



Robertson County Tennessee

Jody Stewart, Finance Director

Finance Department

523 South Brown Street, Springfield, TN 37172

(615) 384-0202

Fax (615) 384-0237

Addendum to Invitation to Bid

Addendum NO. 2

BID #1436: ANIMAL CONTROL FACILITY PROJECT

Sealed bids must be received by: **March 12, 2020 at 10:00 AM**

Robertson County Finance Office

523 South Brown Street

Springfield, TN 37172

THE OUTSIDE OF THE ENVELOPE MUST BE MARKED WITH THE BIDDER'S COMPANY NAME, ITEM BID, TIME OF BID OPENING, DATE OF BID OPENING, BID NO. 1436 AND MUST BE MARKED "SEALED BID, DO NOT OPEN."

Bids are opened and read aloud to the public at the Robertson County Finance Office, 523 S. Brown Street, Springfield, TN 37172 immediately after the bid receipt deadline. Each vendor may submit more than one bid provided each bid meets the stated specifications. Each bid must be submitted in a separate sealed envelope with the appropriate notation on the outside. All bids must be signed by an authorized agent and submitted on the prescribed forms. Submission of bids by telegraph, telephone, or other electronic means is strictly prohibited. Any brand name called for the bid specifications is provided as a reference only. Alternate brand name items offered for bid must be equivalent as to function, basic design, type and quality of material, method of construction, and any required dimensions. Bidder must attach a letter of exception to specifications.

For assistance with technical / product information contact Jason Reynolds at CSR Engineering, Inc. at (615) 247-5381 or by email jason.reynolds@csrengineers.com . For assistance with bid procedures contact Taylor Tomblin, Robertson County Finance Office at (615) 384-0202 or by email: ttomblin@robcotn.org.

Note: Robertson County reserves the right to reject any or all bids, to waive any technicalities or informalities, and to accept any bid deemed in the best interest of the County. All bids will be considered in accordance with Title VI and without regard to age, sex, color, race, creed, national origin, religious persuasion, marital status, political belief, or disability that does not prohibit the performance of duty.

ADDENDUM NO. 2

DATE: March 4, 2020
TO: All Potential Bidders
FROM: Jason L. Reynolds, PE (County Consultant)
SUBJECT: Addendum No. 2 – Animal Control Facility Project
BID NO.: 1436
BIDS TO BE OPENED: **March 12, 2020, at 10:00 a.m. Central Time (Revised per Item#1)**

This addendum becomes a part of the Contract Documents and modifies the original specifications as noted.

Changes to the Contract Documents & Specifications:

Item #1

Issue: New bid opening date: March 12, 2020 at 10:00 a.m..

Response: Due to issuance of Addendum #2, the owner is extending the bid deadline and opening date to 10:00 a.m., Thursday, March 12, 2020. Further, the deadline for acceptance of questions is 5:00 p.m., Friday, March 6, 2020.

Revised Bid Proposal: None.

Item #2

Issue: The plans show Hardi Plank siding but the only place in the specs that siding is mentioned is 06200 2.03 C which states Wood siding: Double 4” horizontal. Please clarify intent.

Response: Use Hardi Plank siding - drawings supersede specs.

Revised Bid Proposal: None.

Item #3

Issue: There is a spec section, 06200, for casework and/or shelving but this isn't reflected in the plans. Please clarify.

Response: There is casework in the Lab and Prep area. Any further questions on this requirement may be qualified within the bid so long as the requirement is not excluded.

Revised Bid Proposal: None.

Item #4

Issue: Refer to A-6 Finish Legend. It states Ceramic Tile and Ceramic Base but they are not listed in any

of the rooms. Please confirm that the entire building is to be sealed concrete.

Response: There is no ceramic tile.

Revised Bid Proposal: None.

Item #5

Issue/Question: Sheet S-3/Covered porch detail states Prefabricated wood (FRTW). The FRTW is not listed in the specs or on the plans but I assume it means Fire Retardant Treated Wood?

Response: Yes, that is correct.

Revised Bid Proposal: None.

Item #6

Issue: Sheet A-1 Floor Plan for the Kennel Area calls out the Exterior Wall as 8" CMU but Sheet A-2 Elevations for the Rear Elevation or Kennel Area states 4" split faced CMU. Please clarify.

Response: See revised sheets A-1 and A-2 clarifying matching information (no 4" block in the vicinity of the kennel area).

Revised Bid Proposal: Plan sheets A-1, A-2 attached with this addendum.

Item #7

Issue: Spec Section 09 90 00 page 6 of 6 Painting & Finish Schedule calls out: 10. Painted Wood, 11. Stained Wood, 13. Interior Surface of Water Tank. I am not reflecting any of these items in the plans. Please clarify.

Response: There is painted wood trim at the top of the interior walls at the ceiling. There is no stained wood or water tank.

Revised Bid Proposal: None.

