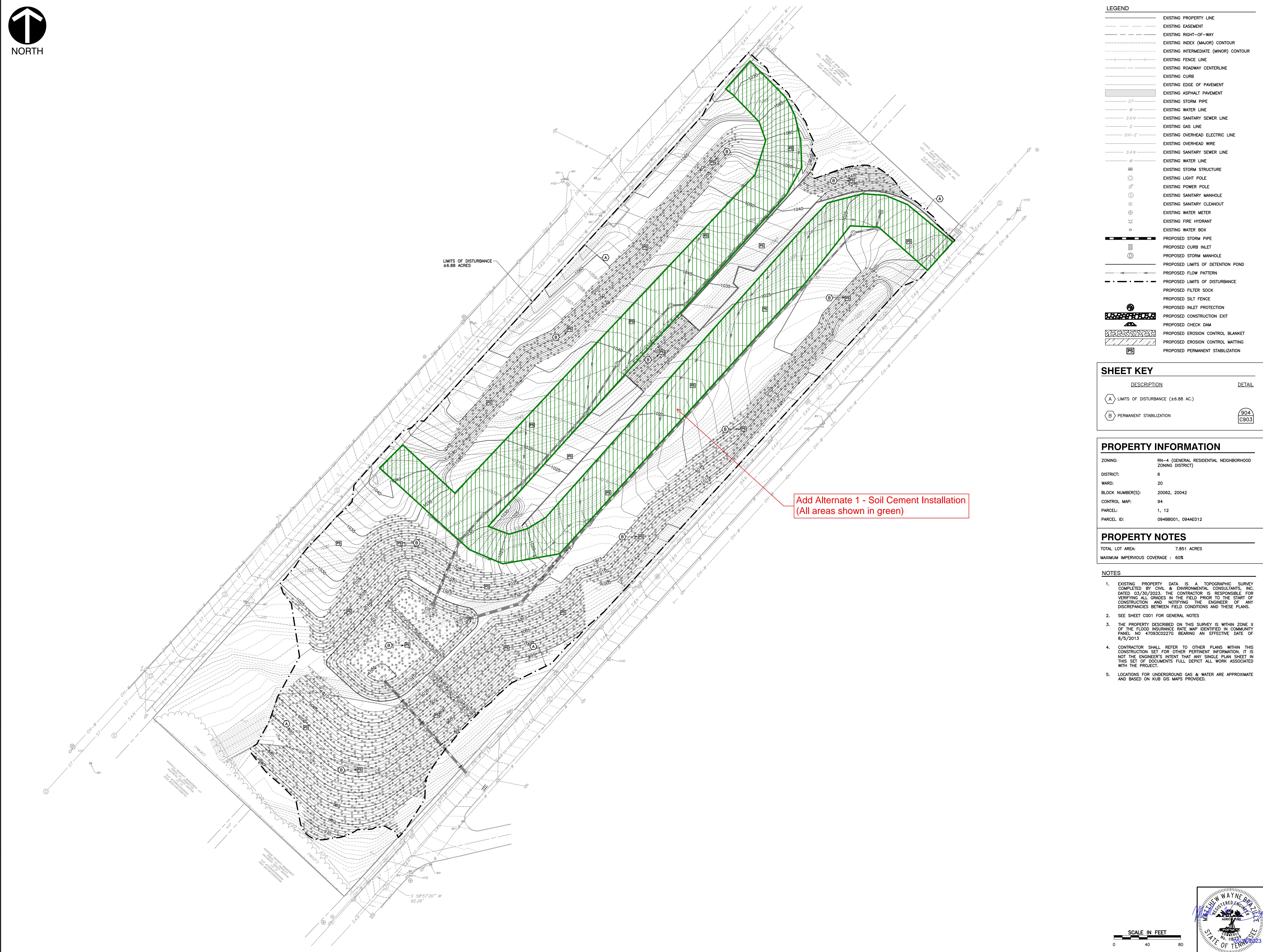




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LEGEND

	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING RIGHT-OF-WAY
	EXISTING INDEX (MAJOR) CONTOUR
	EXISTING INTERMEDIATE (MINOR) CONTOUR
	EXISTING FENCE LINE
	EXISTING ROADWAY CENTERLINE
	EXISTING CURB
	EXISTING EDGE OF PAVEMENT
	EXISTING ASPHALT PAVEMENT
	EXISTING STORM PIPE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING OVERHEAD WIRE
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM STRUCTURE
	EXISTING LIGHT POLE
	EXISTING POWER POLE
	EXISTING SANITARY MANHOLE
	EXISTING SANITARY CLEANOUT
	EXISTING WATER METER
	EXISTING FIRE HYDRANT
	EXISTING WATER BOX
	PROPOSED STORM PIPE
	PROPOSED CURB INLET
	PROPOSED STORM MANHOLE
	PROPOSED LIMITS OF DETENTION POND
	PROPOSED FLOW PATTERN
	PROPOSED LIMITS OF DISTURBANCE
	PROPOSED FILTER SOCK
	PROPOSED SILT FENCE
	PROPOSED INLET PROTECTION
	PROPOSED CONSTRUCTION EXIT
	PROPOSED CHECK DAM
	PROPOSED EROSION CONTROL BLANKET
	PROPOSED EROSION CONTROL MATTING
	PROPOSED PERMANENT STABILIZATION

SHEET KEY

DESCRIPTION	DETAIL

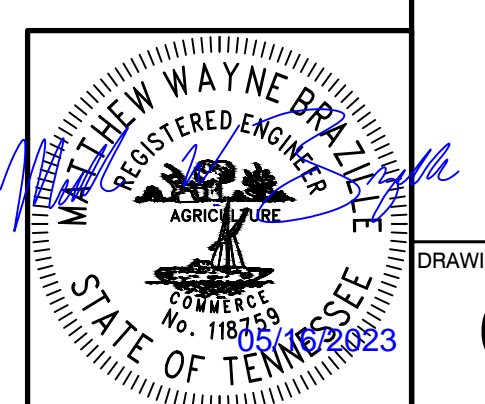
PROPERTY INFORMATION

ZONING:	RN-4 (GENERAL RESIDENTIAL NEIGHBORHOOD ZONING DISTRICT)
