrene, Vapor Barrier, 2 1/2" Lightweight Concrete (No Slope), Metal Deck (No Slope)
- RC-6: Modified Bitumen, 1" Perlite, 2" Expanded Polystyrene, Vapor Barrier, 2 1/2" Wood Fiber Board, Vapor Barrier, 6" Metal Deck (No Slope)
- RC-7: Modified Bitumen, 1" Perlite, 2" Expanded Polystyrene, Vapor Barrier, 2 1/2" Wood Fiber Board, Vapor Barrier, 6" Metal Deck (No Slope)
- RC-8: Modified Bitumen, 1" Perlite, 1/4" Expanded Polystyrene, 1 1/2" Wood Fiber Board, Vapor Barrier, 6" Metal Deck (No Slope)
- RC-9: Modified Bitumen, 1" Perlite, 2 1/2" Expanded Polystyrene, 1 1/4" EPS, 1 3/4" Perlite, Vapor Barrier, 6" Metal Deck (No Slope)
- RC-10: Modified Bitumen, 1" Perlite, 2 1/2" Expanded Polystyrene, 2" Wood Fiber Board, Vapor Barrier, 6" Metal Deck (No Slope)
- RC-11: Modified Bitumen, 1" Perlite, 2" Expanded Polystyrene, 2" Wood Fiber Board, Vapor Barrier, 6" Metal Deck (No Slope)
- RC-12: Modified Bitumen, 1" Perlite, 4" Expanded Polystyrene, Vapor Barrier, 6" Metal Deck (No Slope)
- RC-13: Modified Bitumen, 3/4" Wood Fiber Board, 2 1/2" Lightweight Concrete (1:1.2 Slope), 1 1/2" Metal Deck (1:1.2 Slope)

- Existing roof transition detail callouts (see sheet A300)
- Existing roof core callout
- Approximate core location
- 4"x4" target sump (1:12 slope) roof sump area with liquid-applied flashing membrane system, typical (Liquid-applied flashing membrane system is not required for roof areas G & F3)
- Roof drain (See detail H18/A300)
- New 3/4" gas piping to replace existing (See detail L13/A300)
- Vertical transition
- Roof penetration (See detail E18/A300)
- Abandoned gas piping to be demolished. Cut piping flush with top of roof deck at existing roof penetrations. Cap supply side at existing valve.
- Plumbing vent pipe penetration (See detail A18/A300)
- Abandoned curb mounted mechanical equipment to remain (See Roof Top Equipment Schedule for callouts & requirements) (See detail H13/A300)
- Abandoned curb mounted mechanical equipment & roof curb to be removed (See detail A13/A300 for deck repair)
- Slope of new roof assembly
- Extent of PVC roof system (See Roof Area G & F3)
- 14"L x 10"W x 10"H Conductor head with 5x5 downspout (See SMACNA Figure 1-25F)
- Metal splash pan adhered to walkway pad (See SMACNA Figure 1-36) (Direct towards closest drain and adhere walkway pad to roof)
- Factory mitered, welded, & finished coping corner
- 7" gutter with straps at 36" o.c. & brackets at 36" o.c. centered between straps (See SMACNA Figure 1-2 Style D)
- Gutter expansion joint (See SMACNA Figure 1-7)
- 5"x5" Downspout (See SMACNA Figure 1-32B)

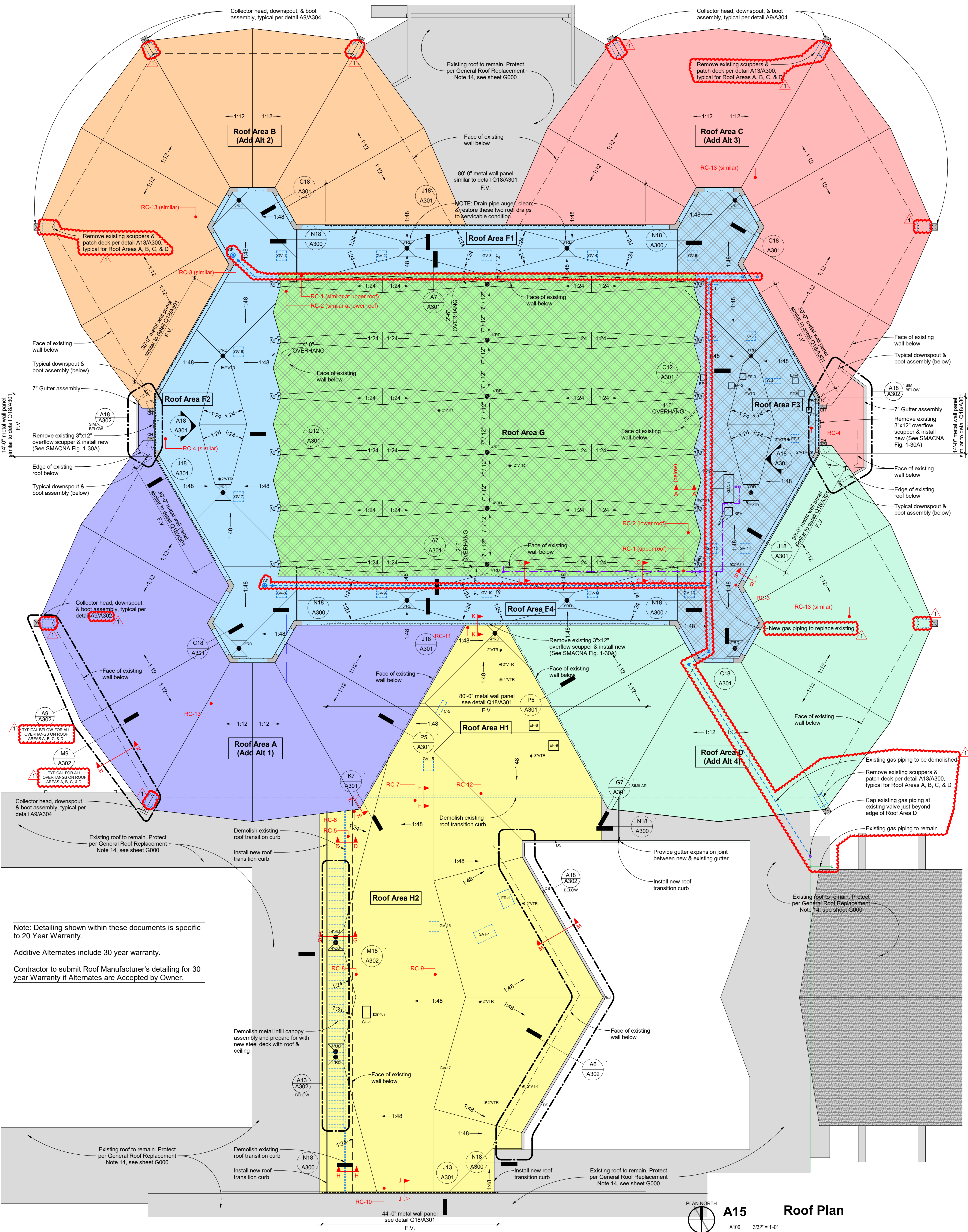
ROOF TOP EQUIPMENT SCHEDULE

Callout	Description	Existing Length (inches)	Existing Width (inches)	Existing Height (inches above existing roof surface)	Equipment & Curb to be Demolished	Existing Equipment to be Installed on New Curb	New Curb Height (inches above roof deck)	Typical Roof Detail
GV-1	Gravity Vent	30	30	8	X	X	NA	A13/A300
GV-2	Gravity Vent	30	30	8	X	X	NA	A13/A300
GV-3	Gravity Vent	30	30	8	X	X	NA	A13/A300
GV-4	Gravity Vent	30	30	8	X	X	NA	A13/A300
GV-5	Gravity Vent	30	30	8	X	X	NA	A13/A300
GV-6	Gravity Vent	30	30	8	X	X	NA	A13/A300
GV-7	Gravity Vent	30	30	8	X	X	NA	A13/A300
GV-8	Gravity Vent	30	30	8	X	X	NA	A13/A300
GV-9	Gravity Vent	30	30	8	X	X	NA	A13/A300
GV-10	Gravity Vent	30	30	8	X	X	NA	A13/A300
GV-11	Gravity Vent	30	30	8	X	X	NA	A13/A300
GV-12	Gravity Vent	30	30	8	X	X	NA	A13/A300
GV-13	Gravity Vent	30	30	8	X	X	NA	A13/A300
GV-14	Gravity Vent	30	30	8	X	X	NA	A13/A300
GV-15	Gravity Vent	30	30	8	X	X	NA	A13/A300
GV-16	Gravity Vent	30	30	8	X	X	NA	A13/A300
GV-17	Gravity Vent	30	30	8	X	X	NA	A13/A300
EF-1	Exhaust Fan	18	18	8	X	X	19	H13/A300
EF-2	Exhaust Fan	18	18	10	X	X	19	H13/A300
EF-3	Exhaust Fan	18	18	8	X	X	19	H13/A300
EF-4	Exhaust Fan	18	18	8	X	X	19	H13/A300
EF-5	Exhaust Fan	18	18	8	X	X	19	H13/A300
EF-6	Exhaust Fan	14	14	8	X	X	19	H13/A300
EF-7	Exhaust Fan	24	24	8	X	X	19	H13/A300
EF-8	Exhaust Fan	30	30	6	X	X	19	H13/A300
EF-9	Exhaust Fan	30	30	4	X	X	19	H13/A300
C-1	Roof Curb	28	28	8	X	X	NA	A13/A300
C-2	Roof Curb	28	28	8	X	X	NA	A13/A300
C-3	Roof Curb	28	28	8	X	X	NA	A13/A300
C-4	Roof Curb	14	46	8	X	X	NA	A13/A300
C-5	Roof Curb	14	42	8	X	X	NA	A13/A300
KVA-1	Kitchen Make-up Air	32	81	8	X	X	19	H13/A300
KEH-1	Kitchen Exhaust Hood	41	50	7	X	X	19	H13/A300
ER-1	Equipment Rail	34	48	NA	X	X	NA	A7/100
SAT-1	Satellite	36	72	NA	X	X	NA	A7/100
PP-1	Pitch Pocket	8	8	8	X	X	NA	E18/A300
CU-1	Condenser Unit	25	25	10	X	X	19	N18/A300

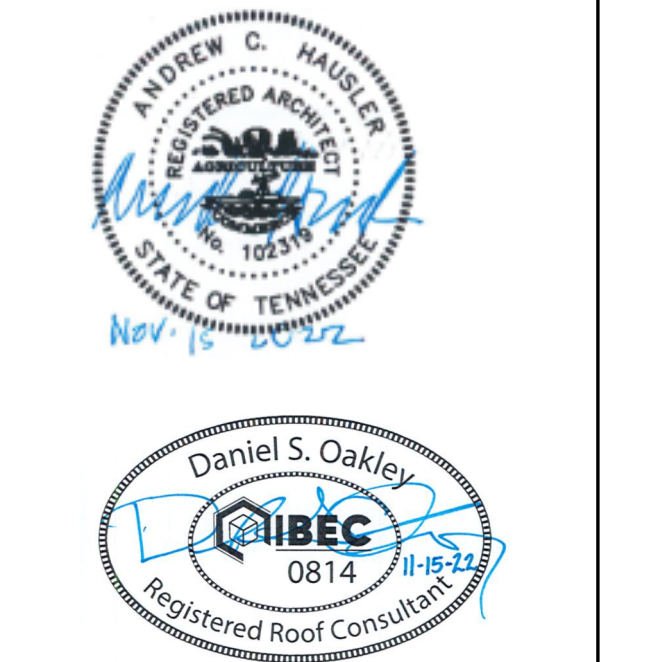
NOTE: ALL CURB SIZES ARE TO BE FIELD VERIFIED



A7 Typical Roof Assemblies



Note: Detailing shown within these documents is specific to 20 Year Warranty.
 Additive Alternates include 30 year warranty.
 Contractor to submit Roof Manufacturer's detailing for 30 year Warranty if Alternates are Accepted by Owner.