Item #8

Issue: Sheet A-1 Window Schedule refers to Type A and Type B windows. Spec Section 08520 1.1 refers to (3) types of windows. Back to sheet A-1: Out of 14 windows shown (4 of them I assume are fixed storefronts at the vestibule) on the floor plan only (6) Type A are labeled and (1) Type B is labeled. Feline 2 has no demarcation for the window and the (2) windows in the vestibule have no demarcations. Please clarify what types of windows you would like these to be and please confirm that the "aluminum fixed windows" listed in the specs are the storefronts on either sides of the doors in the vestibule.

Response: There two types of windows:

A: are the typical windows

B: is in the prep area

The only storefront is at the front wall of the vestibule and dimensioned as 6'-0" wide with the heads at 7'4". Feline 2 and side wall of Vestibule is window A

Revised Bid Proposal: None.

Item #9

Issue/Question: I'm only seeing one manufacturer for block with no availability for substitutions, is this correct?

Response: This is not correct. Any requirements for block material in the bid documents is the reflective of the designer's intent and is not meant to be proprietary. An equivalent alternative may be submitted to the owner for consideration.

Revised Bid Proposal: None.

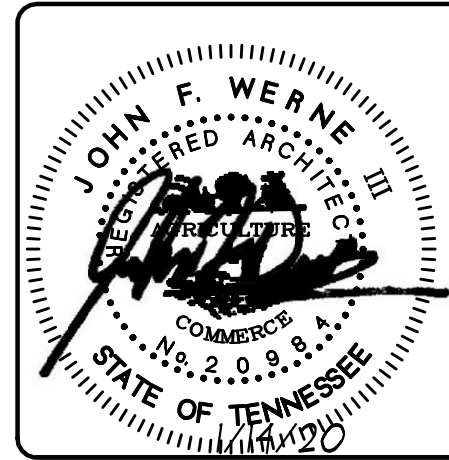
Item #10

Issue/Question: Clarification on service panel/power diagram.

Response: Please see that attached revised electrical drawing sheet E-2.

Revised Bid Proposal: Plan sheet E-2 attached with this addendum.