DISTRICT:	6
WARD:	20
BLOCK NUMBER(S):	20062, 20042
CONTROL MAP:	94
PARCEL:	1, 12
PARCEL ID:	094BB001, 094AE012

PROPERTY NOTES

TOTAL LOT AREA:	7.851 ACRES
MAXIMUM IMPERVIOUS COVERAGE :	60%

- NOTES**
- EXISTING PROPERTY DATA IS A TOPOGRAPHIC SURVEY COMPLETED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC. DATED 03/30/2023. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL GRADES IN THE FIELD PRIOR TO THE START OF CONSTRUCTION AND NOTIFYING THE ENGINEER OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND THESE PLANS.
 - SEE SHEET C001 FOR GENERAL NOTES
 - THE PROPERTY DESCRIBED ON THIS SURVEY IS WITHIN ZONE X OF THE FLOOD INSURANCE RATE MAP IDENTIFIED IN COMMUNITY PANEL NO 4709302276 BEARING AN EFFECTIVE DATE OF 8/5/2013
 - CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
 - LOCATIONS FOR UNDERGROUND GAS & WATER ARE APPROXIMATE AND BASED ON KUB GIS MAPS PROVIDED.



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KNOWVILLE COMMUNITY DEVELOPMENT CORPORATION (KCDC) WESTERN HEIGHTS PHASE 1 INFRASTRUCTURE 1800 VERMONT AVE KNOXVILLE TN, 37921

FINAL EPSC PLAN

DATE:	APRIL 2023
DWG SCALE:	AS SHOWN
PROJECT NO.:	395-022
APPROVED BY:	GHP

DRAWING NO. **C902**