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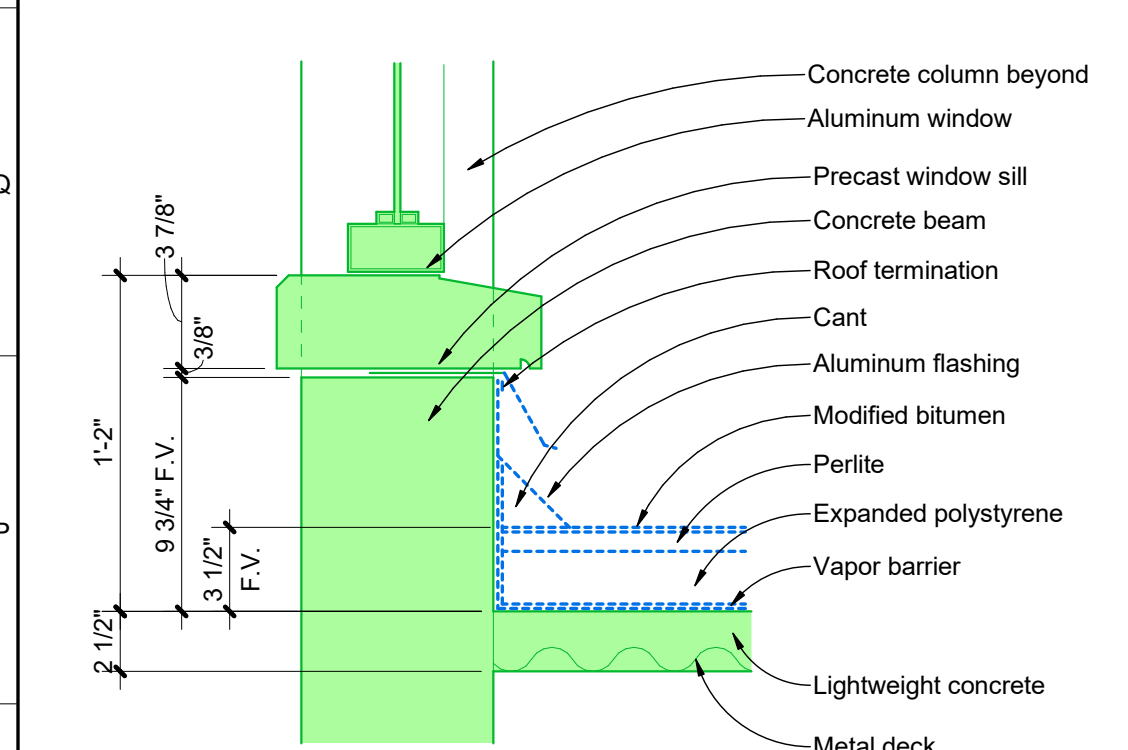
BID ISSUE

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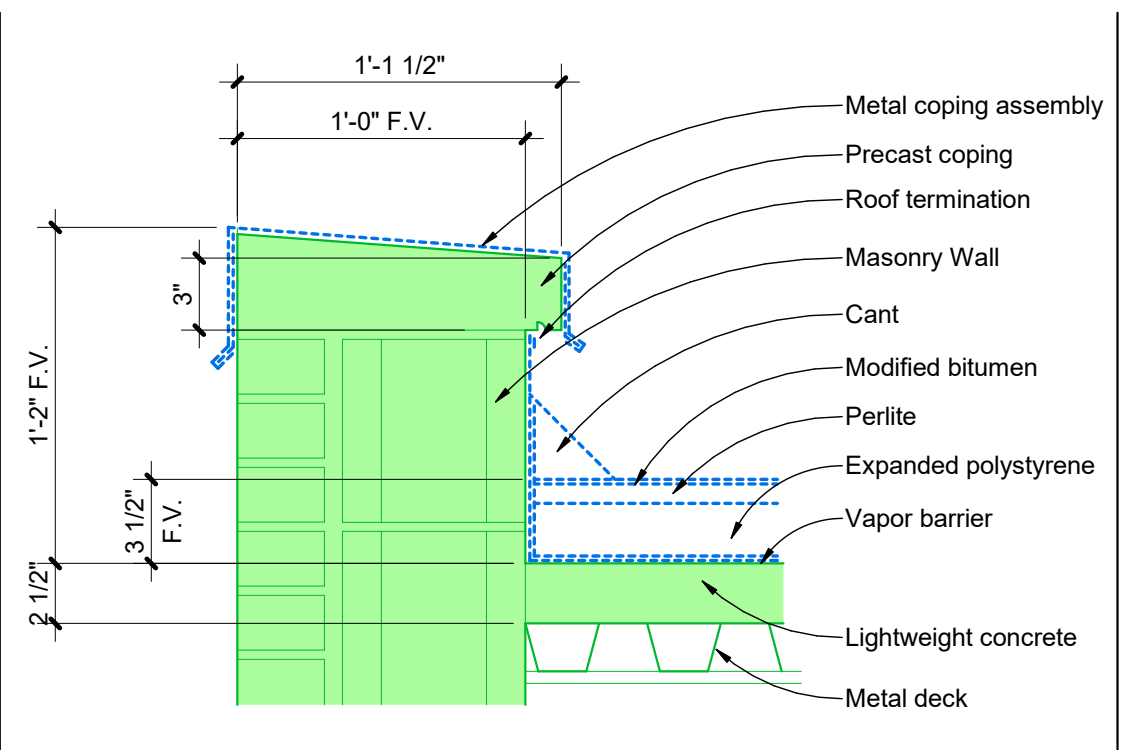
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 Sheet No. **A100**

Existing Roof Transition Details

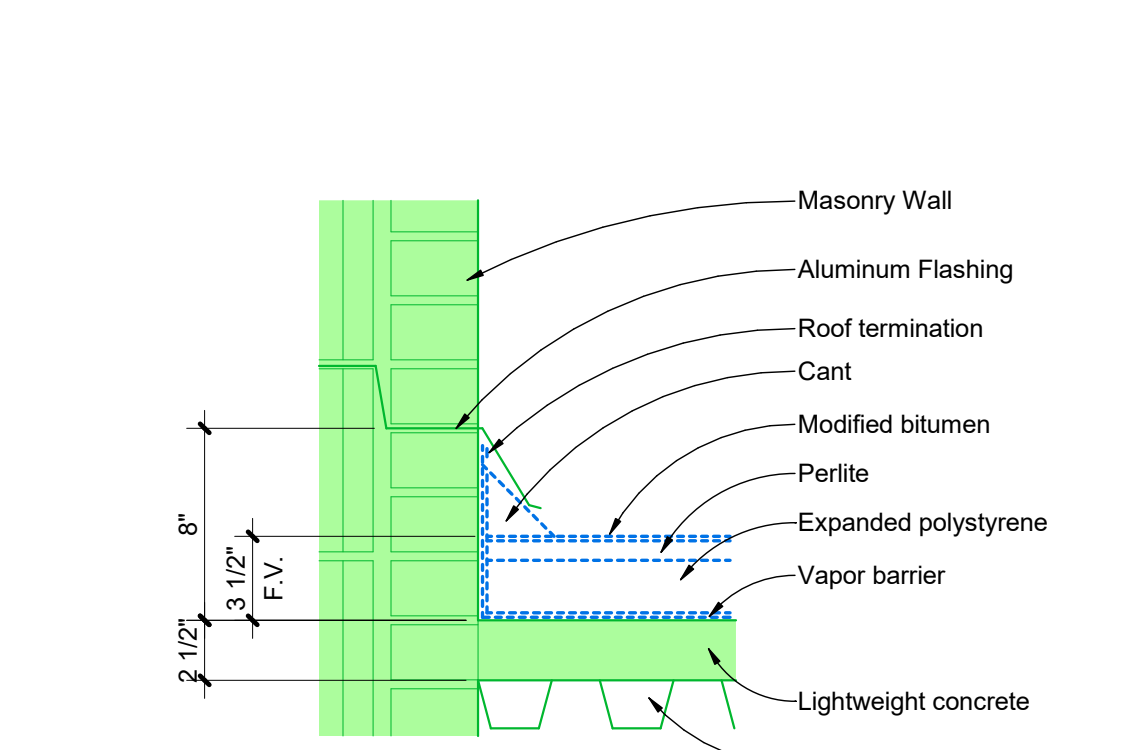
Existing to be demolished
Existing to remain



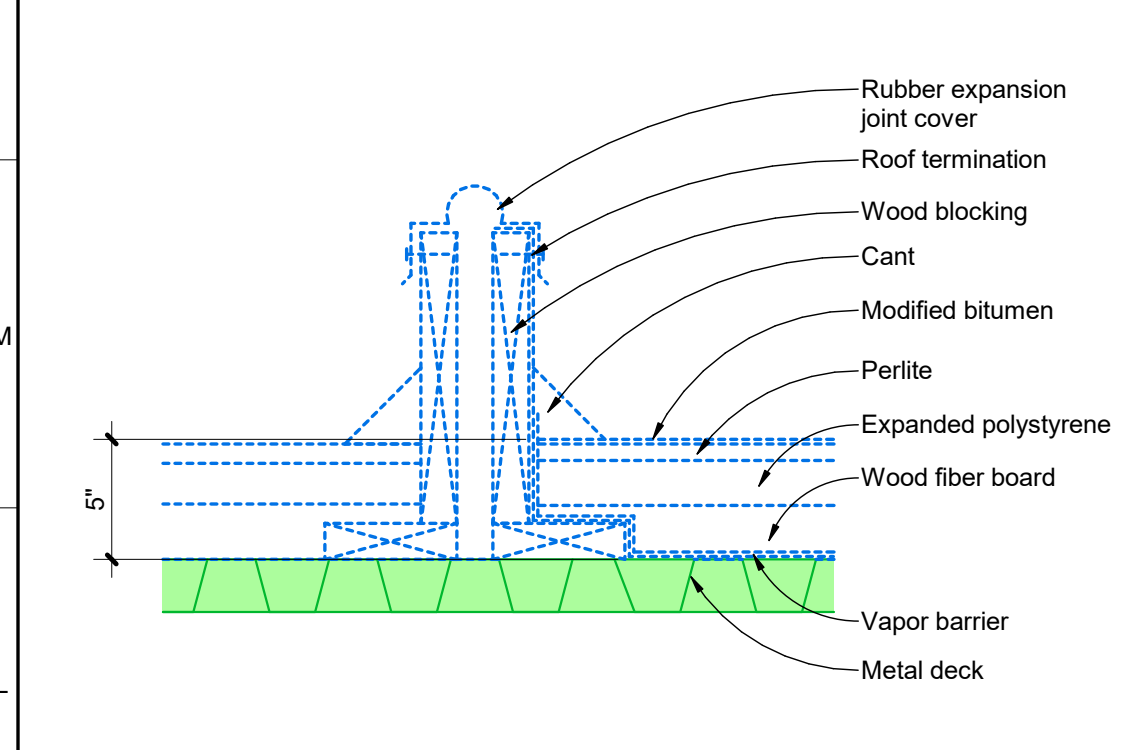
EXISTING DETAIL A-A
(SEE DETAIL C12/A301)



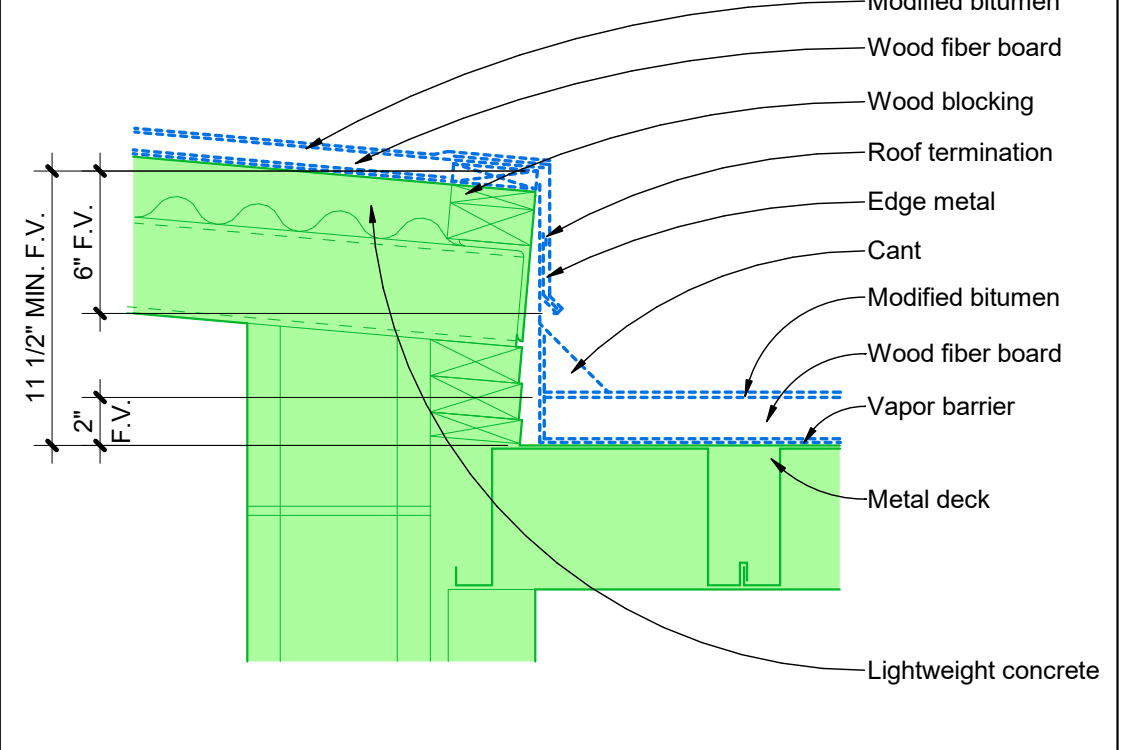
EXISTING DETAIL B-B
(SEE DETAILS J18/A301 & C18/A301)