END OF ADDENDUM NO. 2

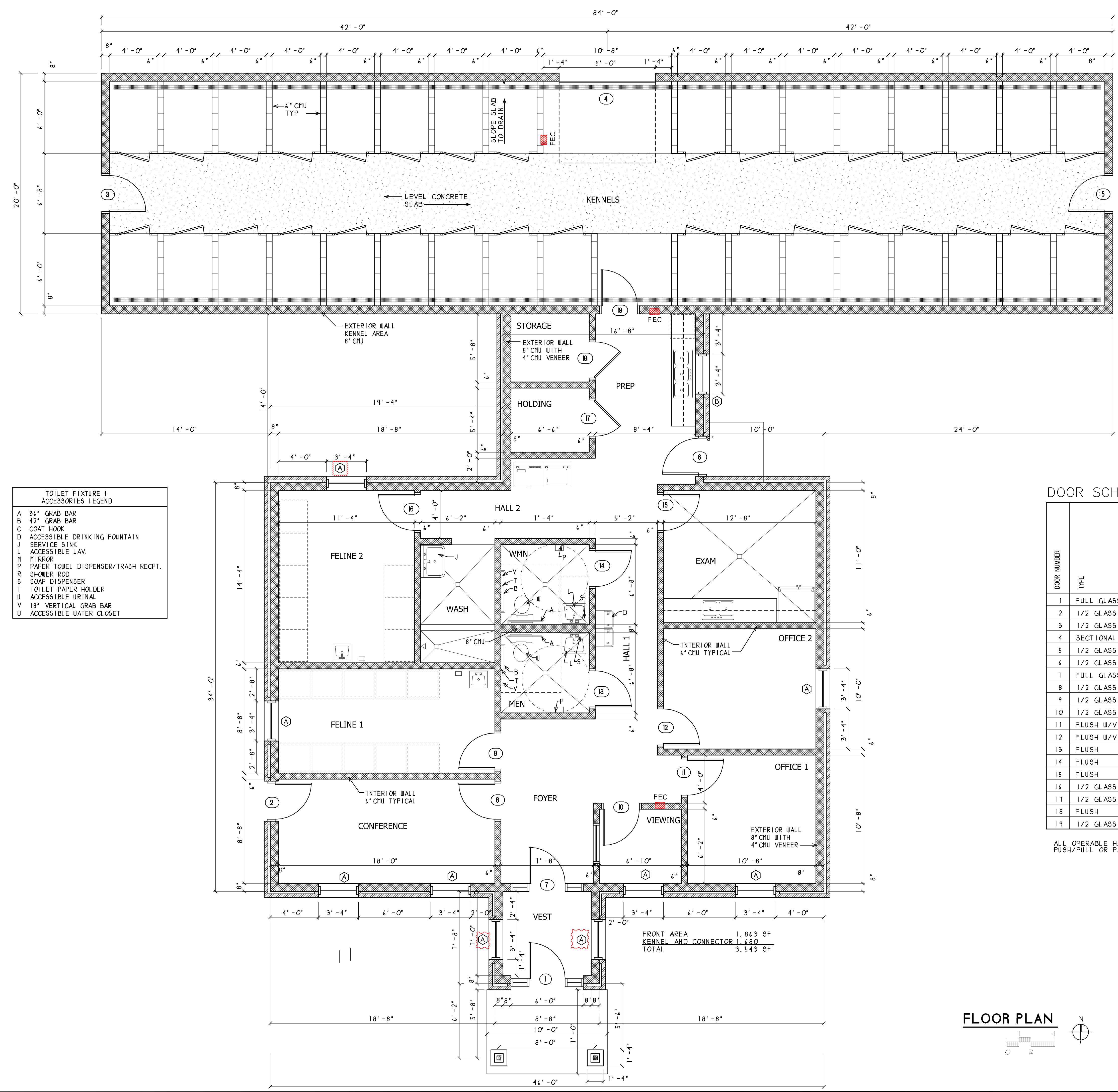


JOHN F. WERNE III
ARCHITECT

1020 OWEN COURT, ASHLAND CITY, TENNESSEE 37015 615-792-3965 jfwerna@gmail.com

ROBERTSON COUNTY
ANIMAL CONTROL

W. COUNTY FARM ROAD, ROBERTSON COUNTY, TN



TOILET FIXTURE & ACCESSORIES LEGEND

- A 36" GRAB BAR
- B 42" GRAB BAR
- C COAT HOOK
- D ACCESSIBLE DRINKING FOUNTAIN
- J SERVICE SINK
- L ACCESSIBLE LAV.
- M MIRROR
- P PAPER TOWEL DISPENSER/TRASH RECEPT.
- R SHOWER ROD
- S SOAP DISPENSER
- T TOILET PAPER HOLDER
- U ACCESSIBLE URINAL
- V 18" VERTICAL GRAB BAR
- W ACCESSIBLE WATER CLOSET

DOOR SCHEDULE

DOOR NUMBER	TYPE	WIDTH	HEIGHT	DOOR MATERIAL	FRAME MATERIAL	RATING	LOCATION	SET OF HINGES	LOCKSET	PRIVACY LATCHSET	CLOSER	PUSH/PULL	SILENCERS	STOP	THRESHOLD	WEATHER SEAL
1	FULL GLASS	3'-0"	7'-0"	HM	HM	HM	VEST ENT	■	■	■	■	■	■	■	■	■
2	1/2 GLASS	3'-0"	7'-0"	HM	HM	HM	CONFERENCE	■	■	■	■	■	■	■	■	■
3	1/2 GLASS	3'-0"	7'-0"	HM	HM	HM	KENNELS	■	■	■	■	■	■	■	■	■
4	SECTIONAL	8'-0"	7'-0"	HM	HM	HM	KENNELS	■	■	■	■	■	■	■	■	■
5	1/2 GLASS	3'-0"	7'-0"	HM	HM	HM	KENNELS	■	■	■	■	■	■	■	■	■
6	1/2 GLASS	3'-0"	7'-0"	HM	HM	HM	PREP	■	■	■	■	■	■	■	■	■
7	FULL GLASS	3'-0"	7'-0"	HM	HM	HM	VEST/FOYER	■	■	■	■	■	■	■	■	■
8	1/2 GLASS	3'-0"	7'-0"	HM	HM	HM	CONFERENCE	■	■	■	■	■	■	■	■	■
9	1/2 GLASS	3'-0"	7'-0"	HM	HM	HM	FELINE 1	■	■	■	■	■	■	■	■	■
10	1/2 GLASS	3'-0"	7'-0"	HM	HM	HM	VIEWING	■	■	■	■	■	■	■	■	■
11	FLUSH W/VIEW	3'-0"	7'-0"	HM	HM	HM	OFFICE 1	■	■	■	■	■	■	■	■	■
12	FLUSH W/VIEW	3'-0"	7'-0"	HM	HM	HM	OFFICE 2	■	■	■	■	■	■	■	■	■
13	FLUSH	3'-0"	7'-0"	HM	HM	HM	MEN	■	■	■	■	■	■	■	■	■
14	FLUSH	3'-0"	7'-0"	HM	HM	HM	WOMEN	■	■	■	■	■	■	■	■	■
15	FLUSH	3'-0"	7'-0"	HM	HM	HM	EXAM	■	■	■	■	■	■	■	■	■
16	1/2 GLASS	3'-0"	7'-0"	HM	HM	HM	FELINE 2	■	■	■	■	■	■	■	■	■
17	1/2 GLASS	3'-0"	7'-0"	HM	HM	HM	HOLDING	■	■	■	■	■	■	■	■	■
18	FLUSH	3'-0"	7'-0"	HM	HM	HM	STORAGE	■	■	■	■	■	■	■	■	■
19	1/2 GLASS	3'-0"	7'-0"	HM	HM	HM	KENNELS	■	■	■	■	■	■	■	■	■

