

ADDENDUM NO. 1
Bulloch County Jail & Maintenance Expansion
Statesboro, Georgia
Bulloch County
September 18, 2019

Construction Documents for the above project are hereby amended as follows:

GENERAL

1. See attached Pre-Proposal Conference Meeting Minutes.
2. The entire camera system is shown for reference only. Provide conduit and junction boxes only. Cameras, housings, monitors, wiring, NVR's and all headed equipment, etc. is provided by the Owner.
3. Laundry – All work having to do with revising and expanding the Laundry in the existing Correctional Institute is hereby deleted from the Contract. This includes all work shown on drawing sheets A2.6, A2.7, P2.4A, P2.4B, M2.4, E2.6A, E2.6B, E2.7A and E2.7B and Specification Section 112300 all of which are hereby deleted. Other work shown on other Construction Documents specifically for the Laundry is hereby deleted.
4. Wood framing general notes:
 - Buildings are to be constructed in accordance with AWC, APA (ANSI) standards.
 - All wall framing is 16" o.c.
 - Trusses to be designed and fabricated by truss manufacturer. Design to carry seal of engineer registered in Georgia.
 - Roof trusses shall be designed for applicable ultimate wind loads at project site.
 - Configuration and size of web members to be determined by truss manufacturer.
 - Permanent truss bridging and temporary truss bracing shall be in accordance with mfg. recommendations.
 - Shop drawings of trusses to be submitted for review prior to fabrication.
 - Exterior opening & porch header sizes are: (2) 2x10 + plywood flitch.
5. Contractor shall be responsible for all disposal generated by the work.

SPECIFICATIONS

6. SECTION E – Delete Section E and substitute the attached Section E with "Revised 9/17/19" in lower left corner.
7. SECTION F – SPECIAL CONDITIONS, A.1 and A.2, Revise as follows:
 - A.1 Scope, omit 5. Laundry Renovation and Expansion in the County Correctional Institute.
 - A.2 Site Grading and Fencing:
 - A. All rough grading of the site will be done by the Owner.
 1. Building pads will be graded to $\pm 0.2'$.
 2. Areas to have concrete or asphalt paving will be graded by the Owner to

- ±0.3' to the bottom of asphalt paving or concrete.
3. After acceptance of the Owner's rough grading the Contractor shall be responsible for all additional grading for the work.
 4. At completion of other work under this Contract, the Contractor will be responsible for final grading, grassing, and removal of erosion control devices.
- B. During the course of the work the Contractor will maintain all erosion control features installed by the County. The Contractor will be responsible for any storm water monitoring required.
- C. All permanent site fencing, including gates, will be done by the Owner.
- Add A.3: Contractor may use without cost existing hose bibbs as source of construction water. The Contractor shall obtain temporary electrical service at his cost.
- Add A.4: There will be no charge by Bulloch County for the building permit on this project. The Contractor will continue to be responsible for the cost of other permits including the land disturbance permit.
8. SPECIFICATION SECTION 28 Clarification:
 1. The systems specified in this project are not expected to be tied into systems in existing facilities.
 2. All Card Reader devices are to be furnished by the Owner.
 3. There is no paging system or speakers required.
 9. 013513 – DETENTION EQUIPMENT CONTRACTOR, Paragraph 1.01.B – Omit sub-paragraphs 10, 11, and 12 and add the following:
 10. 270000 Telecom Communications
 11. 270510 Firestopping for Telecom Systems
 12. 270526 Grounding for Telecom Systems
 13. 270553 Identification for Telecom
 14. 270800 Commissioning of Telecom
 15. 271113 Telecom Entrance Protection
 16. 271119 Termination Blocks & Patch Panels
 17. 271313 Copper Backbone
 18. 271323 Fiber Optic Backbone
 19. 271333 Coax Backbone
 20. 271513 Communications Copper Horizontal Cabling
 21. 271523 Fiber Optic Horizontal Cabling
 22. 271533 Coax Horizontal Cable
 23. 271543 Faceplates & Connectors
 24. 271619 Patch Cords with Work Station Cords
 25. 272133 Wireless Access
 26. 280000 General – Electronic Security
 27. 280120 Touchscreen Locking Controls
 28. 280140 Programmable Logic Controllers
 29. 280150 Electronic Relay System
 30. 280200 Intercom System
 31. 280300 Digital Closed-Circuit Television System
 32. 280508 Grounding and Bonding

33. 280710 UPS
34. 280800 Surge Protection
35. 283111 Fire Alarm System
9. 015000 – TEMPORARY FACILITIES and CONTROLS, Add the following:
 - 1.03 Temporary Fence
 1. Provide a temporary fence as indicated on the attached Sketch No. 43 dated September 16, 2019.
 2. Fence shall be 8'-0" high chainlink matching the existing fence being tied to. Provide razor wire to match existing.
 3. Provide a 4'-0" X 7'-0" pedestrian gate at location directed with pad locking capability.
 4. Remove near end of work when approved by Owner.
 5. Other temporary fencing may be installed at the discretion and at the cost of the Contractor.
10. 061600 – SHEATHING - Paragraph 2.03 Wall Sheathing – Replace A & B as follows: A. Plywood Wall Sheathing: APA Rated, Exposure 1; B. Oriented-Strand-Board Wall Sheathing: APA Rated, Exposure 1
11. 061600 – SHEATHING – Paragraph 2.03 Wall Sheathing – Add C as follows: C. Thickness: ½" unless noted otherwise
12. 061600 – SHEATHING - Paragraph 2.04 Roof Sheathing – Replace A & B as follows: A. Plywood Roof Sheathing: APA Rated, Exposure 1; B. Oriented Strand-Board-Roof Sheathing: APA Rated, Exposure 1
13. 061600 – SHEATHING – Paragraph 2.04 Roof Sheathing – Add C as follows: C: Thickness: 5/8" unless noted otherwise.
14. 072119 – FOAMED-IN-PLACE INSULATION, Paragraph 3.1.C Change to read: "Apply in a finished thickness to give an R value of R=30"
15. 087163 – SECURITY HARDWARE – Hardware Set SH-1 Add:
1 set Weather-stripping NG190A.
16. 088853 – SECURITY GLASS and Glazing - Paragraph 2.03 Add:
A.2 Identified as MR10 on drawings, thicknesses as indicated.
B.6 Identified as MPC500 on drawings.
17. 097733 – CELL PADDING, Paragraph 2.01A Add:
Prime Flex 4730 by Prime Coat Coating Systems as an approved manufacturer.
18. 104401- INSTITUTIONAL COVER SYSTEMS, Add the following paragraph:
1.04 The cover system shall be installed to cover any piping that would otherwise be exposed in finished spaces.
16. 133419 – PRE-ENGINEERED METAL BUILDING, Paragraph 2.02.A, ADD:
Varco Pruden.
17. 264113 – LIGHTNING PROTECTION SYSTEM, Paragraph 1.02B Add:
Robbins Lightning as an approved manufacturer for lightning protection materials.
18. 102113.17 – PHENOLIC-CORE TOILET COMPARTMENTS, Paragraph 2.2 Add:
Scranton Hiny Hiders Solid Plastic as an approved manufacturer.
19. 105113 – METAL LOCKERS, Paragraph 2.01 Add:
Scranton Duralife Lockers and WEB Manufacturing as approved manufacturers.

DRAWINGS

STUDIO 8 DESIGN

20. Drawing Sheet A2.8 – “Evidence Pass Through” noted on drawing is covered in Specification Section 105123 Evidence Lockers.
21. Drawing Sheets A3.4 and A3.5 – At all wall sections and elevations change “R-38” to “R-30” where it occurs with closed cell spray foam insulation. Spray foam insulation shall be R-30 as specified in Section 072119.
22. Drawing Sheet A3.4 – Detail 1/A3.4 – delete ‘radiant barrier’, delete ‘ice & water shield’, change $\frac{3}{4}$ ” APA rated roof decking to read 5/8” APA rated roof decking
23. Drawing Sheet A3.5 – Detail J/A3.5 – delete ‘radiant barrier’, delete ‘ice & water shield’, change $\frac{3}{4}$ ” APA rated roof decking to read 5/8” APA rated roof decking
24. Drawing Sheet A3.5 – The Fiber Cement Siding shall be horizontal, lapped type with 7” exposure.
25. Drawing Sheet A3.6 – Detail F/A3.6 – delete ‘radiant barrier’, delete ‘ice & water shield’, change $\frac{3}{4}$ ” APA rated roof decking to read 5/8” APA rated roof decking
26. Drawing Sheet A4.1 – at Security Door Schedule, change frame type for Door 102B to SHM-3.
27. Drawing Sheet A4.5 - Delete drawing A4.5 from the Index Sheet. Drawing A4.5 does not exist.
28. Drawing Sheet A5.1 – At Index to Finish Schedule:
 1. Add: LVT to be Mohawk Group, Pivot Point Collection, C0113 Pivot Point Stone 819 Pewter.
 2. All VCT including V1, V2, and V3 shall be Sand Castle, Tarkett VCT with no design pattern.
29. Drawing Sheet E2.4B – Rename to E2.4 on Index Sheet.
30. Drawing Sheet S1.1 dated August 23, 2019 - Replace with revised Sheet S1.1 dated September 9, 2019.
31. Drawing Sheet S1.4 dated August 23, 2019 - Replace with revised Sheet S1.4 dated September 9, 2019.
32. Drawing Sheet S3.1 dated August 23, 2019 - Replace with revised Sheet S3.1 dated September 9, 2019.
33. Drawing Sheet C.10 –
 1. The following listed work will be done by the Owner and is not in this Contract:
 - A. “Demolish Basketball Court”
 - B. “Remove/Relocate Existing Shed”
 - C. “Remove Guard Tower”
 - D. “Remove Existing Fence” – multiple noted.
 - E. “Removal of all sewer piping”
 - F. “Demolish Existing Sewer Manhole”
 2. After sanitary sewer is rerouted as indicated, the Contractor shall grout solid the open ends of all abandoned sewer pipe. The abandoned manhole shall be filled solid with crushed rock.

End of Addendum No. 1.



Mandatory Pre-Bid Meeting Minutes
Bulloch County Jail & Maintenance Addition
Thursday, September 12, 2019, 10:00 AM

- Questions received will be answered – where applicable – in Addendum 1
- Remove Laundry Expansion from scope of work.
- New intake building communications to tie back to existing – indicated on drawings.
- Rear construction access to site for contractors described/walked. If traffic with county maintenance becomes an issue in the mornings an alternate route is possible.
- New permanent fences will be provided by county.
- Temporary fences will be provided by contractor – addendum drawing will indicate new location for temporary fence at intake building parking area.
- Demolition necessary for rough grading of building pads (sewer, manhole, basketball) will be by county
- Initial erosion control will be placed by county – thence maintained by contractor.
- Water monitoring will be by contractor
- Initial rough grading and building pads will be by county – all fine grading, dressing and seeding will be by contractor
- Permits will be pulled and paid by contractor
- Permit fee will be determined and included in addendum for inclusion by contractor
- Contractor to coordinate power as necessary
- Water is available in various locations on site for contractor

Respectfully submitted,
Studio 8 Design, LLC

A handwritten signature in blue ink, appearing to read "CHASE GREGORY". The signature is stylized and written in a cursive-like font.

Chase Gregory, AIA Assoc.