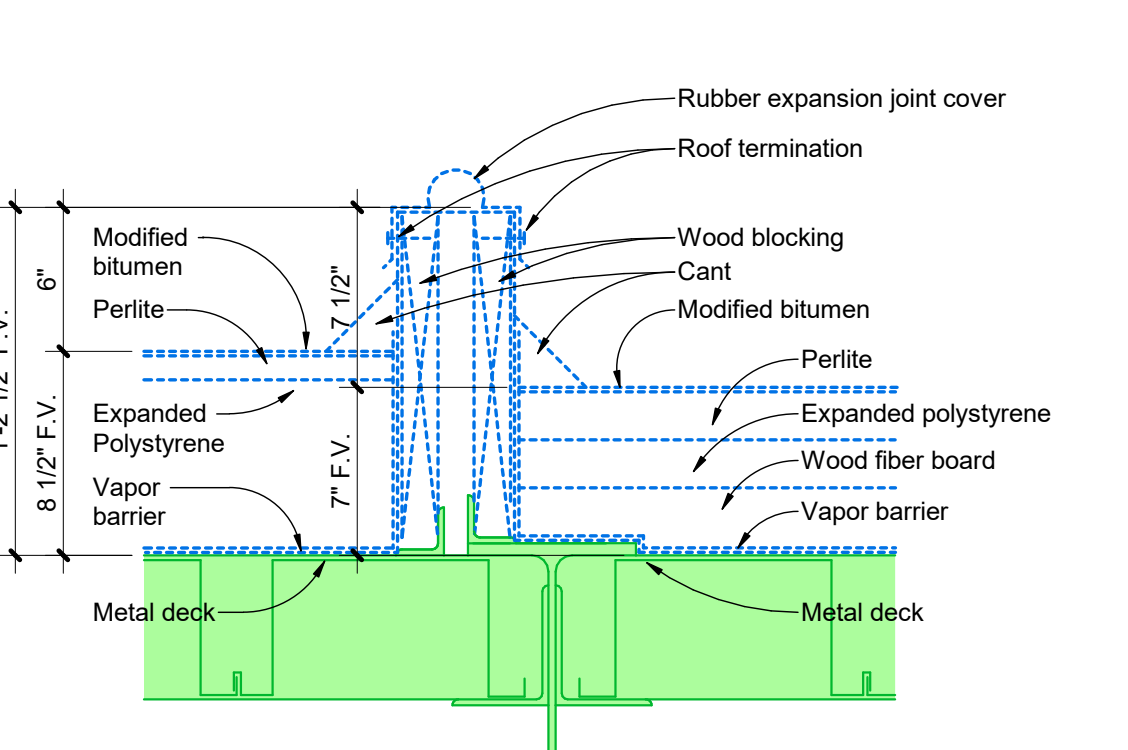
EXISTING DETAIL C-C
(SEE DETAIL A7/A301)



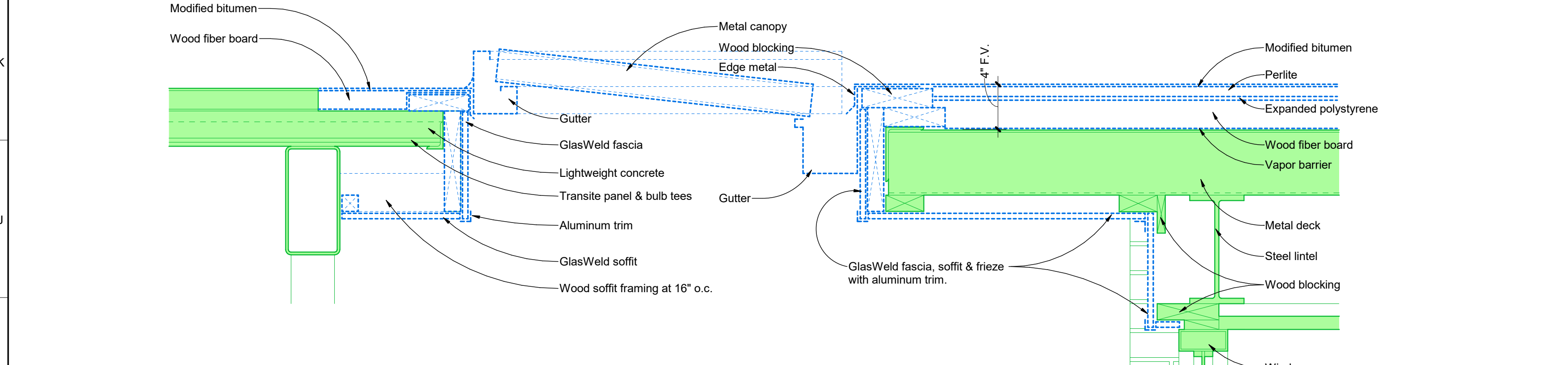
EXISTING DETAIL D-D



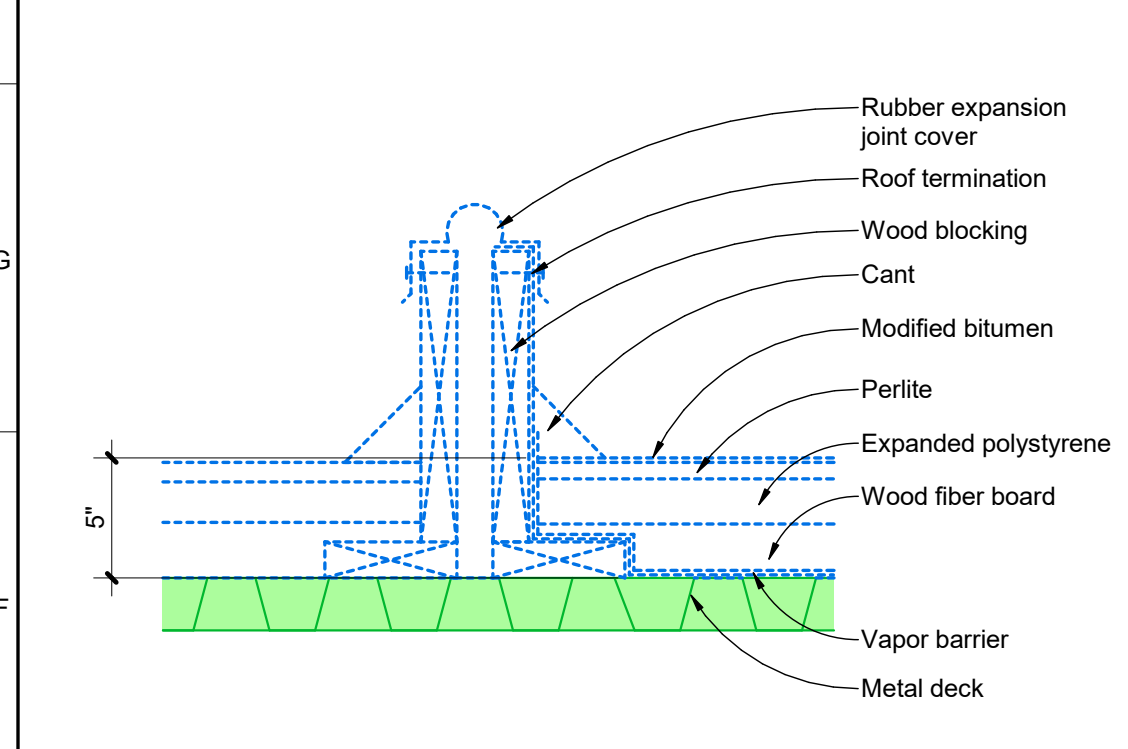
EXISTING DETAIL E-E
(SEE DETAILS K7/A301 & G7/A301)



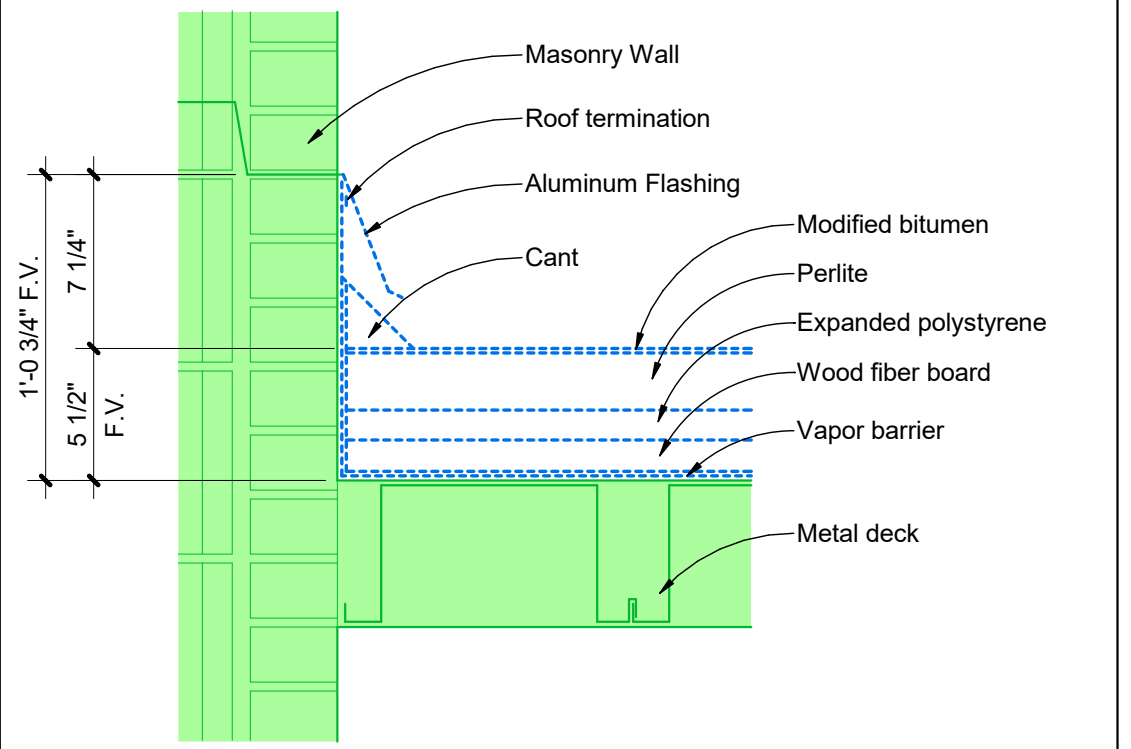
EXISTING DETAIL F-F



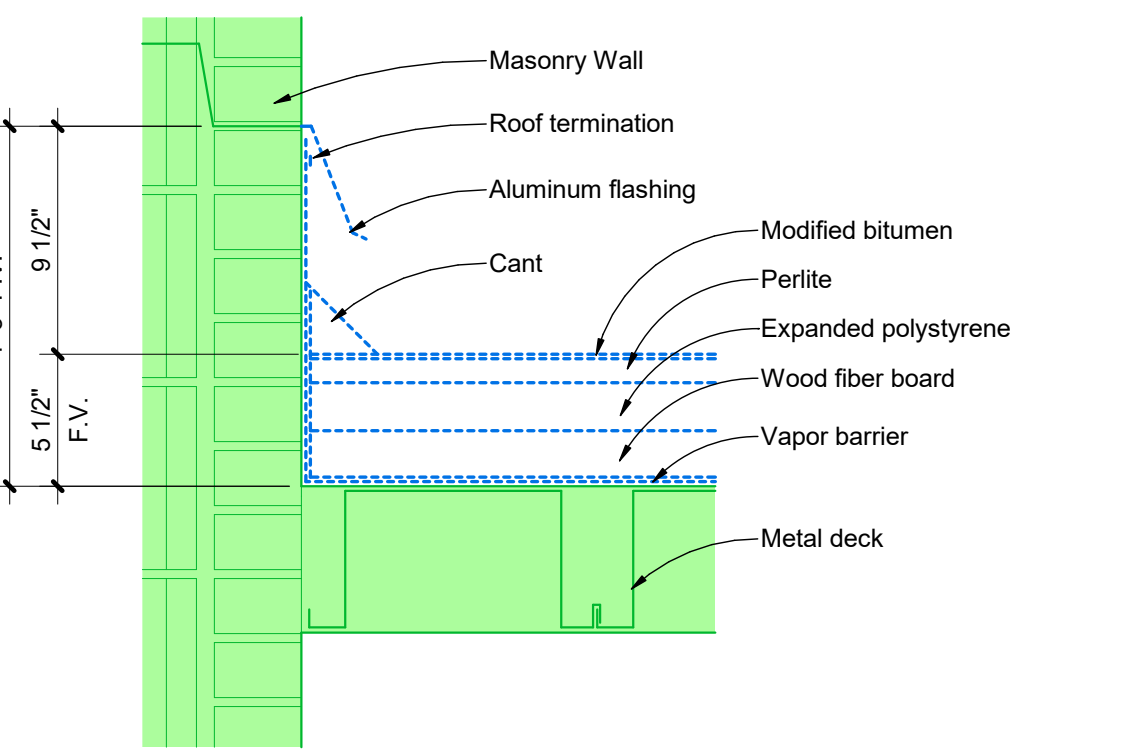
EXISTING DETAIL G-G
(SEE DETAIL M18/A302)