HARDWARE SCHEDULE

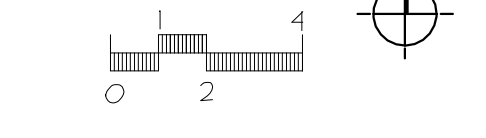
DOOR NUMBER	TYPE	WIDTH	HEIGHT	DOOR MATERIAL	FRAME MATERIAL	RATING	LOCATION	SET OF HINGES	LOCKSET	PRIVACY LATCHSET	CLOSER	PUSH/PULL	SILENCERS	STOP	THRESHOLD	WEATHER SEAL
1	FULL GLASS	3'-0"	7'-0"	HM	HM	HM	VEST ENT	■	■	■	■	■	■	■	■	■
2	1/2 GLASS	3'-0"	7'-0"	HM	HM	HM	CONFERENCE	■	■	■	■	■	■	■	■	■
3	1/2 GLASS	3'-0"	7'-0"	HM	HM	HM	KENNELS	■	■	■	■	■	■	■	■	■
4	SECTIONAL	8'-0"	7'-0"	HM	HM	HM	KENNELS	■	■	■	■	■	■	■	■	■
5	1/2 GLASS	3'-0"	7'-0"	HM	HM	HM	KENNELS	■	■	■	■	■	■	■	■	■
6	1/2 GLASS	3'-0"	7'-0"	HM	HM	HM	PREP	■	■	■	■	■	■	■	■	■
7	FULL GLASS	3'-0"	7'-0"	HM	HM	HM	VEST/FOYER	■	■	■	■	■	■	■	■	■
8	1/2 GLASS	3'-0"	7'-0"	HM	HM	HM	CONFERENCE	■	■	■	■	■	■	■	■	■
9	1/2 GLASS	3'-0"	7'-0"	HM	HM	HM	FELINE 1	■	■	■	■	■	■	■	■	■
10	1/2 GLASS	3'-0"	7'-0"	HM	HM	HM	VIEWING	■	■	■	■	■	■	■	■	■
11	FLUSH W/VIEW	3'-0"	7'-0"	HM	HM	HM	OFFICE 1	■	■	■	■	■	■	■	■	■
12	FLUSH W/VIEW	3'-0"	7'-0"	HM	HM	HM	OFFICE 2	■	■	■	■	■	■	■	■	■
13	FLUSH	3'-0"	7'-0"	HM	HM	HM	MEN	■	■	■	■	■	■	■	■	■
14	FLUSH	3'-0"	7'-0"	HM	HM	HM	WOMEN	■	■	■	■	■	■	■	■	■
15	FLUSH	3'-0"	7'-0"	HM	HM	HM	EXAM	■	■	■	■	■	■	■	■	■
16	1/2 GLASS	3'-0"	7'-0"	HM	HM	HM	FELINE 2	■	■	■	■	■	■	■	■	■
17	1/2 GLASS	3'-0"	7'-0"	HM	HM	HM	HOLDING	■	■	■	■	■	■	■	■	■
18	FLUSH	3'-0"	7'-0"	HM	HM	HM	STORAGE	■	■	■	■	■	■	■	■	■
19	1/2 GLASS	3'-0"	7'-0"	HM	HM	HM	KENNELS	■	■	■	■	■	■	■	■	■

ALL OPERABLE HARDWARE SHALL BE LEVER ACTION, PUSH/PULL OR PANIC DEVICE.

WINDOW SCHEDULE

MARK	TYPE	NOMINAL OPENING		HEAD HEIGHT	FRAME	GLAZING	REMARKS
		WIDTH	HEIGHT				
A	DBL HUNG	3'-4"	5'-4"	7'-4"	AL	DBL	
B	DBL HUNG	3'-4"	3'-4"	7'-4"	AL	DBL	