S8d File: 170061 / C

PROJECT NAME: 170061.01 – Bulloch County Jail and Maintenance Expansion

PROJECT LOCATION: 17257 Highway 301 North, Statesboro, GA 30458

ATTENDANCE SHEET

DATE: September 12, 2019, 10:00 AM

Pre-Bid Conference

Bulloch County Jail and Maintenance Expansion – Statesboro, Georgia

NO	NAME	COMPANY / ORGANIZATION	CITY, STATE	E-MAIL
1.	PATRICK BOYKIN	LAVENDER ASSOCIATES	STATESBORO	PATRICK@LAVENDER.ASSOCIATES
2.	JOHN LAVENDER	✓	✓	JOHN@LAVENDER.ASSOCIATES
3.	DAN VON BEEK	SACK CO.	STATESBORO	dav@ksack.com
4.	TERRY J. KELLY	JSC systems Fire Alarm	Savannah	T.KELLY@JSCSYSTEMS.NET
5.	Andrew Richland	BCPLW	Statesboro	arichland@bullochcounty.net
6.	Anthony Turpin	R.W. Allen Construction	Savannah	atupin@rwallen.com
7.	JARROD AKINS	PAULS AKINS CO	STATESBORO	jarroda@akinsco.com
8.	CHRIS MERRILL	C. MERRILL CONST.	STATESBORO	CHRIS@CMERRILLCONSTRUCTION.COM
9.	Kenneth Thompson			
10.				

PROJECT NAME: 170061.01 – Bulloch County Jail and Maintenance Expansion

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ATTENDANCE SHEET

DATE: September 12, 2019, 10:00 AM

Pre-Bid Conference

Bulloch County Jail and Maintenance Expansion – Statesboro, Georgia

NO	NAME	COMPANY / ORGANIZATION	CITY, STATE	E-MAIL
1.	Pat Patrick	McKnight Const. Co.	Augusta Ga	Patrick@mcKnightConstructionCo.com
2.	QUINN TANNER	POPE CONSTRUCTION	STATESBORO	qtanner@popeconstructionco.com
3.	William Mosley	WBM Construction	Metter Ga	wbmconst@Pinelead.net
4.	Matthew Stewart	BAK Builders	Statesboro GA	Mstewart@Bakbuilders.com
5.	Brian Kent	BAK Builders	Statesboro GA	bkent@bakbuilders.com
6.	Jake Hudson	Hubbard Hudson Construction	Statesboro GA	jh@hubbardhudson.com
7.	BREN HUBBARD	" " "	"	bh@hubbardhudson.com
8.	James Hunter	KuhIke Construction & Associates, Inc.	Augusta, GA	JHunter@KuhIkeConstruction.com
9.	BRAD RIMZER	Dabbs - Williams	Statesboro	info@dabbs-williams.com
10.				

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Bulloch County Jail and Maintenance Expansion – Statesboro, Georgia

NO	NAME	COMPANY / ORGANIZATION	CITY, STATE	E-MAIL
1.	Rick Bontrac	Bulloch Co S/O	Statesboro	rickcapt91@yahoo.com
2.	Chris Gregory	Studio 8	Vald	cgregory@s8darchitects.com
3.	Jim Ingram	"		JINGRAM@ " "
4.	Bill Black	Bulloch S/O		bill@bullochsheriff.com
5.	Cindy Steinmann	Bulloch County	Statesboro	csteinmann@bullochcounty.net
6.	Brad Deal	Bulloch County		bdeal@bullochcounty.net
7.	Amy Jones	Garnett Construction	Dublin GA	ajones@garnettconstructioncompany
8.	Lamar McCoy	S.D. Clifton Construction	Acosta GA	lamar@sdclifton.com
9.				drave@sdclifton.com
10.				

SECTION ESUPPLEMENTARY CONDITIONS

The following supplements modify the “General Conditions of the Contract for Construction,” AIA Documents A201–2017. Where a portion of the General Conditions is modified or deleted by these Supplementary Conditions, the unaltered portions of the General Conditions shall remain in effect.

ARTICLE 1 - GENERAL PROVISIONS

- A. Add Clause 1.2.1.1 to Subparagraph 1.2.1:
1.2.1.1 In the event of conflicts or discrepancies about the Contract Documents, interpretations will be based on the following priorities:
1. The Agreement.
 2. Addenda, with those of later date having precedence over those of earlier date.
 3. The Supplementary Conditions.
 4. The General Conditions of the Contract for Construction.
 5. Division 1 of the Specifications
 6. Drawings and Divisions 2-44 of the Specifications.
- In the case of conflicts or discrepancies between Drawings and Divisions 2-44 of the Specifications or within either Document not clarified by Addendum, the Architect will determine which takes precedence in accordance with Subparagraph 4.2.11.

ARTICLE 3 - CONTRACTOR

- A. Add the following Subparagraph 3.2.5 to Paragraph 3.2:
3.2.5. The Owner shall be entitled to deduct from the Contract Sum amounts paid to the Architect for the Architect to evaluate and respond to the Contractor’s requests for information, where such information was available to the Contractor from a careful study and comparison of the Contract Documents, field conditions, other Owner-provided information, Contractor-prepared coordination drawings, or prior Project correspondence or documentation.
- B. Delete Subparagraph 3.4.2 and substitute the following:
3.4.2 After the Contract has been executed, the Owner and Architect will consider a formal request for the substitution of products in place of those specified only under the conditions set forth in the General Requirements (Division 1 of the Specifications). By making request for substitutions, the Contractor:
- .1 represents that the Contractor has personally investigated the proposed substitute product and determined that it is equal or superior in all respects to that specified;
 - .2 represents that the Contractor will provide the same warranty for the substitution that the Contractor would for that specified;
 - .3 certifies that the cost data presented is complete and includes all related costs under this Contract except the Architect’s redesign costs, and waives all claims for additional costs related to the substitution which subsequently become apparent; and
 - .4 will coordinate the installation of the accepted substitute, making such changes as may be required for the Work to be complete in all respects.
- C. Add the following Subparagraph 3.4.4 to Paragraph 3.4:
3.4.4 The Owner shall be entitled to deduct from the Contract Sum amounts paid to the Architect to evaluate the Contractor’s proposed substitutions and to make agreed upon changes in the Drawings and Specifications made necessary by the Owner’s acceptance of such substitutions.

ARTICLE 4 - ARCHITECT

- A. Add Clause 4.2.2.1 to Subparagraph 4.2.2:
4.2.2.1 The Contractor shall reimburse the Owner for compensation paid to the Architect for additional site visits made necessary by the fault, neglect or request of the Contractor.

ARTICLE 7 - CHANGES IN THE WORK

- A. Add the following Subparagraph 7.1.4 to Paragraph 7.1:
7.1.4 The combined overhead and profit included in the total cost to the Owner of a change in the Work shall be based on the following schedule:
 - .1 For the Contractor, for Work performed by the Contractor's own forces, 20 percent of the cost.
 - .2 For the Contractor, for Work performed by the Contractor's Subcontractors, 7 percent of the amount due the Subcontractors.
 - .3 For each Subcontractor involved, for Work performed by that Subcontractor's own forces, 20 percent of the cost.
 - .4 For each Subcontractor involved, for Work performed by the Subcontractor's Sub-subcontractors, 7 percent of the amount due the Sub-subcontractor.
 - .5 Cost to which overhead and profit is to be applied shall be determined in accordance with Subparagraph 7.3.7.
 - .6 In order to facilitate checking of quotations for extras or credits, all proposals, except those so minor that their property can be seen by inspection, shall be accompanied by a complete itemization of costs including labor, materials and Subcontracts. Labor and materials shall be itemized in the manner prescribed above. Where major cost items are Subcontracts, they shall be itemized also. In no case will a change involving over \$1000.00 be approved without such itemization.

ARTICLE 8 - TIME

- A. Add the following to Subparagraph 8.3.1:
8.3.1.1 Inclement weather shall not be a reason for extension of time unless weather is abnormal and Contractor can show that abnormal weather caused delay to work critical to maintaining schedule. The Contractor may be entitled to extensions of time only when bad weather days exceed the following list:

January	11 days	July	12 days
February	10 days	August	11 days
March	10 days	September	8 days
April	7 days	October	6 days
May	9 days	November	7 days
June	10 days	December	9 days

ARTICLE 9 - PAYMENTS AND COMPLETION

- A. Add the following Clause 9.3.1.3 to Subparagraph 9.3.1:
9.3.1.3 Until final payment, the Owner shall pay 90 percent of the amount due the Contractor on account of progress payments. For each Work category shown to be 50 percent or more complete in the Application for Payment, the Architect will, without reduction of previous retainage, certify any remaining progress payments for each Work category to be paid in full.
- B. Add the following Clause 9.8.4.1 to Subparagraph 9.8.4:
9.8.4.1 Except with the consent of the Owner, the Architect will perform no more than two (2) inspections to determine whether the Work or a designated portion thereof has attained Substantial Completion in accordance with the Contract Documents. The Owner shall be entitled to deduct from the Contract Sum amounts paid to the Architect for any additional inspections.

- C. Add the following Clause 9.10.1.1 to Subparagraph 9.10.1:
9.10.1.1 Except with the consent of the Owner, the Architect will perform no more than two (2) inspections to determine whether the Work or a designated portion thereof has attained Final Completion in accordance with the Contract Documents. The Owner shall be entitled to deduct from the Contract Sum amounts paid to the Architect for any additional inspections.

ARTICLE 11 - INSURANCE AND BONDS

- A. Add the following Clauses 11.1.2.1 through 11.1.2.4 to Subparagraph 11.1.1:
11.1.2.1 The limits for Worker’s Compensation and Employer’s Liability insurance shall meet statutory limits mandated by the General Assembly of the State of Georgia. A group insurer must submit a certificate of authority from the Insurance Commissioner approving the group insurance plan. A self-insurer must submit a certificate from the Georgia Board of Worker’s Compensation stating the Contractor qualifies to pay its own worker’s compensation claims. The Contractor shall require all subcontractors performing work under this contract to obtain an insurance certificate showing proof of Worker’s Compensation Coverage and Employer’s Liability Insurance.

Employer’s Liability Insurance. The Contractor shall also maintain Employer’s Liability Insurance Coverage with limits of at least:

- Bodily Injury by Accident - \$1,000,000 each accident, and
- Bodily Injury by Disease - \$1,000,000 each employee.

11.1.2.2 The Contractor shall provide Commercial General Liability insurance (2004 ISO Occurrence form or equivalent) which shall include, but need not be limited to, coverage for bodily injury and property damage arising from premises and operations liability, products and completed operations liability, blasting and explosion, collapse of structures, underground damage, personal injury liability and contractual liability. The Commercial General Liability Insurance shall provide at minimum the following limits:

Coverage	Limit
Premises and Operations	\$1,000,000 per Occurrence
Products and Completed Operations	\$1,000,000 per Occurrence
Personal Injury	\$1,000,000 per Occurrence
Contractual	\$1,000,000 per Occurrence
General Aggregate	\$2,000,000 per Project

11.1.2.3 The Contractor shall provide Commercial Business Automobile Liability insurance (owned, non-owned and hired vehicles) which shall include coverage for bodily injury and property damage. The Commercial Business Automobile Liability Insurance Policy shall provide not less than \$1,000,000 Combined Single Limits for each occurrence.

- i. The policy shall include an additional insured endorsement naming the officers, members, and employees of the Owner and the State of Georgia as additional insureds.
- ii. The coverage extended to the additional insureds for any claims not covered by the Georgia Tort Claims Act shall be no broader than the coverage extended to the Contractor and is not expanded to cover claims and losses that are not insurable under the Contractor’s policy.

11.1.2.4 Builder’s Risk Insurance. Contractor shall provide Builder’s Risk Policy to be made payable to the Owner and Contractor, as their interests may appear. The policy amount should be equal to 100% of the contract sum, written on an all risk basis or its equivalent. All deductibles shall be the sole responsibility of the Contractor, and in no event shall the amount of any deductible exceed \$10,000.00.