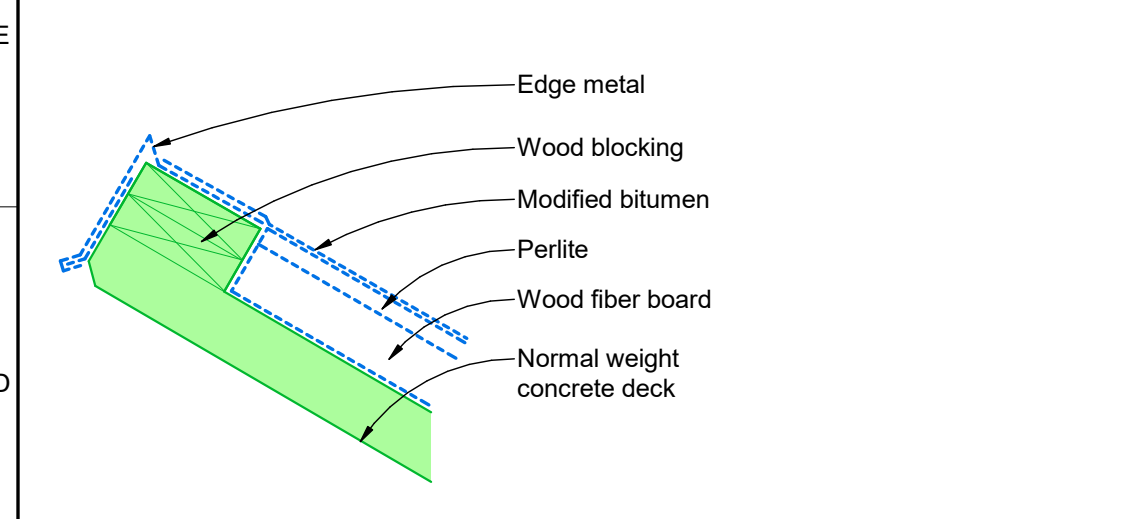
EXISTING DETAIL H-H



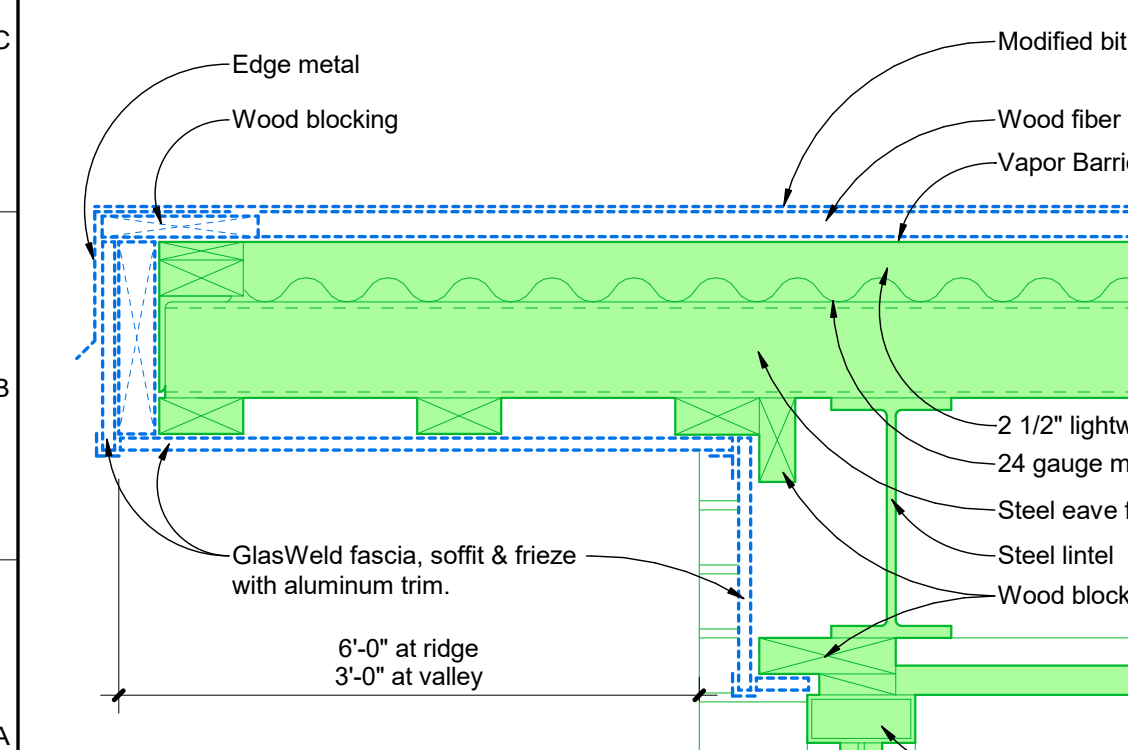
EXISTING DETAIL J-J
(SEE DETAIL J13/A301)



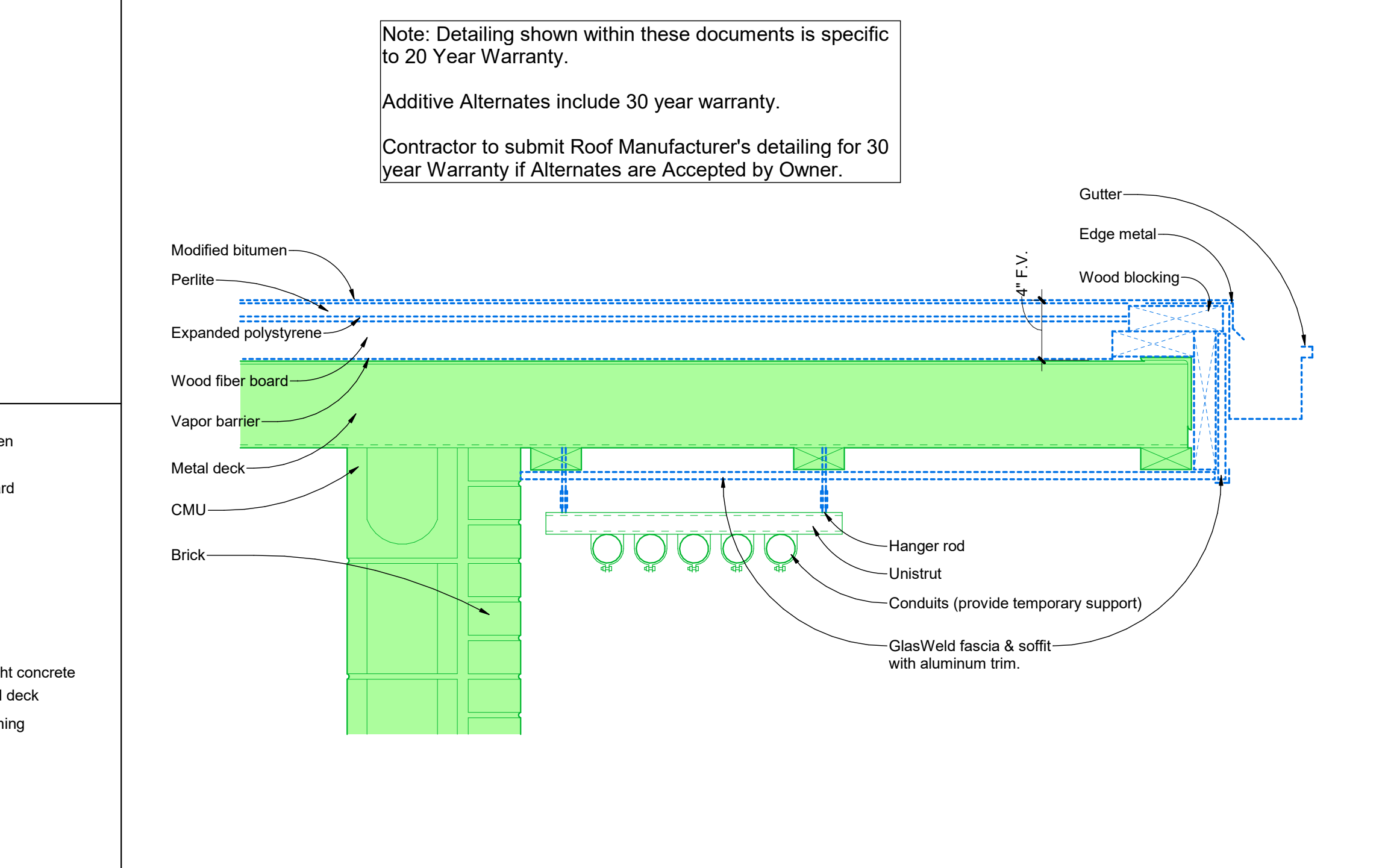
EXISTING DETAIL K-K
(SEE DETAIL J18/A301)



EXISTING DETAIL L-L
(SEE DETAIL A7/A301)

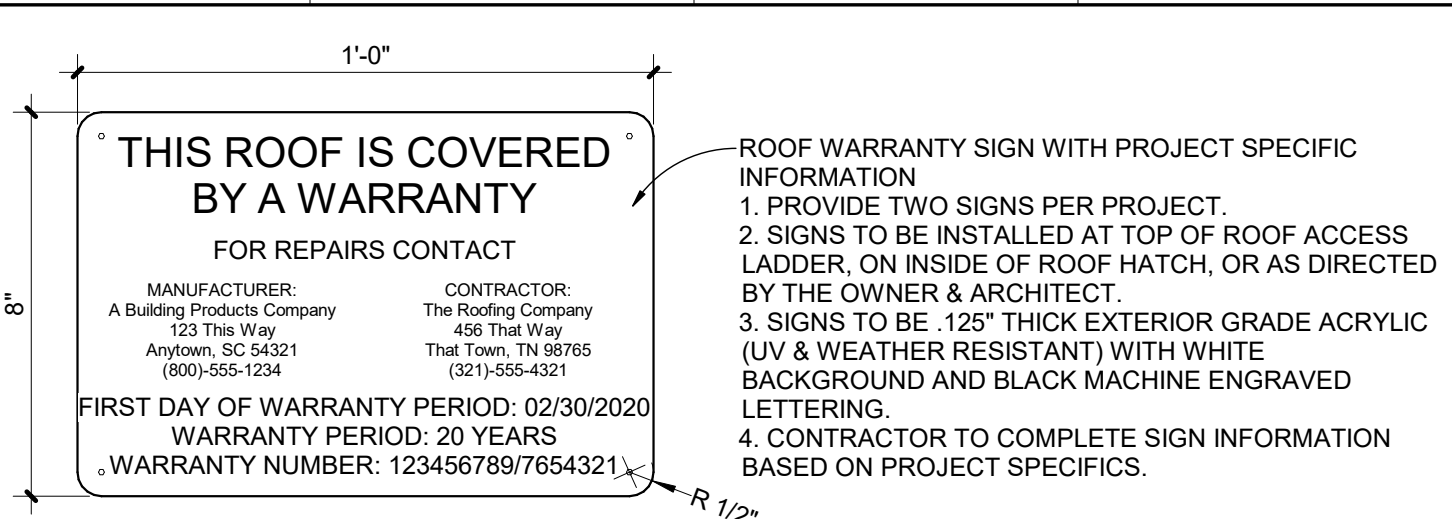


EXISTING DETAIL N-N
(SEE DETAIL M9/A302)