FLOOR PLAN

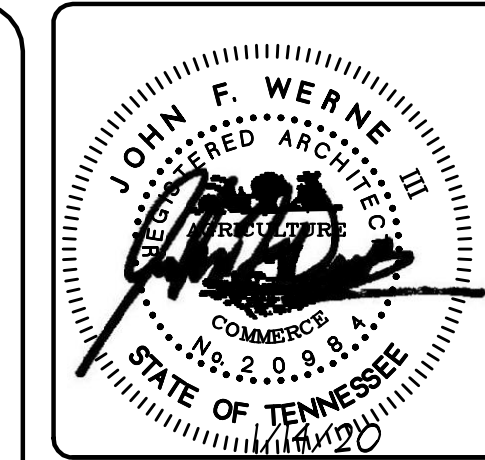


DESIGNER
 REVIEWER

PROJECT

DATE 1/14/20

REV 1: 2/28/20
 SHEET **A-1**

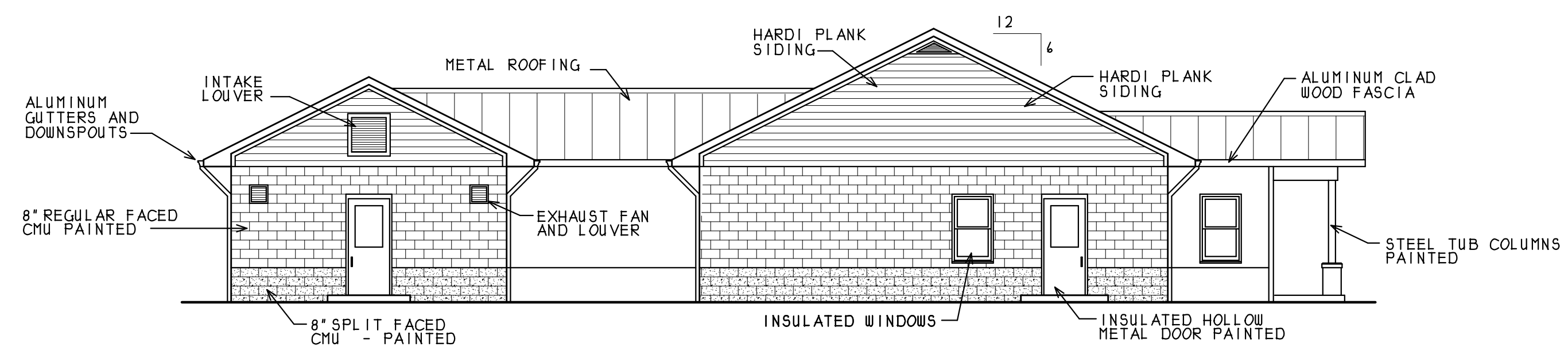


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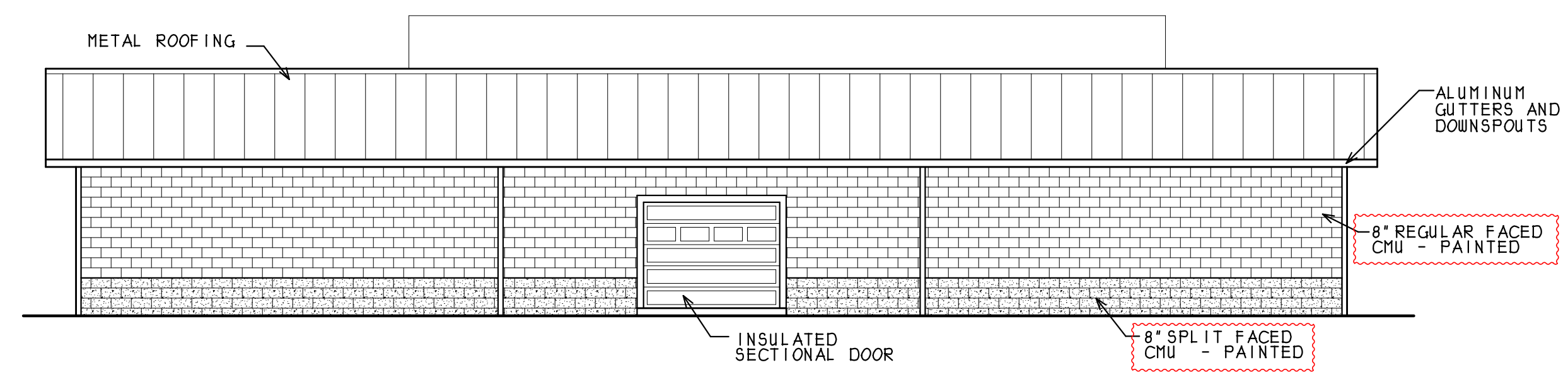
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ROBERTSON COUNTY
ANIMAL CONTROL