ARTICLE 12 - UNCOVERING AND CORRECTING WORK

- A. Add the following to Subparagraph 12.2.2.1:
12.2.2.1.1 During the one-year period of the warranty and guarantee, any defects of material or workmanship that become apparent shall be the responsibility of the Contractor until and unless the Contractor can show abuse or design defect. The Contractor shall immediately correct all defects that become known during the one-year period at no cost to the Owner unless notice is given to the Architect prior to correcting the defect that the cause of the defect is the result of abuse or design deficiency.
- B. **12.2.2.1.2** When the Contractor is notified by the Architect of a defect, the Contractor will visit the site to review the complaint. If it is the Contractor's responsibility, it will be immediately corrected. If the Contractor alleges design defect or abuse, he will notify the Architect and the Architect will issue a formal decision in his capacity as Architect and impartial interpreter of the conditions of the contract.
- C. **12.2.2.1.3** If the condition is an emergency, this will be communicated to the Contractor with the request that no matter what he finds, corrections are to be accomplished immediately. If it is determined the complaint is not the responsibility of the Contractor, the Contractor will be paid for the cost of the service call within 30 days.
- D. **12.2.2.1.4** The Contractor shall respond to a notice of defect within three (3) days except when classified as an emergency, in which case the Contractor's response time shall be limited to 24 hours. If the Contractor fails to respond within these time limits, the Owner may correct the defect and charge the Contractor of the work.

ARTICLE 15 CLAIMS AND DISPUTES

- A. Add the following Clauses 15.1.5.3 and 15.1.5.4 to Subparagraph 15.1.6:
15.1.6.3 Claims for increase in the Contract Time shall set forth in detail the circumstances that form the basis for the Claim, the date upon which each cause of delay began to affect the progress of the Work, the date upon which each cause of delay ceased to affect the progress of the Work and the number of days' increase in the Contract Time claimed as a consequence of each such cause of delay. The Contractor shall provide such supporting documentation as the Owner may require including, where appropriate, a revised construction schedule indicating all the activities affected by the circumstances forming the basis of the Claim.
- 15.1.6.4** The Contractor shall not be entitled to a separate increase in the Contract Time for each one of the number of causes of delay which may have concurrent or interrelated effects on the progress of the Work, or for concurrent delays due to the fault of the Contractor.

STATUTORY AFFIDAVIT

STATE OF _____ COUNTY OF _____

FROM: _____
(Contractor)

TO: _____

RE: Contract entered into this _____ day of _____, 20____, between the above-mentioned parties for the construction of a _____

_____.

KNOW ALL MEN BY THESE PRESENTS:

1. The undersigned hereby certifies that all work required under the above contract has been performed in accordance with the terms thereof, that all material men, subcontractors, mechanics and laborers have been paid and satisfied in full and that there are not outstanding claims of any character arising out of the performance of the Contract which have not been paid and satisfied in full.
2. The undersigned further certifies that to the best of his knowledge and belief there are not unsatisfied claims for damages resulting from injury or death to any employee, subcontractor, or the public at large arising out of the performance of the contract, or any suits or claims for any other damage of any kind, nature, or description which might constitute a lien upon the property of the Owner.
3. The undersigned makes this affidavit as provided by law and for the purpose of receiving final payment in full settlement of all claims arising under or by virtue of the Contract, and acceptance of such payment is acknowledged as a release of the Owner from any and all claims arising under or by virtue of the Contract.

IN WITNESS WHEREOF, the undersigned has signed and sealed this instrument

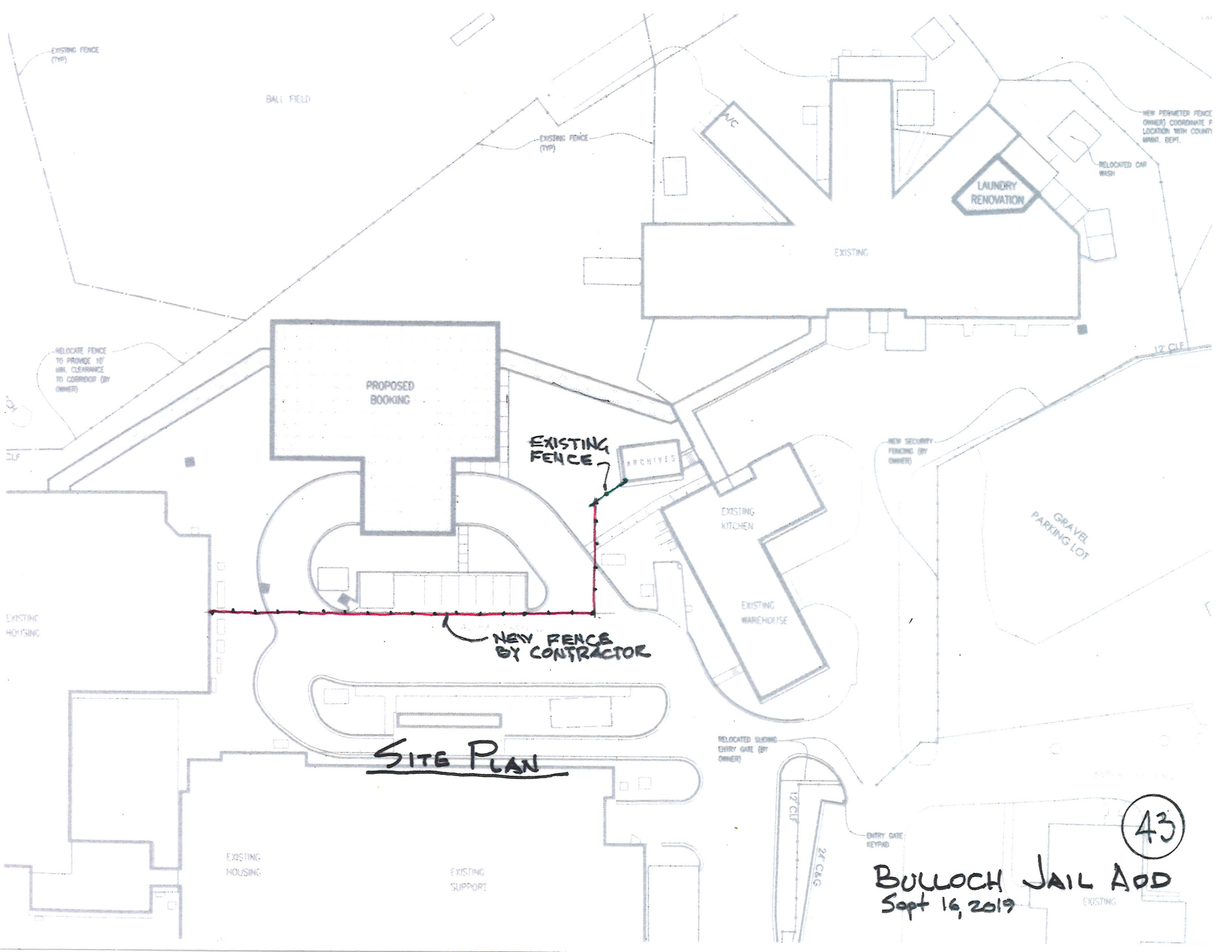
this _____ day of _____, 20____.

Personally appeared before the undersigned, _____ and _____ who after being duly sworn, depose(s) and say(s) that the facts stated in the above affidavit are true.

(Notary Public)

This _____ day of _____, 20____.

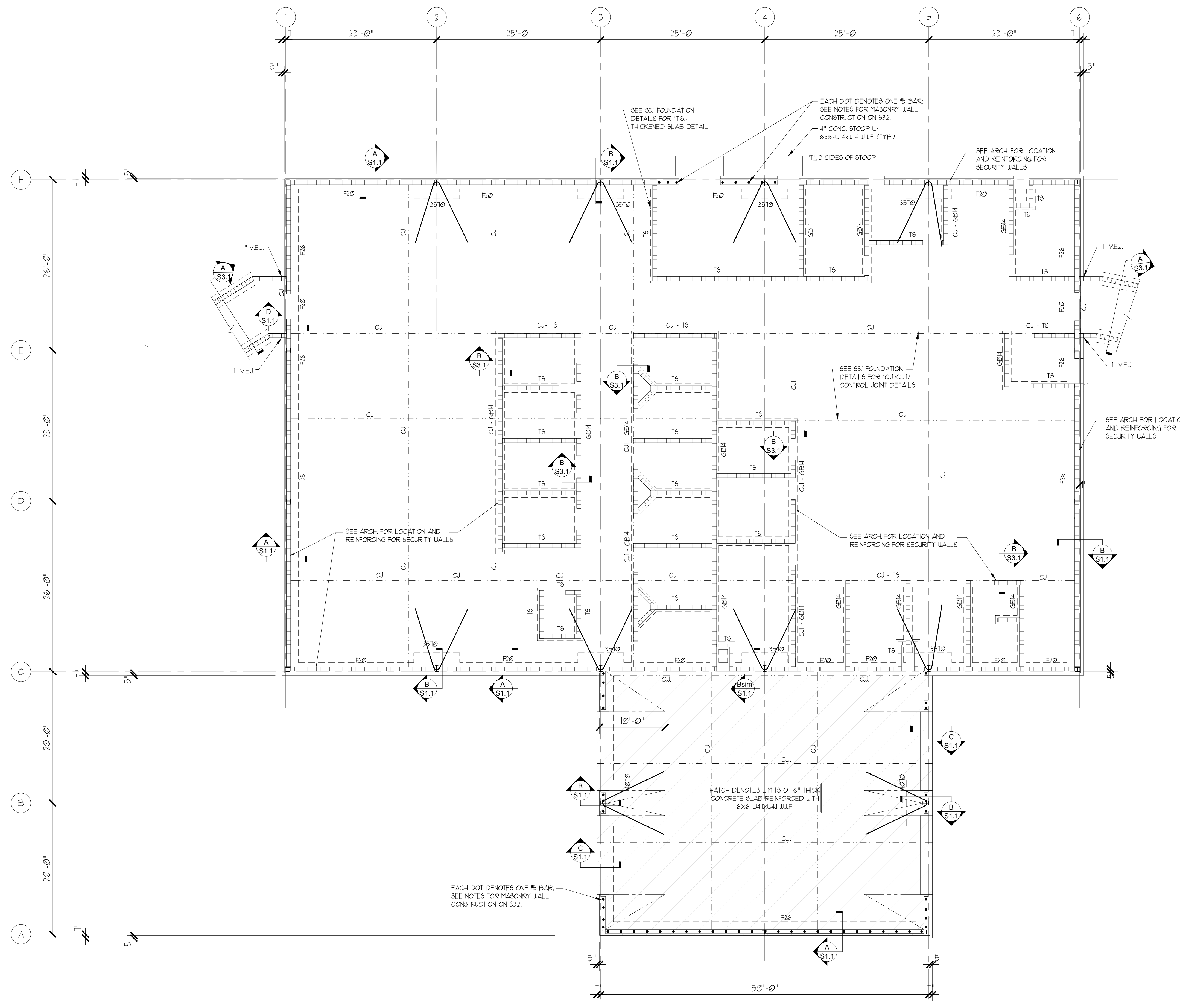
My Commission expires _____.