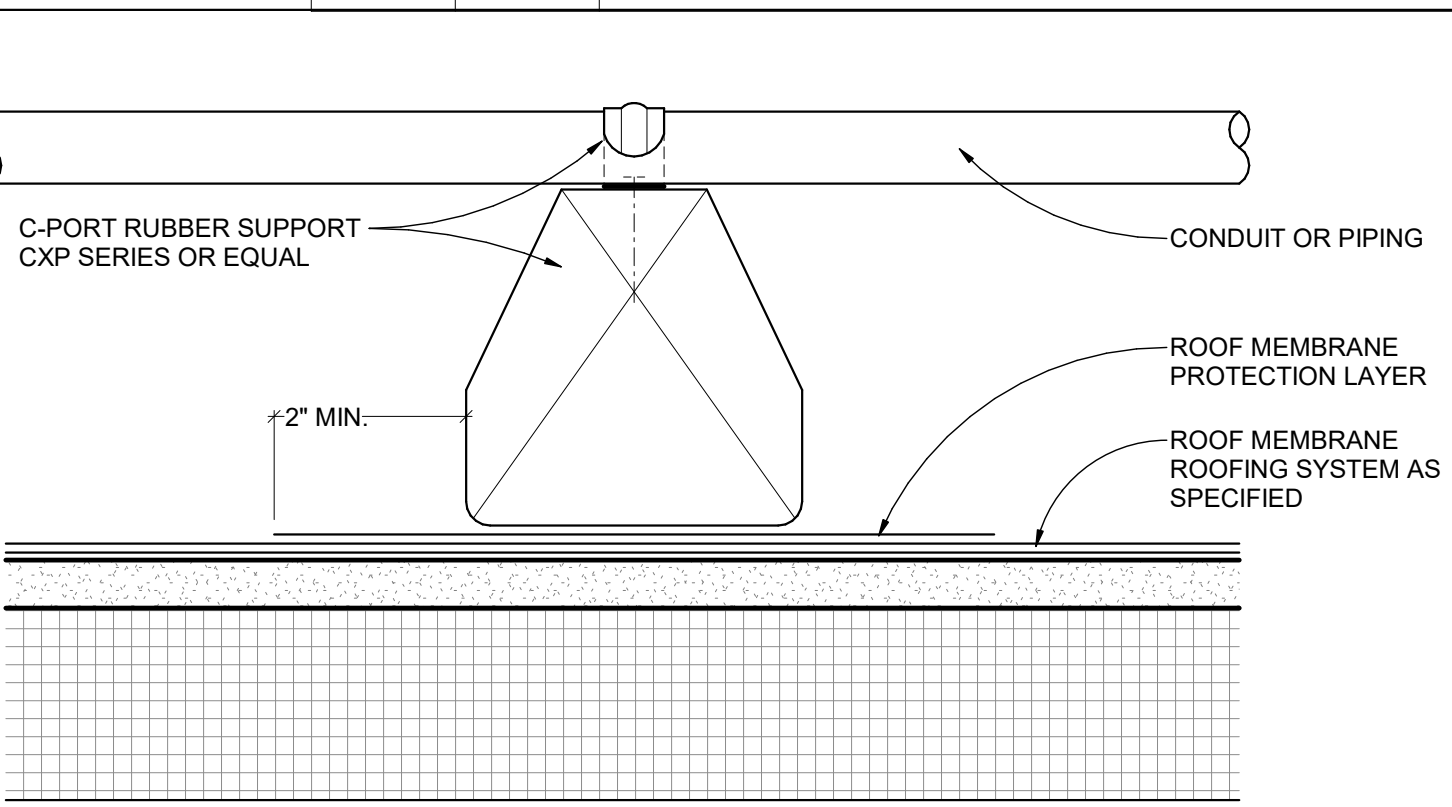


EXISTING DETAIL M-M
(SEE NEW DETAIL A6/302)

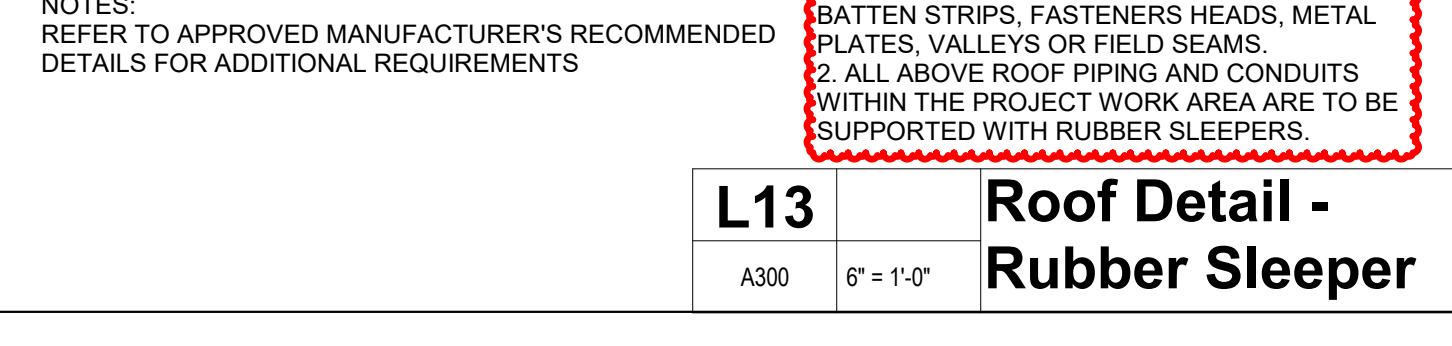
Note: Detailing shown within these documents is specific to 20 Year Warranty.
Additive Alternates include 30 year warranty.
Contractor to submit Roof Manufacturer's detailing for 30 year Warranty if Alternates are Accepted by Owner.