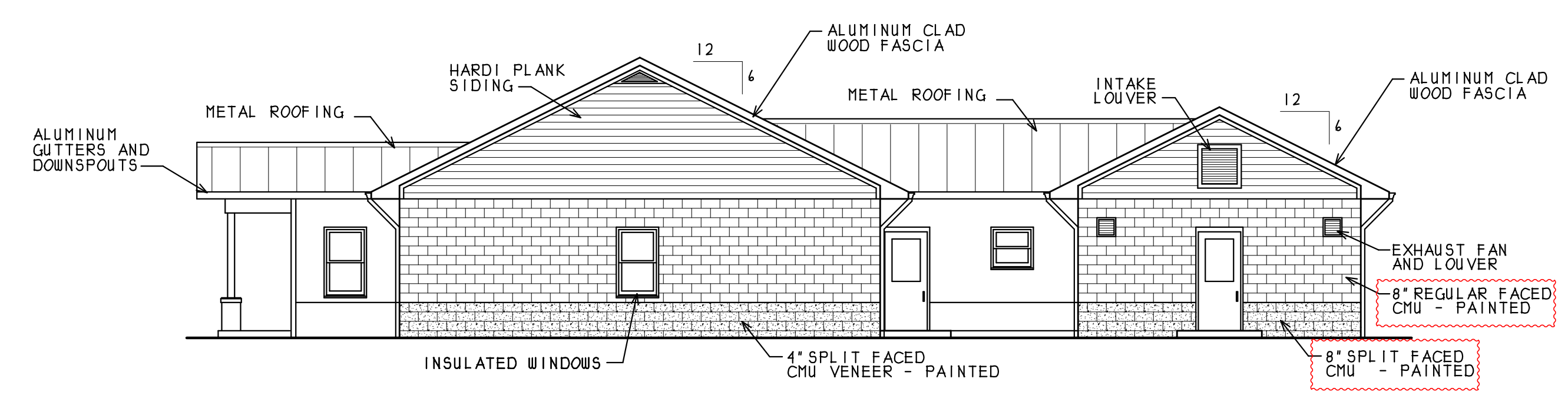
W. COUNTY FARM ROAD, ROBERTSON COUNTY, TN