SITE PLAN

BULLOCH JAIL ADD
Sept 16, 2019

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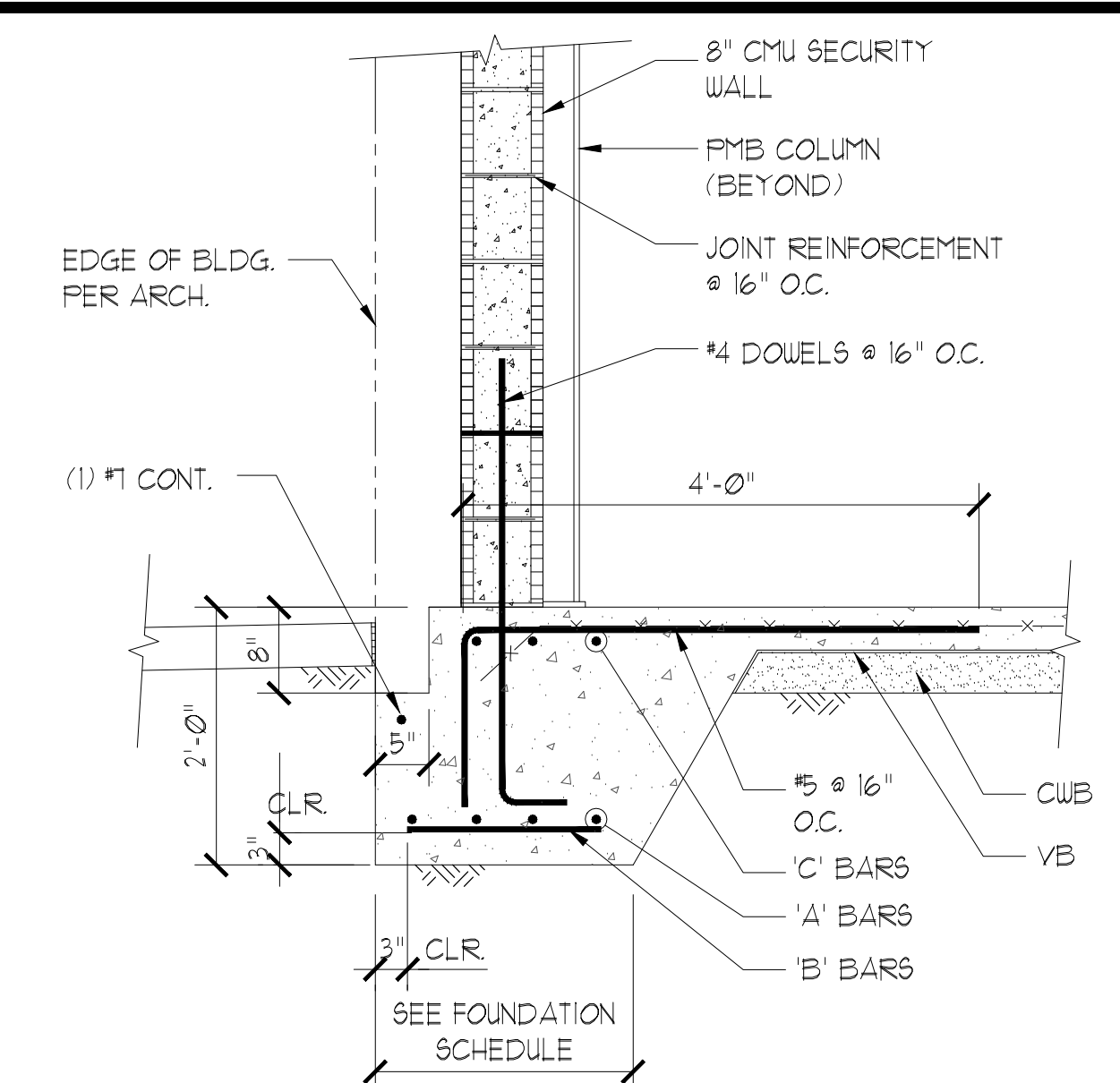


FOOTING SCHEDULE

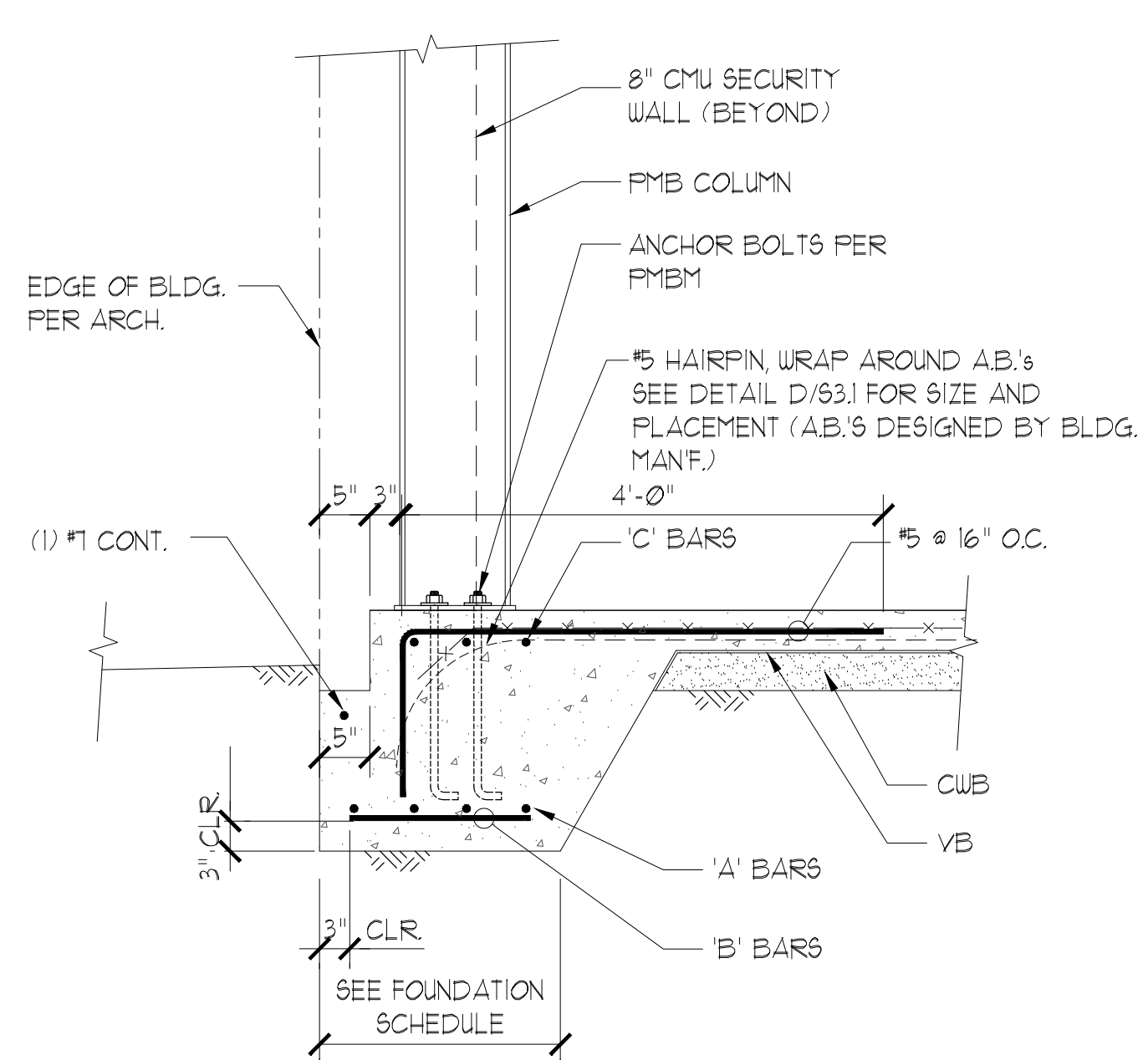
MARK	TYPE	WIDTH	DEPTH	'A' BARS	'B' BARS	'C' BARS	DWL/A.B. EMBEDMENT
F3510	COLUMN FTG.	3'-6"x1'-0"	2'-0"	(4) #1 CONT.	(3) #1 CONT.	(4) #1 CONT.	21"
F4010	COLUMN FTG.	4'-0"x1'-0"	2'-0"	(4) #1 CONT.	(3) #1 CONT.	(4) #1 CONT.	21"
F20	PERIMETER WALL	2'-0"	2'-0"	(2) #1 CONT.	#1 @ 12" O.C.	(2) #1 CONT.	21"
F26	PERIMETER WALL	2'-6"	2'-0"	(3) #1 CONT.	#1 @ 12" O.C.	(3) #1 CONT.	21"
GB14	GRADE BEAM	1'-4"	1'-4"	(2) #5 CONT.	(2) #5 CONT.	---	13"

NOTE FOR VERTICAL CONTROL JOINTS (V.C.J.)
V.C.J.'S SHALL EXTEND FROM TOP OF FOOTINGS TO BOTTOM OF BOND BEAM AT TOP OF WALL. AT TWO STORY HIGH WALLS, DISCONTINUE V.C.J. AT BOTTOM OF SECOND FLOOR BOND BEAM. START V.C.J. ABOVE BOND BEAM AND CONTINUE UP TO BOND BEAM AT TOP OF WALL OR ROOF. SEE FOUNDATION PLAN FOR LOCATION OF VERTICAL CONTROL JOINTS. SEE STRUCTURAL NOTES AND SHEET S2.2 FOR MASONRY DETAILS.

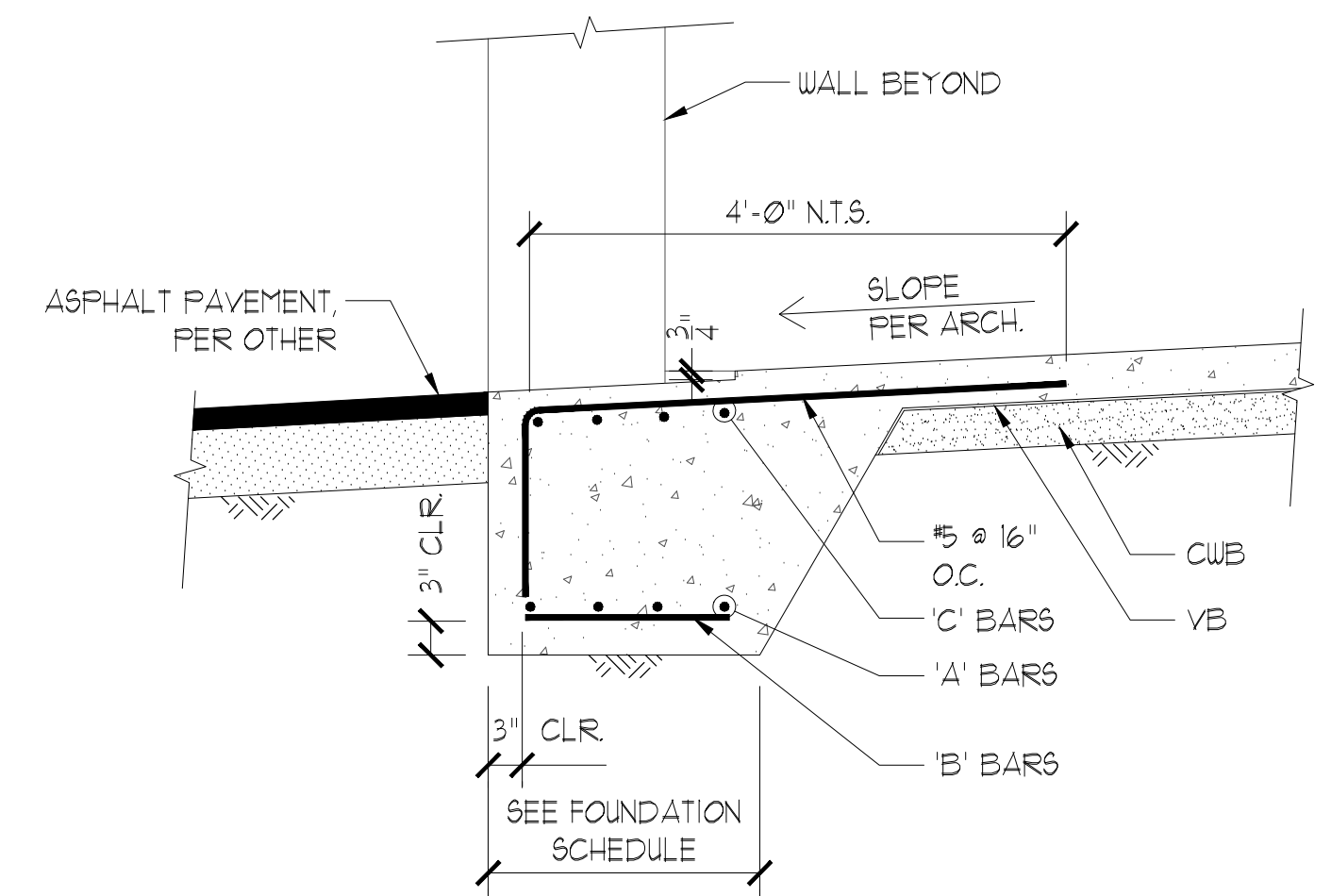
- NOTES FOR FOUNDATION AND FLOOR PLANS:
(UNLESS INDICATED OTHERWISE).
- ALL ELEVATIONS ARE RELATIVE TO AN ASSUMED FINISHED FLOOR ELEVATION OF 000'.
 - ALL 8" CMU WALLS ON FOOTINGS, GRADE BEAMS AND/OR MONOLITHIC FOUNDATIONS ARE REINFORCED. SEE STRUCTURAL NOTES AND MASONRY AND FOUNDATION DETAILS.
 - TYPICAL SLAB-ON-GRADE CONSTRUCTION SHALL BE 4" THICK CONCRETE REINFORCED WITH 6x6-W4XW4 WWF. AS SPECIFIED, WHERE 6" SLAB-ON-GRADE IS SHOWN, PROVIDE 6x6-W4XW4.
 - SEE ARCHITECTURAL DRAWINGS FOR LOCATION OF WALLS FOR C.J.'S ALIGNED WITH FACE OF WALLS. UNO, ALL OTHER C.J.'S SHALL BE EQUALLY SPACED.
 - SEE ARCHITECTURAL AND PLUMBING DRAWINGS FOR DETAILS AND EXACT LOCATIONS OF FLOOR DRAINS AND OTHER FEATURES.
 - SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF SECURITY WALLS AND PARTIAL CONCRETE FILLED WALLS.
 - SECURITY WALLS SHALL BE GROUTED SOLID WITH 3000 PSI CONCRETE AND REINFORCED WITH #4 VERTICAL REBAR @ 2' o.c. PROVIDE #4 DOUELS @ 24" o.c. INTO FOUNDATIONS OR ELEVATED SLABS OR WALLS BELOW AND EXTEND UP, BUILD TIGHT TO BOTTOM OF ROOF DECK, ELEVATED SLAB OR H.C.S. ABOVE PER DETAILS.
 - UNO, PROVIDE 8" HOOKS ON DOUELS INTO SLABS AND GRADE BEAMS.