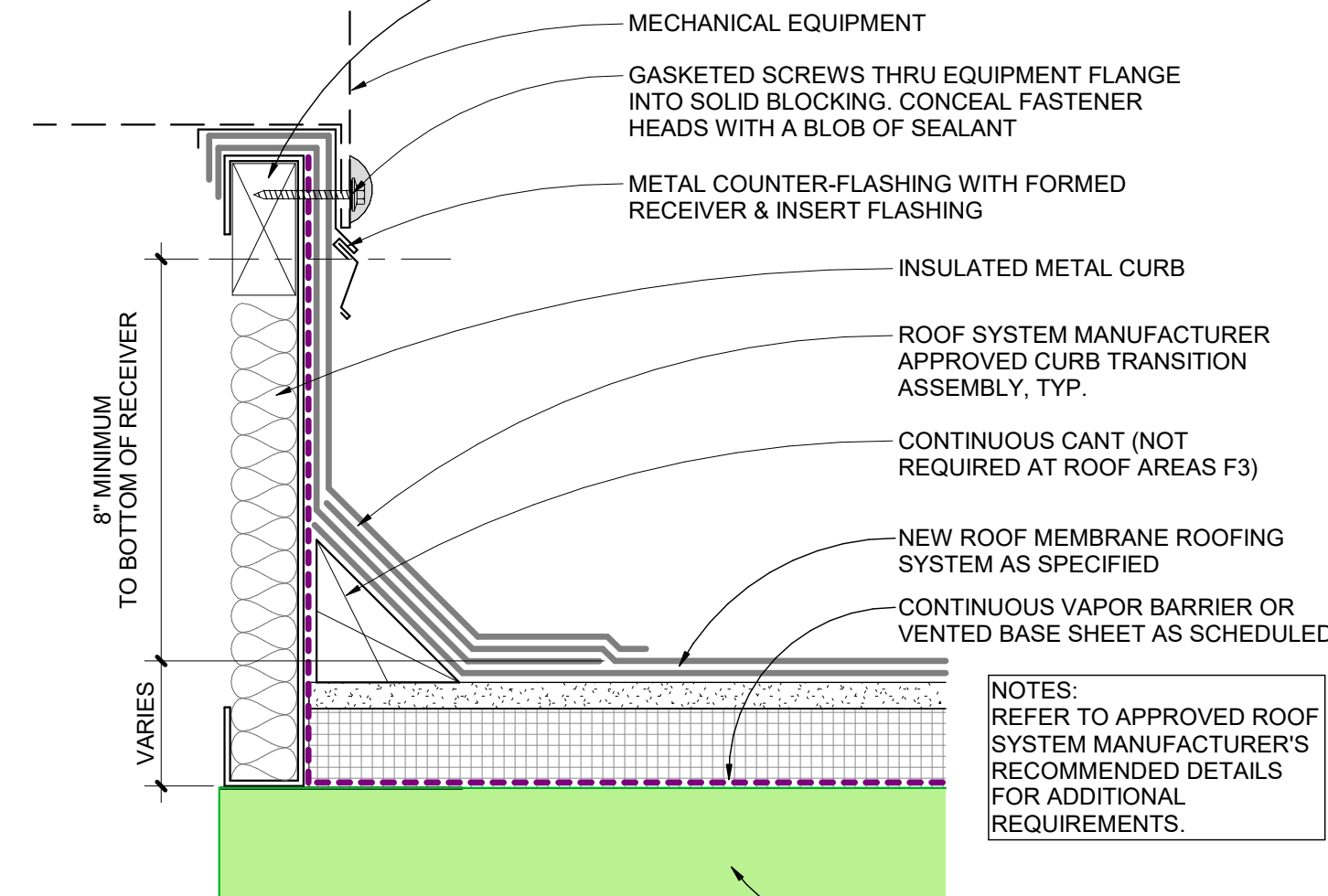
Q13 Roof Detail - Roof Warranty Sign



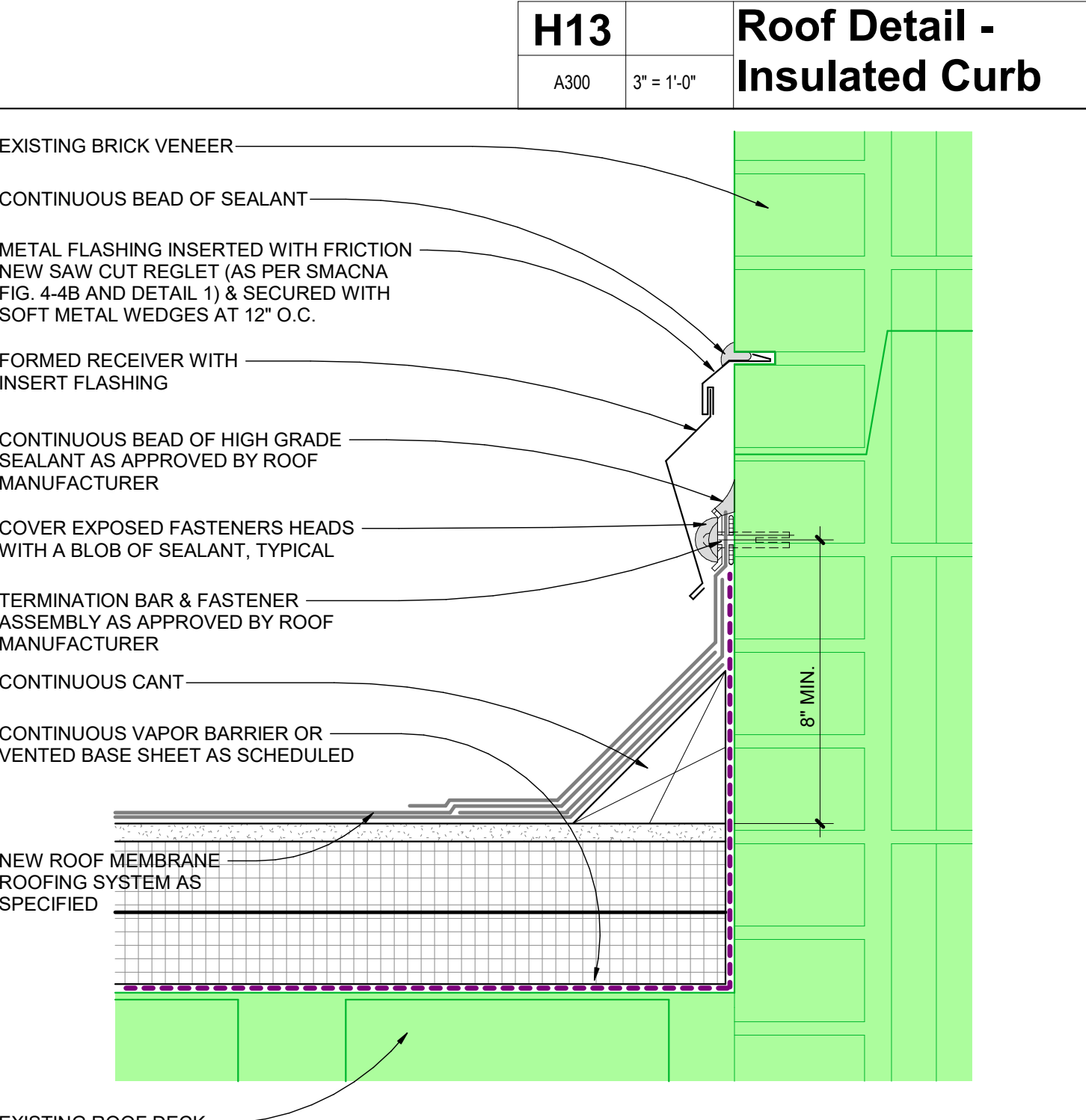
L13 Roof Detail - Rubber Sleeper



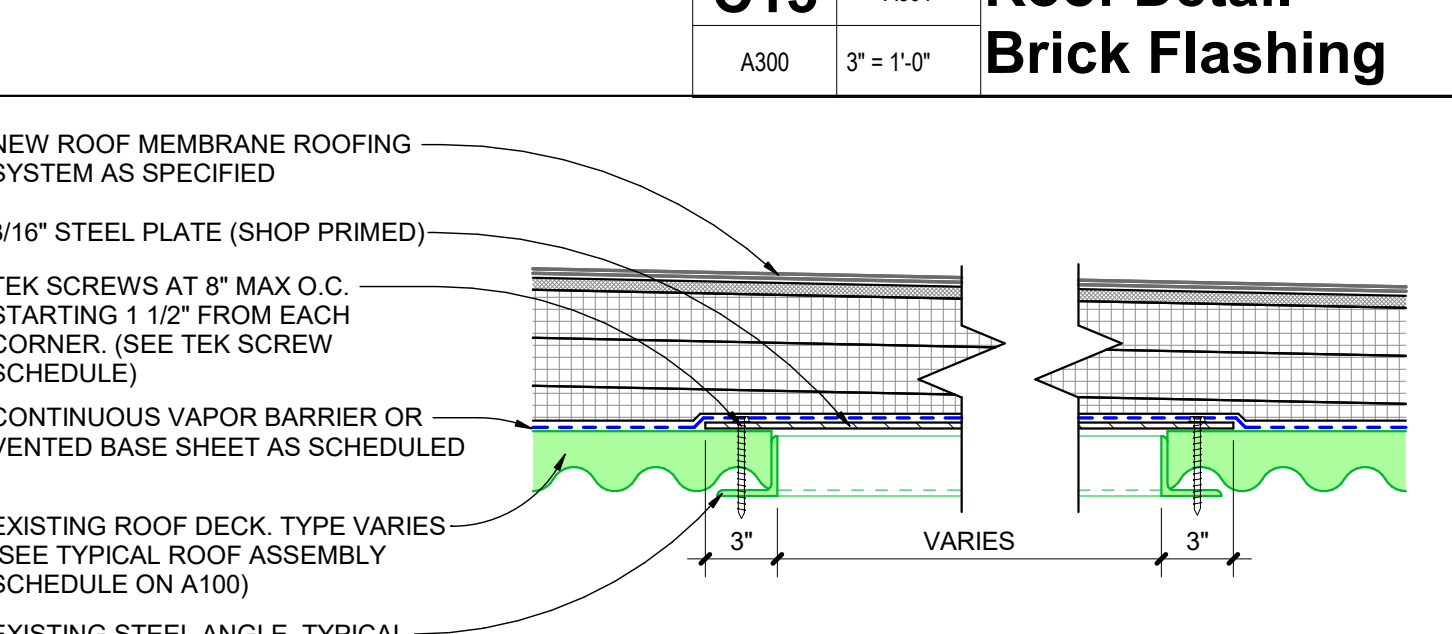
H13 Roof Detail - Insulated Curb



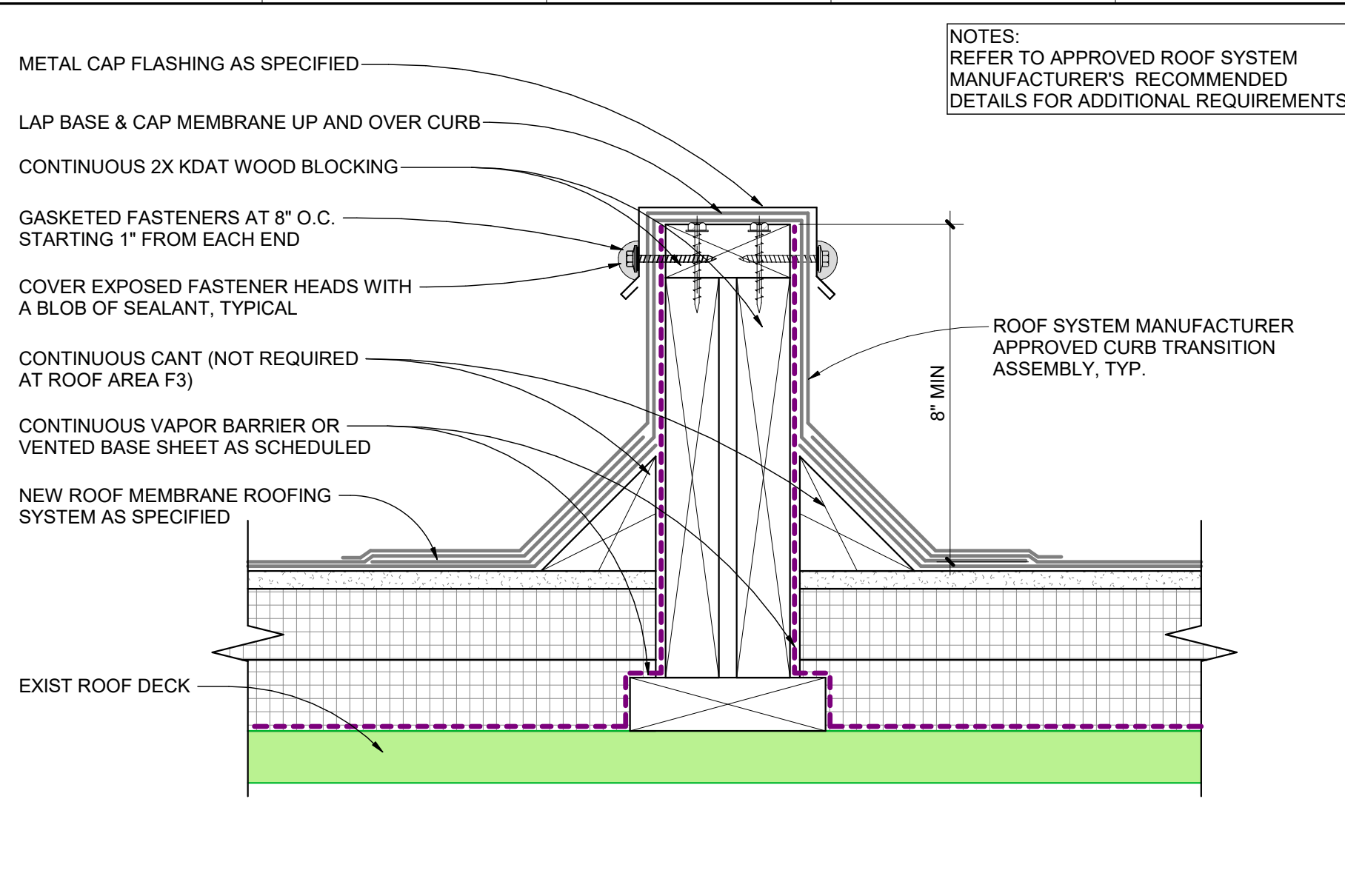
H11 Roof Detail - Insulated Curb



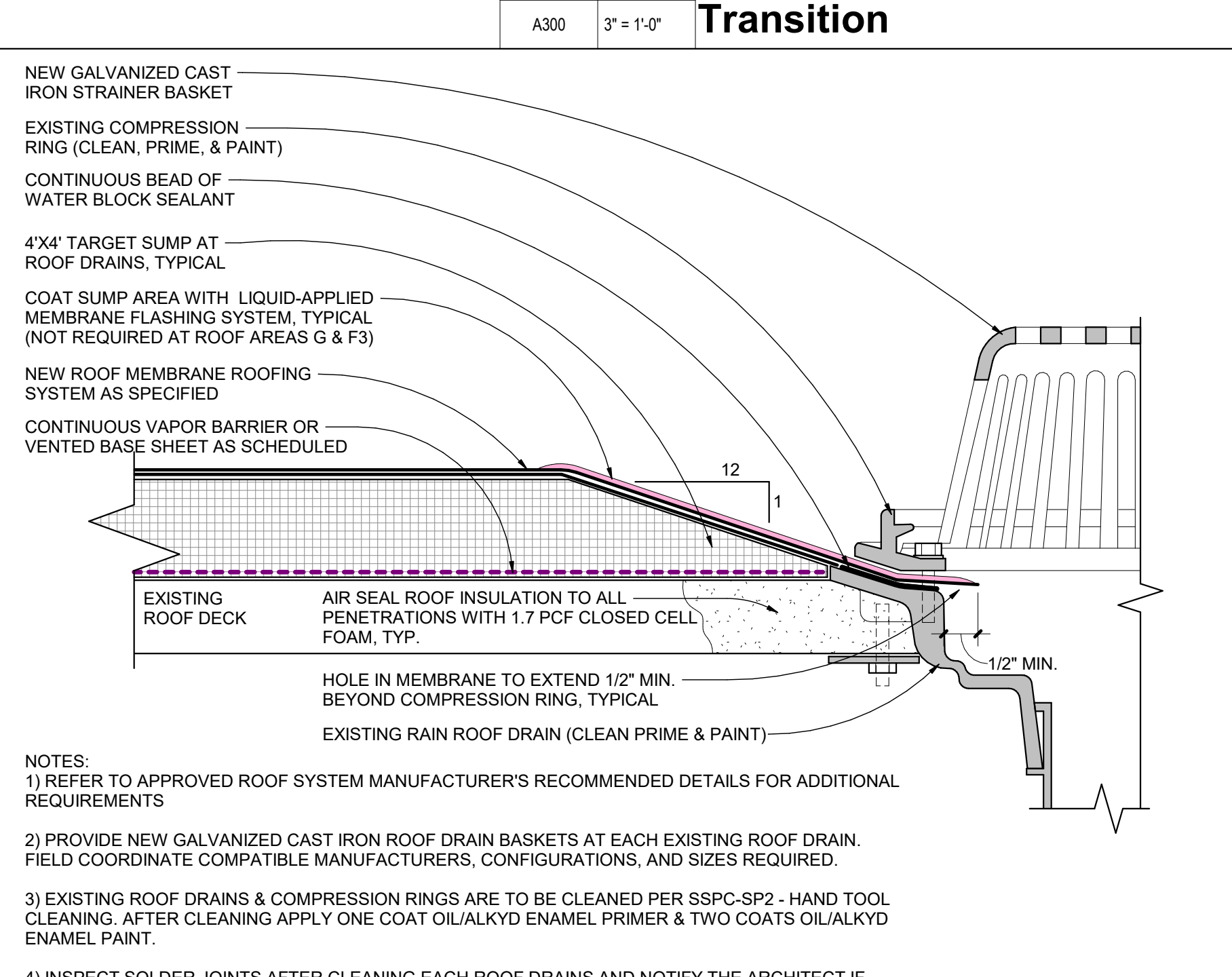
C13 Roof Detail - Brick Flashing



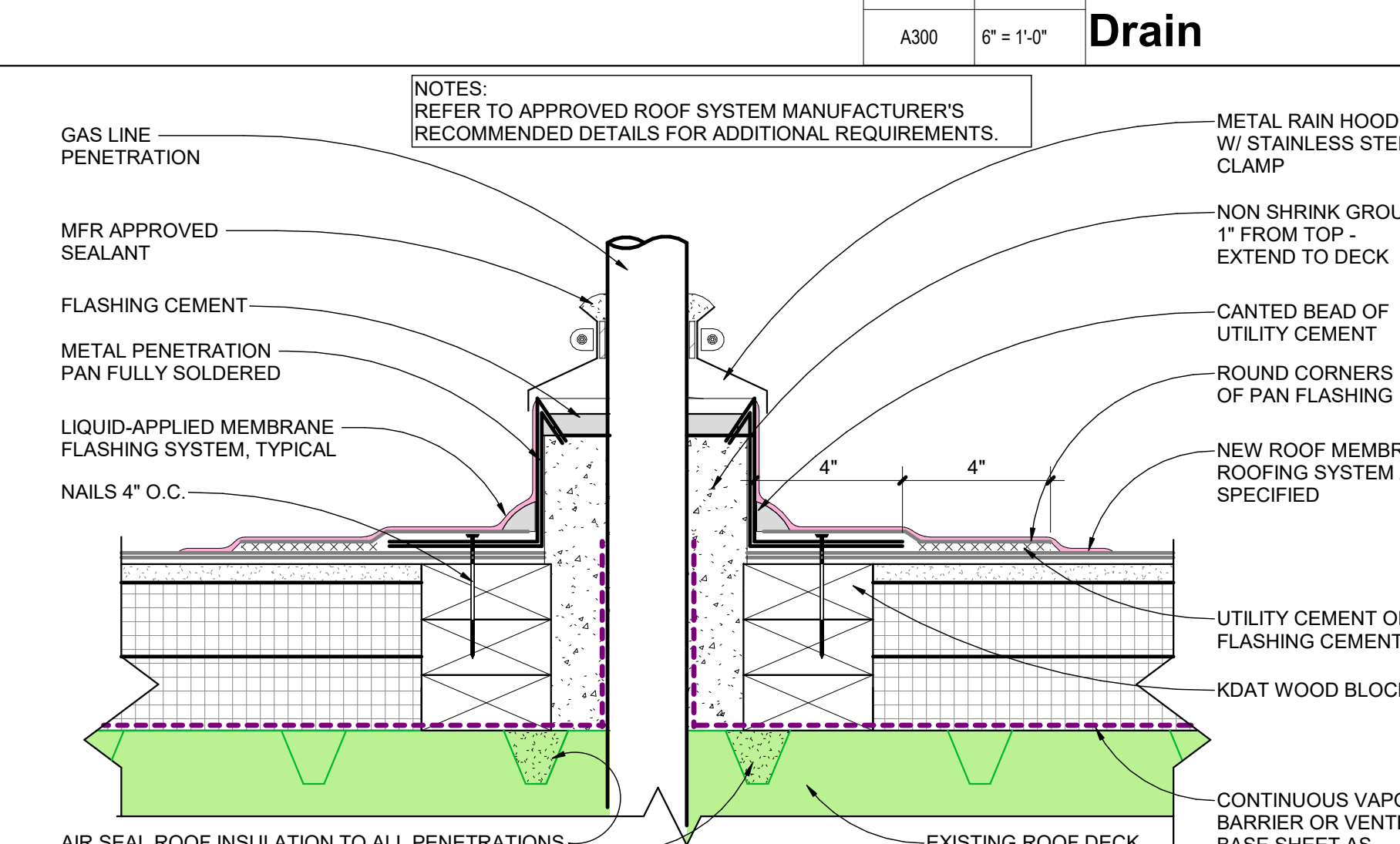
A13 Roof Detail - Deck Repair



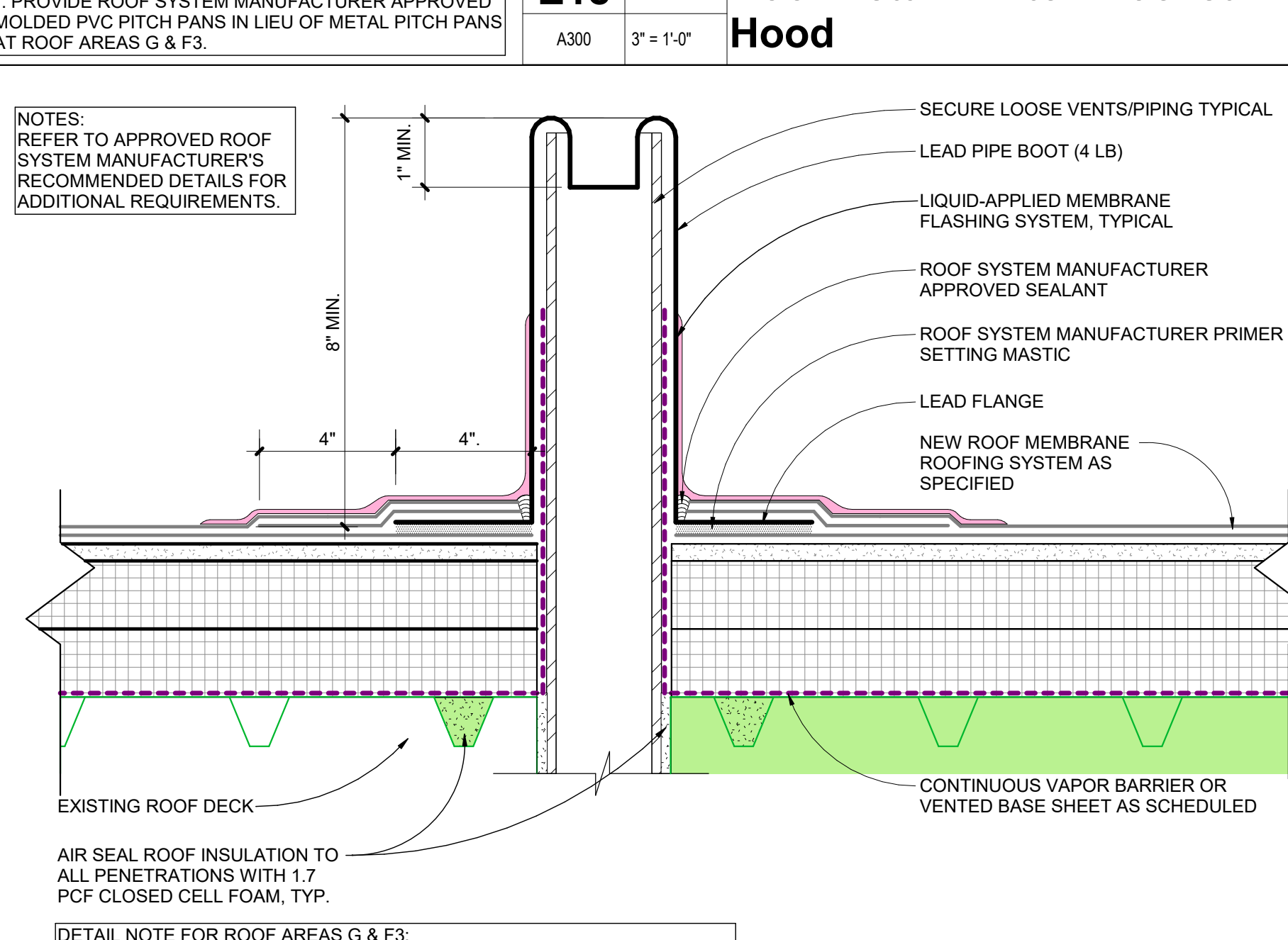
N18 Roof Detail - Roof Area Transition



H18 Roof Detail - Drain