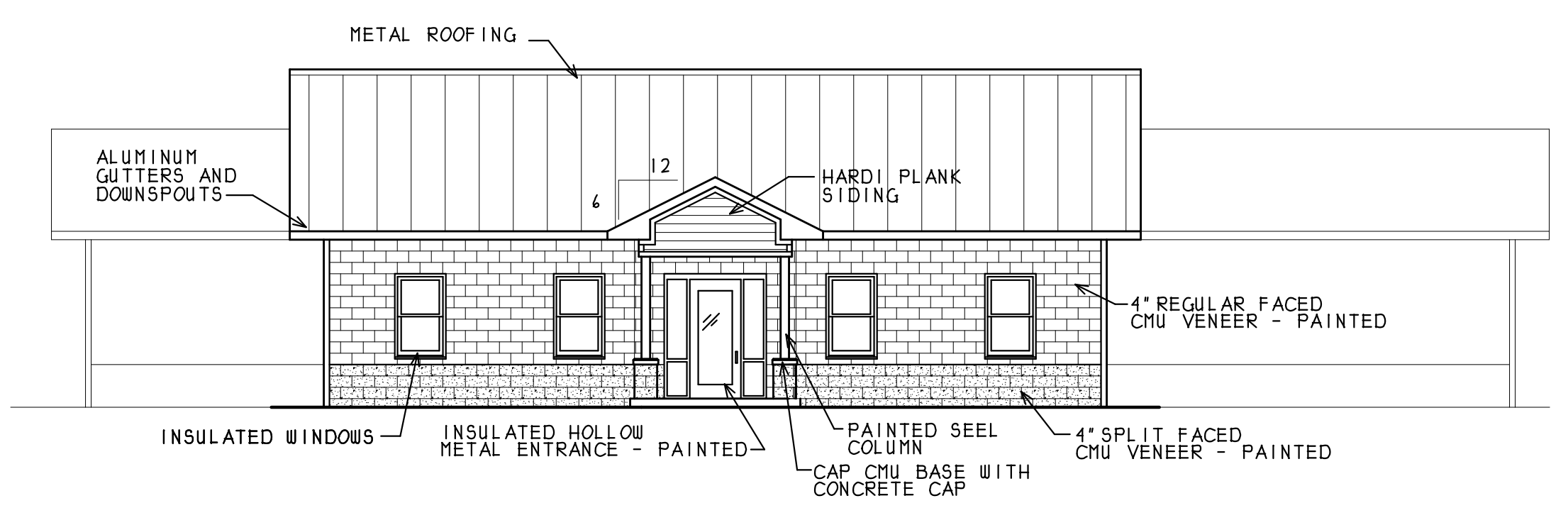
LEFT ELEVATION



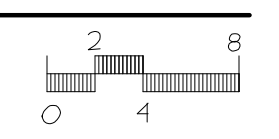
REAR ELEVATION



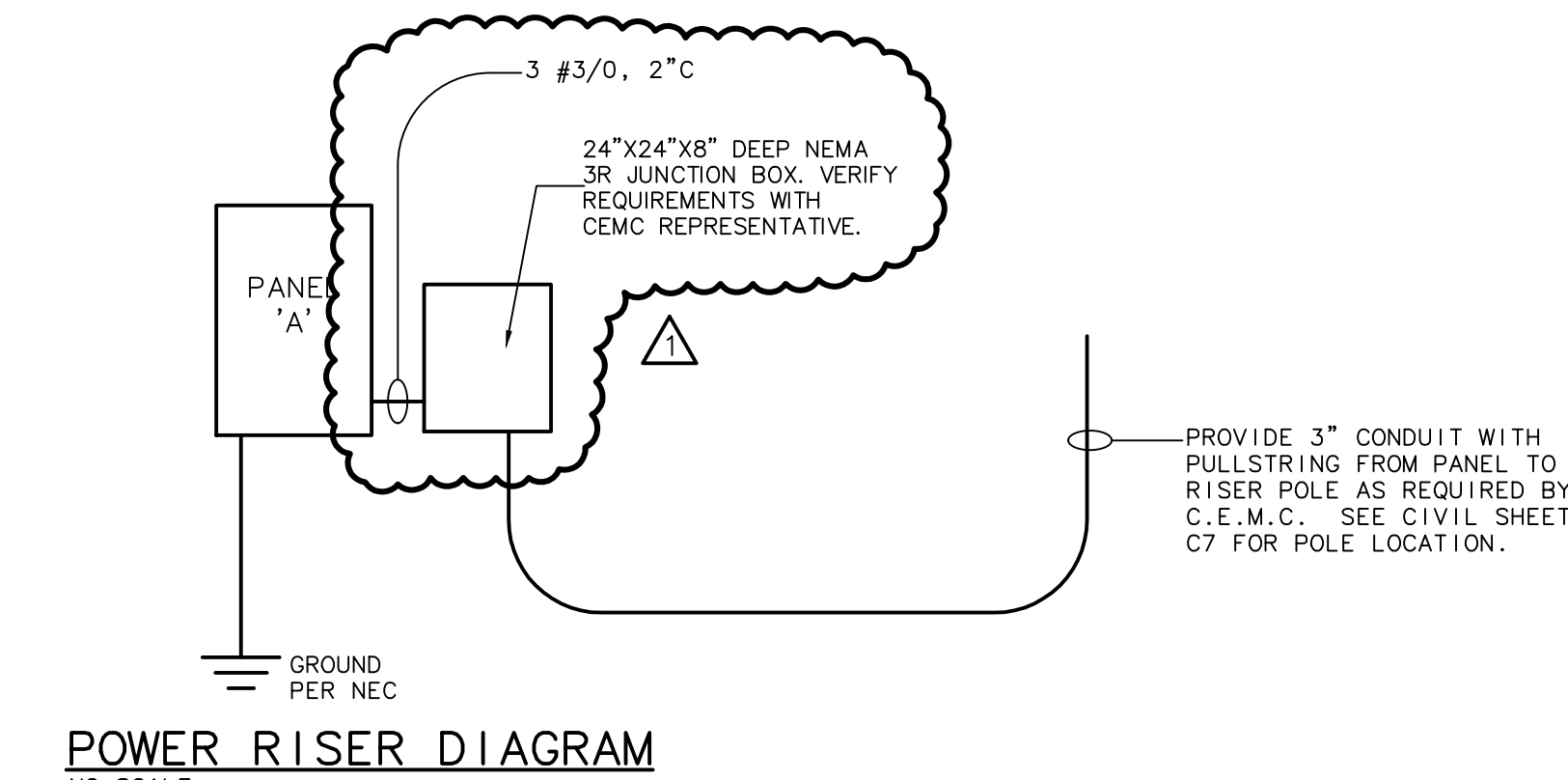
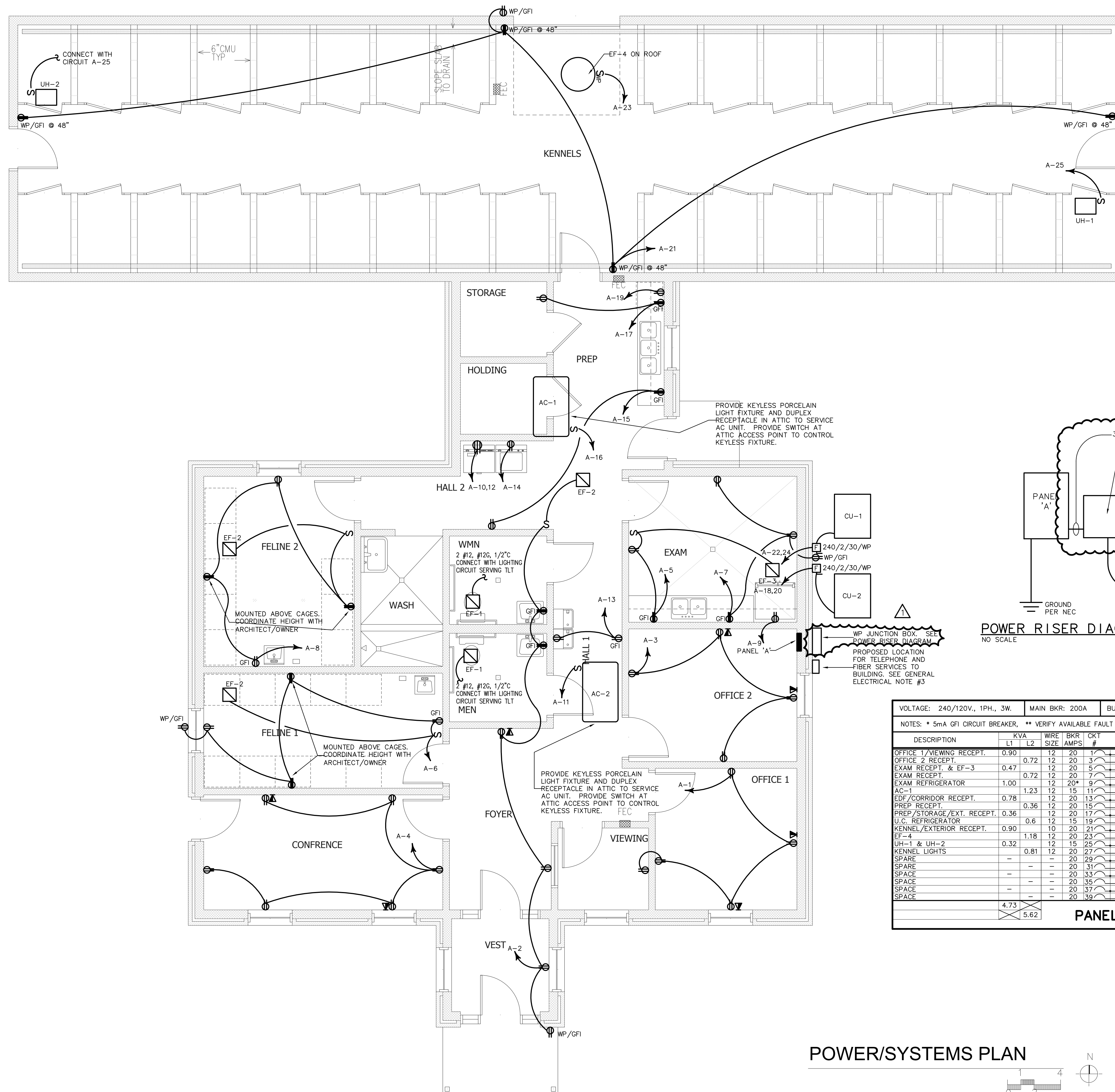
RIGHT ELEVATION