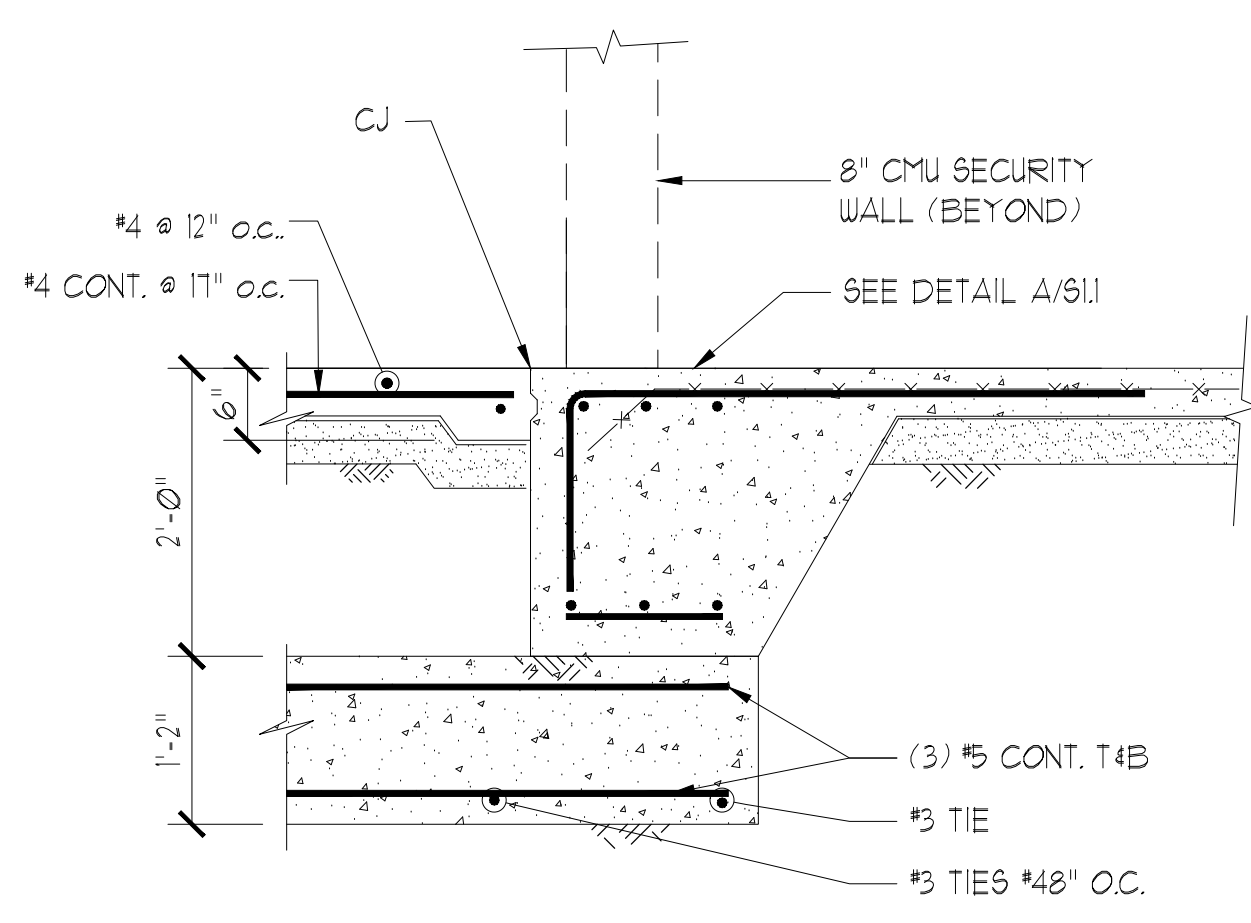
TYPICAL EXTERIOR WALL FOOTING DETAIL
SCALE: 3/4" = 1'-0"



TYPICAL COLUMN PAD FOUNDATION DETAIL
SCALE: 3/4" = 1'-0"



FOUNDATION DETAIL
SCALE: 3/4" = 1'-0"



FOUNDATION DETAIL
SCALE: 3/4" = 1'-0"

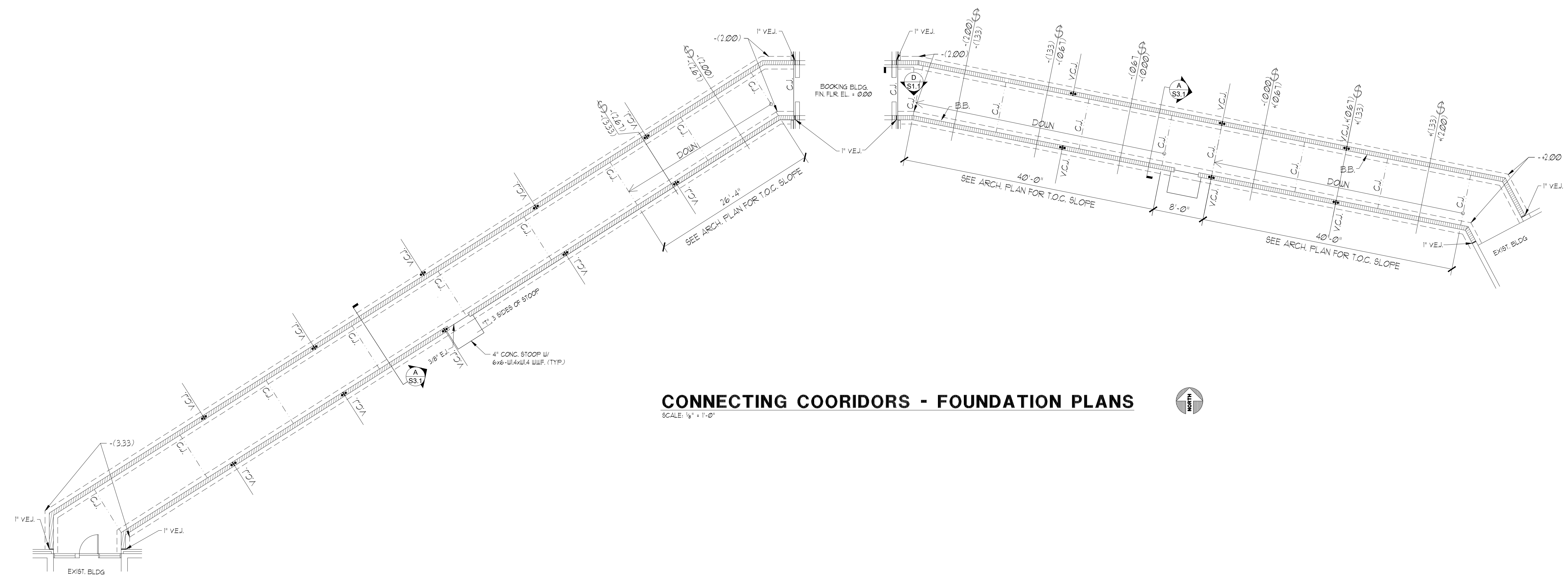


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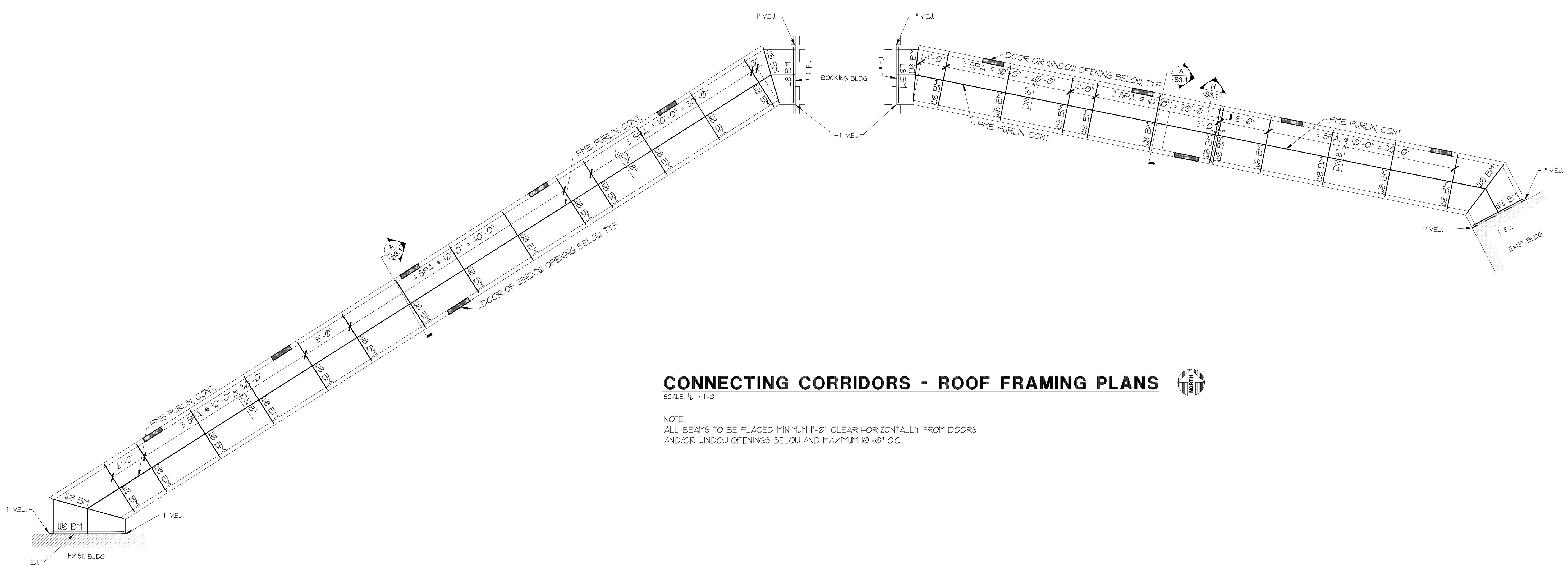
REV. 05/20/19	REV.
REV. 9/29/2019	REV.
REV.	REV.
REV.	REV.