E18 Roof Detail - Pitch Pocket with Hood



A18 Roof Detail - Vent Stack

DH&W
ARCHITECTURE INTERIORS PLANNING
1001 Carter Street - Chattanooga - 37402
423 | 266 | 4816 www.dhw-architects.com

HAMILTON COUNTY SCHOOLS
HCDE BID 23-15

Dalewood Middle School Roof Replacement (Phase 1)
1300 Shallowford Road
Chattanooga, Tennessee 37411

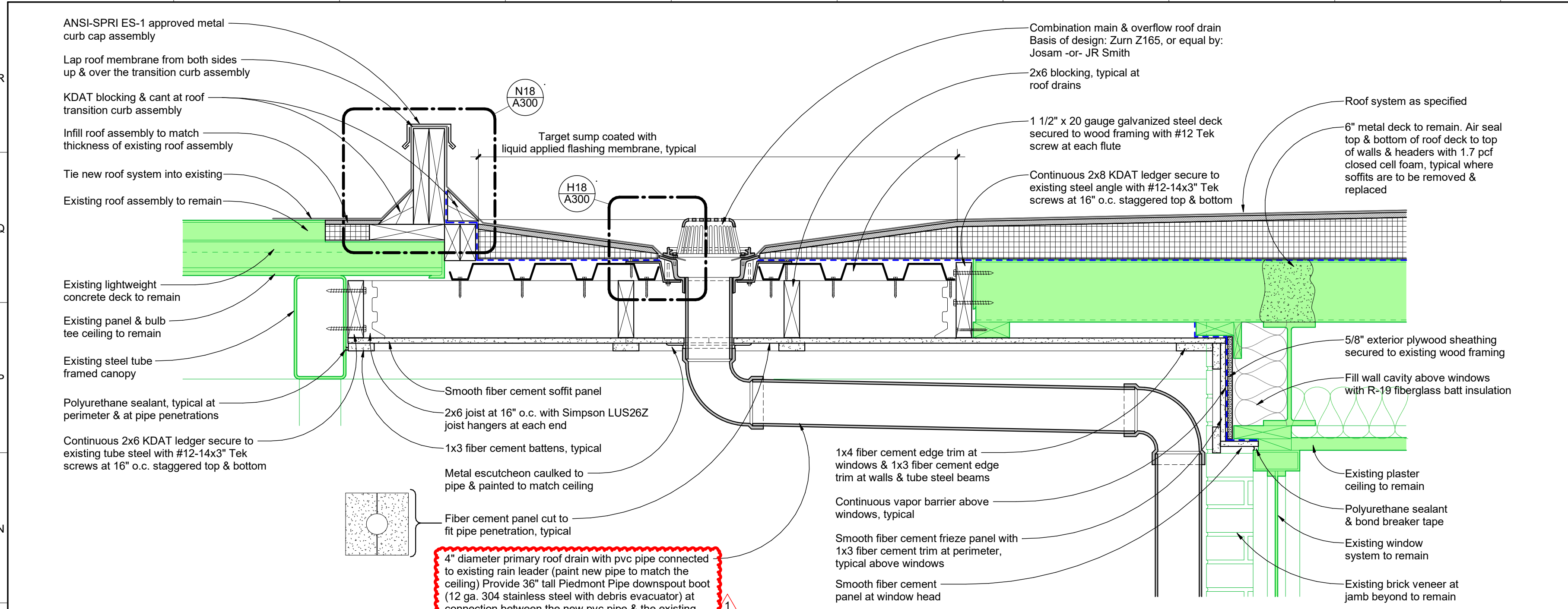
November 15, 2022
Drawn: Oakley
File: 82211-B

Revisions
Addendum No. 1 01/12/2023

Professional Engineer Seal for Daniel S. Oakley, State of Tennessee, License No. 0814, Registered Professional Engineer, Nov 10, 2012.