FRONT ELEVATION



DESIGNER	
REVIEWER	
PROJECT	
REV 1	2/28/20
DATE	1/14/20
SHEET	A-2



VOLTAGE: 240/120V., 1PH., 3W. MAIN BKR: 200A BUS: 225 AMP --- A.I.C.: 22K** FLUSH MOUNTED

NOTES: * 5mA GFI CIRCUIT BREAKER, ** VERIFY AVAILABLE FAULT CURRENT WITH CEMC REPRESENTATIVE PRIOR TO ORDERING PANEL

DESCRIPTION	KVA		WIRE SIZE	BKR	CKT #	BKR AMPS	WIRE SIZE	KVA		DESCRIPTION
	L1	L2						L1	L2	
OFFICE 1/VIEWING RECEPT.	0.90		12 20	1	2	20	12	1.19		RECEPT./EF-2
OFFICE 2 RECEPT.	0.72		12 20	3	4	20	12	1.08		CONF. RECEPTACLES
EXAM RECEPT. & EF-3	0.47		12 20	5	6	20	12	1.01		FELINE 1 RECEPT./EF-2
EXAM RECEPT.	0.72		12 20	7	8	20	12	0.83		FELINE 2 RECEPT./EF-2
EXAM REFRIGERATOR	1.00		12 20*	9	10	30*	10	2.50		CLOTHES DRYER
AC-1	1.23		12 15	11	12			2.50		
EDF/CORRIDOR RECEPT.	0.78		12 20	13	14	20*	12	1.50		CLOTHES WASHER
PREP RECEPT.	0.36		12 20	15	16	15	12	1.23		AC-1
PREP/STORAGE/EXT. RECEPT.	0.36		12 20	17	18	30	10	1.79		CU-2
U.C. REFRIGERATOR	0.6		12 15	19	20			1.79		
KENNEL/EXTERIOR RECEPT.	0.90		10 20	21	22	30	10	1.79		CU-1
EF-4	1.18		12 20	23	24			1.79		
UH-1 & UH-2	0.32		12 15	25	26	20	12	0.63		LIGHTS
KENNEL LIGHTS	0.81		12 20	27	28	20	12	0.66		LIGHTS
SPARE	-		20 29	30	30	20	12	0.33		EXTERIOR LIGHTS
SPARE	-		20 31	32	32	20	-	-		SPARE
SPACE	-		20 33	34	34	20	-	-		SPACE
SPACE	-		20 35	36	36	20	-	-		SPACE
SPACE	-		20 37	38	38	20	-	-		SPACE
SPACE	-		20 39	40	40	20	-	-		SPACE
	4.73							10.74		L1: 15.47 KVA
	5.62							9.88		L2: 15.50 KVA
										TOTAL: 30.97 KVA

PANEL "A"

POWER/SYSTEMS PLAN