FOUNDATION PLAN

S1.1



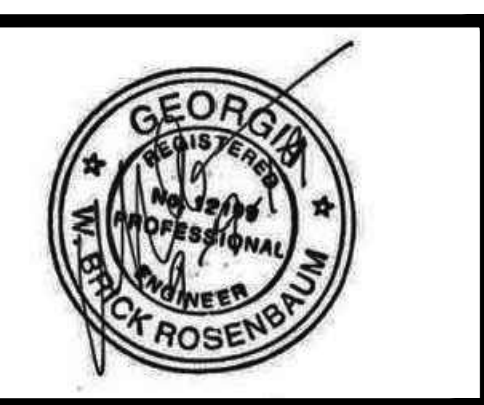
CONNECTING COORIDORS - FOUNDATION PLANS
 SCALE: 1/4" = 1'-0"



CONNECTING COORIDORS - ROOF FRAMING PLANS
 SCALE: 1/4" = 1'-0"

NOTE:
 ALL BEAMS TO BE PLACED MINIMUM 1'-0" CLEAR HORIZONTALLY FROM DOORS
 AND/OR WINDOW OPENINGS BELOW AND MAXIMUM 10'-0" O.C.

AN ADDITION TO THE
BULLOCH COUNTY JAIL
 STATESBORO, GEORGIA

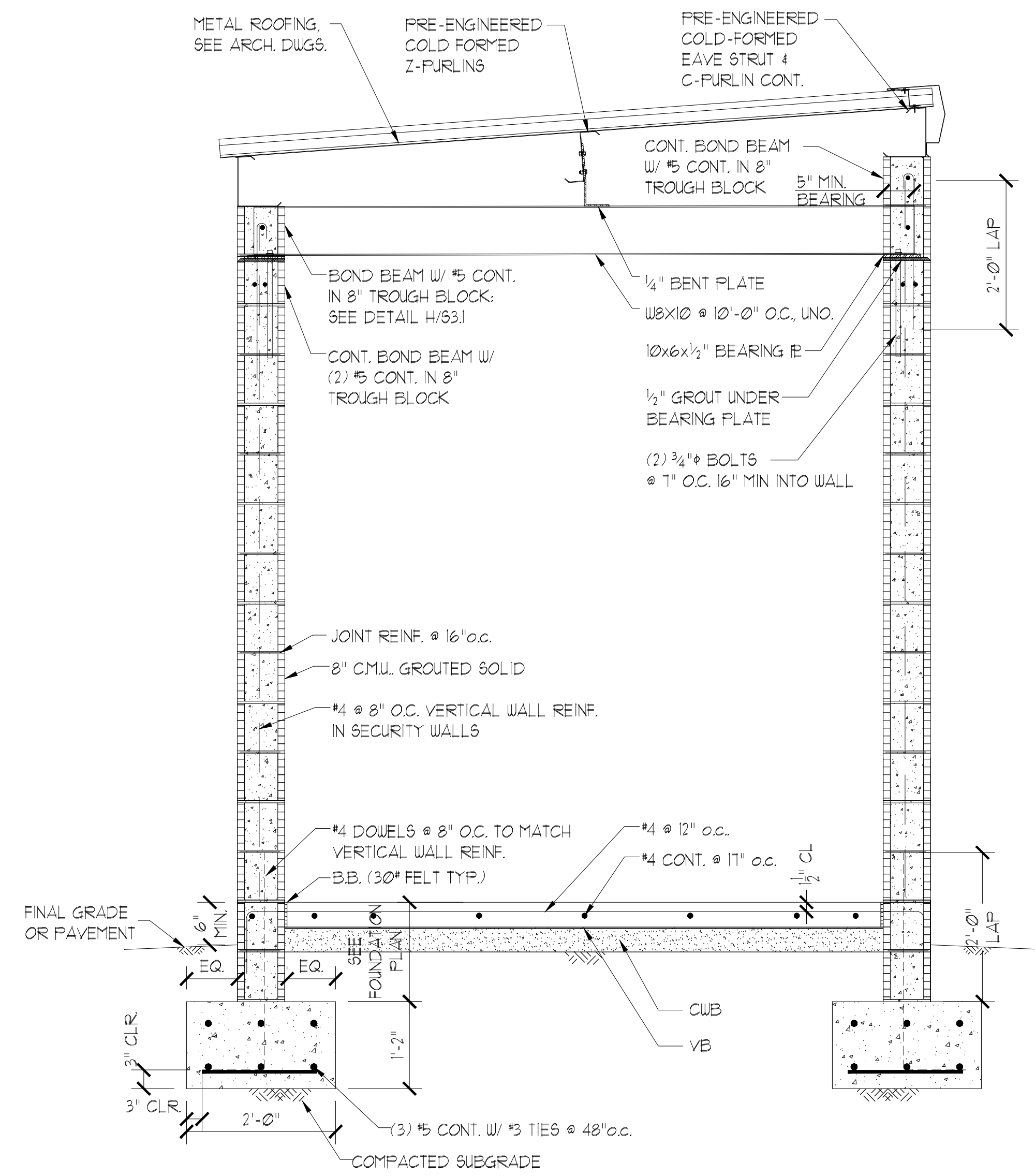


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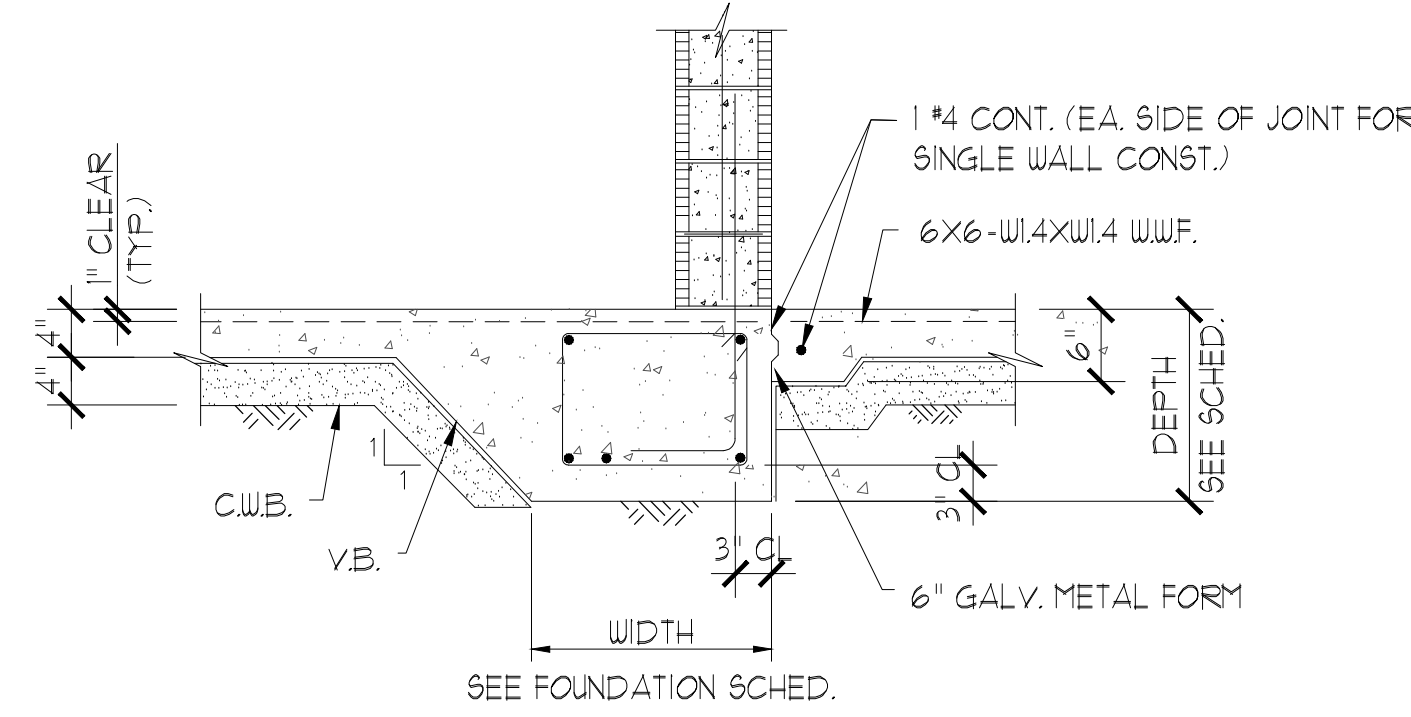
REV. 1	ADD CORRIDOR 1	REV.
REV.		REV.
REV.		REV.
REV.		REV.