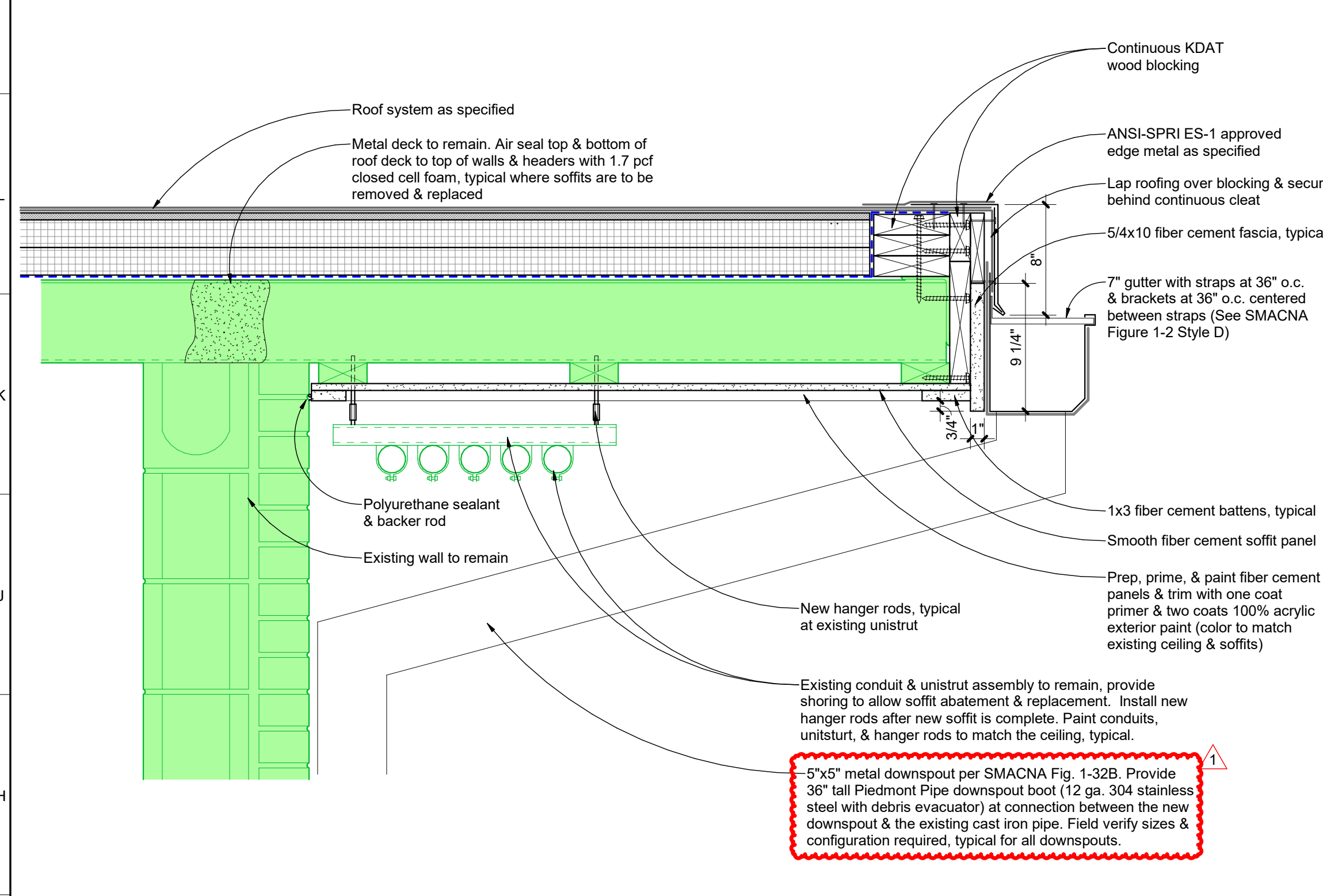
BID ISSUE

Title: **Roof Details**
Scale:
Sheet No. **A300**



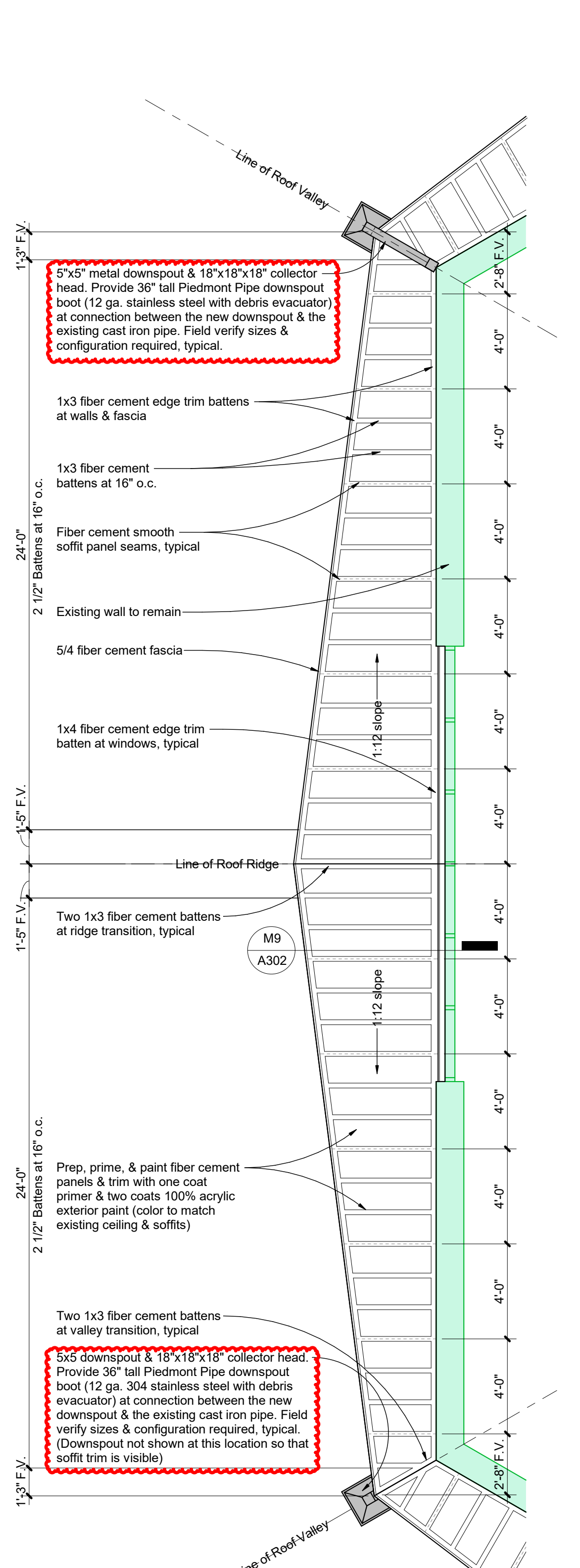
M18 A100
A302 1 1/2" = 1'-0"

Roof Detail - Entry Canopy In-Fill



A6 A100
A302 1 1/2" = 1'-0"

Roof Detail - Courtyard Soffit



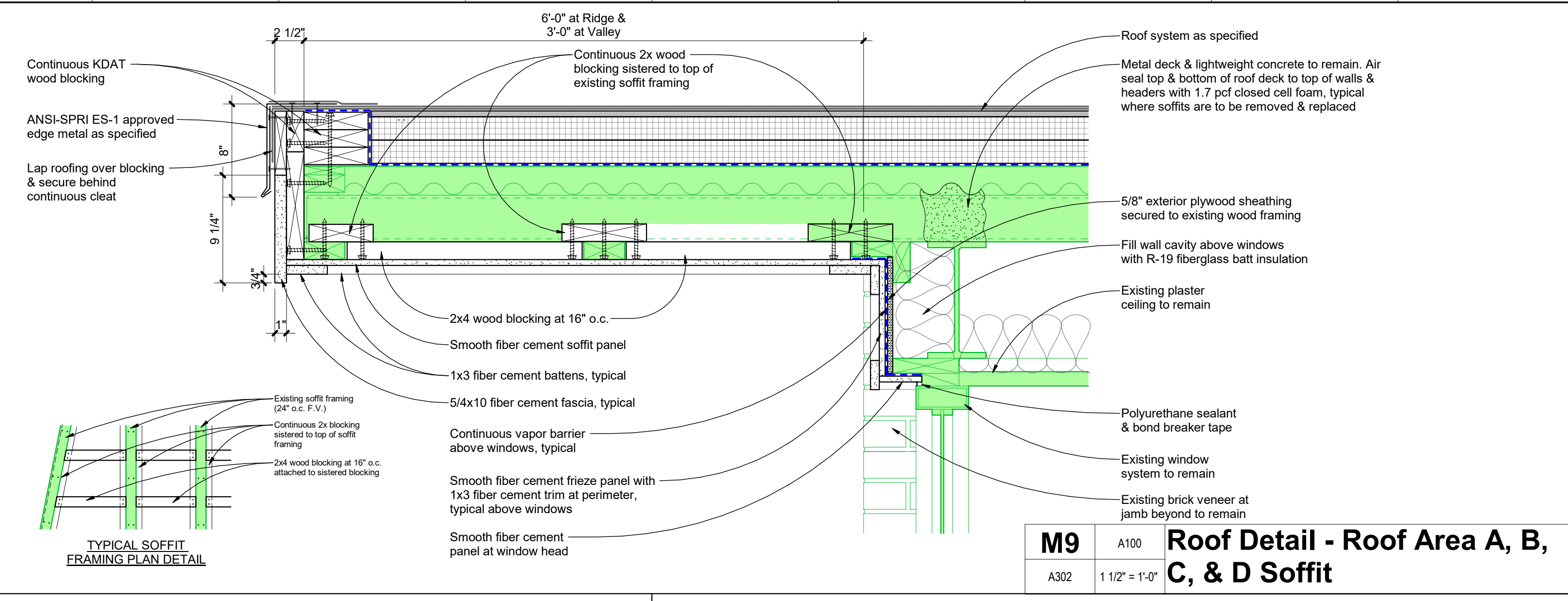
Soffit Notes:

- Two soffits as such at Roof Areas A & D.
- Three soffits as such at Roof Areas B & C.
- Field verify with existing conditions where valleys terminate into walls at Roof Area F.
- See specified allowance for abatement of existing soffit & fascia system.

See Add Alternates 1, 2, 3, & 4

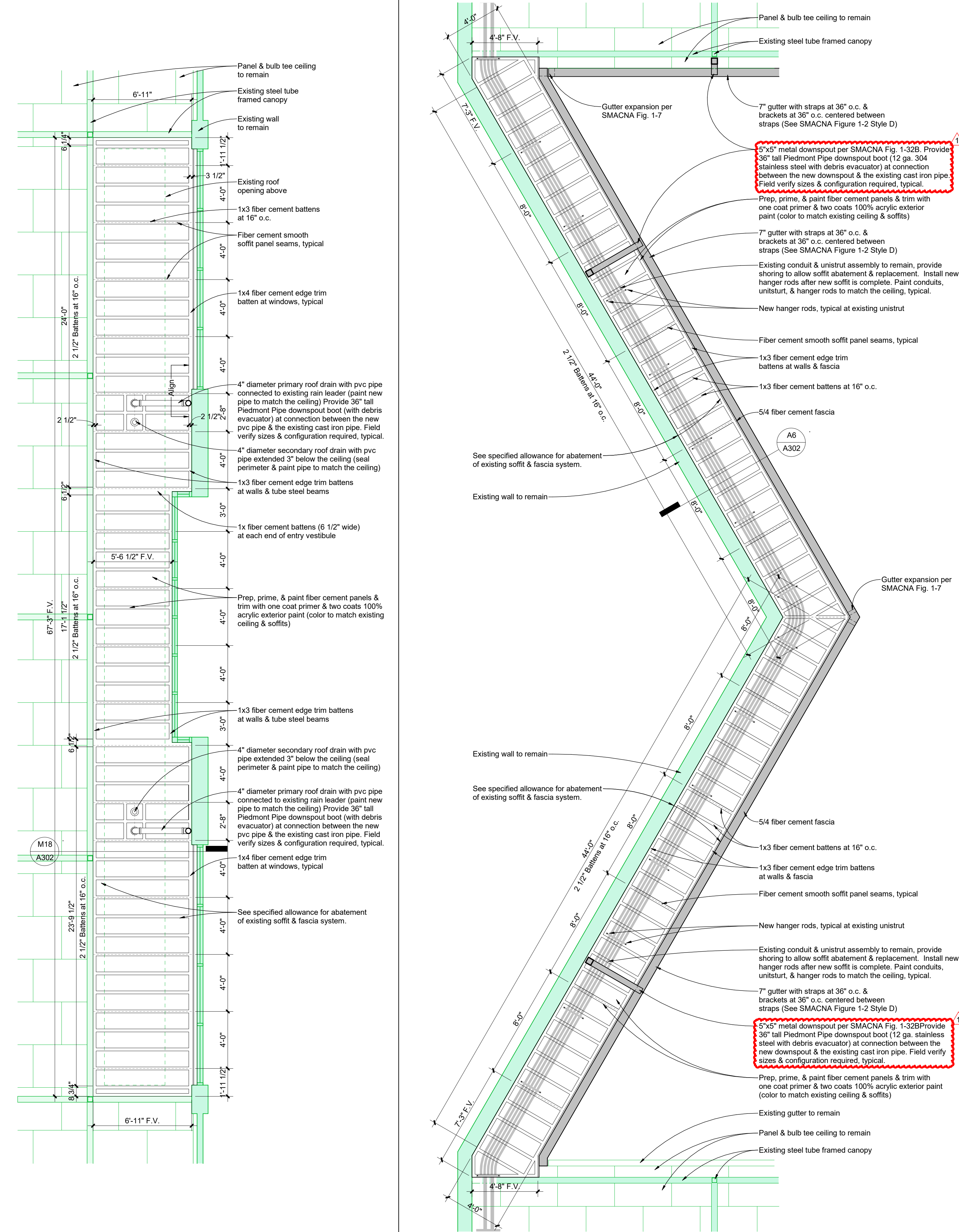
A9 A100
A302 1/4" = 1'-0"

Soffit Plan - Roof Area A, B, C, & D



M9 A100
A302 1 1/2" = 1'-0"

Roof Detail - Roof Area A, B, C, & D Soffit



A13 A100
A302 1/4" = 1'-0"

Soffit Plan - Entry Canopy

A18 A100
A302 1/4" = 1'-0"

Soffit Plan - Courtyard

Hamilton County Schools
Dalewood Middle School Re-Roof (Phase 1)
Mandatory Pre-Bid Meeting
10:00 AM, Thursday January 5th, 2023
DHW No. 82210-B



Sign-In Sheet - Please write Legibly

Name	Company	Email	Telephone
Rashaad Williams Principal	HCS	williams_rashaad@hcsde.org	423 493 6325
FRANK RUDLEY	HCS	Bivory - Frank@Hcs.org	423-504-1144
BILL TRAVIS	HCSDE	travis_bill@hcsde.org	423-322-1326
ALVIN WINTOR	ASPEN CONTRACTING INC	awinter@roofsbyaspenc.com	(865) 282-1637
Christopher Fetty	Tri-State Roofing	cFetty2@tstateroofing.com	423-362-1654
Daniel Ellison	Tri-State Roofing	dellison@tstateroofing.com	(423) 588-5842
Brian Lauderdale	CRS	blauderdale@crssupply.com	470-277-1223
Scott Herron	Genesis Roofing	scott@genesisroofing.net	615-440-9805

Miguel Robledo	Porter Roofing Co.	Eric Casim @ porter-roofing.com	(931) 314-9129
Tommy MILLER	Foam-Crete	tommy@Foam-crete.net	Cell 423-619-2478 Office 423 629-7337
Ken Nurczynski	Eskola Roofing	knurczynski@eskolaroofing.com	865-250-2002
TODD HARTMAN	JM/Larimer Shannon	TODD at LSERP.COM	423-605-1436
Scott Remplein	JDH Company	scott.remplein@jdhcompany.com	706-218-9861
BRAD LORD	JDH Co.	brad.lord@jdhcompany.com	423.647.3309
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ANDREW HAUSLER	DH&W ARCHITECTS	ahausler@dhw-architects.com	423-266-4816
Daniel Oakley	DH&W ARCHITECTS	doakley@dhw-architects.com	423-364-7822