CONNECTING
 CORRIDOR PLANS

S1.4

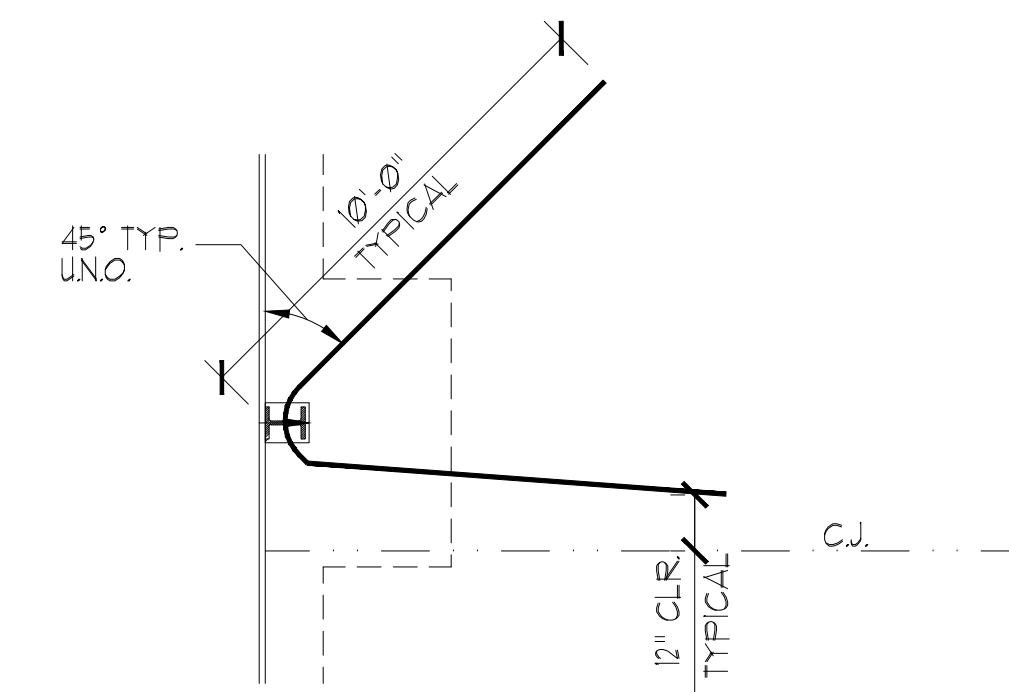


SECTION THRU CONNECTOR
SCALE: 3/4" = 1'-0"
S3.1

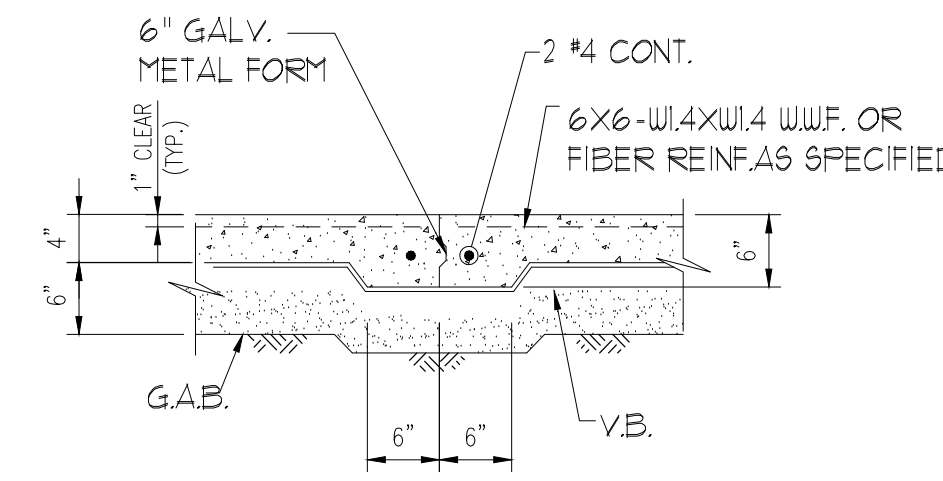


TYPICAL C.J1-GB DETAIL
NO SCALE
S3.1

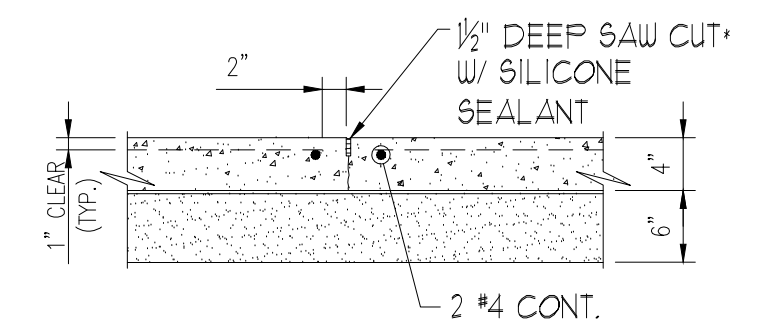
SECTION THRU #5 HAIRPIN BAR
NO SCALE
S3.1



TYPICAL HAIRPIN DETAIL
SCALE: 1/4" = 1'-0"
S3.1

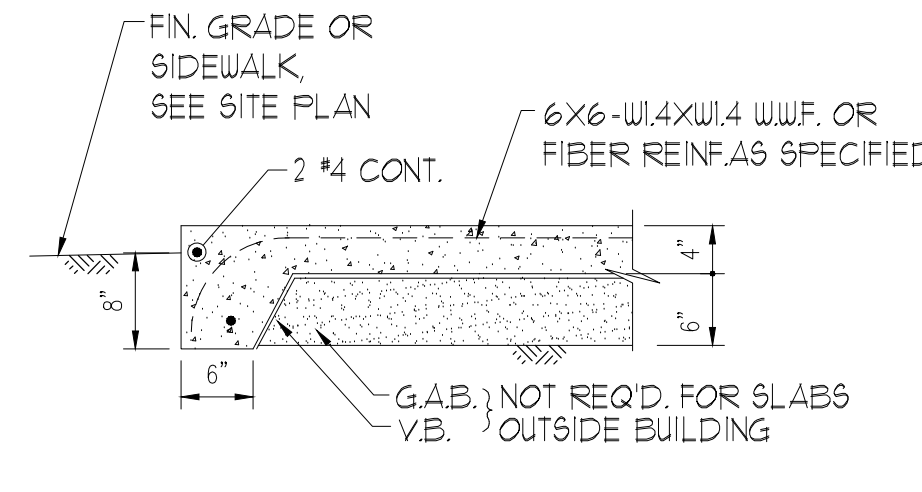


INDICATED BY C.J. ON PLAN



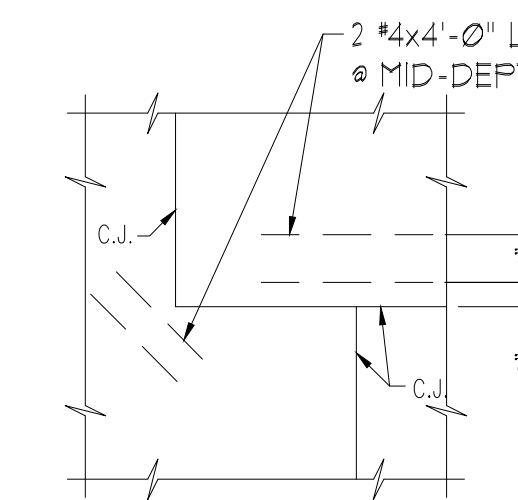
INDICATED BY S.G.J. ON PLAN

CONSTRUCTION JOINT DETAILS

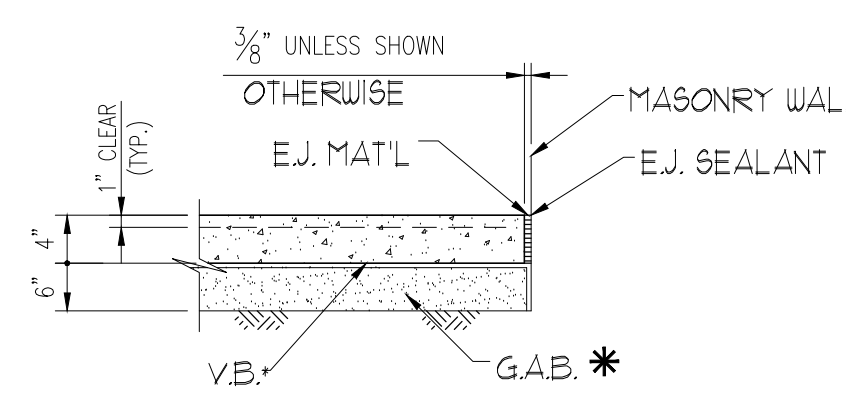


INDICATED BY 'T' ON PLAN

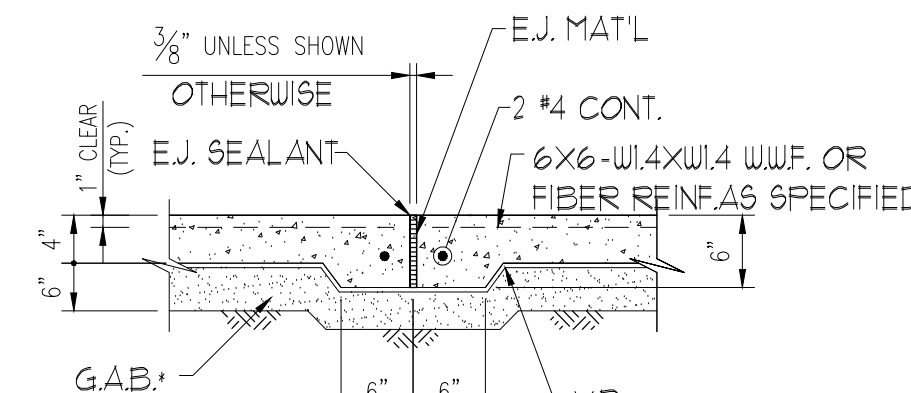
TURNED DOWN SLAB



DETAIL AT STAGGERED JOINTS

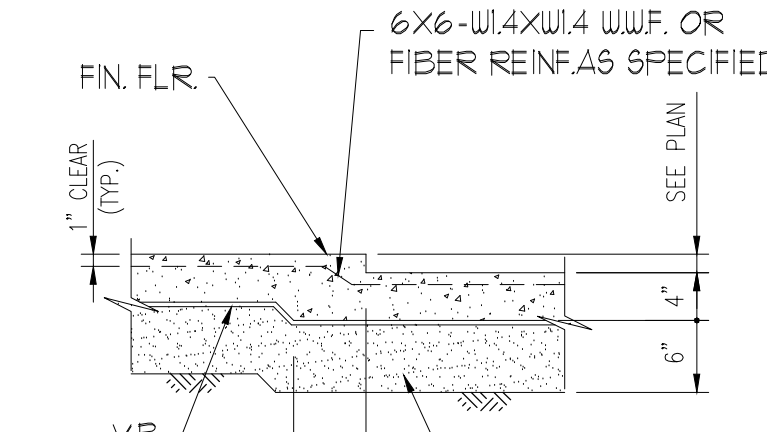


AT EXTERIOR WALL

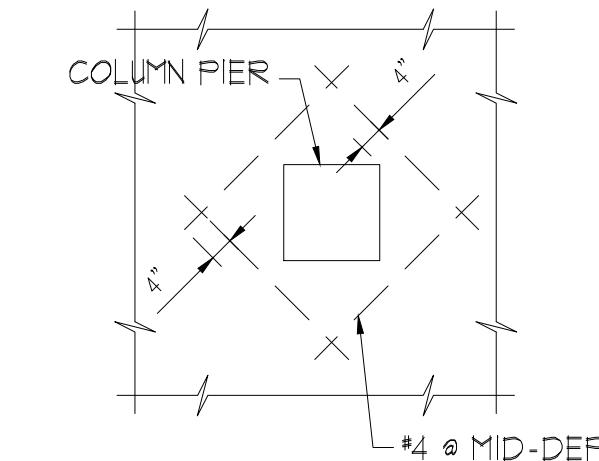


AT EXTERIOR SLAB

* NOTE: NOT REQUIRED FOR EXT. SLABS
INDICATED BY 3/8" E.J. ON PLAN
EXPANSION JOINTS

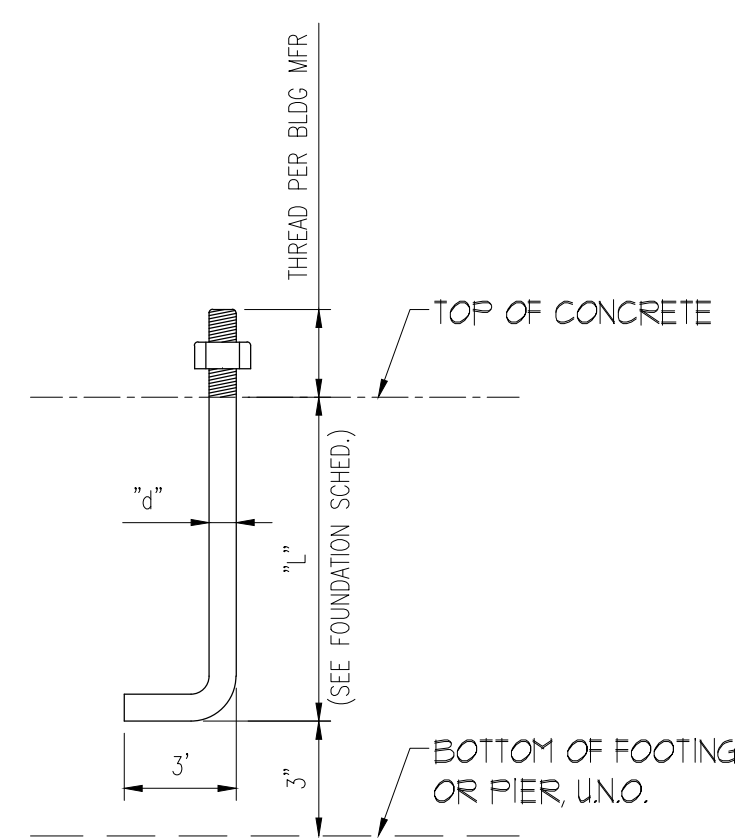


RECESSED FLR. SLAB

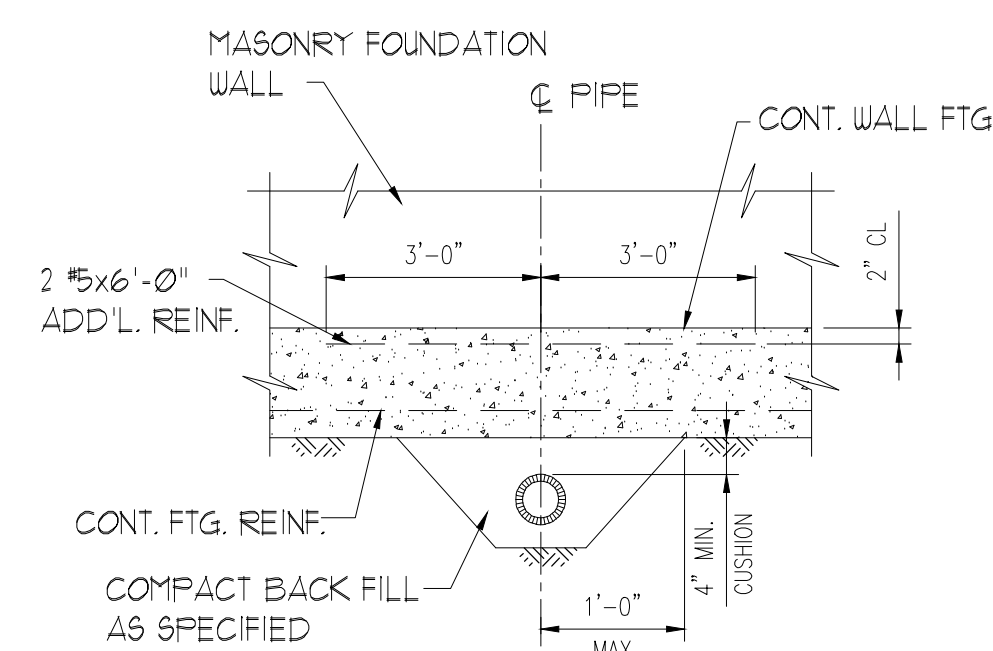


DETAIL AT COLUMN PIER

TYP. SLAB ON GRADE DETAILS
NO SCALE
S3.1

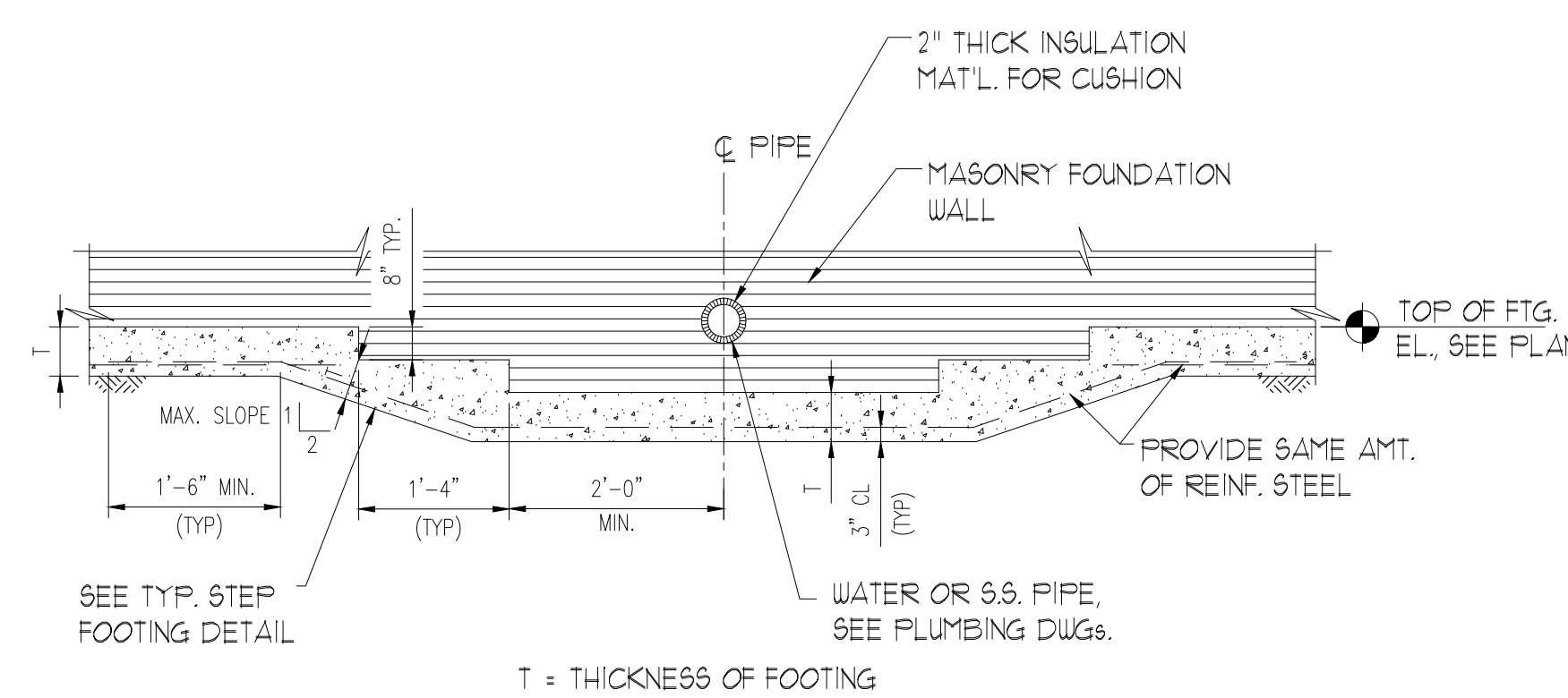


TYPICAL ANCHOR BOLT DETAIL
NO SCALE
S3.1

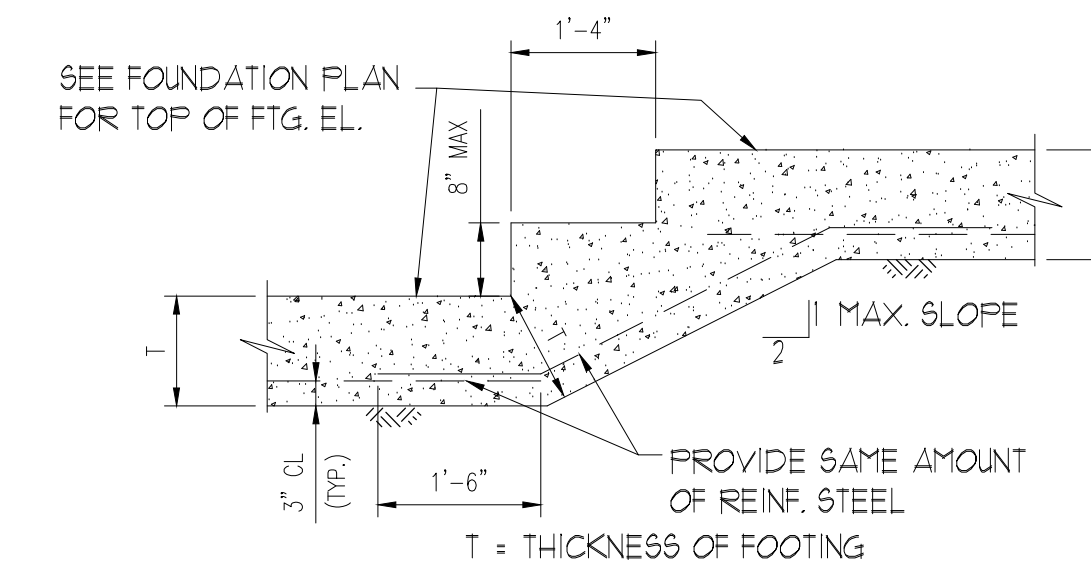


NOTES:
1. IF 4" CUSHION IS NOT AVAILABLE, USE TYPICAL PIPE INTERSECT W/ FTG. DETAIL ON THIS SHEET.
2. COL. FTG. SHALL BE LOWERED AS DIRECTED BY THE ENGINEER IF IT CONFLICTS W/ PIPE.

TYP. PIPE UNDER WALL FTG.

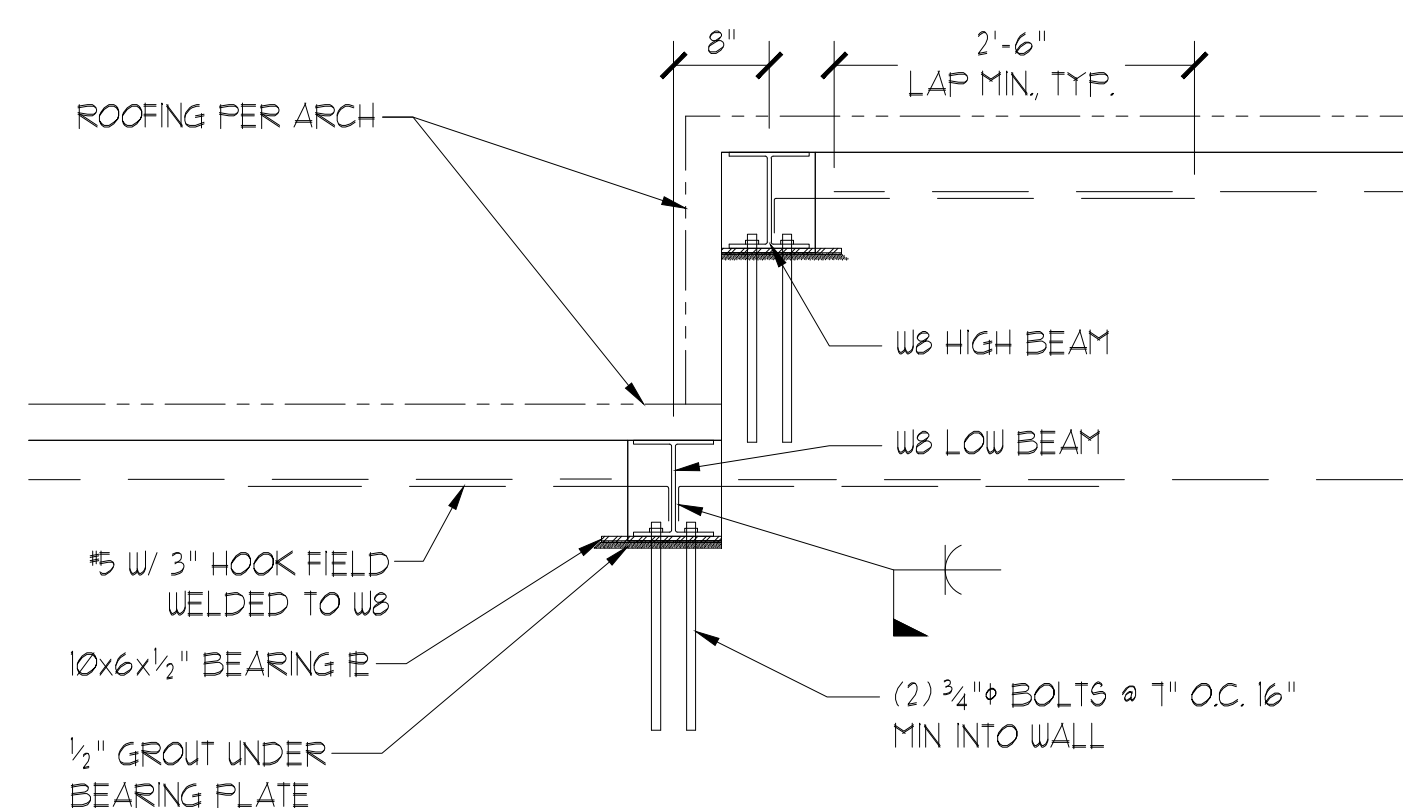


TYPICAL PIPE INTERSECT W/ FTG. DETAIL



INDICATED BY \$ ON PLAN

TYP. STEP FOOTING DETAIL



ROOF STEP DETAIL (LOW SIDE)
NO SCALE
S3.1

TYPICAL SPECIAL FOUNDATION DETAILS
NO SCALE
S3.1



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FOUNDATION
DETAILS